

Menslike Nedersettings, Beplanning en Ontwikkeling
Human Settlements, Planning and Development

Collab No: 2387460
Reference / Verwysing: Erf 40, Hoekwil
Date / Datum: 17 March 2023
Enquiries / Navrae: Primrose Nako

E-mail: planning@delplan.co.za

DELPLAN CONSULTING
P O BOX 9956
GEORGE
6530

APPLICATION FOR DEPARTURE: ERF 40, HOEKWIL

Your application in the above regard refers.

The Deputy Director: Planning (Authorised Official) has, under delegated authority, 4.1.17.1.17 of 30 June 2022 decided that the application for Departure in terms of Section 15 (2) (b) of the Land Use Planning By-law for George Municipality, 2015 for relaxation of following building lines applicable to Erf 40, Hoekwil:

- (a) Northern boundary building line from 20.0m to 16.685m & 9.610m to accommodate a dwelling house on Erf 40, Hoekwil;
- (b) Northern boundary building line from 20.0m to 10.335m to accommodate a storage room on Erf 40, Hoekwil;
- (c) Northern boundary building line from 20.0m to 14.190m to accommodate a workshop on Erf 40, Hoekwil;

BE APPROVED in terms of Section 60 of said Bylaw for the following reasons:

REASONS FOR DECISION

- (i). The proposed building line relaxation to accommodate a dwelling house, storage room and a workshop will not have negative impact on the character of the area or the street environment;
- (ii). The proposed structure will be positioned mostly on disturbed areas and therefore there will be minimal negative impact to the natural environment;
- (iii). The conditions imposed will ensure the vision and objectives of the local spatial development framework is supported in respect of preserving all relevant aspects of the landscape characterization and conservation interests;
- (iv). It is not foreseen that a proposed relaxation for building lines to accommodate the development will have adverse impact on the rights and amenity of neighbours in terms of privacy, sunlight or views of the adjoining neighbours.

Subject to the following conditions imposed in terms of Sections 66 of the said By-law, namely:

CONDITIONS OF THE DIRECTORATE: HUMAN SETTLEMENTS, PLANNING AND DEVELOPMENT

1. That in terms of the provisions of the Land Use Planning By-law for the George Municipality, 2015, the application as applied for shall lapse if not acted upon within a period of five (5) years from the date of approval and/or if the following conditions are not adhered to.
2. This approval shall be taken to cover only the Departure application as applied for and as indicated on the site layout plan, drawing number **-000,-100, -101, and-102** drawn by Niel Moolman dated 24 February 2023 and attached as **"Annexure A"** which bears Council's stamp and shall not be construed as to depart from any other Council requirements or legal provision.
3. Fencing or walls erected must allow for the free flow of wildlife across the property to the adjoining wildlife corridors and may not prevent the free movement of wild animals.
4. The land owner must contribute to biodiversity conservation and landscape functionality which may be achieved through the continued clearing of alien plants and maintaining and expanding the critical biodiversity areas on the property.
5. The above approval will be considered as implemented on the implementation of the approved building plans.

Note:

- (a) *No construction may take place prior to issuing of OSCAE permit. The owner needs to ensure that the OSCAE permit application addresses the protection of environmental corridors and measure that ensures the free movement of wild animals across the property.*
- (b) *All conditions of the external State Departments, including the requirements as stated by the WC: Department of Transport and Public works with regards to access to the property, should be adhered to.*
- (c) *Building plans must be submitted in terms of the NBR.*

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee, in terms of Section 79(2) of the George Municipality's By-law on Municipal Land Use Planning.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director Planning and Development, P O Box 19, George or Directorate: Planning, 5th floor, Civic Centre, York Street, George on or before **on or before 07 April 2023** and simultaneously submit a copy of the appeal on any person who commented, made representation or objection to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officed mentioned above.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Kindly note that in terms of Section 80(14) of the George Municipality's By-law on Municipal Land Use Planning, the above decision is suspended until such time as the period for lodging an appeal has lapsed, any appeal has been finalised and you have been advised accordingly.

Yours faithfully



C. PETERSEN

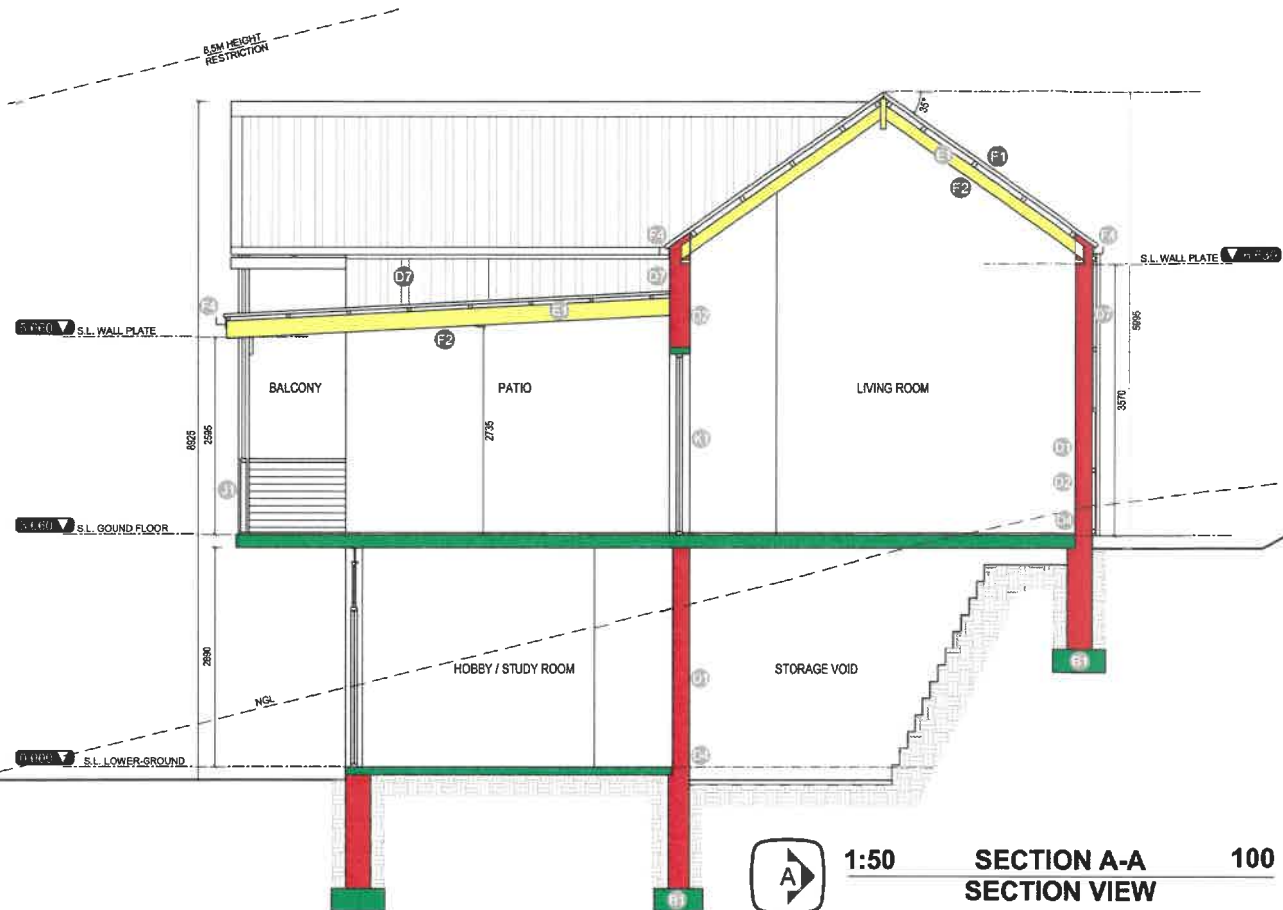
SENIOR MANAGER: PLANNING

C:\Users\pnako\Desktop\Desktop_files\Desktop files\Erf 40 Hoekwil (Administrators consent & Departure) Delplan Consulting.docx

MUNICIPALITEIT GEORGE MUNICIPALITY

Approved in terms of Section 60 of the George Municipality Land Use Planning By-Law (2015) subject to the conditions contained in the covering letter.

07/03/2023
DATE
DEPUTY DIRECTOR: PLANNING
ADJUNK DIREKTEUR: BEPLANNING



FINISHES KEY LEGEND

A LANDSCAPING:
(A) According to Estate Guidelines.

B FOUNDATIONS:
(B) Structure by engineer: Refer to structural engineers' detail foundation drawings / specification for size and depth of footings, piles, retaining walls, terrace walls, columns and beams.

C FLOORS:
(C1) Concrete surface bed: Concrete surface bed (min 85mm) to engineers specification, on 250 micron Taron Damp Proof Membrane (DPM). Surface bed to be cast on min. 150mm good, clean hard core consolidated fill treated with ant poison according to SABS 024. (certificate to be presented to client and issued at end of contract). Hard core fill to be compacted in layers to not exceeding 150mm to engineers satisfaction.

(C2) Finished Screed: Specialised screed laid on concrete slab to engineers specification, by specialist installer and architects acceptance. screed to fall to outlets confirmed. No pooling / standing water will be accepted. (Refer to PC allowed for finished screed)

(C3) Steel Structure: According to structural engineer design & specification. To be installed by specialist and engineer inspections approved.

D WALLS
(D1) Clay stock brick masonry: to match existing, with brickforce / steel reinforcing to engineers specification.

(D2) Smooth plaster & paint: to match existing. Flush jointed clay stock brick wall to receive two coats smooth cement plaster finish. Plaster to receive paint to paint specification. Preparation of raw surfaces and application of products as per supplier and manufacturer's specification and data sheets. Colour: to be approved on site.

(D3) DPC: Install Taron brikgrit DPC under all walls. Provide waterproofing where DPC inadequate. Waterproofing guarantees to be provided by main contractor at the end of the contract.

(D4) DRYWALL: Wooden frame dry wall to SANS 10400 to be clad with Nutec tongue & groove panels - All specifications according to manufacturer.

(D5) STONE CLADDING: Cape Quartz dry-stack stone cladding by specialist. Stone cladding 100-120mm thick. Sample to be approved by KARC.

(D6) Metal Sheeting: Zinc-Alum or similar approved sheeting to be installed vertically as wall cladding to manufacturer's specification. Colour - Grey, to client's preference

E CEILINGS
(E1) Ceiling: Isoboard or similar approved on 40 x 40mm battens 400mm apart between rafters. To be installed to roof angle.

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(F1) Metal Sheeting: Zinc-Alum or similar approved roof sheeting to be installed at 35 & 5 degrees to manufacturer's specification. Colour - Grey, to client's preference

(F2) Structural Timber: Timber roof truss and structural timber to engineers design. Shopdrawings to architects acceptance.

(F3) Eaves: Size & detail to match existing; Fibre cement fascia secured to rafters to receive Rain Water Gutters to falls. Paint to match existing.

(F4) Gutters and downpipes: Pre - coated Aluminium, to match existing. Downpipes to discharge onto existing sealed brick apron around the building.

J BALUSTRADES & RAILING
(J1) BALUSTRADES: All balustrades according to SANS 10400 at least 1000mm high. Vertical rails not more than 100mm apart.

K GLAZING
(K1) GLAZING: All glazing as per SANS10400 by specialist design, supply, install. All suppliers to be AAANSA registered and approved.

GENERAL:

REFERENCE TO DIMENSIONS, LEVELS & SPEC.:
~ THE CONTRACTOR TO CHECK & VARY ALL DIMENSIONS & REPORT DISCREPANCIES IN WRITING TO THE ARCHITECT BEFORE PROCEEDING WITH WORK.

~ ONLY DIMENSIONS, LEVELS & SPECIFICATION STATED ON DOCUMENTATION TO BE ACCEPTED & INTERPRETED IN SETTING OUT & IMPLEMENTATION.
~ DO NOT SCALE OF DRAWINGS, WHERE IN DOUBT, REQUEST CLARIFICATION FROM THE ARCHITECT.

COMPLIANCE:
~ ALL CONTRACTORS SHALL ENSURE THAT THEY COMPLY WITH ALL THE NECESSARY ACTS OF PARLIAMENT OF THE REPUBLIC OF SOUTH AFRICA.
~ APPROVAL FROM THE LOCAL AUTHORITY TO BE OBTAINED FOR BUILDING WORKS COMENCE IN TERMS OF THE NATIONAL BUILDING REGULATIONS & STANDARDS ACT (ACT 103 of 1977).

~ NO DEVIATIONS FROM APPROVED BUILDING PLANS SHALL BE ALLOWED WITHOUT ARCHITECTS ACCEPTANCE.

~ ALL MATERIALS & COMPONENTS OF THE WORKS SHALL BE SABS APPROVED OR HAVE AN AGMMENT SOUTH AFRICA CERTIFICATE.

~ THE CONTRACTOR SHALL ADHERE TO ALL NATIONAL ACTS, REGULATIONS, STANDARDS, ORDINANCES & BY LAWS DURING CONSTRUCTION.

APPLICATION OF THE NATIONAL BUILDING REGULATIONS & THE OCCUPATIONAL HEALTH AND SAFETY ACT:

~ THE CONTENT & SPECIFIED STANDARDS CONTAINED IN THE DOCUMENTS REFERRED TO IN THIS CONSTRUCTION DOCUMENTATION WILL BE CONSIDERED AS THE MINIMUM STANDARD FOR THE WORKS TO BE EXECUTED.

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NATIONAL BUILDING REGULATIONS & BUILDING STANDARDS ACT:
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SANS 10400 - APPLICATION OF THE NBRa:
~ ALL PARTS OF THE SANS 10400 SERIES OF STANDARDS FORM PART OF THIS SPECIFICATION & SHALL BE STRICTLY ADHERED TO;

- ~ PART A: GENERAL REQUIREMENTS
- ~ PART B: STRUCTURAL
- ~ PART C: DIMENSIONS
- ~ PART D: PUBLIC SAFETY
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- ~ PART G: FOUNDATIONS
- ~ PART H: FLOORS
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- ~ PART P: DRAINAGE
- ~ PART Q: NON-WATERBORNE SANITARY DISPOSAL
- ~ PART R: STORMWATER DISPOSAL
- ~ PART S: ACCESSIBLE BUILDINGS
- ~ PART T: FIRE PROTECTION
- ~ PART V: FIRE INSTALLATION
- ~ PART XA: ENERGY USAGE

LOOM ARCHITECTURE STUDIO
SUITE 2 WATERSTONE JUNCTION,
26 MAIN ROAD, SEDGEBFIELD,
6375
Niel Moolman
061 859 2759
niel@loomstudio.co.za

PROJECT
NEW DWELLING ON PLOT 40,
HOEKWIL - FOR
MR & MRS DU TOIT

DRAWING TITLE
DWELLING LOWER-GROUND LAYOUT;
SECTION A-A

DRAWING STATUS
MUNICIPAL SUBMISSION

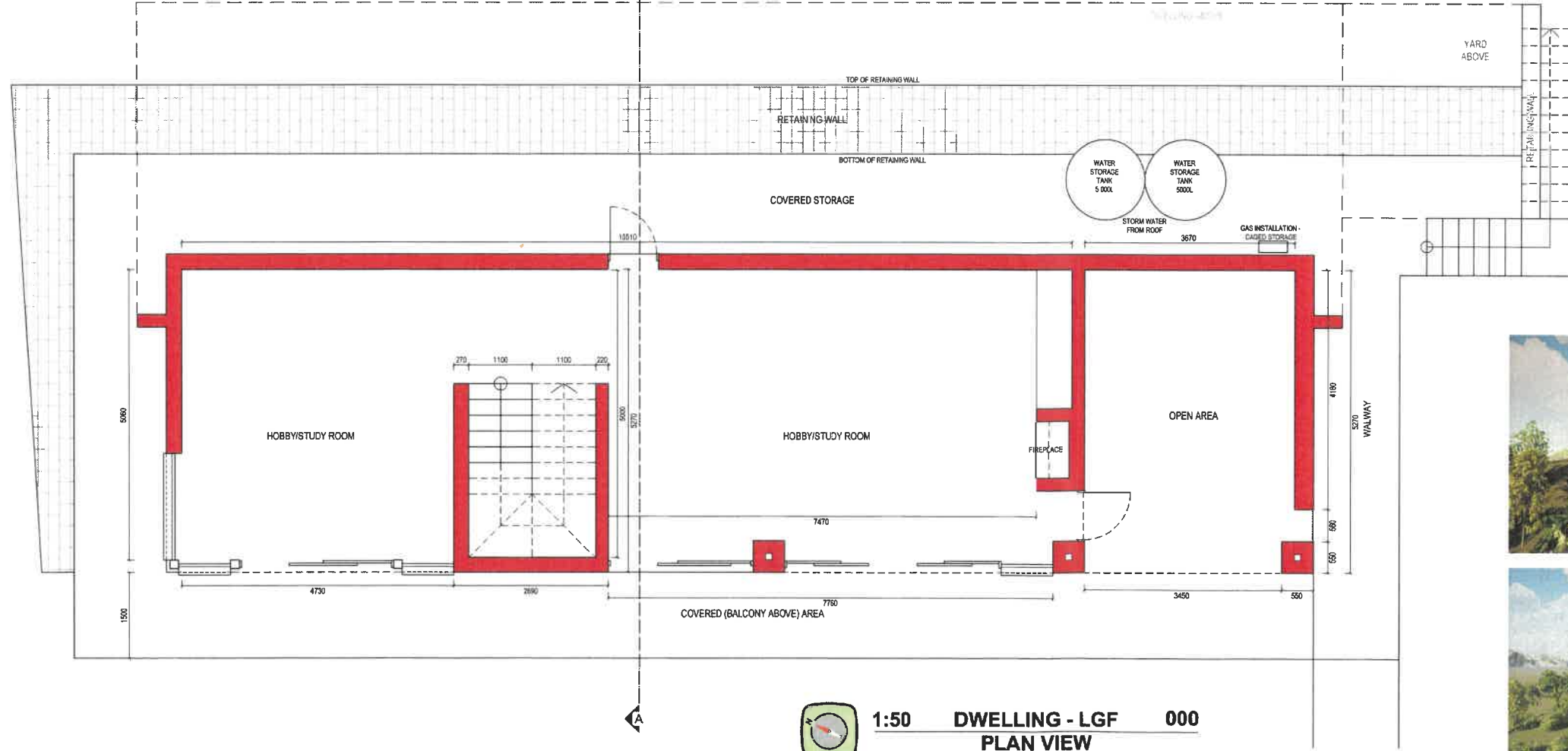
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DATE
2023-01-17

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MUNISIPALITEIT GEORGE MUNICIPALITY

Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2015) subject to the conditions contained in the covering letter.

17/03/2023

DATE
DATUM

DEPUTY DIRECTOR: PLANNING
ADJUNK DIREKTOR: BEPLANNING

DEVELOPMENT DATA

ERF 40 HOEKWIL RAG 2023.01.12

M²

MAIN DWELLING

Ground Floor (Excl. Stairs):

Dwelling 162,27

Patio 34,33

Balcony 30,00

Covered Walkway 30,00

Ground Floor Total 256,60

Lower-Ground Floor:

Hobby / Study Room 79,82

Stairs 7,94

Open, Covered Workspace 22,16

Covered Area (Below Balcony) 30,00

Covered Storage 7,94

Lower-Ground Floor Total 147,86

Main Dwelling Total 404,46

SECOND DWELLING

Ground Floor 47,23

Patio 14,46

Total Second Dwelling 61,69

OUTBUILDINGS

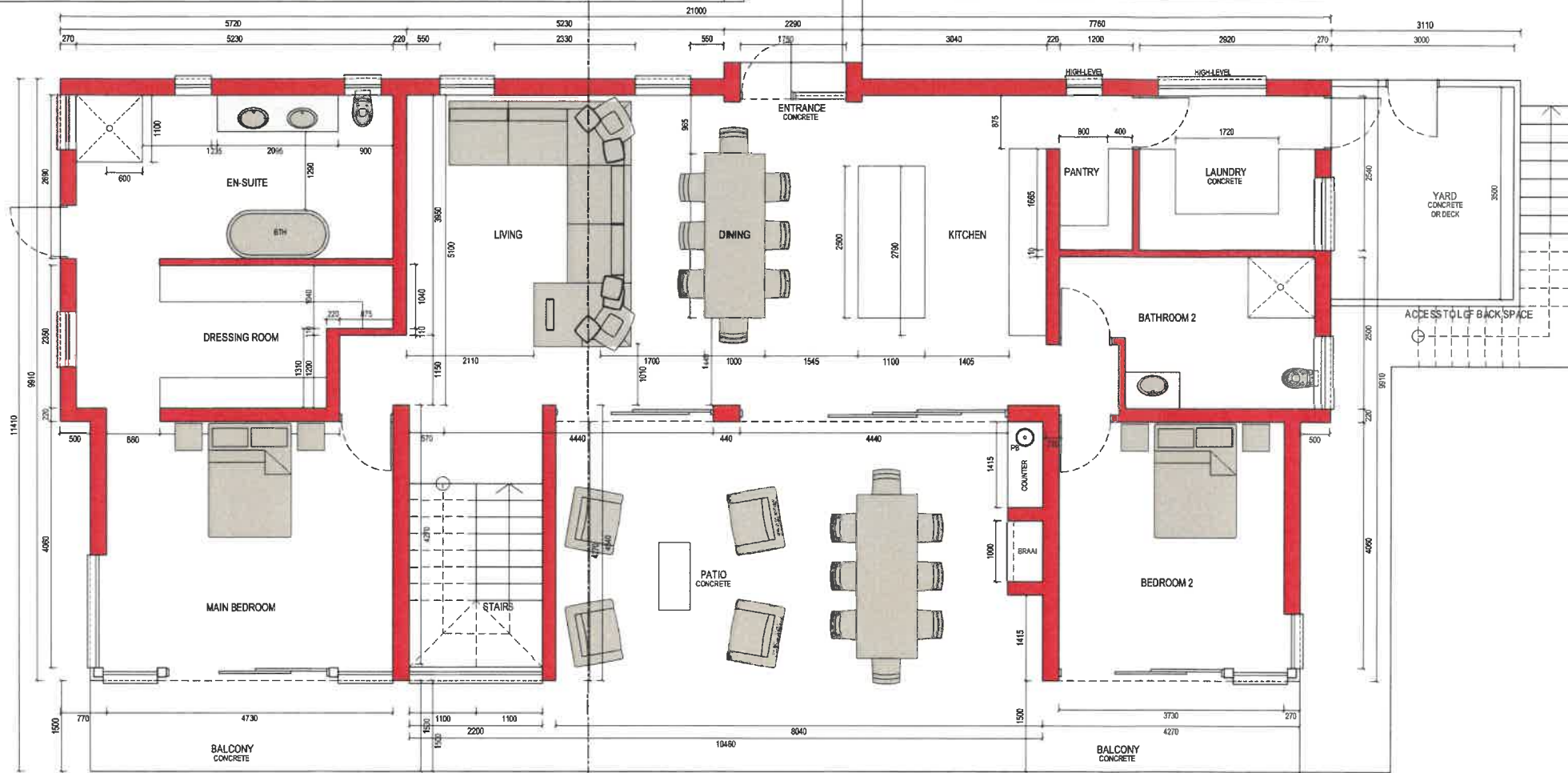
Carport & Store 148,83

Store room 14,40

Wendy-House (Storage) 18,00

181,23

Grand Total - Building Area 647,38

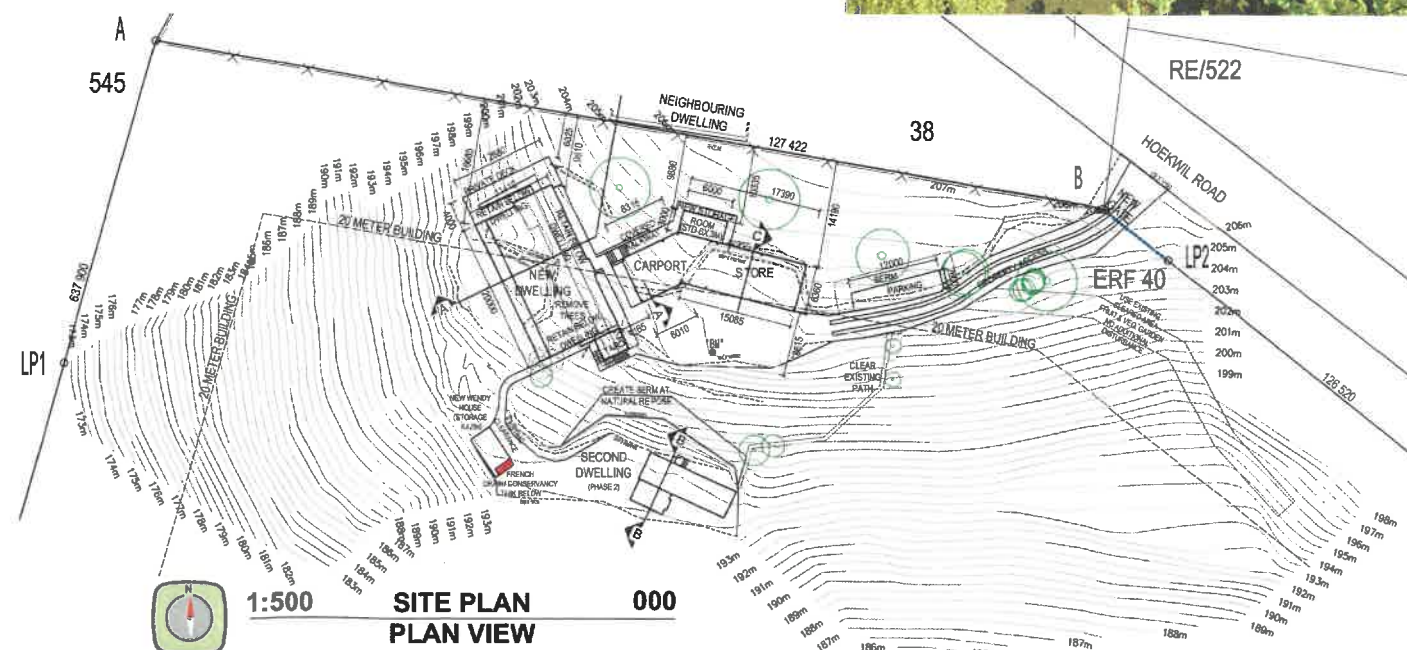


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DWELLING - GF
PLAN VIEW

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LEGEND - BOUNDARY WALL TYPES			
COLOUR KEY	DESCRIPTION	SECTION	ELEVATION
Blue line	WALL TYPE 1 - 1800MM HIGH PALISADE FENCE	STANDARD STEEL PAINTED PALISADE FENCE	
Blue line		STEEL POSTS PAINTED	
Blue line		STEEL POST IN SOIL & CONCRETE FOUNDATION TO SPECIALIST OR ENGINEER SPECIFICATION	
LEGEND - SERVICES			
Green line	WATER PROVISION		
Red line	SEWER PROVISION		
Orange line	ELECTRICAL PROVISION		
Blue line	STORM WATER TO FALL		



1:500

SITE PLAN
PLAN VIEW

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GENERAL:

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PROJECT

NEW DWELLING ON PLOT 40,
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MR & MRS DU TOIT

DRAWING TITLE

SITE PLAN; DEVELOPMENT DATA;
DWELLING FLOOR LAYOUTS

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REV NO.

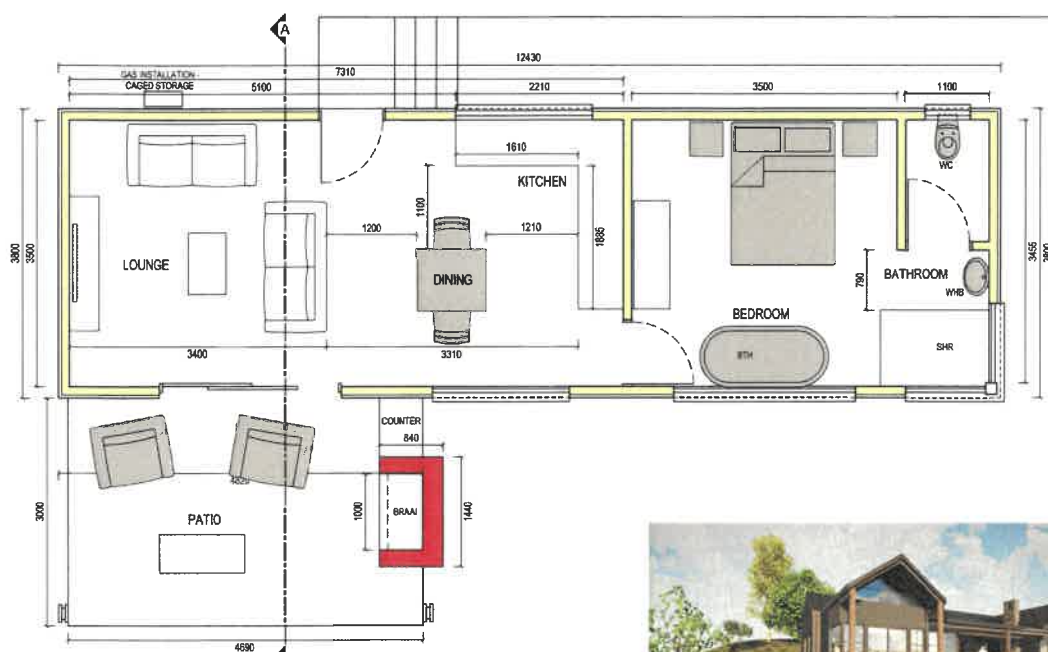
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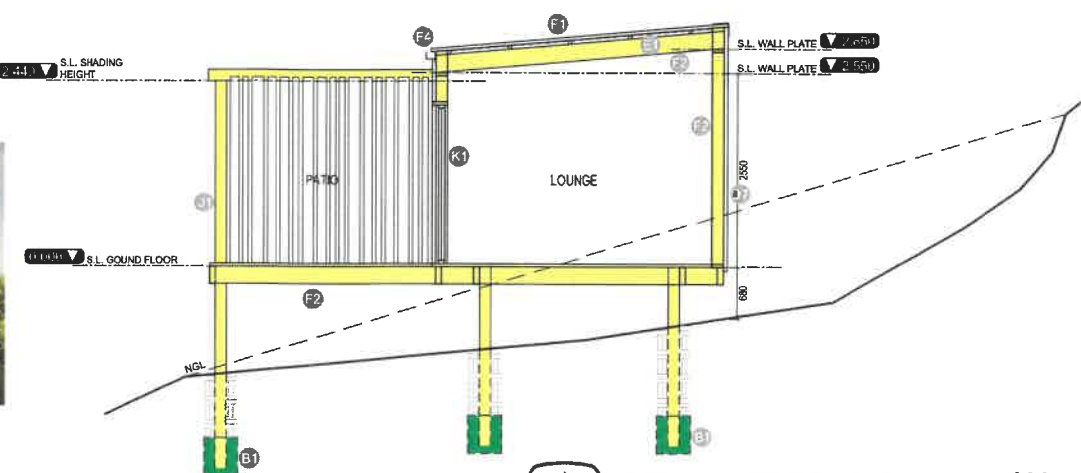
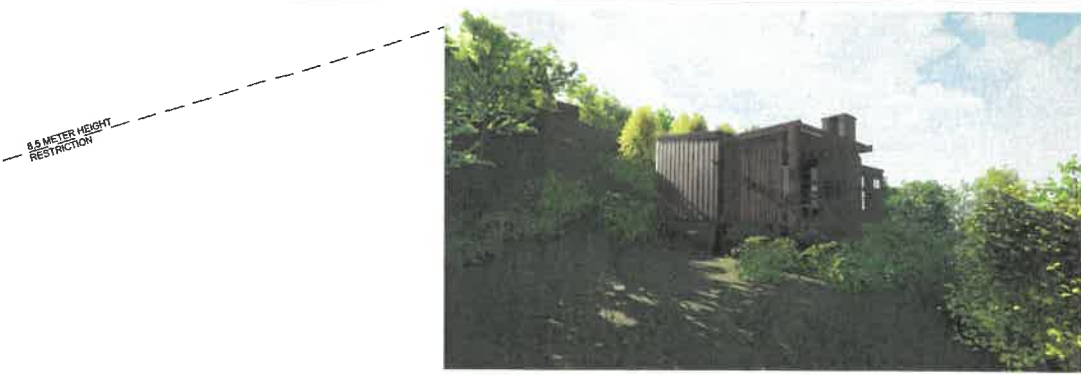
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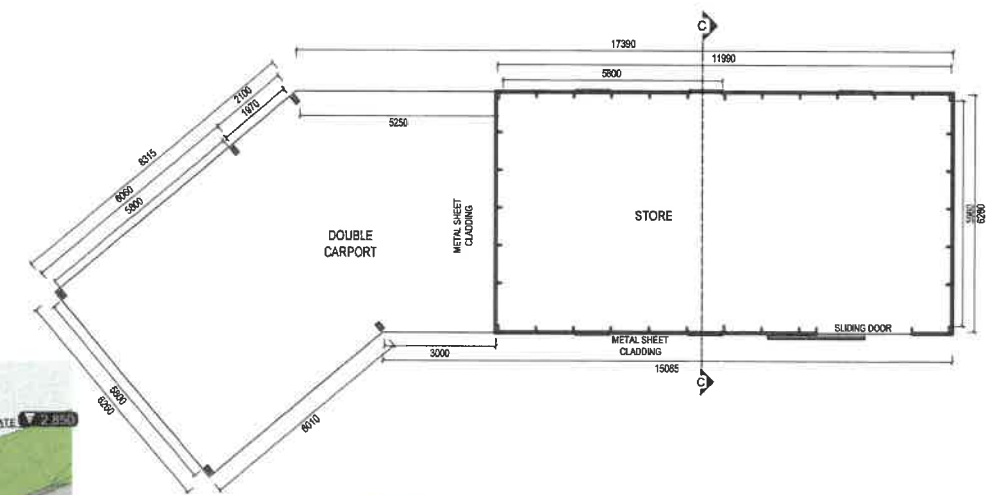
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1:50 SECOND DWELLING PLAN VIEW



1:50 SECTION B-B SECTION VIEW



1:50 CARPORT & STORE PLAN VIEW



1:100 NORTH SECOND DWELLING



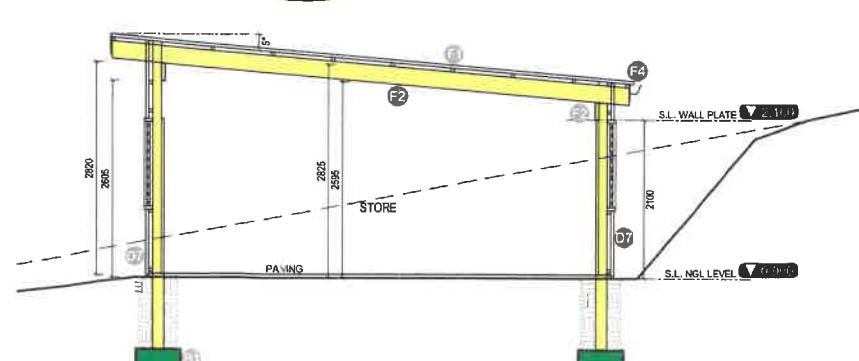
1:100 EAST SECOND DWELLING



1:100 SOUTH SECOND DWELLING



1:100 WEST SECOND DWELLING



1:50 SECTION C-C STORE

- FINISHES KEY LEGEND**
- A LANDSCAPING:**
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MUNICIPALITEIT GEORGE MUNICIPALITY

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17/03/2023

DEPUTY DIRECTOR: PLANNING
ADJUNK DIRECTEUR: BEPLANNING

LOOM ARCHITECTURE STUDIO

SUITE 2 WATERSTONE JUNCTION,
26 MAIN ROAD, SEDGEBFIELD,
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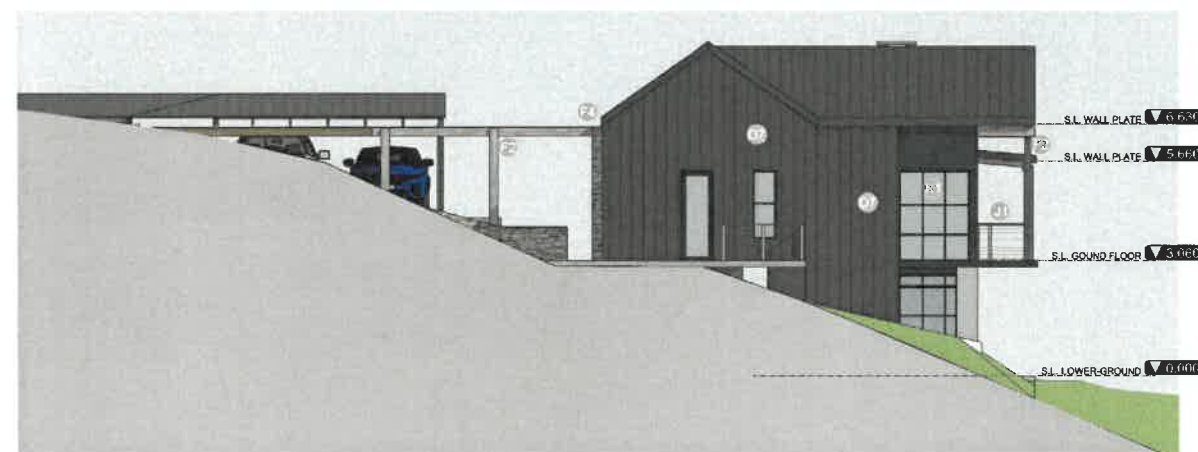
PROJECT	
NEW DWELLING ON PLOT 40, HOEKWIL - FOR MR & MRS DU TOIT	
DRAWING TITLE	
2ND DWELLING & CARPORT / WORK-AREA	
DRAWING STATUS	
MUNICIPAL SUBMISSION	
SCALES	PAPER SIZE
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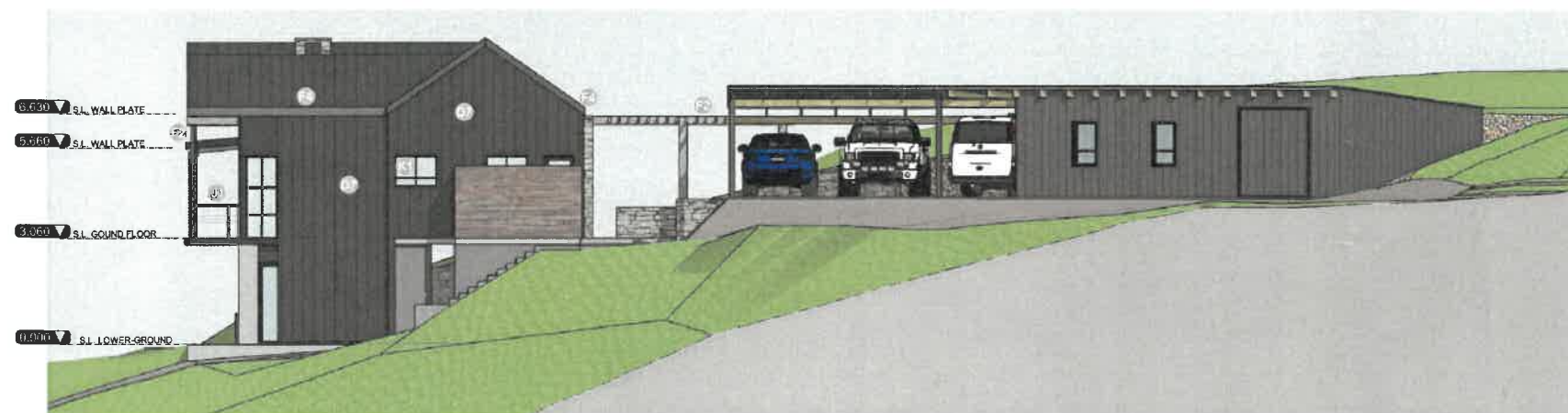
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1:100 SOUTH MAIN DWELLING 101



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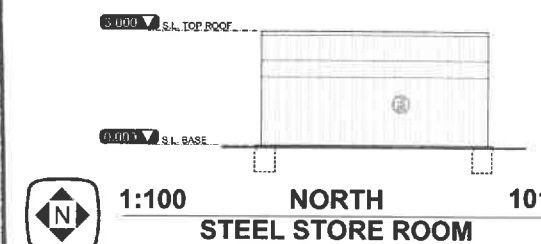


1:100 WEST MAIN DWELLING 101

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Approved in terms of Section 60 of the George Municipality Land Use Planning By-Law (2015) subject to the conditions contained in the covering letter.

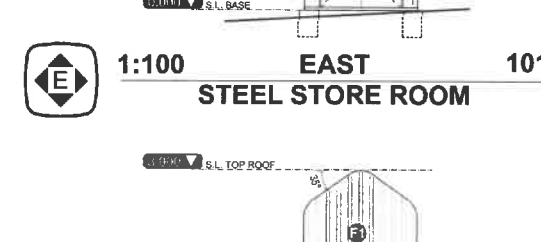
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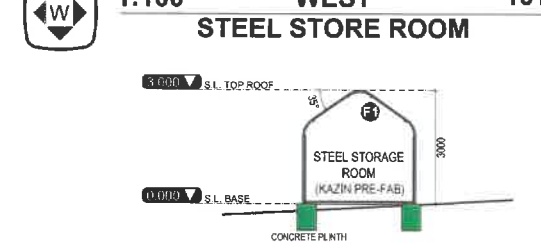
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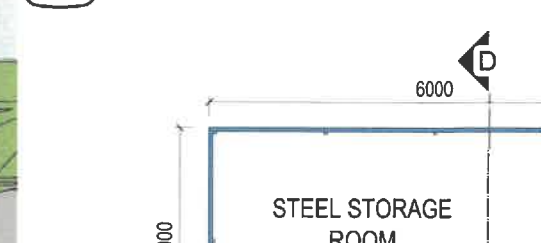
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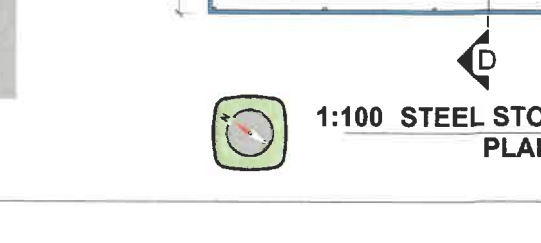
1:100 EAST STEEL STORE ROOM 101



1:100 WEST STEEL STORE ROOM 101



1:100 SECTION D-D STEEL STORAGE ROOM 100



1:100 STEEL STORAGE ROOM 000 PLAN VIEW

FINISHES KEY LEGEND

- A LANDSCAPING:**
A1 According to Estate Guidelines.
- B FOUNDATIONS:**
B1 Structure by engineer: Refer to structural engineers' detail foundation drawings / specification for size and depth of footings, piles, retaining walls, terrace walls, columns and beams.
- C FLOORS:**
C1 Concrete surface bed: Concrete surface bed (min 85mm) to engineers specification, on 250 micron Tarcon Damp Proof Membrane (DPM). Surface bed to be cast on min. 150mm good, clean hard core consolidated fill treated with ant poison according to SABS 024. (certificate to be presented to client and issued at end of contract). Hard core fill to be compacted in layers to not exceeding 150mm to engineers satisfaction.
C2 Finished Screed: Specialised screed laid on concrete slab to engineers specification, by specialist installer and architects acceptance. screed to fall to outlets confirmed. No pooling / standing water will be accepted. (Refer to PC allowed for finished screed)
C3 Steel Structure: According to structural engineer design & specification. To be installed by specialist and engineer inspections approved.
- D WALLS**
D1 Clay stock brick masonry: to match existing, with brickwork / steel reinforcing to engineers specification.
D2 Smooth plaster & paint: to match existing. Flush jointed clay stock brick wall to receive two coats smooth cement plaster finish. Plaster to receive paint to paint specification. Preparation of raw surfaces and application of products as per supplier and manufacturer's specification and data sheets. Colour: to be approved on site.
D3 DPC: Install Tarkon brikgrit DPC under all walls. Provide waterproofing where DPC inadequate. Waterproofing guarantees to be provided by main contractor at the end of the contract.
D4 DRYWALL: Wooden frame dry wall to SANS 10400 to be clad with Nutec tongue & groove panels - All specifications according to manufacturer.
D5 STONE CLADDING: Cape Quartz dry-stack stone cladding by specialist. Stone cladding 100-120mm thick. Sample to be approved by KARC.
D6 Metal Sheetting: Zinc-Alum or similar approved sheeting to be installed vertically as wall cladding to manufacturer's specification. Colour - Grey, to client's preference
- E CEILINGS**
E1 Ceiling: Isoboard or similar approved on 40 x 40mm battens 400mm apart between rafters. To be installed to roof angle.
- F ROOFS**
F1 Metal Sheetting: Zinc-Alum or similar approved roof sheeting to be installed at 35 & 5 degrees to manufacturer's specification. Colour - Grey, to client's preference
F2 Structural Timber: Timber roof truss and structural timber to engineers design. Shopdrawings to architects acceptance.
F3 Eaves: Size & detail to match existing: Fibre cement fascia secured to rafters to receive Rain Water Gutters to falls. Paint to match existing.
F4 Gutters and downpipes: Pre - coated Aluminium, to match existing. Downpipes to discharge onto existing sealed brick apron around the building.
- J BALUSTRADES & RAILING**
J1 BALUSTRADES: All balustrades according to SANS 10400 at least 1000mm high. Vertical rails not more than 100mm apart.
- K GLAZING**
K1 GLAZING: All glazing as per SANS10400 by specialist design, supply, install. All suppliers to be AAAMSA registered and approved.

GENERAL:

- REFERENCE TO DIMENSIONS, LEVELS & SPEC.:**
~ THE CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS & REPORT DISCREPANCIES IN WRITING TO THE ARCHITECT BEFORE PROCEEDING WITH WORK.
~ ONLY DIMENSIONS, LEVELS & SPECIFICATION STATED ON DOCUMENTATION TO BE ACCEPTED & INTERPRETED IN SETTING OUT & IMPLEMENTATION
~ DO NOT SCALE OF DRAWINGS, WHERE IN DOUBT: REQUEST CLARIFICATION FROM THE ARCHITECT.
- COMPLIANCE:**
~ ALL CONTRACTORS SHALL ENSURE THAT THEY COMPLY WITH ALL THE NECESSARY ACTS OF PARLIAMENT OF THE REPUBLIC OF SOUTH AFRICA.
~ APPROVAL FROM THE LOCAL AUTHORITY TO BE OBTAINED FOR BUILDING WORKS COMENCE IN TERMS OF THE NATIONAL BUILDING REGULATIONS & STANDARDS ACT (ACT 103 OF 1977).
~ NO DEVIATIONS FROM APPROVED BUILDING PLANS SHALL BE ALLOWED WITHOUT ARCHITECT'S ACCEPTANCE.
~ ALL MATERIALS & COMPONENTS OF THE WORKS SHALL BE SABS APPROVED OR HAVE AN AGMEMENT SOUTH AFRICA CERTIFICATE.
~ THE CONTRACTOR SHALL ADHERE TO ALL NATIONAL ACTS, REGULATIONS, STANDARDS, ORDINANCES & BY LAWS DURING CONSTRUCTION. APPLICATION OF THE NATIONAL BUILDING REGULATIONS & THE OCCUPATIONAL HEALTH AND SAFETY ACT:
~ THE CONTENT & SPECIFIED STANDARDS CONTAINED IN THE DOCUMENTS REFERRED TO IN THIS CONSTRUCTION DOCUMENTATION WILL BE CONSIDERED AS THE MINIMUM STANDARD FOR THE WORKS TO BE EXECUTED.
~ ANY WORKS NOT COMPLYING WITH THESE STANDARDS WILL BE CONDEMNED.
~ ANY ALTERATION OR SUBSTITUTIONS RENDERED NECESSARY THROUGH NON COMPLIANCE OF THESE STANDARDS SHALL BE AT THE CONTRACTORS COST AND SUBJECT TO ARCHITECTS ACCEPTANCE.
OCCUPATIONAL HEALTH & SAFETY ACT:
~ ALL DEMOLITION, ALTERATION & NEW WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE CONSTRUCTION REGULATIONS WORK AS ISSUED IN TERMS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT.
~ ALL OTHER RELEVANT SECTIONS OF THIS ACT FORM PART OF THIS SPECIFICATION.
NATIONAL BUILDING REGULATIONS & BUILDING STANDARDS ACT:
~ THE FOLLOWING FORMS PART OF THIS SPECIFICATION:
~ REGULATION E1, E2, E3 AND E4 OF PART E DEMOLITION WORK.
~ REGULATION U1, U2 AND U3 OF PART U REFUSE DISPOSAL.
SANS 10400 - APPLICATION OF THE NBRs:
~ ALL PARTS OF THE SANS 10400 SERIES OF STANDARDS FORM PART OF THIS SPECIFICATION & SHALL BE STRICTLY ADHERED TO:
~ PART A: GENERAL REQUIREMENTS
~ PART B: STRUCTURAL
~ PART C: DIMENSIONS
~ PART D: PUBLIC SAFETY
~ PART E: SITE OPERATIONS
~ PART F: EXCAVATIONS
~ PART G: FOUNDATIONS
~ PART H: WALLS
~ PART I: ROOFS
~ PART J: STAIRWAYS
~ PART K: GLAZING
~ PART L: LIGHTING AND VENTILATION
~ PART M: DRAINAGE
~ PART N: NON-WATERBORNE SANITARY DISPOSAL
~ PART O: STORMWATER DISPOSAL
~ PART P: ACCESSIBLE BUILDINGS
~ PART Q: FIRE PROTECTION
~ PART R: SPACE HEATING
~ PART S: FIRE INSTALLATION
~ PART T: ENERGY USAGE

LOOM ARCHITECTURE STUDIO
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PROJECT	
NEW DWELLING ON PLOT 40, HOEKWIL - FOR MR & MRS DU TOIT	
DRAWING TITLE	
DWELLING ELEVATIONS	
DRAWING STATUS	
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