

Our Ref.: 1229/GEO/22
Your Ref.: Erf 40, Hoekwil

24 February 2023

The Municipal Manager
George Municipality
PO Box 19
GEORGE
6530

ATTENTION: MR. CLINTON PETERSEN

Dear Mr. Petersen,

PROPOSED REMOVAL OF RESTRICTIVE TITLE DEED CONDITION AND CONSENT USE ON ERF 40, HOEKWIL, GEORGE MUNICIPALITY AND DIVISION

1. The above matter refers.
2. Attached hereto find the following:
 - A copy of the required documentation;
 - Complete motivational report with all annexures.
3. We hope that you will be able to process the application as soon as possible.

Yours Faithfully
DELplan Consulting



DELAREY VILJOEN Pr. Pln

https://delplan.sharepoint.com/sites/Delplan/Shared Documents/General/Documents/PROJECTS/2022/1229-GEO-22/Korrespondensie/1b_Second Dwelling.doc

Cc: SJ & K DU TOIT

**PROPOSED REMOVAL OF RESTRICTIVE TITLE DEED CONDITION AND CONSENT
USE ON
ERF 40, 40 HOEKWIL ROAD, HOEKWIL, GEORGE MUNICIPALITY AND DIVISION**



FOR: SJ & K DU TOIT



URBAN & REGIONAL PLANNERS

D E V E L O P M E N T E N V I R O N M E N T L I N K

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PROPOSED REMOVAL OF RESTRICTIVE TITLE DEED CONDITION AND CONSENT USE ON ERF 40, HOEKWIL, GEORGE MUNICIPALITY AND DIVISION

1. INTRODUCTION

The new owners of Erf 40, Hoekwil has appointed *DELPLAN Consulting* to prepare and submit the required land use application. A copy of the power of the attorney to submit this land use application is attached as **Annexure 1**.

1.1 Title Deed

The property is currently registered to Stephanus Johannes du Toit & Karen du Toit according to the Title Deed (T1229/22) and is attached as **Annexure 2**. The conveyancer certificate (attached as **Annexure 3**) does confirm that certain title deed restrictions are relevant to this application. Section E (b) states that the property may only be utilised by one dwelling with one family. As the proposal exceeds the number of dwellings, the removal of title deed restrictions is being applied for to allow the use of two dwellings. A second dwelling is however allowed as a consent use in terms of the George Municipality Zoning Scheme By-law, 2015. According to the Title Deed, the property measures 3,7161ha in extent as shown in the SG Diagram attached herewith as **Annexure 4**.

1.2 Land Use Application

This land use application entails the following.

- **Removal of restrictive title deed condition:** Application in terms of Section 15 (2)(f) of the George Municipality: Land Use Planning By-Law, 2015 for the removal of condition E) (b) to allow more than one dwelling on the property.
- **Consent use:** Application in terms of Section 15(2)(o) of the Land Use Planning By-Law for George Municipality (2015) for consent use to allow a second dwelling on the property.

Property Description:	Erf 40, Hoekwil, George Municipality & Division
Physical Address:	Hoekwil Road
Owner:	Stephanus Johannes du Toit & Karen du Toit
Title Deed No:	T1229/22
Bond Holder:	No
Size of the property:	3,7161ha

2. CONTEXTUAL INFORMATION

2.1 The Locality of the Subject Property

The subject property is located along Hoekwil Road in a green corridor adjacent to the urban edge of Hoekwil. Figure 1 (below) indicates the subject property, in relation to Hoekwil and surrounds. Figure 2 provides a closer look at the subject property and surrounding area. A locality plan is attached hereto as **Annexure 5**.



Figure 1: The location of the subject property in relation to surrounding land uses



Figure 2: Detailed view of subject properties and immediate surrounding land uses

2.2 Existing Land Uses and Character of the Area

The development proposal preserves an abundance of natural vegetation in order to maintain the character of the area. The surrounding areas can be seen in figures 3 and 4. As can be seen in figure 5, the property also slopes from the north downwards to the south. Neighbouring properties on Erven 44 and 38 are located above the proposed development and it is not foreseen that any influence on views will occur.

As can also be seen, the sloping is more severe towards the south of the property. Figure 6 shows a photo taken from the proposed building site towards the entrance/access point. It can be seen that the development is located significantly lower than the entrance point and would have very little influence on the current landscape aesthetics, especially taken from Hoekwil Road. The subject property is not located in a heritage area and none of the buildings are older than 60 years, therefore no heritage impact assessment is necessary.



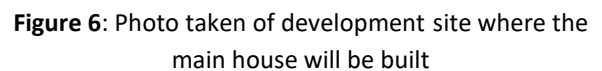
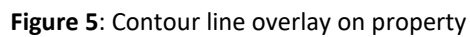
Figure 3: A photograph of the property with surroundings (direction towards Erf 38, North West)



Figure 4: A photograph of the property with surroundings (direction towards Erf 44, South East)

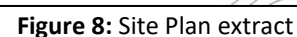
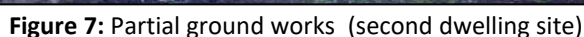
The development proposal preserves an abundance of natural vegetation in order to maintain the character of the area. As can be seen in figures 5 and 8, the property slopes from the north downwards to the south. Neighbouring properties on Erven 44 and 38 are located above the proposed development and it is not foreseen that any influence on views will occur.

As can also be seen, the sloping is more severe towards the south of the property. Figure 6 shows a photo taken from the proposed building site towards the entrance/access point. It can be seen that the development is located significantly lower than the entrance point and would have very little influence on the current landscape aesthetics, especially taken from Hoekwil Road.



3. DEVELOPMENT PROPOSAL

3.1 Proposed Development



Groundworks have been partially done by the previous owner as can be seen in figure 7. The proposed development aims to utilise a small area of the already cleared area, but will still require additional clearance. Comments from the Department of Environmental Affairs and Development Management was also be obtained in this regard. Figure 8 shows the proposed development on this property, indicating the main dwelling with workshop, garage and storage area as well as the second proposed dwelling and Wendy house. A rendered image of the development can be seen in figure 9. The site plan with rendered images is attached hereto as **Annexure 6**.



Figure 9: Rendered image of the proposed development

3.2 Natural Environment



Figure 10: Environmental overlay

As can be seen in figure 10 by the yellow shaded areas as well as the yellow outlined area, the development is located within a critical biodiversity – and OSCAE area (overlapping the same area). The red demarcations show areas with a sloping between 25 – 90 degrees. As can be seen, sloping is significant towards the south of the property, which is why the proposed developments have been moved closer to Hoekwil Road. An OSCAE permit was

applied for and comments from the Department of Environmental Affairs will also play an integrate role during the planning process.

3.3 Accessibility



Figure 11: Access to the property from Hoekwil Road

Access to the property is gained off Hoekwil Road on the northern side of the property, as seen in figure 11. Secure on-site parking is provided with open parking spaces for the proposed second dwelling. Access to the property remains unchanged and has no influence on pedestrian movement or traffic.

3.4 Engineering Services

The property is in an already developed and serviced residential area, however, the relevant service requirements will be provided in accordance with municipal guidelines and infrastructure costs will be covered by the developer.

Water and sewage runoff

Sewage is accounted for means of French drain, and water connections will be made to the existing Municipal water network.

Stormwater runoff

Due to its location on a vacant and undeveloped smallholding area, stormwater reticulation channels water away from the dwelling by means of an efficient natural stormwater network.

Roads

It is proposed that the site be accessed from Hoekwil Road.

Electricity

The current municipal infrastructure in the area will be utilised with this dwelling as with the main dwelling on the site.

4. RELEVANT SPATIAL PLANNING POLICIES

This section briefly addresses the relevant spatial policy frameworks that provide guidance to development proposals in general and its applicability to this proposed development. These include:

4.1 Wilderness Local Spatial Development Framework (2015)

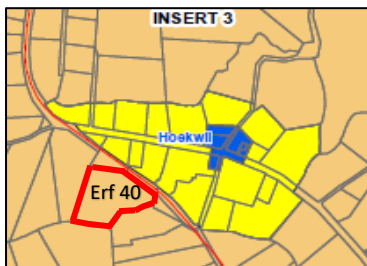


Figure 12: WLSDF extract

The area is not utilised for active farming and is classified under a smallholding area as per its “Agricultural Zone II” zoning. This can be seen in insert 3 from the WLSDF (figure 12). Subsection 3.2 of the Framework identifies Hoekwil as a rural hamlet that could attract visitors to the area but the SDF does warrant against the subdivision of small holdings in the area and preservation of prevailing building lines. This proposal does not include a subdivision but does relate to densification. The aim of the development proposal is to still

preserve vegetation as far as possible in order to maintain the natural landscape and rural character as seen from Hoekwil Road.

4.2 George Municipal Spatial Development Framework (GMSDF) (2019)

The GMSDF does not specifically refer to the subject property. The GMSDF does however state the following: “Not permit expansion of residential areas beyond the urban edge, with the exception of Hoekwil (where a node has been identified), and Touwsrante where growth has to be accommodated.” The development and consent use for a second dwelling is permitted on this property under the current zoning scheme parameters

5. STATUTORY FRAMEWORKS

Following the most recent legislative and procedural changes that have become applicable to the management of land use planning in South Africa and consequently the Western Cape Province, it is considered necessary to summarise the implications of the current statutory framework within the context of this land-use planning application. Set out below are a set of principles and ethical conventions related to this application.

5.1 George Municipality Land Use Planning by-law (2015)

Section 33 (5) of the By-Law identify 6 considerations when deciding on the removal, suspension or amendment of a restrictive condition. These considerations are applied to the proposed development below:

1. The restrictive title conditions recommended for removal will accrue to the holder of the rights a financial and social benefit as it would allow for a second dwelling to be developed on the property. The title deeds condition are archaic and today is common to have second dwelling on a agricultural, small-holding or residential property.
2. The title deed conditions prohibit the owner from having a second dwelling of any kind on the subject property, which does not hold any personal benefit to the property owner.
3. The removal of the restriction will allow for the property owner to optimally utilise the subject property with the development of a second dwelling.
4. Not removing the title deed condition will result in the owner not being able to develop a second dwelling on the property, there will be no social benefit to the area.
5. The removal of the title deed condition will have little effect on the surrounding community could be beneficial as it will enable the owner to develop a second dwelling on the property which will contribute to densification in the area.
6. The removal of the indicated conditions will not completely remove the rights as the By-Law will provide a level of control thereafter.

5.2 Spatial Planning and Land Use Management Act, 2013 (ACT 16 OF 2013) (SPLUMA)

The nature of this land use application only partially affects the five development principles of the Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013) (SPLUMA). Only the most relevant aspects are addressed below.

5.2.1 Development Principles

1) Spatial Justice

This principle refers to the need for improved access and use of land in order to readdress past spatial - and development imbalances as well as the need for SDF's and relevant planning policies, spatial planning mechanisms, land use management systems and land development procedures to address these imbalances.

- *No reference is made to the properties in the MSDF or Wilderness/Hoekwil SDF specifically. The erf is not located in an imbalanced area thus no motivation could be made in this regard.*

2) Spatial Sustainability

This principle refers to the need for spatial planning and land use management systems to promote land development that is viable and feasible within a South African context, to ensure the protection of agricultural land and to maintain environmental management mechanisms. It furthermore relates to the need to promote effective/equitable land markets, whilst considering the cost implications of future development on infrastructure and social services as well as the need to limit urban sprawl and ensure viable communities.

- *This land-use application does not affect prime - or unique agricultural land, nor does it influence any environmental management mechanisms. The property is situated in a smallholding area and will not negatively affect the efficient and equitable functioning of land markets.*
- *The proposed development will have a limited impact on the provision of infrastructure and will not require any additional social services outside the development itself. Relevant engineering services will be accounted for.*
- *The subject property will utilise vacant and underutilised land, thus supporting densification and not urban sprawl. The approval of the application will allow for the optimal utilisation of the subject property.*

3) Spatial Efficiency

This principle relates to the need for optimal use of existing resources and infrastructure as well as decision-making that minimises negative financial, social, economic or environmental impacts and development application procedures that are efficient and streamlined.

- *As mentioned above, the proposed development is situated in an already serviced area. The proposed development will therefore utilise the existing resources and infrastructure available whilst promoting the optimal use of an underutilised site.*
- *Capital contributions will also be paid, and it is not anticipated that the proposed application will have negative financial, social, economic or environmental impacts.*

4) Spatial Resilience

This principle refers to the extent to which spatial plans, policies and land use management systems are flexible and accommodating to ensure sustainable livelihoods in communities most likely to suffer the impacts of economic and environmental shocks.

- *The development proposal does not undermine the aim of any relevant spatial plan and has no influence on the diminishment of sustainable livelihoods. Other aspects of spatial resilience are, however, not considered relevant to this application.*

5) Good Administration

This principle refers to the obligation of all spheres of government to ensure implementation of the above as efficiently, responsibly, and transparently as possible.

- *The application as set forth, aligns with all relevant principles and frameworks. George Municipality should consider the application within the prescribed timeframes and follow due process in an efficient manner. Public participation must – and will be transparent regarding the relevant policies and legislation as procedures should be clear to inform and empower members of the public regarding new developments.*

5.2.2 Public Interest

As there are no significant public interests currently vested in this site. As the proposal includes a second dwelling and removal of title deed restrictions to allow this dwelling on a site that holds no significant public interests, and has no influence on the surrounding neighbours or the broader state of the environment, there is no argument to be made that the development will contribute to the diminishment of public interests. At this time the proposed second dwelling will increase the housing density in the area within the relevant development parameters. The proposed development will adhere to all relevant frameworks and parameters to ensure that surrounding properties are minimally influenced, should development occur.

5.2.3 Environmental Legislation

As the site falls within a smallholding area which is already serviced area that is not utilised for any agricultural purposes and no relevant vegetation such as existing trees or critical biodiversity exists on the site for the second dwelling, no listed activities as contemplated by the National Environmental Management Act, 1998 (as amended) (NEMA) are triggered by this application. An application for an OSCAE permit was submitted.

5.3 Land Use Planning Act (LUPA)

The development objectives entrenched in SPLUMA have been assimilated into the Western Cape Land Use Planning Act, 2014 (Act 3 of 2014) and sets out a basis for the adjudication of land use planning applications in the province. It requires that local municipalities have due regard to at least the following when doing so:

- Applicable spatial development frameworks;
- Applicable structure plans;
- Land use planning principles referred to in Chapter VI (Section 59);
- The desirability of the proposed land use; and
- Guidelines that may be issued by the Provincial Minister regarding the desirability of proposed land use.

The land-use planning principles of LUPA (Section 59) are, in essence, the expansion of the five development principles of SPLUMA listed above. Spatial resilience and - justice have very few associations with this application. The principles of sustainability, efficiency and good administration all have relative bearing with regards to this application and have been included in the framework analysis under subsection 5.2.1.

5.3.1 Compliance/Consistency with Spatial Policy Directives

Section 19(1) and (2) of LUPA states that the following:

“(1) If a spatial development framework or structure plan specifically provides for the utilisation or development of land as proposed in a land use application or a land development application, the proposed utilisation or development is regarded as complying with that spatial development framework or structure plan;

(2) If a spatial development framework or structure plan does not specifically provide for the utilisation or development of land as proposed in a land use application or a land development application, but the proposed utilisation or development does not conflict with the purpose of the relevant designation in the spatial development framework or structure plan, the utilisation or development is regarded as being consistent with that spatial development framework or structured plan.”

In view of the nature of this land use application and its location within George, this proposal is consistent with the GSDF.

5.3.2 Need and Desirability

Desirability in the land use planning context may be defined as the degree of acceptability of a proposed development on the land unit concerned. This section expresses the desirability of the proposed building line relaxation, taken in conjunction with the development principles and criteria set out through the policies and planning framework, as well as the degree to which this proposal

may be considered within the context of broader public interest. It is our view that the initial investigation into the desirability of the proposal reveals no obvious negative impacts.

The current need for further development is structured around the need for residential use on an underutilised site. Desirability in this sense is structured around having residentially utilised dwellings in a greenbelt area with minimal effect on its surroundings. As for the level of acceptability, a higher level of acceptability is possible, given that the proper measures are put in place to preserve the area and its main use as a greenbelt whilst minimising the detrimental effects of development. Furthermore, the proposed application is not considered to be in contradiction with spatial policies and at no further risk or inconvenience to neighbouring properties.

6. CONCLUSION

As mentioned in this motivational report we believe that the abovementioned principles, considerations and guidelines for this land use application for Erf 40 satisfies the applicable legislation. As a result, it is trusted that this application can be finalised successfully.



DELAREY VILJOEN Pr. Pln

February 2023

ANNEXURE 1

POWER OF ATTORNEY

I, **Stephanus Johannes du Toit & Karen du Toit**, the undersigned and registered owners of Erf 40, Hoekwil, George Municipality and Division hereby instruct *DELPLAN Consulting* to submit the land use application with the local authority.



Stephanus Johannes du Toit

Date: 11/07/2022



Karen du Toit

Date: 11/07/2022

Witnesses:

1. 

2. 

ANNEXURE 2

Ilse Pretorius Attorneys Inc Prokureur/Attorney
1083
TEL: 0723561795

DEED OF TRANSFER

in favour of

STEPHANUS JOHANNES DU TOIT and KAREN DU TOIT

over

REMAINDER ERF 40 HOEKWIL

ILSE PRETORIUS ATTORNEYS INC
UNIT 18 BUILDING 4 MILKWOOD VILLAGE
BEACON ROAD
WILDERNESS
6560
Tel: 0723561795

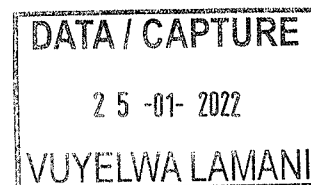
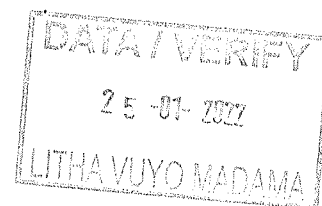
1083

Ilse Pretorius Attorneys
Unit 18 Milkwood-Village
Beacon Road
Wilderness
6560

Prepared by me

CONVEYANCER
ILSE PRETORIUS (LPC NUMBER 93583)

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 1 900 000.00	R. 1283.00
Reason for exemption	Category Exemption.....	Exemption i t o. Sec/Reg..... Act/Proc.....



T0000001229 / 2022

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

EMILE GREYVENSTEIN
(LPC NUMBER 90318)

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him/her by

WAYNE ANTHONY MOL
Identity Number 701027 5234 08 8
Unmarried

which said Power of Attorney was signed at Wilderness on 09 December 2021

And the appearer declared that his/her said principal had, on 24 November 2021, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

STEPHANUS JOHANNES DU TOIT
Identity Number 690115 5032 08 2
and
KAREN DU TOIT
Identity Number 661113 0073 08 1
Married in community of property to each other

their Heirs, Executors, Administrators or Assigns, in full and free property

REMAINDER ERF 40 HOEKWIL
IN THE MUNICIPALITY AND DIVISION OF GEORGE
PROVINCE OF THE WESTERN CAPE

IN EXTENT 3,7161 (THREE COMMA SEVEN ONE SIX ONE) Hectares

FIRST TRANSFERRED by Deed of Transfer Number T11489/1965 with Diagram 3737/1961 relating thereto and held by Deed of Transfer Number T25795/2021

- A. SUBJECT to such conditions referred to in Deed of Transfer Number T32713/2011
- B. SUBJECT FURTHER to the terms of Notarial Deed Number 134/1956 dated 30 November 1955 referred to in endorsement dated 16 March 1956 on Deed of Transfer Number T5973/1952 which reads as follows:

“Kragtens Notariële Akte nr 134/1956 gedateer 30/11/1955 is die Restant van Olifants Hoek Forest Reserve: 994,2999 hektaar hieronder gehou onderhewig aan die volgende voorwaardes:

- (a) Sulke regte van opdam stoor en waterleiding soos in die gesegde Notariële Akte uiteengesit.
- (b) 'n Reg van pyplyn aangedui deur die letters A gekromde blou lyn b op serwituut kaart 8673/1954.
- (c) Die reg van gebruik, hernuwing en instandhouding van gesegde installasies.
- (d) Die reg van toegang tot voornoemde installasies.

Watter voorwaardes opgelê is ten gunste van Gedeelte 22 ('n gedeelte van Gedeelte 21) van die plaas Klein Kranz, gehou onder T19388/54 soos meer breedvoerig sal blyk met verwysing na gesegde Notariële Akte 'n afskif waarvan hieraan geheg is.”

C.

ft

D. SUBJECT FURTHER to the following uniform conditions contained in the said Certificate of Uniform Title Number T20225/1963 imposed by the Minister when he gave his consent to the issue of the said Certificate of Uniform Title, namely:

(i)

(ii) Die Reg om grond te neem en materiaal te verkry en te verwyder vir die bou en herstel van openbare paaie;

dit wil sê alle besitvoorwaardes en alle ander regte wat ten gunste van die Staat bestaan het, word uitgewis

E. SUBJECT FURTHER to the following conditions contained in Deed of Transfer Number T11489/1965 imposed by the Administrator of the Province Cape of Good Hope at subdivision in terms of Section 196 of Ordinance Number 15/1952, as amended, of the farm Olifantshoogte, which may be amended or alleviated by him:

(a) Dit mag net vir woon – en landboudoeleindes gebruik word.

(b) Geen geboue uitgesonder een woning vir gebruik deur 'n enkele familie tesame met die buitegeboue wat gewoonlik nodige is om in verband daarmee gebruik te word, mag op hierdie grond opgerig word nie.

F. SUBJECT FURTHER to the terms of the endorsement dated 11 March 1988 on said Deed of Transfer Number T11489/1965, which endorsement reads as follows"

"PARA 2 - RESTANT

Kragtens Sertifikaat van Geregistreerde Titel Nr T13492/1988 is die Restant van Erf 40 groot 3,7161 hektaar gehou hieronder:

ONDERHEWIG aan die volgende voorwaardes opgelê deur die Administrateur van die Kaapprovinsie in terme van Artikel 9 van Ordonansie 33 van 1934 by goedkeuring van die onderverdeling van Erf 40 HOEKWIL:

1. Die eienaar van hierdie erf is verplig om sonder betaling van vergoeding, toe te laat dat hoofgasleidings, elektrisiteits- telefoon- en televisiekabels en/of drade, hoof- en ander waterpype en die rioolvuil en dreinerings, insluitende stormwater van enige ander erf of erwe, oor hierdie erf gevoer word en dat bopgrondse installasies soos mini-substasies, meter kiosks en dienspale daarop geïnstalleer word indien dit deur die Plaaslike Owerheid nodig geag word, en wel op die wyse en plek wat van tyd tot tyd redelikerwys vereis word. Dit sluit die reg op toegang te alle redelike tye tot die eiendom in met die doel om enige werke met betrekking tot bogenoemde aan te lê, te wysig, te verwyder of te inspekteer.

2. Die eienaar van hierdie erf is verplig om sonder vergoeding op die erf die materiaal te ontvang of uitgrawings op die erf toe te laat al na vereis word, sodat die volle breedte van die straat gebruik kan word en die wal veilig en behoorlik skuins gemaak kan word weens die verskil tussen die hoogte van die straat soos finaal aangelê en die erf tensy hy verkies om steunmure te bou tot genoeë van en binne 'n tydperk wat die plaaslike owerheid bepaal.



WHEREFORE the said Appearer, renouncing all rights and title which the said

WAYNE ANTHONY MOL, Unmarried

heretofore had to the premises, did in consequence also acknowledge him to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

STEPHANUS JOHANNES DU TOIT and KAREN DU TOIT, Married as aforesaid

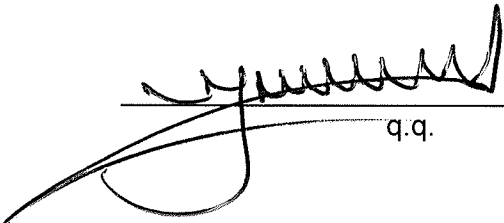
their Heirs, Executors, Administrators or Assigns, now are and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R1 900 000,00 (ONE MILLION NINE HUNDRED THOUSAND RAND) .

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on 21 JAN 2022

In my presence


REGISTRAR OF DEEDS


q.q.

54

ANNEXURE 3

CONVEYANCER'S CERTIFICATE
IN TERMS OF SECTION 38(1)(n) OF THE GEORGE MUNICIPALITY:
LAND USE PLANNING BY-LAW

APPLICATION DETAILS:

The registered owner of the land is applying for:

- 1) Consent Use for a Second Dwelling on Remainder Erf 40, Hoekwil, in terms of section 15(2)(o) of the George Municipality: Land Use Planning By-law (2015); and
- 2) Permanent Departure from the 20m Northern building line to:
 - 2.1 16,685m and 9,610m for the construction of a dwelling house;
 - 2.1 9,880m and 10,335m for a proposed storage room; and
 - 2.3 14,190m for a proposed workshop.

Date of Application: To be submitted

I, the undersigned

ILSE PRETORIUS

a duly qualified and admitted Conveyancer, practicing at:

**ILSE PRETORIUS ATTORNEYS,
Milkwood Village, Beacon Road, Wilderness**

do hereby certify as follows:

1. I have perused the following Title Deed/s and conducted a search behind the pivot of the said title deed/s at the Deeds Office, Cape Town: T1229/2022

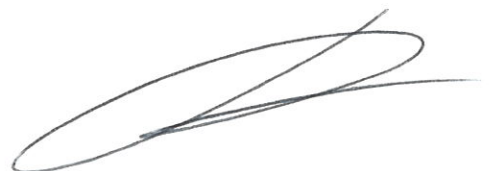
In respect of:

**REMAINDER ERF 40 HOEKWIL
IN THE MUNICIPALITY AND DIVISION OF GEORGE
PROVINCE OF THE WESTERN CAPE**

IN EXTENT 3,7161 (THREE COMMA SEVEN ONE SIX ONE) Hectares

HELD BY DEED OF TRANSFER NUMBER T1229/2022

REGISTERED in the name of



STEPHANUS JOHANNES DU TOIT

Identity Number 690115 5032 08 2

and

KAREN DU TOIT

Identity Number 661113 0073 08 1

Married in community of property to each other

1. I have appraised myself with the details of the abovementioned Application.
2. The abovementioned Title Deed/s contains condition E.b restricting the contemplated Land Uses in terms of the abovementioned Land Development Application, as provided to me. The relevant Town Planner is in the process of removing the restriction.
3. No mortgage bond is registered over the abovenamed property.

SIGNED at WILDERNESS on this 01 day of MARCH 2023

A handwritten signature in black ink, consisting of a large, stylized 'P' followed by a horizontal line.

**I PRETORIUS
CONVEYANCER**

ANNEXURE 4

ONDERVERDELINGSKAART, ART. 24 (b), WET Nr. 9 VAN 1927.

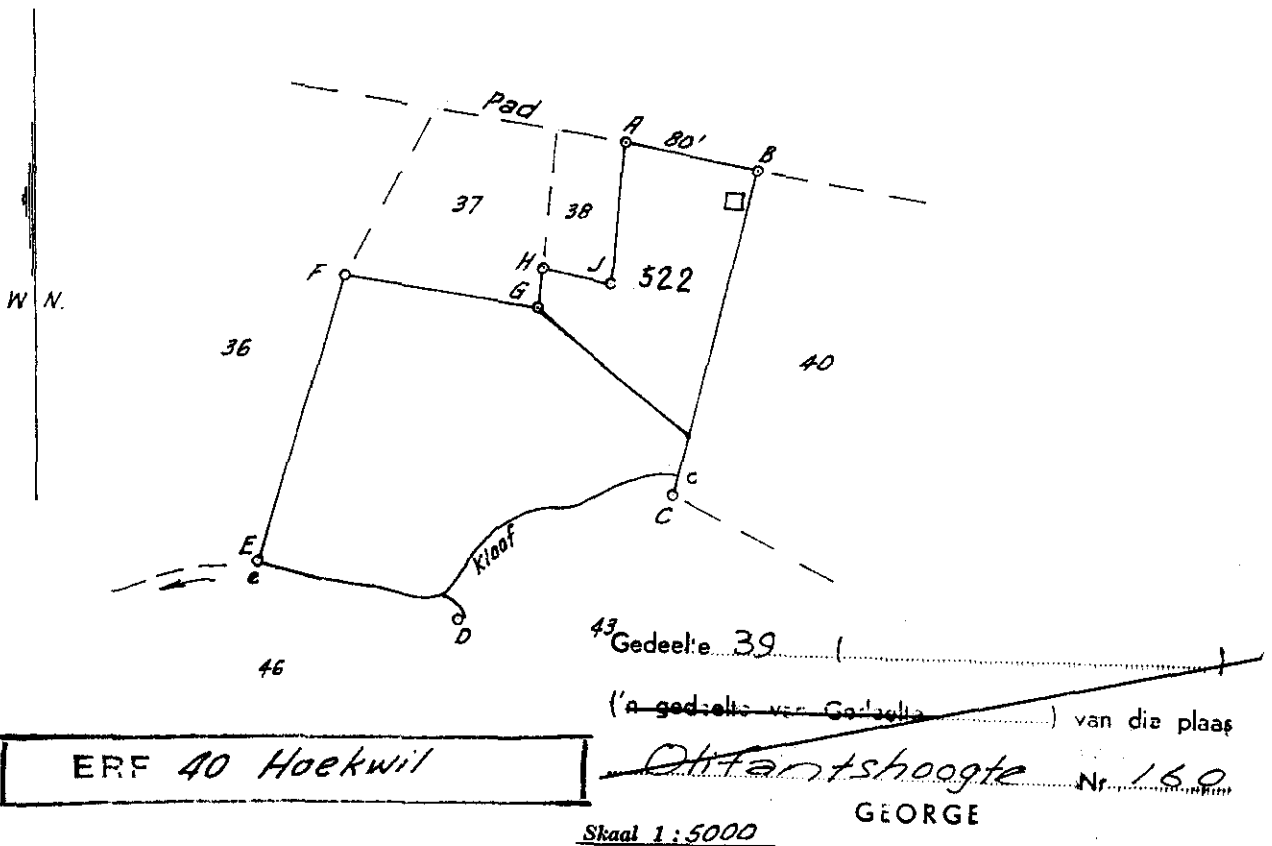
Afgetrek van Plan 1789LD

	SYE Kaapse Voet	RIGTINGS- HOEKE
AB	277.79	281.48.00
BC	719.74	14.12.40
CD	522.58	59.25.30
DE	424.97	107.21.50
EF	637.90	195.53.40
FG	404.70	279.55.20
GH	79.27	186.37.50
HJ	145.51	279.37.00
JA	297.30	186.37.50
CG	47.00	194.12.40
EE		15.53.40

Nr. 3737/61

Goedgekeur.

[Handwritten Signature]
Landmeter-Generaal.

Beskrywing van Bakens:ABCDEF GHJ $\frac{3}{4}$ " YsterpenDie figuur ABC middel van kloof e FG HJ

stel voor

5.9884 Morgen

grond synde

Gedeelte 39 van die plaasOLIFANTSHOOGTEgeleë in die Afdeling George, Provinsie Kaap die Goeie Hoop.Opgemeet in Julie 1956 — Desember 1959 deur my

R. J. Barry
Landmeter.

S

Hierdie kaart is geheg aan

T/A 11489/65

Registrateur van Aktes

Die oorspronklike kaart is
Nr. 5009/60 geheg aan

L.G. Lëer Nr. S/4924

Meetstukke Nr. E. 1091/60

Alg. Plan 1789LD

Gradevel BL-8CC/D

BL-8CD

SIEN KEERSY VIR
ENDOSSEMENTE

B S.P.C.T.-A7188

C

B

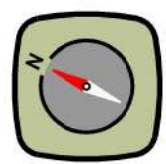
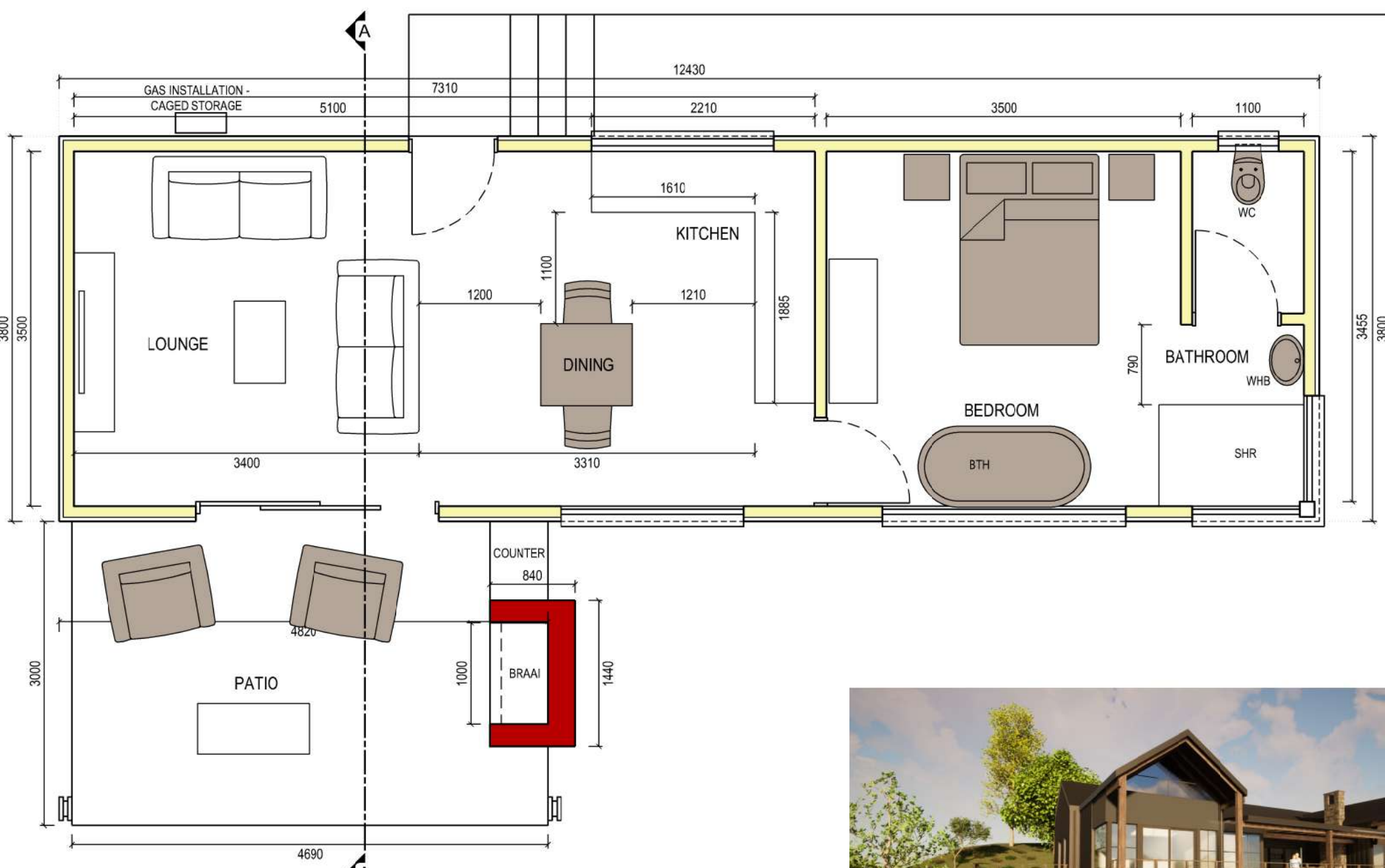
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11489/65

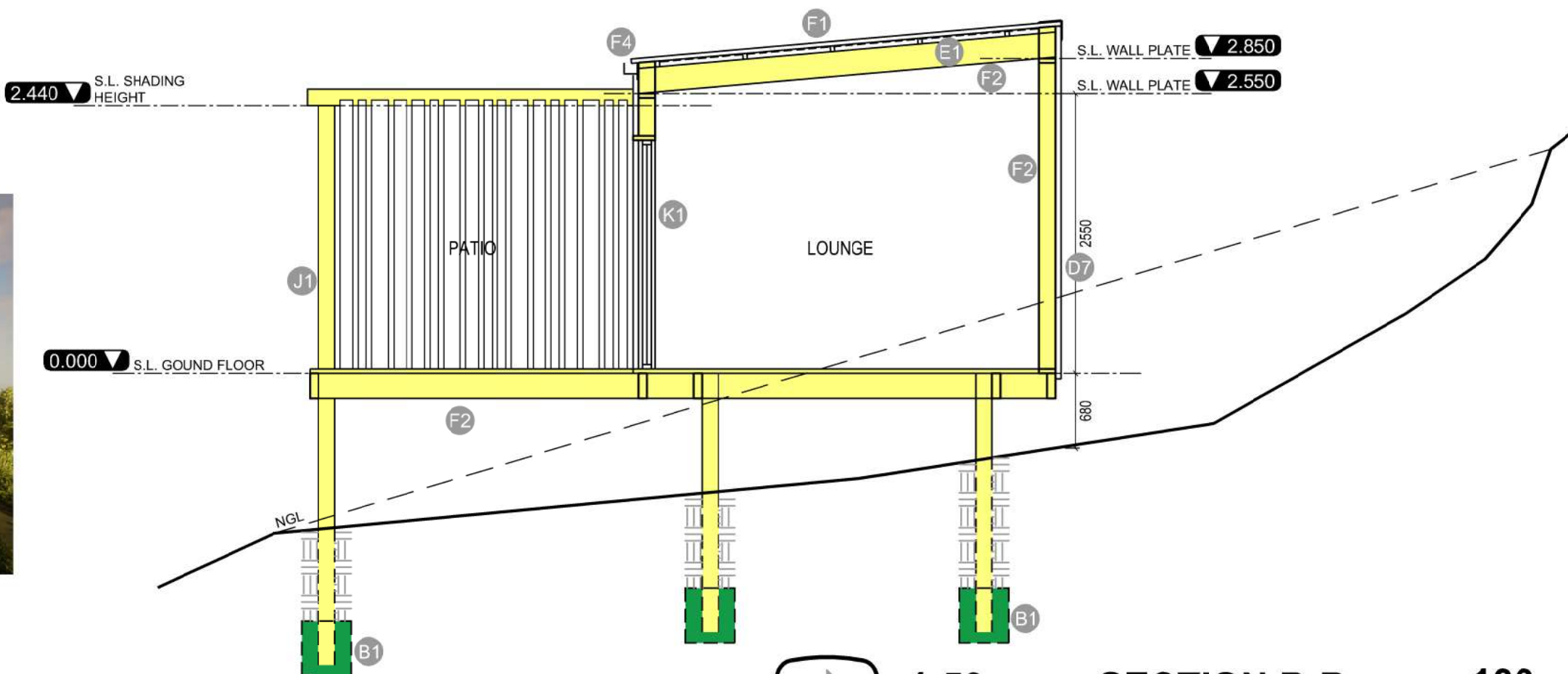
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ANNEXURE 5

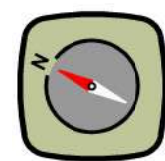
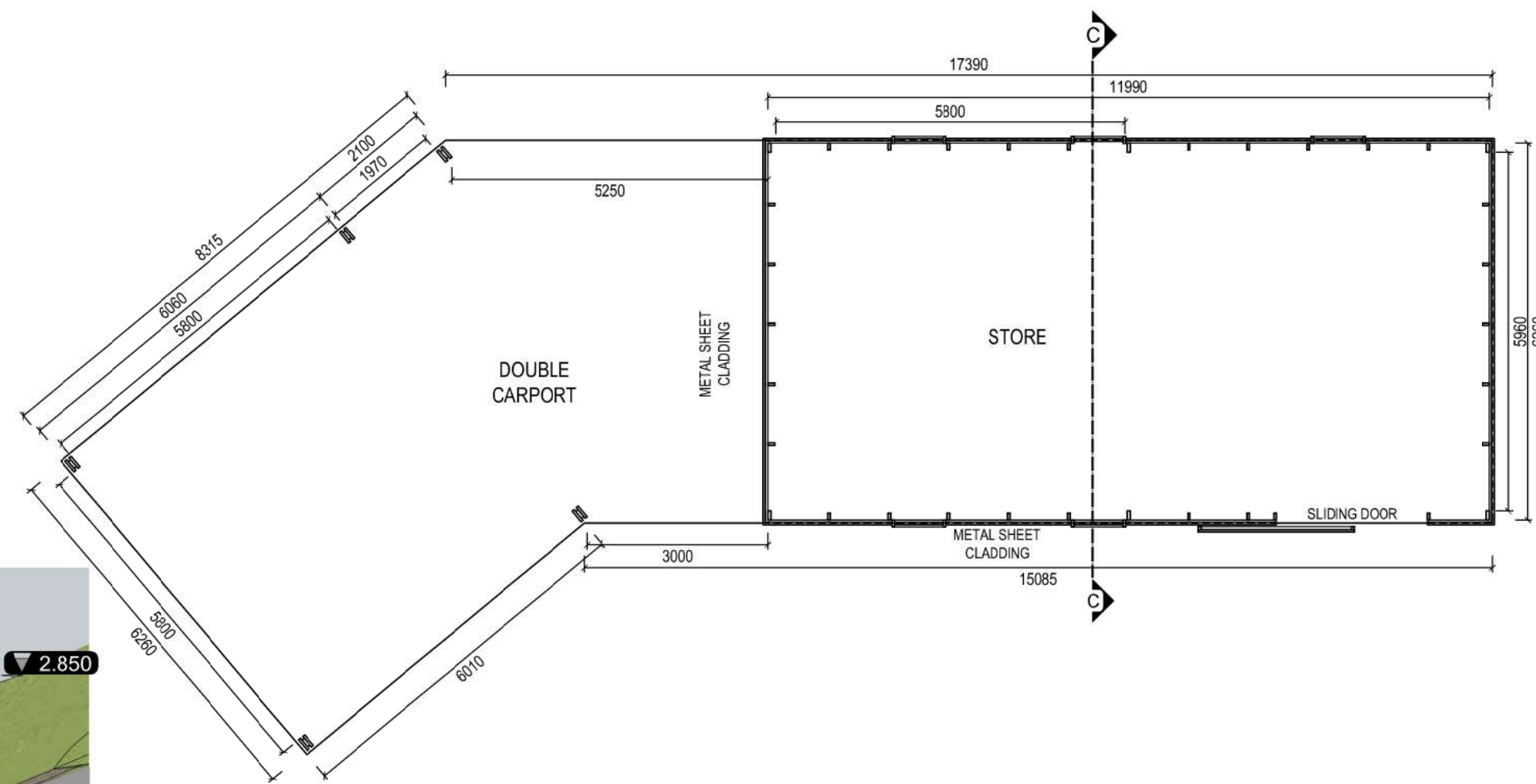
ANNEXURE 6



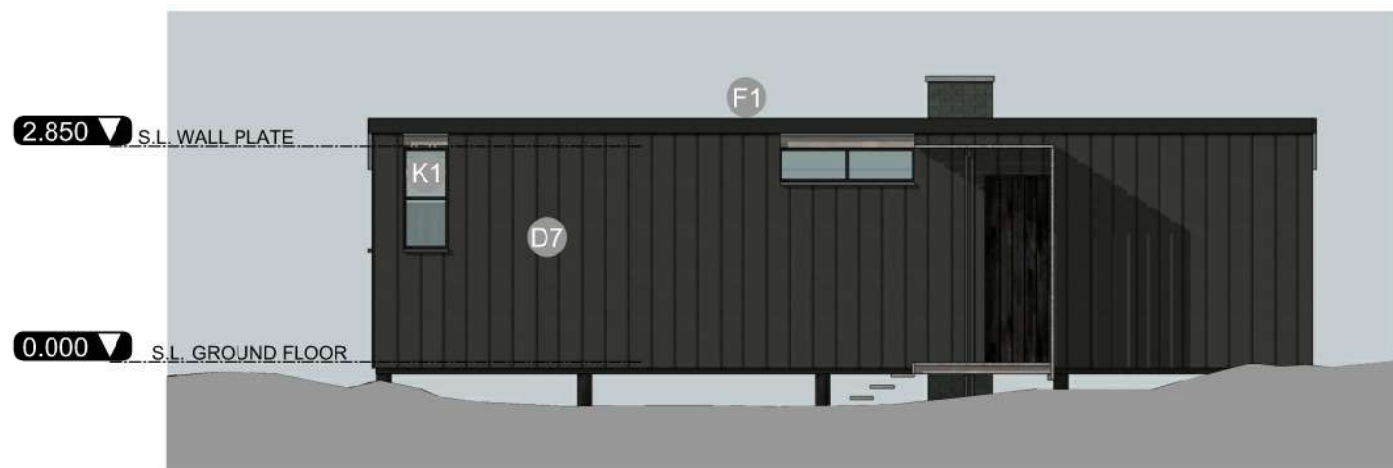
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PLAN VIEW



1:50 SECTION B-B 100
SECTION VIEW



1:50 CARPORT & STORE 000
PLAN VIEW



1:100 NORTH 101
SECOND DWELLING



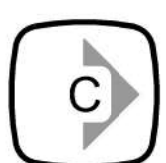
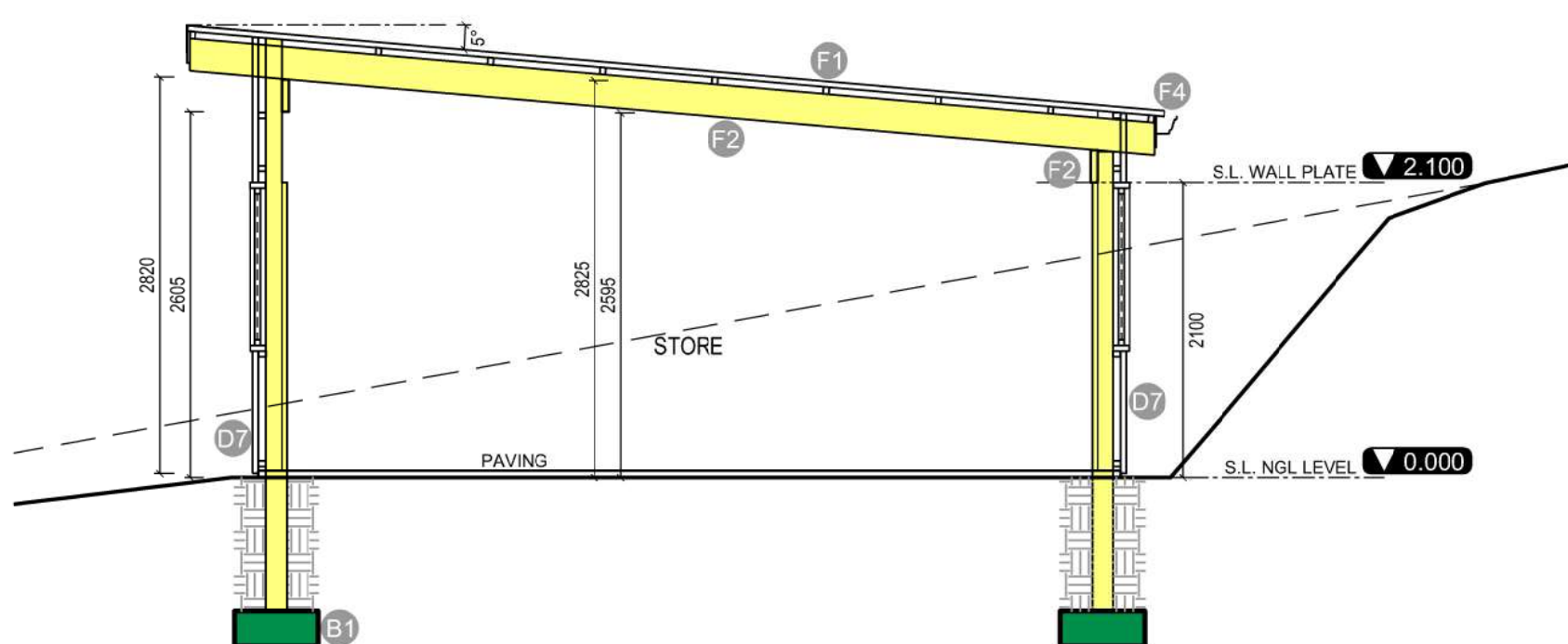
1:100 EAST 101
SECOND DWELLING



1:100 SOUTH 101
SECOND DWELLING



1:100 WEST 101
SECOND DWELLING



1:50 SECTION C-C 100
STORE

FINISHES KEY LEGEND

A LANDSCAPING:

A1 According to Estate Guidelines.

B FOUNDATIONS:

B1 **Structure by engineer:** Refer to structural engineers' detail foundation drawings / specification for size and depth of footings, piles, retaining walls, terrace walls, columns and beams.

C FLOORS:

C1 **Concrete surface bed:** Concrete surface bed (min 85mm) to engineers specification, on 250 micron Tarcon Damp Proof Membrane (DPM). Surface bed to be cast on min. 150mm good, clean hard core consolidated fill treated with ant poison according to SABS 024. (certificate to be presented to client and issued at end of contract). Hard core fill to be compacted in layers to not exceeding 150mm to engineers satisfaction.

C2 **Finished Screed:** Specialised screed laid on concrete slab to engineers specification, by specialist installer and architect acceptance. screed to fall to outlets confirmed. **No pooling / standing water will be accepted.** (Refer to PC allowed for finished screed)

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D WALLS

D1 **Clay stock brick masonry:** to match existing, with brickforce / steel reinforcing to engineers specification.

D2 **Smooth plaster & paint:** to match existing. Flush jointed clay stock brick wall to receive two coats smooth cement plaster finish. Plaster to receive paint to paint specification. Preparation of raw surfaces and application of products as per supplier and manufacturer's specification and data sheets. Colour: to be approved on site.

D4 **DPC:** Install Tarkon brikgrid DPC under all walls. Provide waterproofing where DPC inadequate. Waterproofing guarantees to be provided by main contractor at the end of the contract.

D5 **DRYWALL:** Wooden frame dry wall to SANS 10400 to be clad with Nutec tongue & groove panels - All specifications according to manufacturer.

D6 **STONE CLADDING:** Cape Quartz dry-stack stone cladding by specialist. Stone cladding 100-120mm thick. Sample to be approved by KARC.

D7 **Metal Sheetting:** Zinc-Alum or similar approved sheeting to be installed vertically as wall cladding to manufacturer's specification. Colour - Grey, to client's preference

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~ PART R: STORMWATER DISPOSAL

~ PART S: ACCESSIBLE BUILDINGS

~ PART T: FIRE PROTECTION

~ PART V: SPACE HEATING

~ PART W: FIRE INSTALLATION

~ PART XA: ENERY USAGE

LOOM ARCHITECTURE STUDIO

SUITE 2 WATERSTONE JUNCTION,
26 MAIN ROAD, SEDGEFIELD,
6573

Niel Moolman
061 839 2759
niel@loomdesign.co.za



PROJECT

NEW DWELLING ON PLOT 40,
HOEKWIL - FOR
MR & MRS DU TOIT

DRAWING TITLE

2ND DWELLING &
CARPORT / WORK-AREA

DRAWING STATUS

MUNICIPAL SUBMISSION

PAPER SIZE
A1

SCALE/S
1:50

DRAWING NO.
-101

DATE
2023-01-17

REV NO.
AI



1:100 NORTH 101
MAIN DWELLING



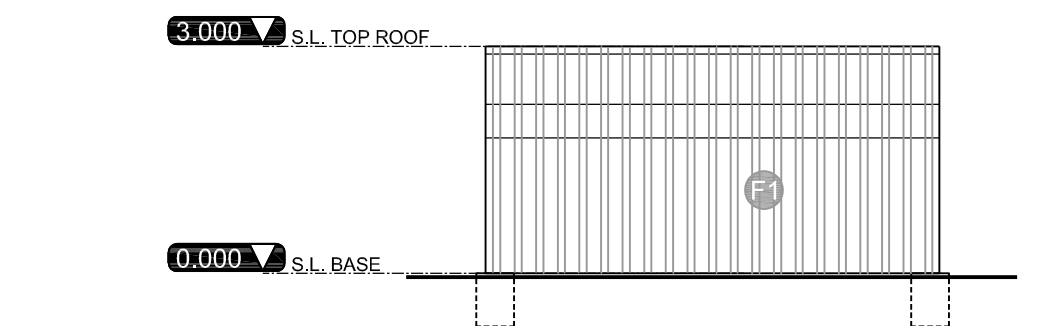
1:100 SOUTH 101
MAIN DWELLING



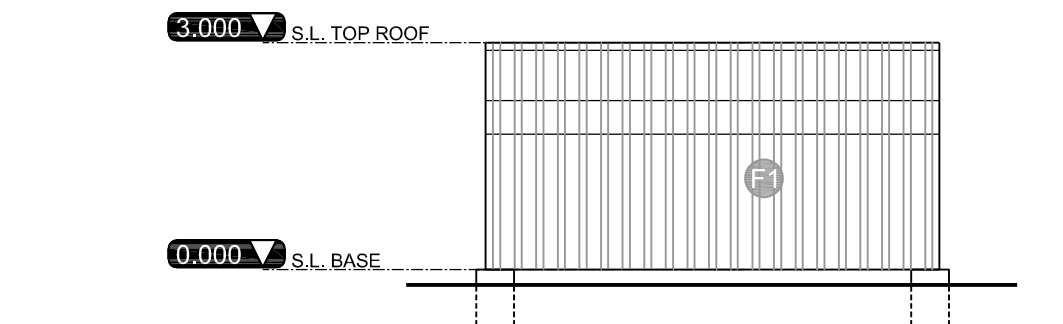
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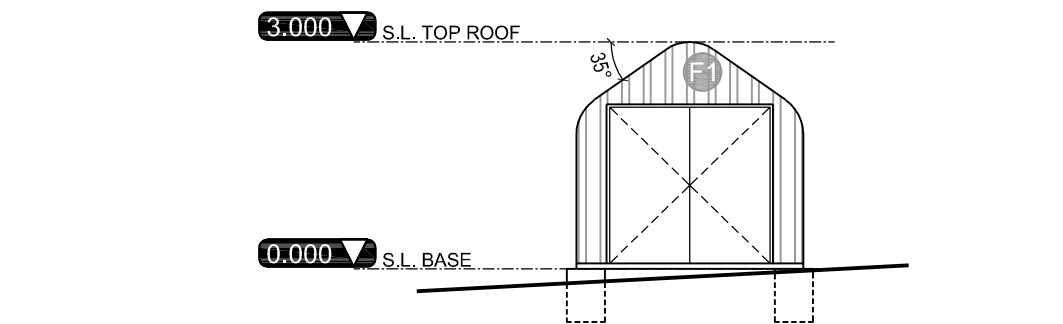
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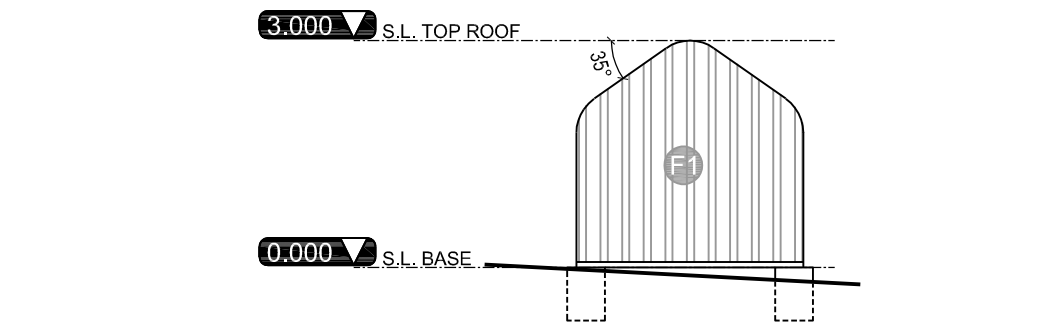
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STEEL STORE ROOM



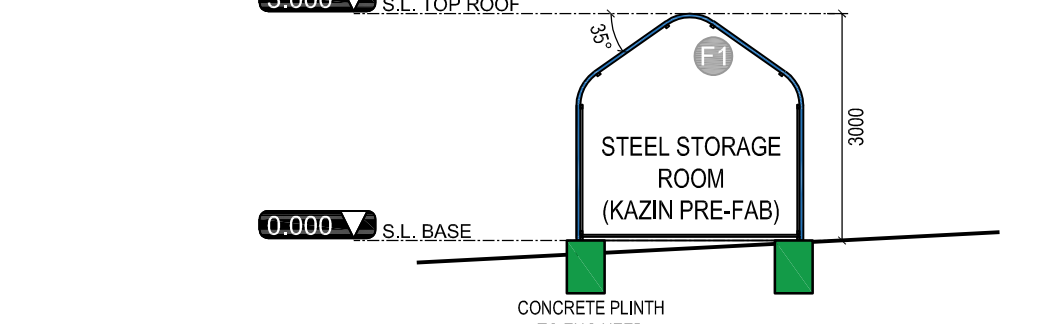
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STEEL STORE ROOM



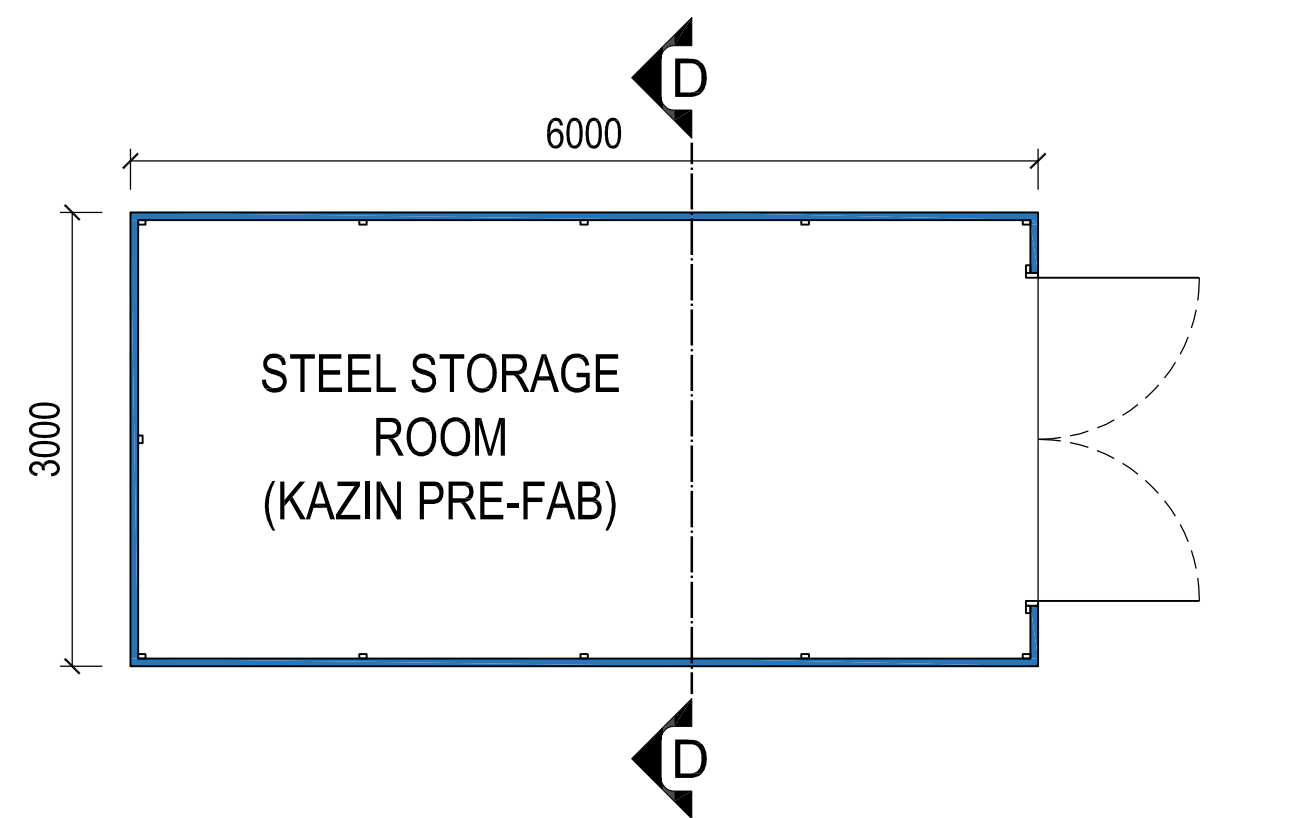
1:100 EAST 101
STEEL STORE ROOM



1:100 WEST 101
STEEL STORE ROOM



1:100 SECTION D-D 100
STEEL STORAGE ROOM



1:100 STEEL STORAGE ROOM 000
PLAN VIEW

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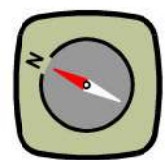
~ PART T: FIRE INSTALLATION

~ PART U: ENERY USAGE

LOOM ARCHITECTURE STUDIO
SUITE 2 WATERSTONE JUNCTION,
26 MAIN ROAD, SEDGEFIELD,
6573
Niel Moolman
061 839 2759
niel@loomdesign.co.za



PROJECT	
NEW DWELLING ON PLOT 40, HOEKWIL - FOR MR & MRS DU TOIT	
DRAWING TITLE	
DWELLING ELEVATIONS	
DRAWING STATUS	
MUNICIPAL SUBMISSION	
	PAPER SIZE
	A1
SCALE/S	DATE
1:50	2023-01-17
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-102	AH

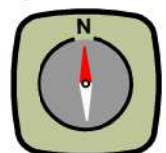
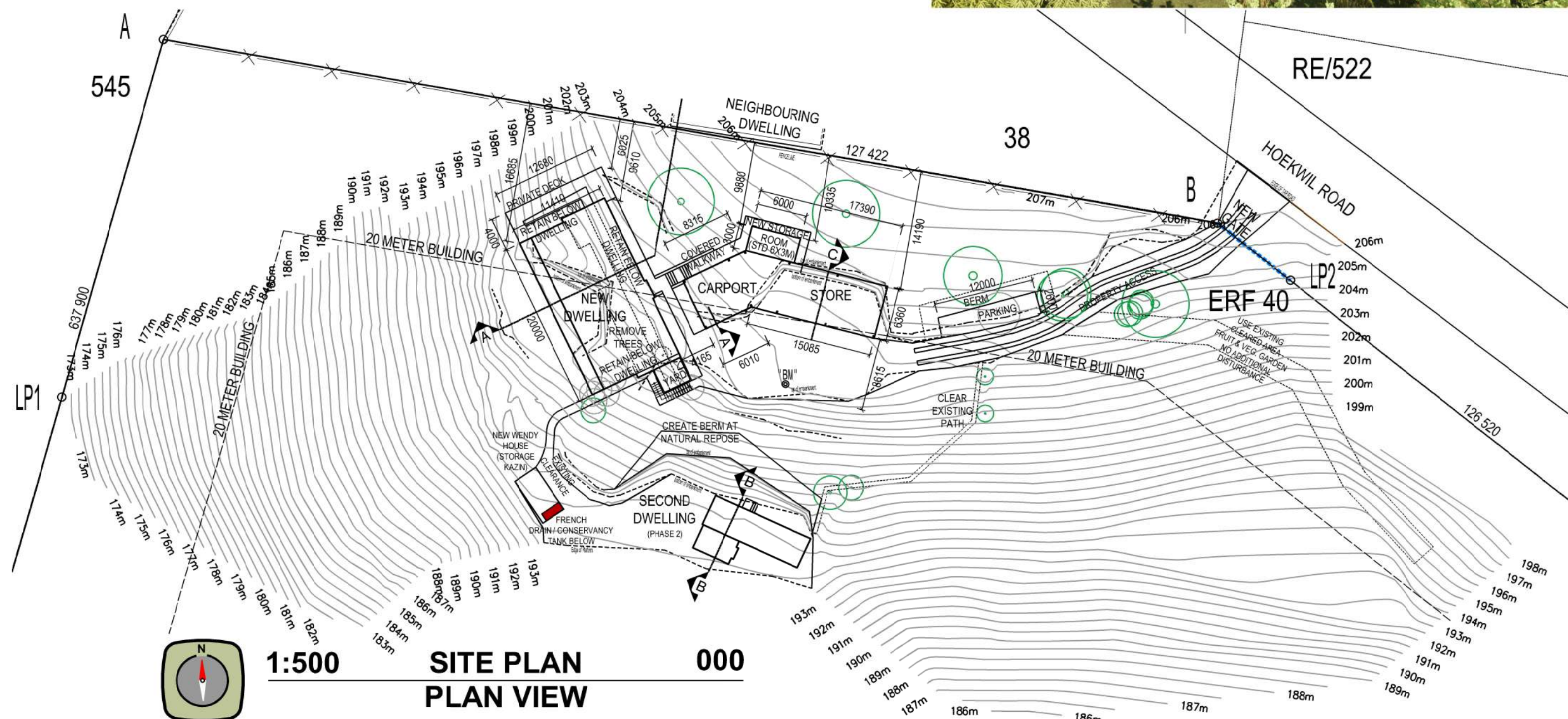


1:50

DWELLING - GF
PLAN VIEW

000

LEGEND - BOUNDARY WALL TYPES			
COLOUR KEY	DESCRIPTION	SECTION	ELEVATION
	WALL TYPE 1 - 1800MM HIGH PALISADE FENCE		
	WALL TYPE 2 - 1800MM HIGH PALISADE FENCE		
	WALL TYPE 3 - 1800MM HIGH PALISADE FENCE		
LEGEND - SERVICES			
	WATER PROVISION		
	SEWER PROVISION		
	ELECTRICAL PROVISION		
	STORM WATER TO FALL		



1:500

SITE PLAN
PLAN VIEW

000



DEVELOPMENT DATA		RAG 2023.01.12
ERF 40 HOEKWIL		M ²
MAIN DWELLING		
Ground Floor (Excl. Stairs):		
Dwelling		162,27
Patio		34,33
Balcony		30,00
Covered Walkway		30,00
Ground Floor Total		256,60
Lower-Ground Floor:		
Hobby / Study Room		79,82
Stairs		7,94
Open, Covered Workspace		22,16
Covered Area (Below Balcony)		30,00
Covered Storage		7,94
Lower-Ground Floor Total		147,86
Main Dwelling Total		404,46
SECOND DWELLING		
Ground Floor		47,23
Patio		14,46
Total Second Dwelling		61,69
OUTBUILDINGS		
Carport & Store		148,83
Store room		14,40
Wendy-House (Storage)		18,00
Grand Total - Building Area		647,38

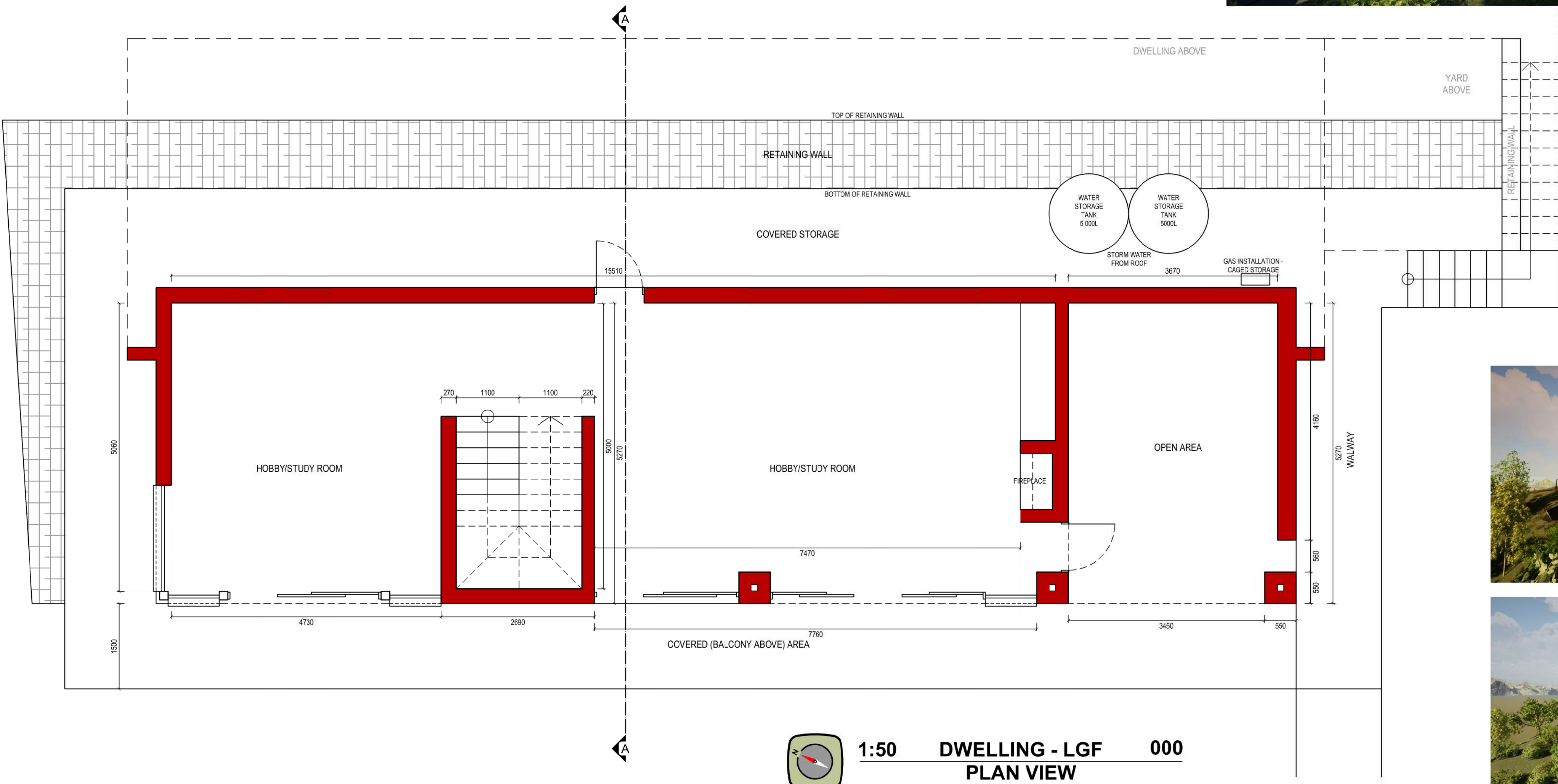
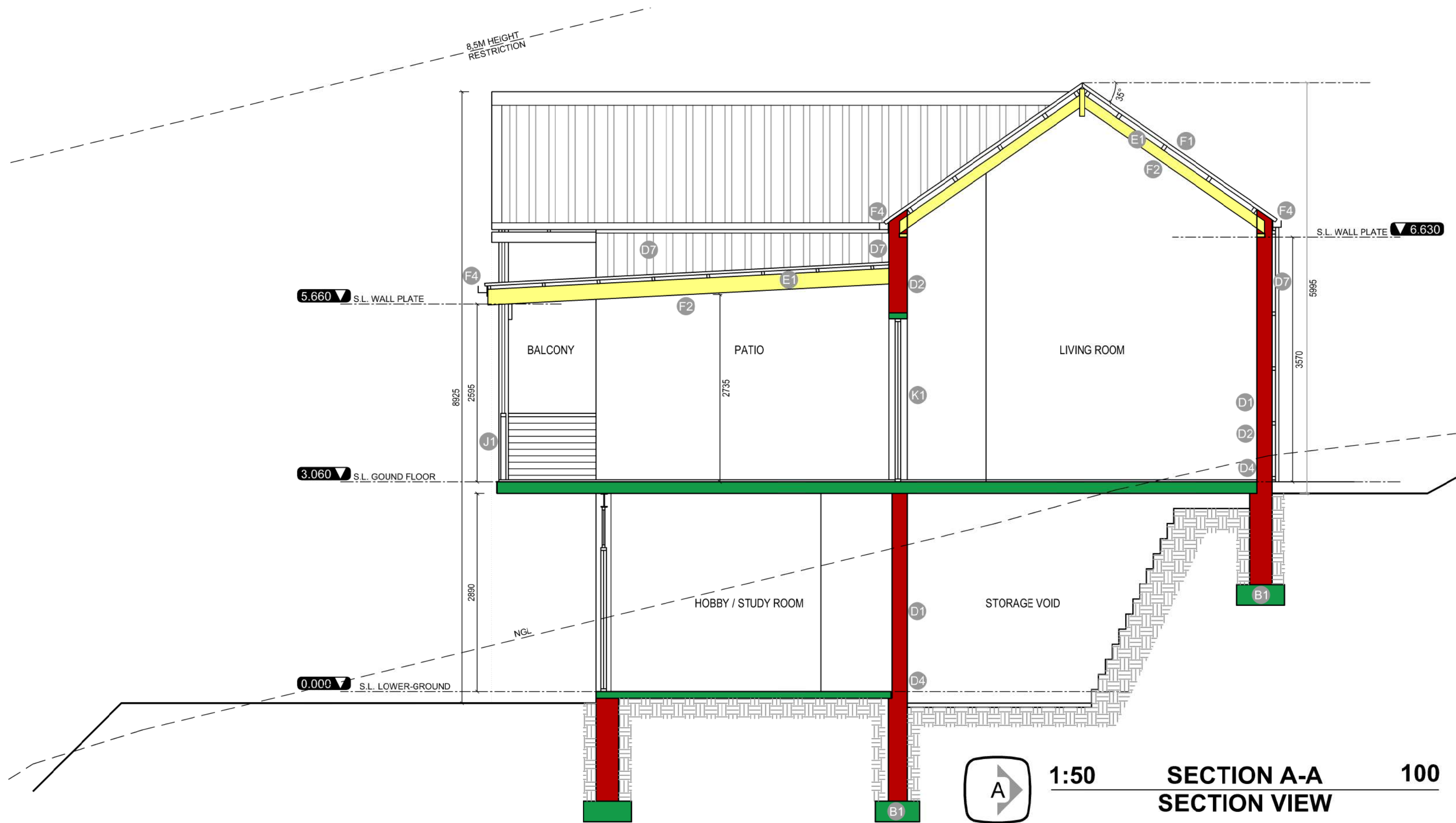


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~ PART O: LIGHTING AND VENTILATION
~ PART P: DRAINAGE
~ PART Q: NON-WATERBORNE SANITARY DISPOSAL
~ PART R: STORMWATER DISPOSAL
~ PART S: ACCESSIBLE BUILDINGS
~ PART T: FIRE PROTECTION
~ PART V: SPACE HEATING
~ PART W: FIRE INSTALLATION
~ PART XA: ENERY USAGE

LOOM ARCHITECTURE STUDIO
SUITE 2 WATERSTONE JUNCTION,
25 MAIN ROAD, SEDGEFIELD,
6573
Niel Moolman
061 839 2759
niel@loomdesign.co.za



PROJECT	
NEW DWELLING ON PLOT 40, HOEKWIL - FOR MR & MRS DU TOIT	
DRAWING TITLE	
SITE PLAN; DEVELOPMENT DATA; DWELLING FLOOR LAYOUTS	
DRAWING STATUS	
MUNICIPAL SUBMISSION	
	PAPER SIZE
	A1
SCALE/S	DATE
1:50; 1:500	2023-01-17
DRAWING NO.	REV NO.
-000	AK



FINISHES KEY LEGEND

A LANDSCAPING:

A1 According to Estate Guidelines.

B FOUNDATIONS:

B1 **Structure by engineer:** Refer to structural engineers' detail foundation drawings / specification for size and depth of footings, piles, retaining walls, terrace walls, columns and beams.

C FLOORS:

C1 **Concrete surface bed:** Concrete surface bed (min 85mm) to engineers specification, on 250 micron Tarcon Damp Proof Membrane (DPM). Surface bed to be cast on min. 150mm good, clean hard core consolidated fill treated with ant poison according to SABS 024. (certificate to be presented to client and issued at end of contract). Hard core fill to be compacted in layers to not exceeding 150mm to engineers satisfaction.

C2 **Finished Screed:** Specialised screed laid on concrete slab to engineers specification, by specialist installer and architects acceptance. screed to fall to outlets confirmed. **No pooling / standing water will be accepted.** (Refer to PC allowed for finished screed)

C3 **Steel Structure:** According to structural engineer design & specification. To be installed by specialist and engineer inspections approved.

D WALLS

D1 **Clay stock brick masonry:** to match existing, with brickforce / steel reinforcing to engineers specification.

D2 **Smooth plaster & paint:** to match existing. Flush jointed clay stock brick wall to receive two coats smooth cement plaster finish. Plaster to receive paint to paint specification. Preparation of raw surfaces and application of products as per supplier and manufacturer's specification and data sheets. Colour: to be approved on site.

D4 **DPC:** Install Tarkon brikgrid DPC under all walls. Provide waterproofing where DPC inadequate. Waterproofing guarantees to be provided by main contractor at the end of the contract.

D5 **DRYWALL:** Wooden frame dry wall to SANS 10400 to be clad with Nutec tongue & groove panels - All specifications according to manufacturer.

D6 **STONE CLADDING:** Cape Quartz dry-stack stone cladding by specialist. Stone cladding 100-120mm thick. Sample to be approved by KARC.

D7 **Metal Sheetting:** Zinc-Alum or similar approved sheeting to be installed vertically as wall cladding to manufacturer's specification. Colour - Grey, to client's preference

E CEILINGS

E1 **Ceiling:** Isoboard or similar approved on 40 x 40mm battens 400mm apart between rafters. To be installed to roof angle.

F ROOFS

F1 **Metal Sheetting:** Zinc-Alum or similar approved roof sheeting to be installed at 35 & 5 degrees to manufacturer's specification. Colour - Grey, to client's preference

F2 **Structural Timber:** Timber roof truss and structural timber to engineers design. Shopdrawings to architects acceptance.

F3 **Eaves:** Size & detail to match existing. Fibre cement fascia secured to rafters to receive Rain Water Gutters to falls. *Paint to match existing.*

F4 **Gutters and downpipes:** Pre - coated Aluminium, to match existing. Downpipes to discharge onto existing sealed brick apron around the building.

J BALUSTRADES & RAILING

J1 **BALUSTRADES:** All balustrades according to SANS 10400 at least 1000mm high. Vertical rails not more than 100mm apart.

K GLAZING

K1 **GLAZING:** All glazing as per SANS10400 by specialist design, supply, install. All suppliers to be AAAMSA registered and approved.

GENERAL:

REFERENCE TO DIMENSTIONS, LEVELS & SPEC.;

~ THE CONTRATOR TO CHECK & VARY ALL DIMENSTIONS & REPORT DISCREPANCIES IN WRITING TO THE ARCHITECT BEFORE PROCEEDING WTH WORK.

~ ONLY DIMENSIONS, LEVELS & SPECIFICATION STATED ON DOCUMENTATION TO BE ACCEPTED & INTERPRETED IN SETTING OUT & IMPLEMENTATION.

~ DO NOT SCALE OF DRAWINGS, WHERE IN DOUBT; REQUEST CLARIFICATION FORM THE ARCHITECT.

COMPLIANCE;

~ ALL CONTRACTORS SHALL ENSURE THAT THEY COMPLY WITH ALL THE NECESSARY ACTS OF PARLIMENT OF THE REPUBLIC OF SOUTH AFRICA.

~ APPROVAL FROM THE LOCAL AUTHORITY TO BE OBTAINED FOR BUILDING WORKS COMENCE IN TERMS OF THE NATIONAL BUILDING REGULATIONS & STANDARDS ACT (ACT 103 of 1977).

~ NO DEVIATIONS FROM APPROVED BUILDING PLANS SHALL BE ALLOWED WITHOUT ARCHITECTS ACCEPTANCE.

~ ALL MATERIALS & COMPONENTS OF THE WORKS SHALL BE SABS APPROVED OR HAVE AN AGM&MENT SOUTH AFRICA CERTIFICATE.

~ THE CONTRACTOR SHALL ADHERE TO ALL NATIONAL ACTS, REGULATIONS, STANDARDS, ORDINANCES & BY LAWS DURING CONSTRUCTION.

APPLICATION OF THE NATIONAL BUILDING REGULATIONS & THE OCCUPATIONAL HEALTH AND SAFETY ACT;

~ THE CONTENT & SPECIFIED STANDARDS CONTAINED IN THE DOCUMENTS RERERED TO IN THIS CONSTRUCTION DOCUMENTAION WILL BE CONSIDERED AS THE MINIMUM STANDARD FOR THE WORKS TO BE EXECUTED.

~ ANY WORKS NOT COMPLYING WITH THESE STANDARDS WILL BE CONDEMNED.

~ ANY ALTERATION OR SUBSTITUTIONS RENDERED NECESSARY THROUGH NON COMPLIANCE OF THESE STANDARDS SHALL BE AT THE CONTRACTORS COST AND SUBJECT TO ARCHITECTS ACCEPTANCE.

~ ALL DEMOLITION, ATERATION & NEW WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE CONSTRUCTION REGULATIONS WORK AS ISSUED IN TERMS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT.

~ ALL OTHER RELEVANT SECTIONS OF THIS ACT FORM PART OF THIS SPECIFICATION.

~ THE FOLLOWING FORMS PART OF THIS SPECIFICATION;

~ REGULATION E1, E2, E3 AND E4 OF PART E DEMOLITION WORK.

~ REGULATION U1, U2 AND U3 OF PART U REFUCE DISPOSAL.

~ SANS 10400 - APPLICATION OF THE NBR:

~ ALL PARTS OF THE SANS 10400 SERIES OF STANDARDS FORM PART OF THIS SPECIFICATION & SHALL BE STRICTLY ADHERED TO;

~ PART A: GENERAL REQUIREMENTS

~ PART B: STRUCTURAL

~ PART C: DIMENSIONS

~ PART D: PUBLIC SAFETY

~ PART E: SITE OPERATIONS

~ PART F: EXCAVATIONS

~ PART G: FOUNDATIONS

~ PART H: FLOORS

~ PART I: WALLS

~ PART J: ROOFS

~ PART K: STAIRWAYS

~ PART L: GLAZING

~ PART M: LIGHTING AND VENTILATION

~ PART N: DRAINAGE

~ PART O: NON-WATERBORNE SANITARY DISPOSAL

~ PART P: STORMWATER DISPOSAL

~ PART Q: ACCESSIBLE BUILDINGS

~ PART R: FIRE PROTECTION

~ PART S: SPACE HEATING

~ PART T: FIRE INSTALATION

~ PART XA: ENERY USAGE

~ PROJECT

NEW DWELLING ON PLOT 40,

HOEKWIL - FOR

MR & MRS DU TOIT

DRAWING TITLE

DWELLING LOWER-GROUND LAYOUT;

SECTION A-A

DRAWING STATUS

MUNICIPAL SUBMISSION

PAPER SIZE

A1

SCALE/S

1:50

DATE

2023-01-17

DRAWING NO.

-100

REV NO.

AI



LOOM ARCHITECTURE STUDIO
SUITE 2 WATERSTONE JUNCTION,
26 MAIN ROAD, SEDGEFIELD,
6573

Niel Moolman
061 839 2759
niel@loomdesign.co.za



ANNEXURE 7



Application Form for Application(s) Submitted in terms of the Land Use Planning By-Law for George Municipality

NOTE: Please complete this form by using: Font: Calibri; Size: 11

PART A: APPLICANT DETAILS

First name(s)	DELAREY		
Surname	VILJOEN		
SACPLAN Reg No. (if applicable)	A/1021/1998		
Company name (if applicable)	DELPLAN CONSULTING		
Postal Address	PO BOX 9956		
	GEORGE	Postal Code	6530
Email	planning@delplan.co.za		
Tel	044 873 4566	Fax	044 873 4568
		Cell	082 808 9624

PART B: REGISTERED OWNER(S) DETAILS (if different from applicant)

Registered owner	Stephanus Johannes du Toit & Karen du Toit		
Address	-		
	-	Postal code	-
E-mail	Stephdutoit1@yahoo.com , kdutoit66@yahoo.com		
Tel		Fax	
		Cell	083 270 9275 084 951 2344

PART C: PROPERTY DETAILS (in accordance with Title Deed)

Property Description [Erf / Erven / Portion(s) and Farm number(s), allotment area.]	Erf 40, Hoekwil										
Physical Address	Hoekwil Road										
GPS Coordinates	Lat: -33.973219 Lon: 22.616217				Town/City		Hoekwil				
Current Zoning	Agricultural Zone II			Extent	37 161m ²		Are there existing buildings?		Y	N	
Current Land Use	Vacant										
Title Deed number & date	T1229/22										
Any restrictive conditions prohibiting application?	Y	N	If Yes, list condition number(s).		Only one dwelling house for a single family is allowed on the erf						
Are the restrictive conditions in favour of a third party(ies)?	Y	N	If Yes, list the party(ies).								
Is the property encumbered by a bond?	Y	N	If Yes, list Bondholder(s)?								
Has the Municipality already decided on the application(s)?	Y	N	If yes, list reference number(s)?								
Any existing unauthorized buildings and/or land use on the subject property(ies)?					Y	N	If yes, is this application to legalize the building / land use?			Y	N
Are there any pending court case / order relating to the subject property(ies)?					Y	N	Are there any land claim(s) registered on the subject property(ies)?			Y	N

PART D: PRE-APPLICATION CONSULTATION

Has there been any pre-application consultation?	Y	N	If Yes, please complete the information below and attach the minutes.							
Official's name			Reference number				Date of consultation			

PART E: LAND USE APPLICATIONS IN TERMS OF SECTION 15 OF THE LAND USE PLANNING BY-LAW FOR GEORGE MUNICIPALITY & APPLICATION FEES PAYABLE

***Application fees that are paid to the Municipality are non-refundable and proof of payment of the application fees must accompany the application.**

BANKING DETAILS

Name: **George Municipality**
 Bank: **First National Bank (FNB)**
 Branch no.: **210554**
 Account no.: **62869623150**
 Type: **Public Sector Cheque Account**
 Swift Code: **FIRNZAJJ**
 VAT Registration Nr: **4630193664**
 E-MAIL: **msbrits@george.gov.za**
***Payment reference:** Erf 40, Hoekwil

PART F: DETAILS OF PROPOSAL

Brief description of proposed development / intent of application:

The application for Erf 40, Hoekwil entails the following:

- **Removal of restrictive title deed condition:** Application in terms of Section 15 (2)(f) of the George Municipality: Land Use Planning By-Law (2015) for the deletion of condition E) (b) to allow more than one dwelling on the property.
- **Consent use:** Application in terms of Section 15(2)(o) of the Land Use Planning By-Law for George Municipality (2015) for consent use to allow a second dwelling on the property.

PART G: ATTACHMENTS & SUPPORTING INFORMATION FOR LAND USE PLANNING APPLICATIONS

Please complete the following checklist and attach all the information relevant to the proposal. Failure to submit all information required will result in the application being deemed incomplete.

Is the following compulsory information attached?

Y	N	Completed application form		Y	N	Pre-application Checklist (where applicable)
Y	N	Power of Attorney / Owner's consent if applicant is not owner		Y	N	Bondholder's consent
Y	N	Motivation report / letter		Y	N	Proof of payment of fees
Y	N	Full copy of the Title Deed		Y	N	S.G. noting sheet extract / Erf diagram / General Plan
Y	N	Locality Plan		Y	N	Site layout plan

Minimum and additional requirements:

Y	N	N/A	Conveyancer's Certificate		Y	N	N/A	Land Use Plan / Zoning plan
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Y	N	N/A	Proposed Subdivision Plan (including street names and numbers)		Y	N	N/A	Phasing Plan
Y	N	N/A	Consolidation Plan		Y	N	N/A	Copy of original approval letter (if applicable)
Y	N	N/A	Site Development Plan		Y	N	N/A	Landscaping / Tree Plan
Y	N	N/A	Abutting owner's consent		Y	N	N/A	Home Owners' Association consent
Y	N	N/A	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) (strikethrough irrelevant)		Y	N	N/A	1 : 50 / 1:100 Flood line determination (plan / report)
Y	N	N/A	Services Report or indication of all municipal services / registered servitudes		Y	N	N/A	Required number of documentation copies 2 copies
Y	N	N/A	Any additional documents or information required as listed in the pre-application consultation form / minutes		Y	N	N/A	Other (specify)

PART H: AUTHORISATION(S) IN TERMS OF OTHER LEGISLATION

Y	N/A	National Heritage Resources Act, 1999 (Act 25 of 1999)		Y	N/A	Specific Environmental Management Act(s) (SEMA)
Y	N/A	National Environmental Management Act, 1998 (Act 107 of 1998)				(e.g. Environmental Conservation Act, 1989 (Act 73 of 1989), National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004),
Y	N/A	Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)				National Environmental Integrated Coastal Management Act, 2008 (Act 24 of 2008),
Y	N/A	Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)(SPLUMA)				National Environmental Management: Waste Act, 2008 (Act 59 of 2008),
Y	N/A	Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations				National Water Act, 1998 (Act 36 of 1998) (strikethrough irrelevant)
Y	N/A	Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)		Y	N/A	Other (specify)
Y	N	If required, has application for EIA / HIA / TIA / TIS / MHIA approval been made? If yes, attach documents / plans / proof of submission etc. N/A				

Y	N	<i>If required, do you want to follow an integrated application procedure in terms of section 44(1) of the Land-Use Planning By-law for George Municipality?</i>
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SECTION I: DECLARATION

I hereby wish to confirm the following:

1. That the information contained in this application form and accompanying documentation is complete and correct.
2. The Municipality has not already decided on the application.
3. I'm aware that it is an offense in terms of section 86(1)(d) to supply particulars, information or answers in an application, knowing it to be false, incorrect or misleading or not believing them to be correct.
4. I am properly authorized to make this application on behalf of the owner and (where applicable) copies of such full relevant Powers of Attorney/Consent are attached hereto.
5. I have been appointed to submit this application on behalf of the owner and it is accepted that correspondence from and notifications by the Municipality in terms of the by-law will be sent only to me as the authorised agent and the owner will regularly consult with the agent in this regard (where applicable).
6. That this submission includes all necessary land use planning applications required to enable the development proposed herein.
7. I confirm that the relevant title deed(s) have been read and that there are no restrictive title deed restrictions, which impact on this application, or alternatively an application for removal/amendment/suspension forms part of this submission.
8. I am aware of the status of the existing bulk services and infrastructure in the subject area and that I am liable for any possible development charges which may be payable as a result of the proposed development.
9. I acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.

Applicant's signature:



Date:

24/02/2023

Full name:

DELAREY VILJOEN

Professional capacity:

PROFESSIONAL PLANNER

SACPLAN Reg. Nr:

A/1021/1998