

**Menslike Nedersettings, Beplanning en Ontwikkeling
Human Settlements, Planning and Development**

Collaborator No.: 2708648
Reference / Verwysing: Erf 4428, George
Date / Datum: 23 November 2023
Enquiries / Navrae: Primrose Nako

Email: janvrolijk@jvtownplanner.co.za

JAN VROLIJK TOWN PLANNER
P O Box 710
GEORGE
6530

APPLICATION FOR DEPARTURE (BUILDING LINE RELAXATION): ERF 4428, GEORGE

Your application in the above regard refers.

The Senior Manager: Town Planning (Authorised Official) has, under delegated authority, 4.16.18.1 of 30 June 2023 decided that the application for Departure in terms of Section 15(2)(b) of the Land Use Planning By-law for George Municipality (2023), for the following applicable to Erf 4428, George, namely:

- a) Relaxation of the street (Nuwe Street) boundary building line from 5.0m to 3.324m to accommodate additions to the existing church building;
- b) Relaxation of the north-western side boundary building line from 5.0m to 4,008m, 3,576m, 3,724m and 0.910m respectively to accommodate additions to the existing church building;

BE APPROVED in terms of Section 60 of the said By-law for the following reasons:

REASONS:

- (i). The proposed structures will not have an adverse impact on the surrounding streetscape.
- (ii). The proposed structures are designed in a manner that complements the existing church building and will not have any significant adverse impact on the surrounding residential environment.
- (iii). The proposed structures will not have a significant adverse impact on surrounding property owner's rights and amenity.

Subject to the following conditions imposed of Section 66 of said Bylaw, namely:

CONDITIONS OF THE DIRECTORATE: HUMAN SETTLEMENTS, PLANNING AND DEVELOPMENT:

1. That in terms of Section 18(2) of the Land Use Planning By-law for the George Municipality 2023, the approval shall lapse if not implemented within a period of five (5) years from the date it comes into operation.

2. This approval shall be taken to cover only the departure applications as applied for and as indicated on the site layout plan, drawing no. DJM 30-2023, drawn by DJM Draughting dated 27 July 2023 attached as “Annexure A” which bears Council’s stamp and shall not be construed as to depart from any other Council requirements or legal provision.
3. The above approval will be considered as implemented upon construction in accordance with the approved building plan.

Notes:

(i) A building plan be submitted for approval in accordance with the National Building Regulations (NBR).

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Human Settlements, Planning and Development, P O Box 19, George, 6530 or Directorate: Human Settlements, Planning and Development, 5th floor, Civic Centre, York Street, George **on or before 14 DECEMBER 2023** and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

Yours faithfully



C. PETERSEN

SENIOR MANAGER: TOWN PLANNING

C:\scan\Erf 4428, George (Departure Approval)Jan Vrolijk.docx

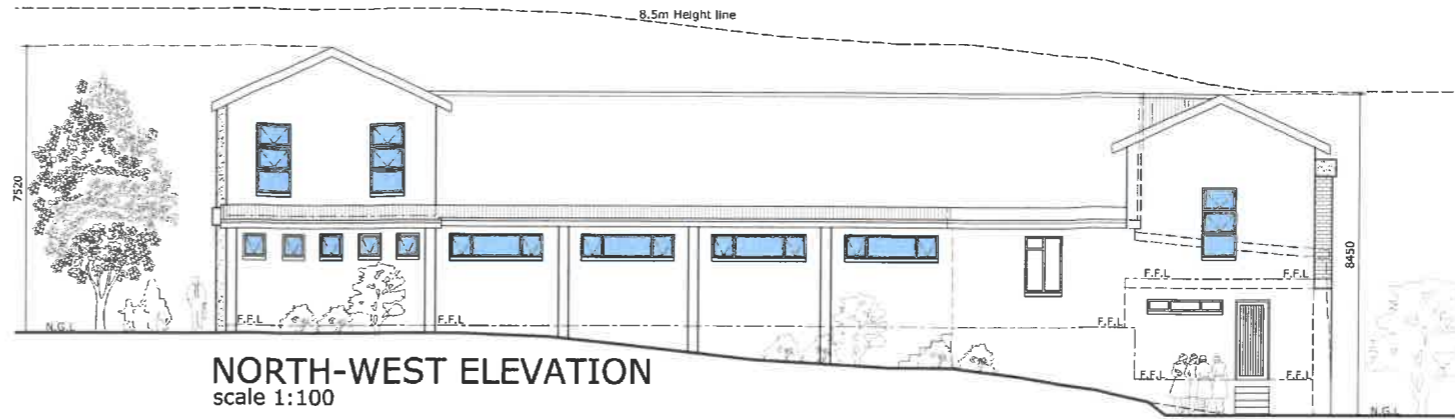
MUNISIPALITEIT GEORGE MUNICIPALITY

Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

13/11/2023

DATE
DATUM

SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STATSBEPLANNING

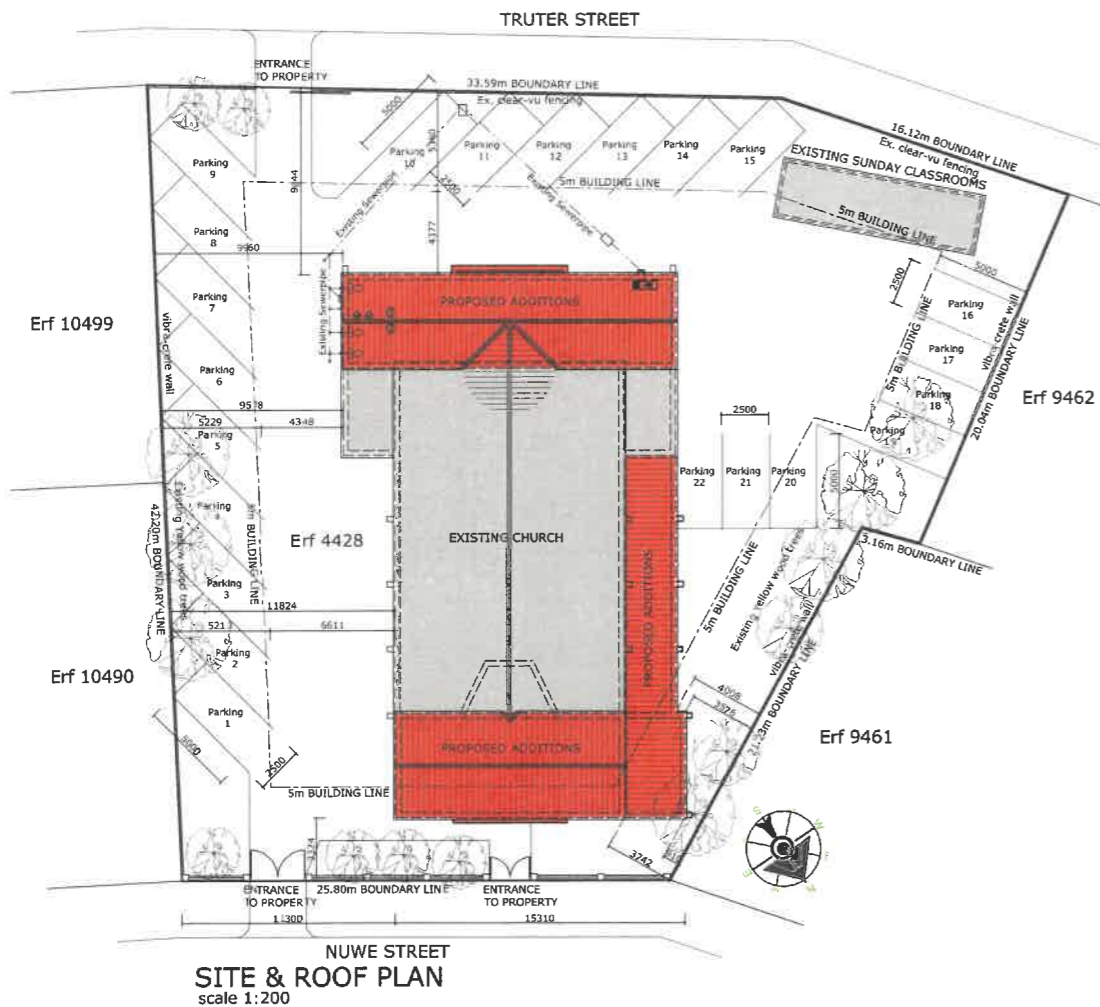


NORTH-WEST ELEVATION
scale 1:100

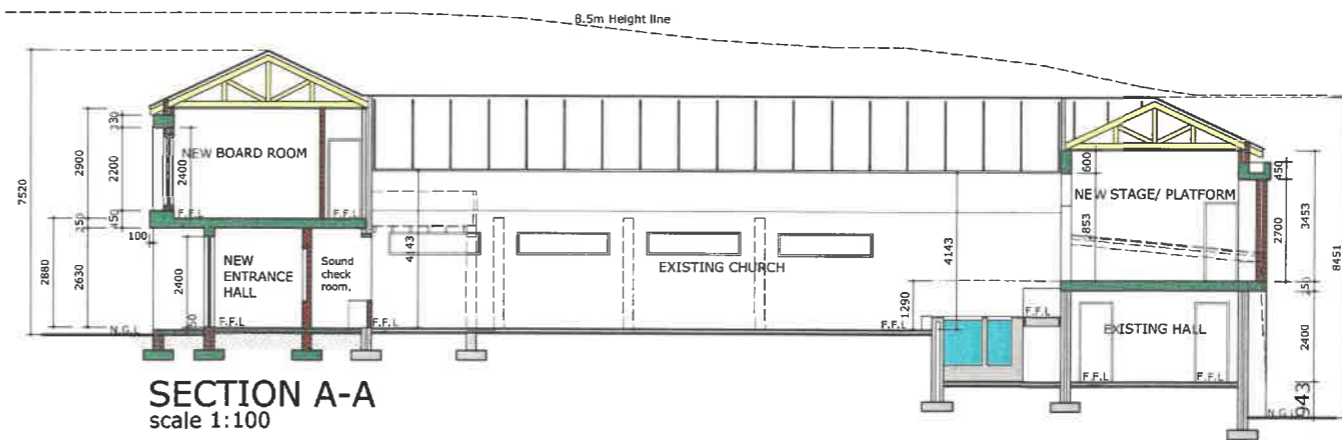


SOUTH-WEST ELEVATION
scale 1:100

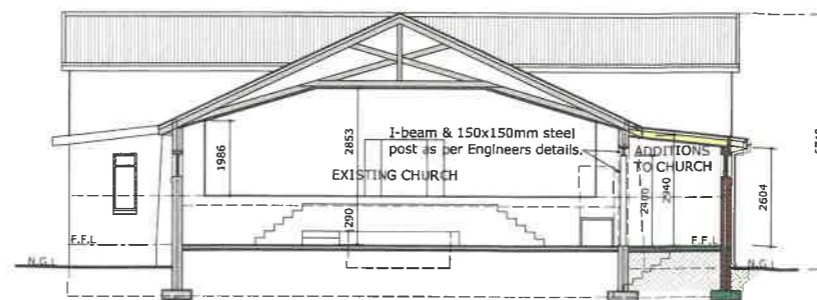
Areas:	
Area of erf:	1491m ²
Area of Ex. Church:	336m ²
Area of Ex. Sunday school classrooms:	32m ²
New Area:	
Area of Add's Ground Floor:	120m ²
Area of Add's First Floor:	157m ²
Total New Area's:	277m ²
Total Area's:	645m ²
Total Covered Area's:	488m ²
Coverage:	33%
PARKING	
1 bay for every 8 seats,	
174 Seats -22 bays required,	
22 parking bays provided	



SITE & ROOF PLAN
scale 1:200



SECTION A-A
scale 1:100



SECTION B-B
scale 1:100

NOTES.
PROPERTY OF THE ARCHITECT

ALL RELEVANT DETAILS, LEVELS AND DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ERRORS RESULTING FROM MISINTERPRETATION OF THE DRAWINGS. ALL DIMENSIONS ARE GIVEN IN MILLIMETERS

GENERAL SPECIFICATIONS :

REVISIONS

REV	DATE	DESCRIPTION
0	00/00/00	NONE



ND ARCHITECTURE - SACAP reg: PRSArchT

In association with



DAVIAN AMERICA
CAD 41333270
53 HIBUSCUS STREET
PACALTSDORP
GEORGE
TEL: 084 393 9531
EMAIL: djmdraughting11@gmail.com

CLIENT:
PPK CALVARY CHURCH

PROJECT:
PROPOSED ADDITIONS ON ERF
4428, NUWE STREET,
ROSEMORE, GEORGE.

DRAWING:
ELEVATIONS, SECTIONS & SITE
PLAN.

SCALE:
1:100 / 1:200

DATE:
27 JULY 2023

DRAWN:
DJM

CHECKED:
JCVH

DRAWING NO.
DJM 30-2023

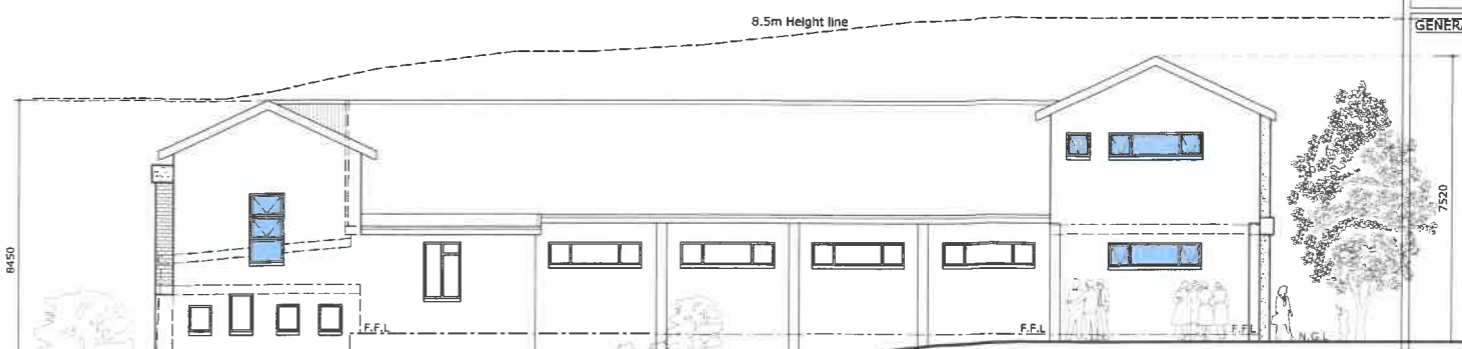
SHEETS
2 of 2

NOTES.
PROPERTY OF THE ARCHITECT
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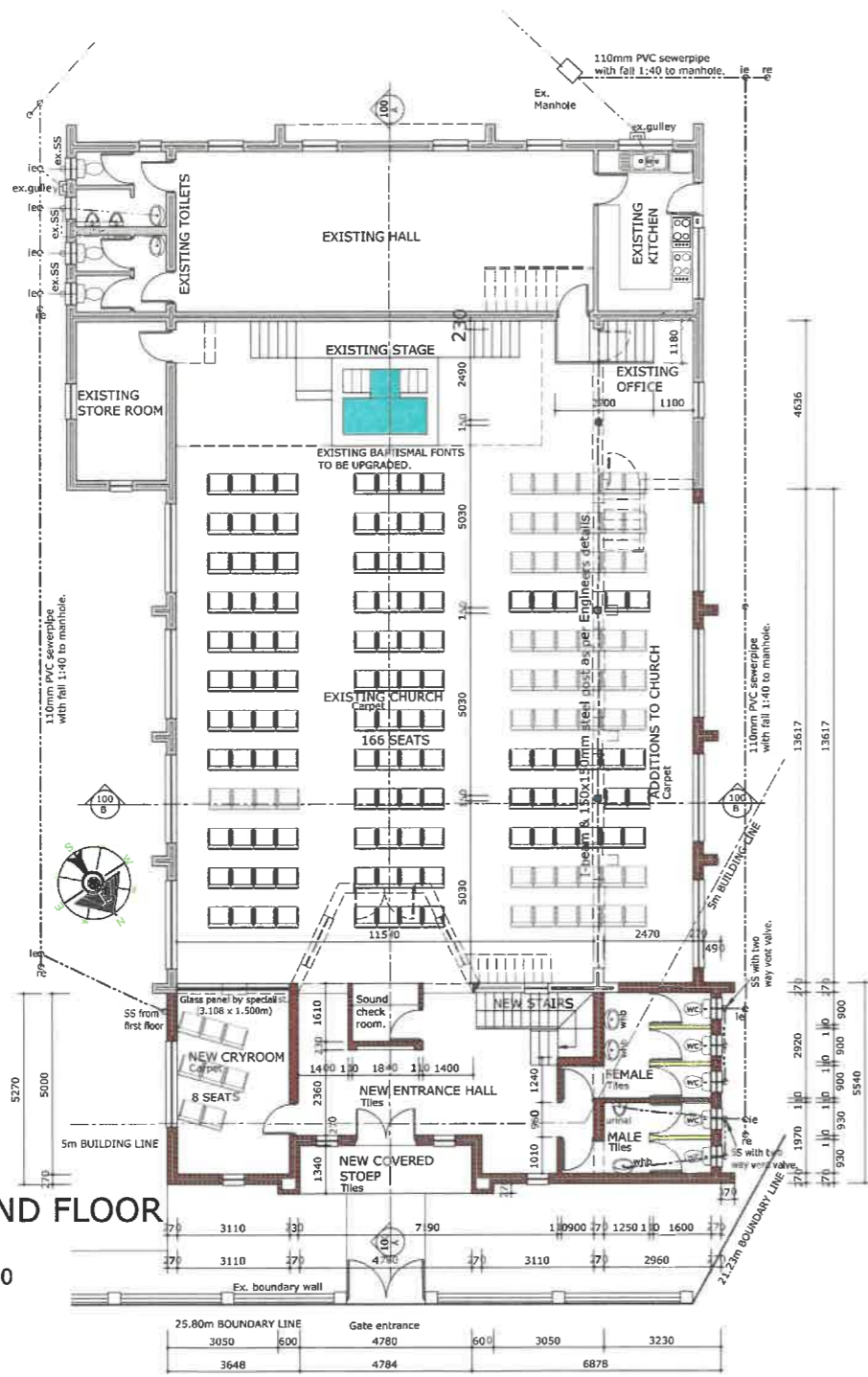
GENERAL SPECIFICATIONS :



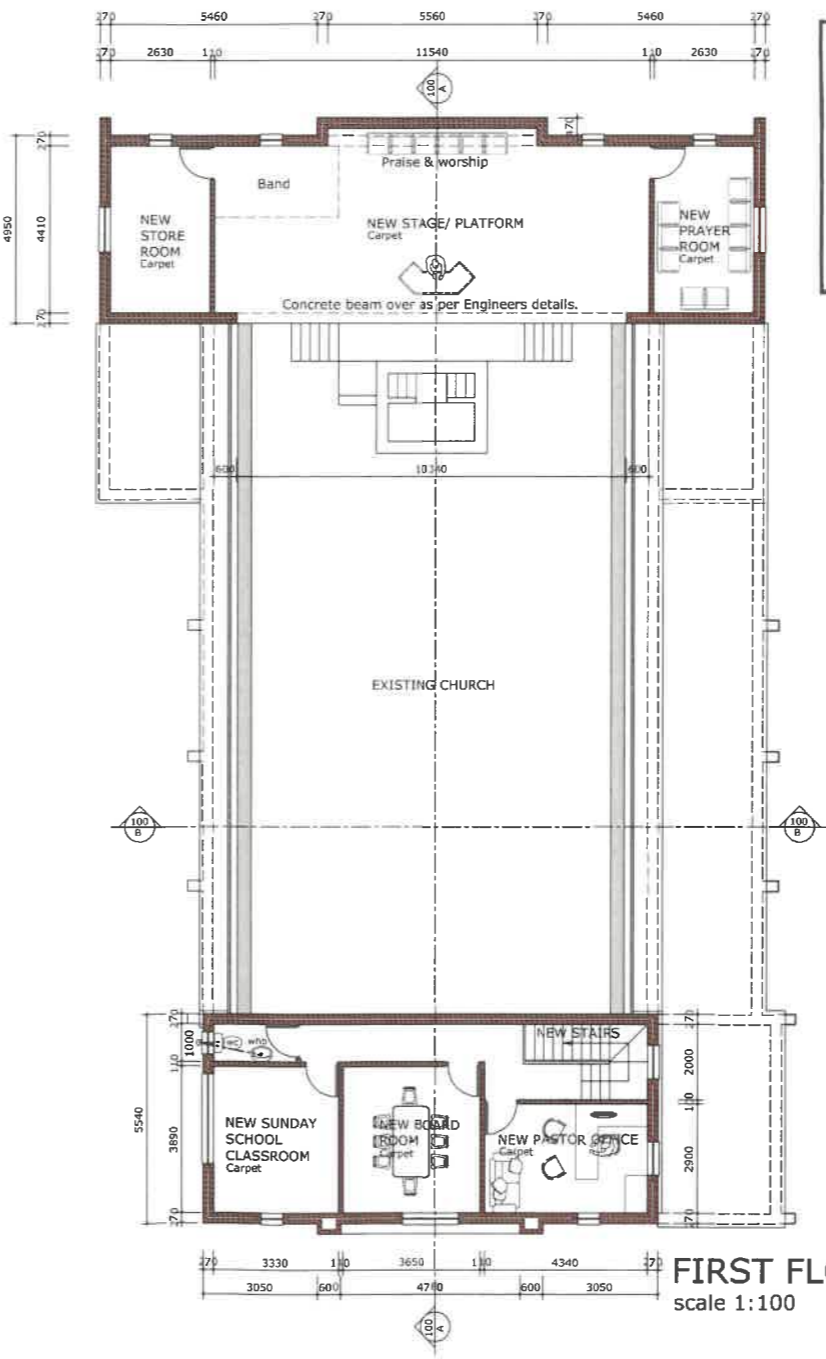
NORTH-EAST ELEVATION
 scale 1:100



SOUTH-EAST ELEVATION
 scale 1:100



GROUND FLOOR PLAN
 scale 1:100



FIRST FLOOR PLAN
 scale 1:100

MUNISIPALITEIT GEORGE MUNICIPALITY
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 23/11/2023
 DATE: 23/11/2023
 DATUM: SENIOR MANAGER: TOWN PLANNING
 SENIOR BESTUURDER: STATSBEPLANNING

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 Area of Ex. Sunday school classrooms: 32m²
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 Area of Add's First Floor: 157m²
 Total New Area's: 277m²
 Total Area's: 645m²
 Total Covered Area's: 488m²
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PARKING
 1 bay for every 8 seats,
 174 Seats - 22 bays required,
 22 parking bays provided

REVISIONS

REV	DATE	DESCRIPTION
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In association with



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CLIENT: PPK CALVARY CHURCH

PROJECT: PROPOSED ADDITIONS ON ERF
 4428, NUWE STREET,
 ROSEMORE, GEORGE.

DRAWING: FLOOR PLANS & ELEVATIONS.

SCALE: 1:100 / 1:200 DATE: 27 JULY 2023

DRAWN: DJM CHECKED: JCVH

DRAWING NO. DJM 30-2023 SHEETS 1 of 2