

Collaborator No.: 2689844
Reference / Verwysing: Erf 5115, George
Date / Datum: 23 November 2023
Enquiries / Navrae: Marisa Arries

Email: janvrolijk@jvtownplanner.co.za

JAN VROLIJK TOWN PLANNER
PO BOX 710
GEORGE
6530

APPLICATION FOR DEPARTURE (BUILDING LINE RELAXATION): ERF 5115, GEORGE

Your application in the above refers.

The Senior Manager: Town Planning (Authorised Official) has, under delegated authority, 4.16.18.1 of 30 June 2023 decided that the application for Departure in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for the relaxation of the eastern boundary building line from 2m to 0m to accommodate the existing braai room on Erf 5115, George;

BE APPROVED in terms of Section 60 of said Bylaw for the following reasons:

REASONS:

- (i). The proposed departures will not have an adverse impact on the surrounding residential character, the natural environment or the streetscape.
- (ii). There will be no negative impact on surrounding neighbours' rights or amenity in terms of views, privacy or overshadowing.
- (iii). The proposed additions form part of residential development and can be accommodated within the property.
- (iv). No negative comments or objections were received.

Subject to the following conditions imposed of Section 66 of said Bylaw, namely:

CONDITIONS:

1. That in terms of Section 18(2) of the Land Use Planning By-law for the George Municipality 2023, the approval shall lapse if not implemented within a period of two (2) years from the date it comes into operation.
2. This approval shall be taken to cover only the departure as applied for and as indicated on the site layout plan, Plan no. 1115-01, 1115-02 and 1115-03 (3x plans), drawn by JDS Design Studio dated 18 July 2023 attached as "**Annexure A**" which bears Council's stamp and shall not be construed as to depart from any other Council requirements or legal provision.

3. A contravention levy of R3 135.83 (VAT Included) is payable on the submission of building plans for the unauthorized structures erected over the building lines.
4. The above approval will be considered as implemented on the approval of building plans for the unauthorised structure.

Note:

- A building plan be submitted for approval in accordance with the National Building Regulations (NBR).
- The braai room, with specific reference to the building materials, placement of the windows and doors and the height of the chimney to be in line with the National Building Regulations (NBR).
- Stormwater must be dispersed responsibly, and the stormwater management and erosion measures must be addressed on the building plans.
- The contravention levy was calculated as follows:
 - Encroachments = 15.12m²
 - Property value: R1780000/987m² = R1 803.44/m²
 - Contravention = 10% x R1 803.44/m² x 15.12m² = R2 726.81
 - VAT @ 15% = R409.02
 - Total: **R3 135.83**
- The bird cage must be demolished, as indicated on the site layout plan.

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

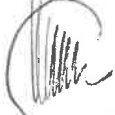
A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Human Settlements, Planning and Development, P O Box 19, George, 6530 or Directorate: Human Settlements, Planning and Development, 5th floor, Civic Centre, York Street, George **on or before 14 DECEMBER 2023** and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

Yours faithfully



C. PETERSEN

SENIOR MANAGER: TOWN PLANNING

C:\Marisa\Decisions_New By-Law Pro formas_(applicant)\Erf 5115, George(departure_ approval)jvrolijk.docx

Construction Notes:

- Foundations**
- 1) All strip footings for 280mm and 230mm lead bearing walls as per specification
 - 2) Internal 10mm walls to be built on 200x600mm thickening in surface bed
 - 3) Brickwork to be built on 100mm concrete bed
 - 4) Minimum diameter of brickforce = 2.8mm
 - 5) Yield strength = 485mpa
 - 6) Minimum lap length = 400mm
- Walls**
- 1) Brickforce to be placed in the first five layers of brickwork on strip footings, there after in every fifth layer in all load bearing brick walls. Place brickforce in the first five layers above all window and door openings.
 - 2) Surface bed to be 85mm thick with mesh ref #183 in center of slab
 - 3) All pipework and conduit to be placed under mesh
 - 4) All cpc and waterproofing details according to nrbrc
- Walls**
- 1) Exterior walls to be 280mm cavity walls, Clay Bricks, Finished as indicated
 - 2) Built in 2 x 100mm wide pre-stressed concrete lintels over indoor and window openings unless otherwise indicated.
 - 3) All openings to comply with SANS 10400-P
 - 4) All openings to be min 150mm above FGL
 - 5) 110mm Sewer lines Min 450mm below FGL, with min 150 fall to connection

Remarks

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No.	Revision	Description	Date
1	Revision 1		Date 1

Mr Hulme

Proposed new Braai Room on Erf 5115, George



johan@jdsdesign.co.za
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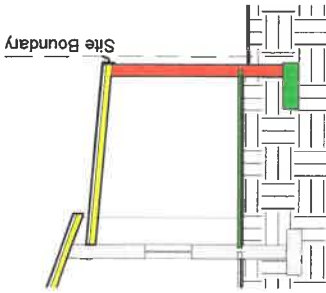
Mun Submission
Date: 18/07/2023
Drawn: SACAP REG NO D 0560
JJP Jacobs

Site Plan

II15-03

Sheet Size A3

Owner signature



Section I
1 : 100

2

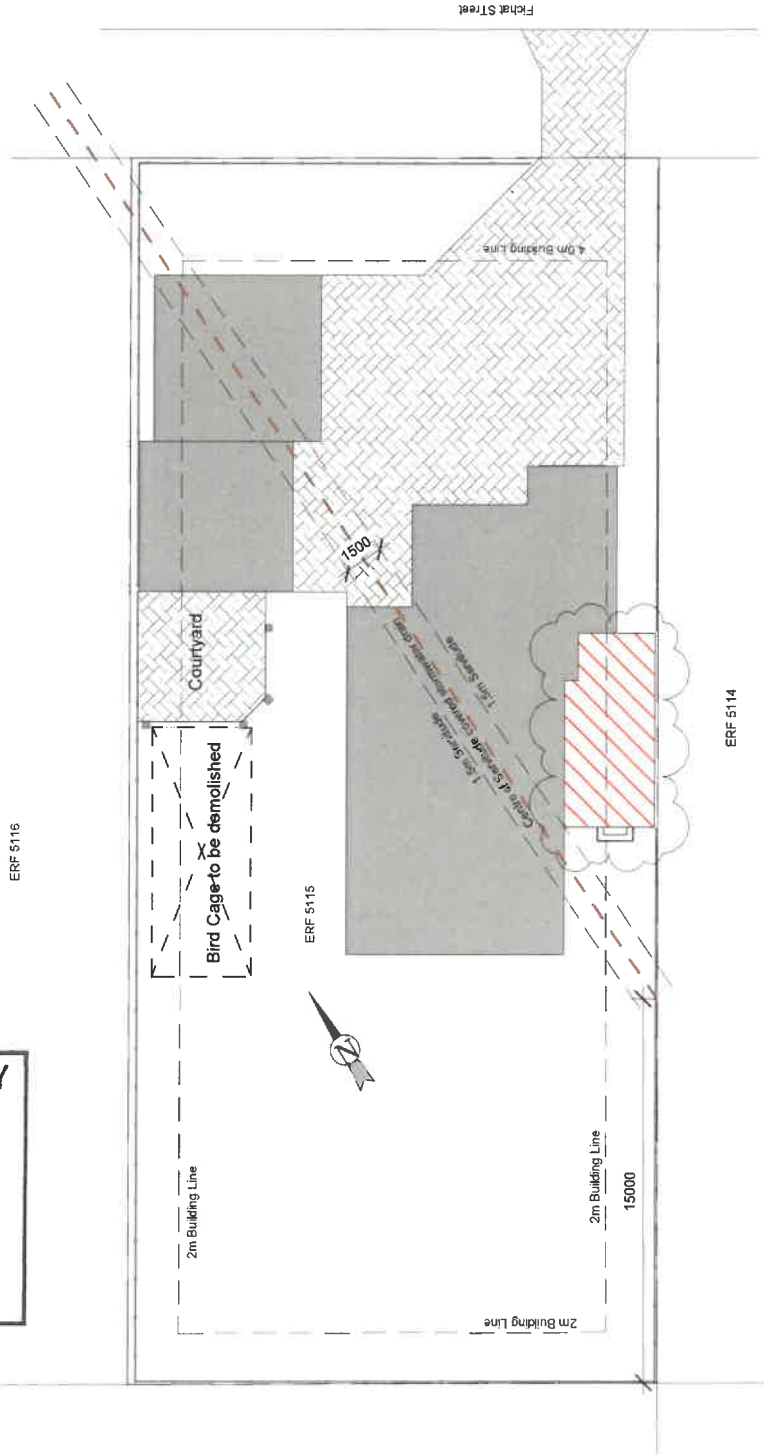
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Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

23/11/2023

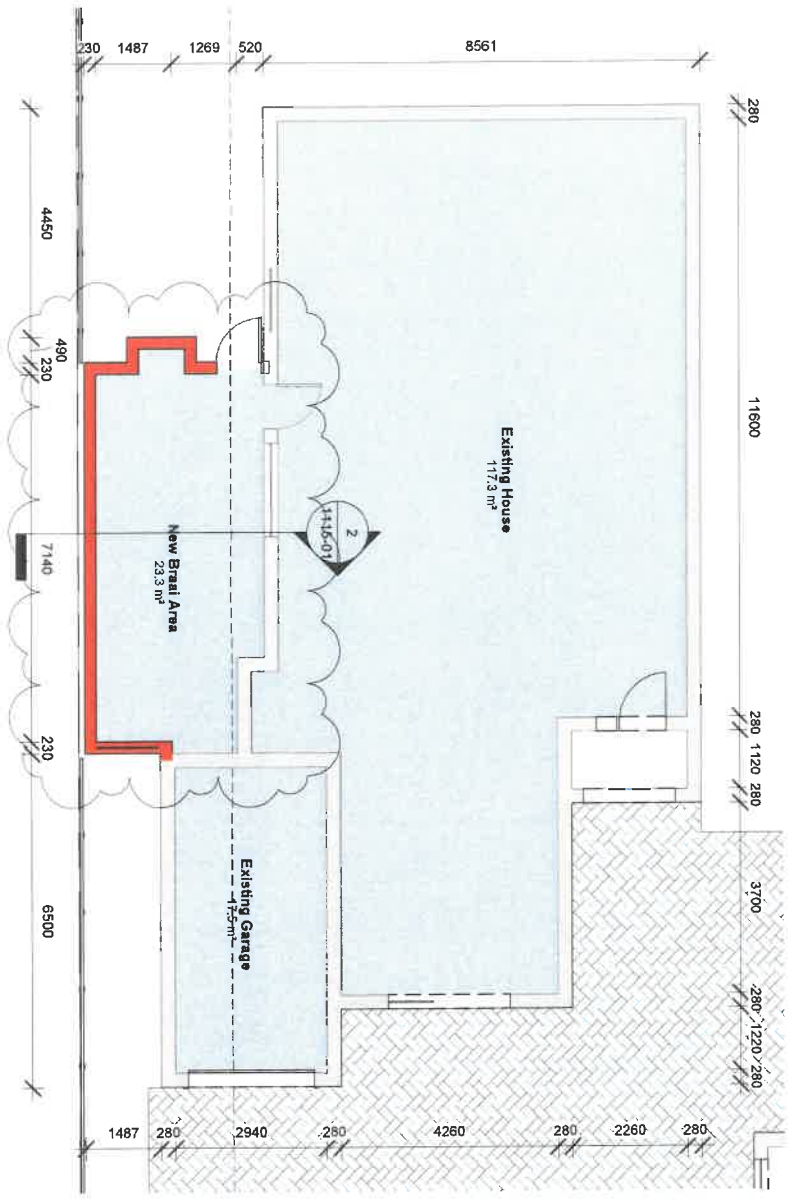
DATE DATUM

SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STATSBEPLANNING

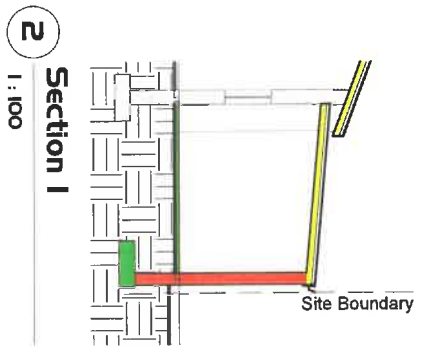


Site Plan
1 : 200

1



1
OI Ground Floor Lvl
1 : 100



2
Section I
1 : 100

- 1) General Notes:
- a) Patios sloop to remain open as per building plan
 - b) All Garage walls to be fire walls
 - c) Garage door to comply with SANS 10400T, section 9.4.3(b)
- 2) Drainage Notes
- a) Sanitary fittings discharging to a gully to discharge over that gully as per SANS 10400 (4.19.4)
 - b) Drainage installations to comply with SANS 10400 Part P
 - c) Drainage installations under building work must be installed in terms of Part P of SANS 10400 (4.19.4)
 - d) Drainage installations under building work must be protected in terms of Part P of SANS 10400 (4.22.2)
 - e) Gutters to be min 150mm above NGL

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DATE DATUM

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Mr Hulme

Proposed new Braai Room on Erf 5115, George



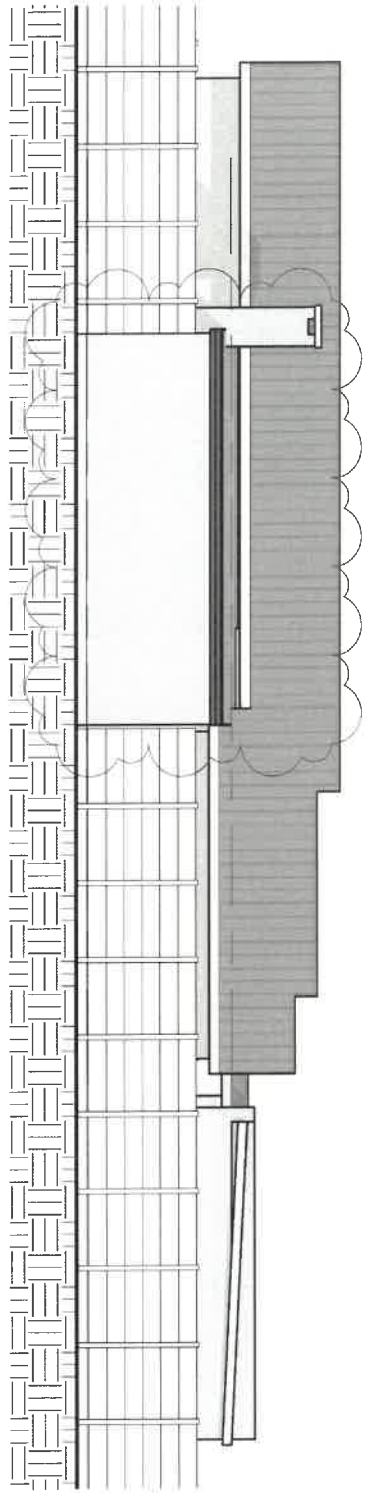
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DRAFT

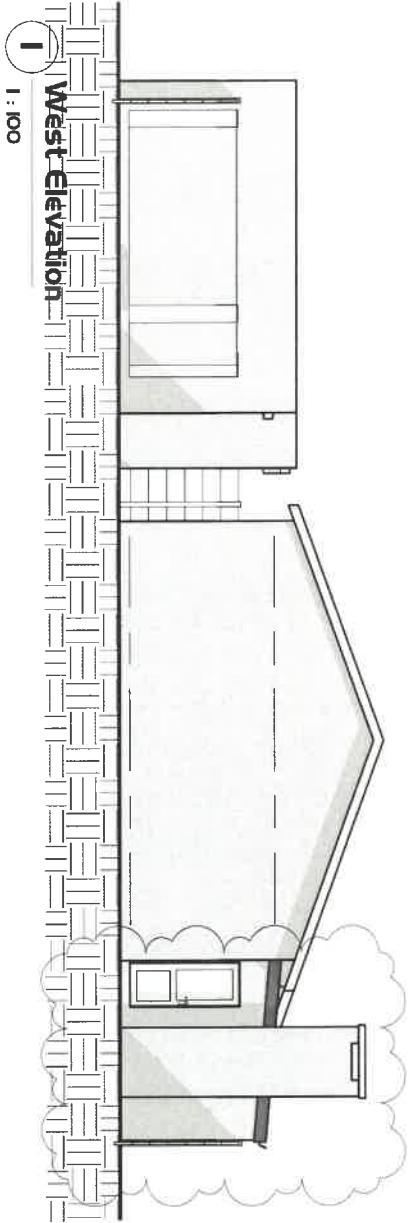
Date 04/04/2023
Drawn: SACAP REG NO
JJP Jacobs D 0560

Layout and Info

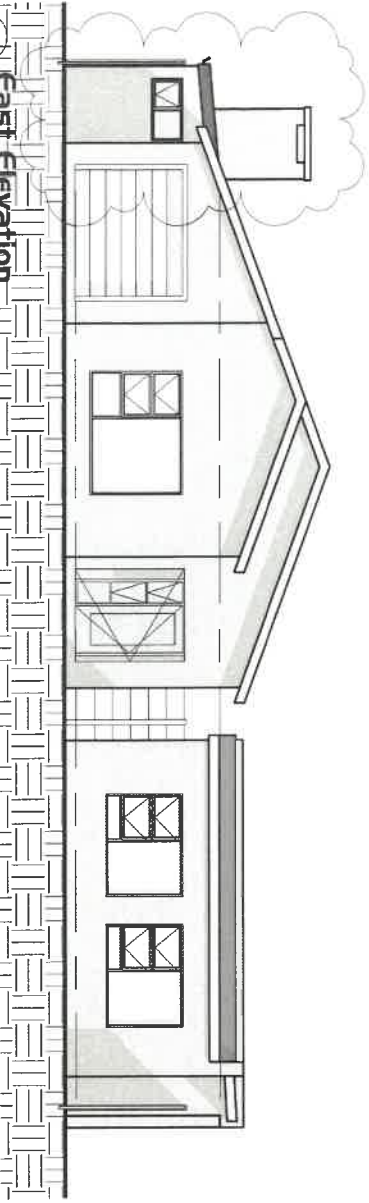
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Revision	0
Site Coverage %	987 m ²
Area Schedule	Name Area
Area Schedule	Name Area
Site Coverage %	987 m ²
Owner signature	



4
South Elevation
1 : 100



1
West Elevation
1 : 100



2
East Elevation
1 : 100

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[Signature]
 SENIOR MANAGER: TOWN PLANNING
 SENIOR BESTUURDER: STADSBEPLANNING

2023/11/20
 DATE
 DATUM

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DRAFT
 Date: 04/04/2023
 Drawn: SACAP REG NO D 0950
 JJP Jacobs

Elevations

1115-02
 Revision 0
 Sheet Size A3

Owner signature