

**Menslike Nedersettings, Beplanning en Ontwikkeling**  
**Human Settlements, Planning and Development**

**Collaborator No.:** 2679172  
**Reference / Verwysing:** Portion 374 of the Farm No 195, Kraaibosch  
**Date / Datum:** 23 November 2023  
**Enquiries / Navrae:** Primrose Nako

**Email:** [janvrolijk@jvtownplanner.co.za](mailto:janvrolijk@jvtownplanner.co.za)

JAN VROLIJK TOWN PLANNER  
P O BOX 710  
GEORGE  
6530

**APPLICATION FOR PERMANENT DEPARTURE: PORTION 374 OF THE FARM KRAAIBOSCH NO 195,  
DIVISION GEORGE**

Your application in the above regard refers.

The Senior Manager: Town Planning (Authorised Official) has, under delegated authority, 4.16.18.1 of 30 June 2023 decided that the application for Departure in terms of Section 15(2)(b) of the Land Use Planning By-law for George Municipality (2023), for the following applicable to the Farm Kraai Bosch 195 Portion 374, Division George, namely:

- a) Relaxation of the northern side boundary building line from 10m to 4.5m & 5.4m to accommodate an existing toilet, lobby on ground floor and enclosed veranda on the first floor on the Farm Kraai Bosch 195 Portion 374, Division George; and
- b) Relaxation of the northern side boundary building line from 10m to 6.9m to accommodate an existing shower on the ground floor and enclosed veranda on first floor on the Farm Kraai Bosch 195 Portion 374, Division George;

**BE APPROVED** in terms of Section 60 of the said By-law for the following reasons:

**REASONS:**

- (i). The proposed development will not have an adverse impact on the character of the area or the environment or adjacent property owners' rights.
- (ii). The position of existing engineering services infrastructure has been considered.
- (iii). Surrounding property owners have no objection to the proposed development.

Subject to the following conditions imposed in terms of Sections 66 of the said By-law, namely:

**CONDITIONS OF THE DIRECTORATE: HUMAN SETTLEMENTS, PLANNING AND DEVELOPMENT:**

1. That in terms of Section 18(2) of the Land Use Planning By-law for the George Municipality 2023, the approval shall lapse if not implemented within a period of two (2) years from the date it comes into operation.
2. This approval shall be taken to cover only the departure applications as applied for and as indicated on the site layout plan, unnumbered drawing, drawn by Don van Niekerk dated December 2017 attached as “**Annexure A**” which bears Council’s stamp and shall not be construed as to depart from any other Council requirements or legal provision.
3. A contravention levy of R 5854.66 VAT included is payable on submission of building plans for the unauthorised structures erected over the respective building lines.
4. The above approval will be considered as implemented upon approval of the building plan.

**Note:**

(i) A building plan must be submitted for approval in accordance with the National Building Regulations (NBR).

(ii) The contravention levy is calculated as follows:

<b>(iii) Factor</b>	<b>Calculations</b>
Floor area (directly related)	Existing Building on ground floor: 18.09m <sup>2</sup> Existing Building on first floor: 6.78m <sup>2</sup> Total: 24.87m <sup>2</sup>
Floor Area (indirectly related)	0m <sup>2</sup>
m <sup>2</sup> value of the Property	$\frac{\text{Total Municipal Value of property R 3 480 000}}{\text{Total area of property (1700m}^2\text{)}} = \text{R 2047.05/m}^2$
Contravention levy 10% (directly related)	10% x R 2047.05 x 24.87m <sup>2</sup> = R 5091.01 Plus Vat (15%) = R 5854.66
Contravention levy 5% (indirectly related)	R0
Total Contravention	R 5854.66

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Human Settlements, Planning and Development, P O Box 19, George, 6530 or Directorate: Human Settlements, Planning and Development, 5th floor, Civic Centre, York Street, George **on or before 14 DECEMBER 2023** and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

Yours faithfully

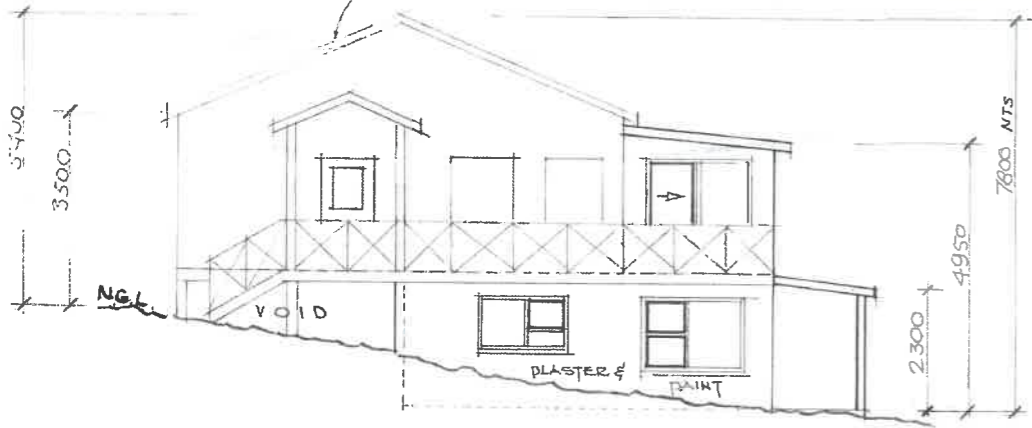


**C. PETERSEN**

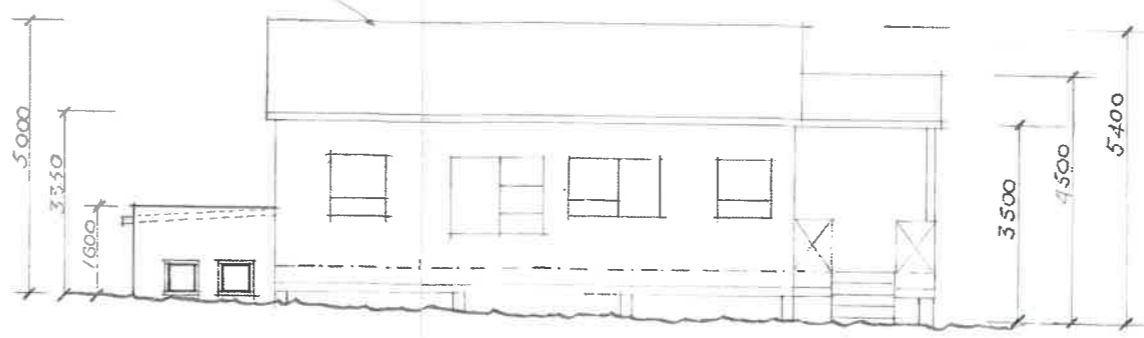
**SENIOR MANAGER: TOWN PLANNING**

C:\scan\Portion 374 of farm 195 Kraaibosch(Permanent Departure Approval )Jan Vrolijk.docx

NOTE: COTTAGE PREVIOUSLY APPROVED (05-12-2005)



— SOUTH ELEVATION —



— WEST ELEVATION —

NOTE!  
 AREA OF EXIST. "AS BUILT" HOUSE = 79.80 m<sup>2</sup>  
 " " ADDITIONS = 120.10 m<sup>2</sup>  
 " " ERF = 1644 m<sup>2</sup>  
 TOTAL AREA OF HOUSE COVERAGE = 199.90 m<sup>2</sup>  
 = 7%

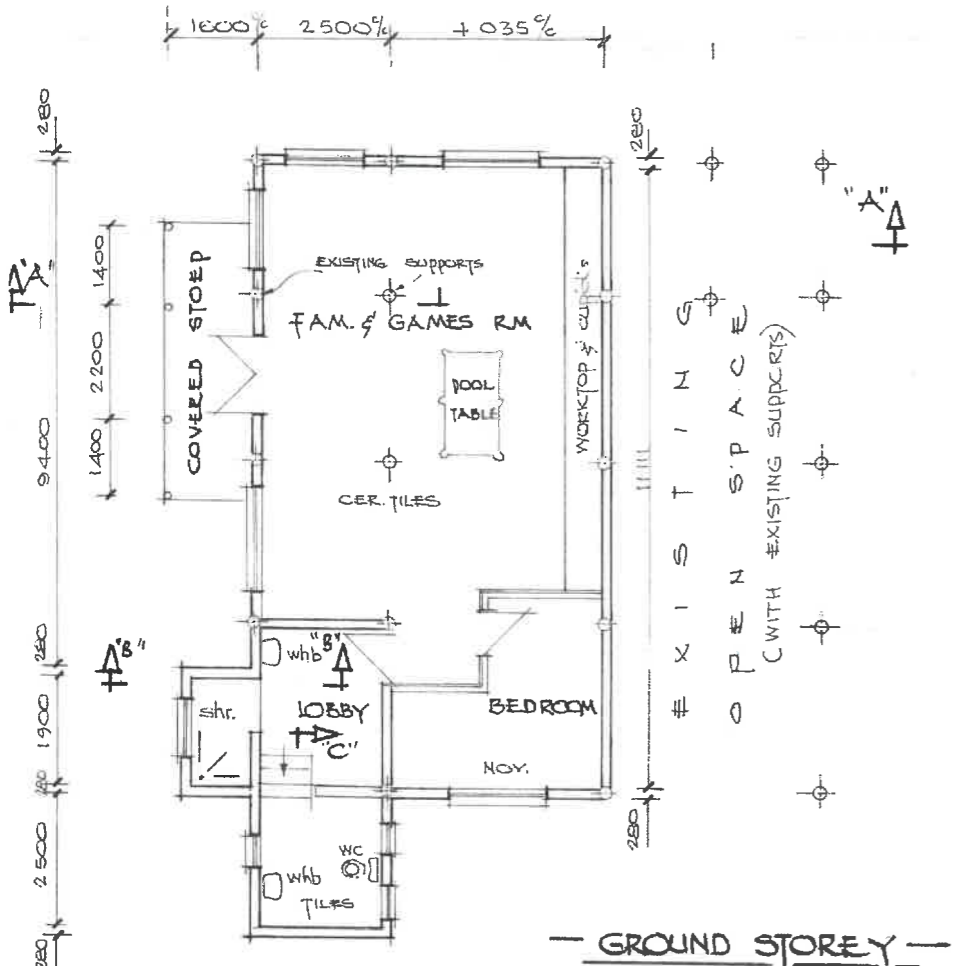
MUNISIPALITEIT GEORGE MUNICIPALITY  
 Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.  
 23/11/2023  
 DATE SENIOR MANAGER: TOWN PLANNING  
 DATUM SENIOR BESTUURDER: STATSBEPANNING



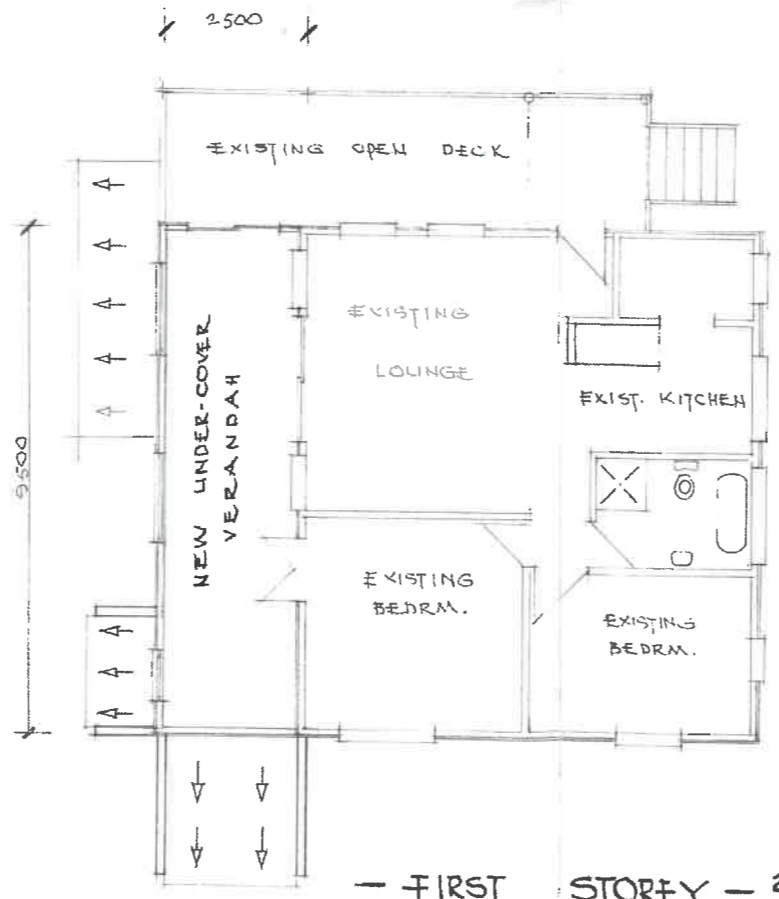
NORTH ELEVATION



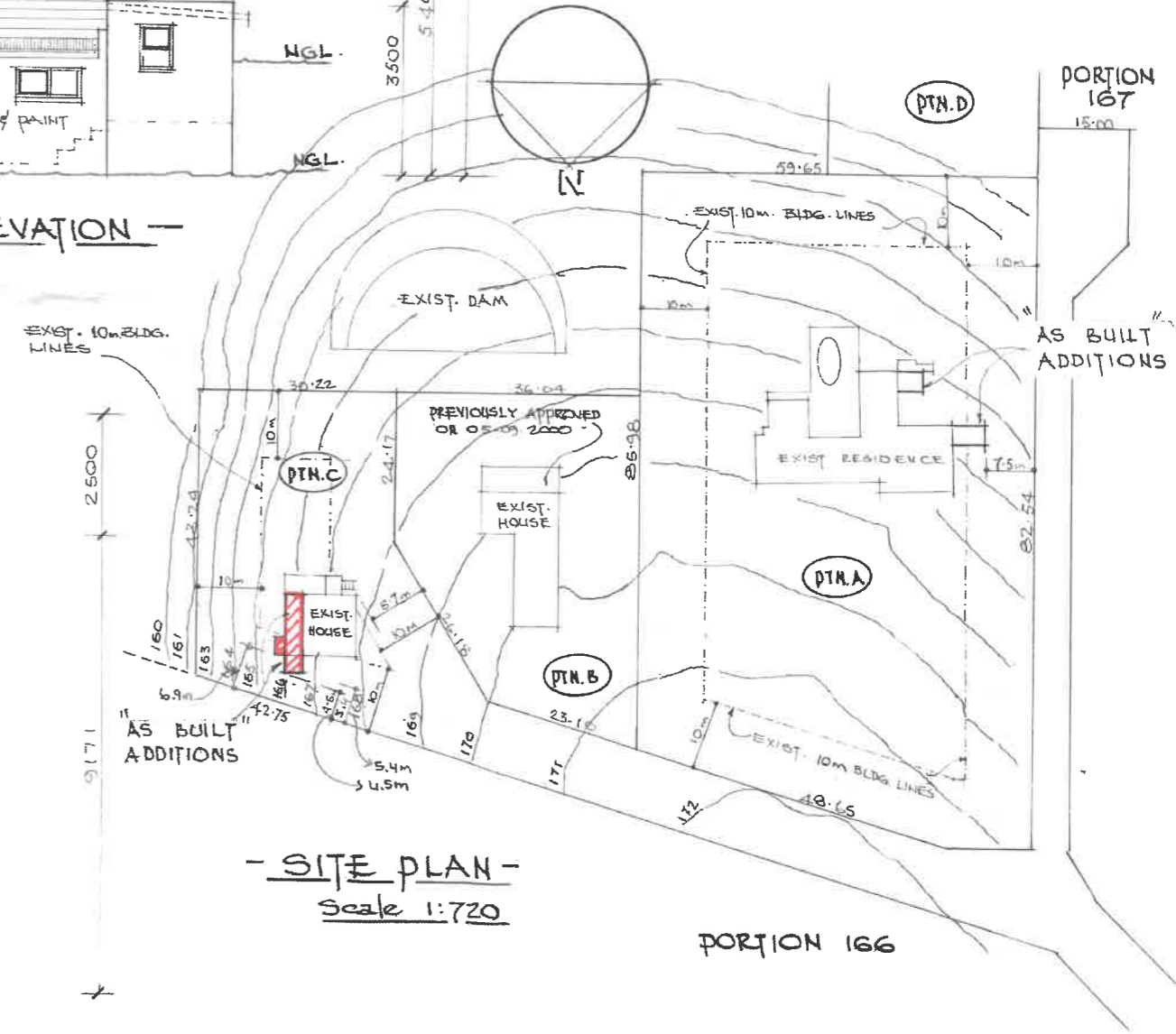
— EAST ELEVATION —



— GROUND STOREY —



— FIRST STOREY —



— SITE PLAN —  
 Scale 1:720

DON VAN NIEKERK  
 22 CANDLEWOOD ST.  
 GEORGE  
 PROFESSIONAL ARCHITECTURAL  
 DRAUGHTSMAN  
 REGISTRATION No Do391  
 CELL No 083 731 1251

PROPOSED "AS BUILT" ADDITIONS & RENOVATIONS  
 TO EXISTING RESIDENCES ON PORTIONS A & C  
 OF PTN. 168 of KRAAI BOSCH 195 for MR. R. MOIR  
 OWNER: ..... SCALE: 1:100; 720 DATE: DEC. 2017