



The Municipal Manager  
P O Box 19  
George  
6530

Reference: Erf 1023 George

17 April 2025

Sir

**APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATIONS):  
ERF 1023 GEORGE**

Attached hereto, please find an application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the street boundary and eastern side boundary building lines on Erf 1023 George to accommodate proposed improvements to the existing dwelling house on the erf.

Your prompt consideration of the application will be appreciated.

Thanking you in anticipation.

**Jan Vrolijk**

**MOTIVATION REPORT**  
**APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATIONS)**  
**ERF 1023 GEORGE**

17 April 2025



Prepared for:

**A. Yani and N.N. Somwahla**  
6 Porter Street  
Denneoord  
George  
6529

Prepared by:

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SACPLAN Registration No A/1386/2011

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**MOTIVATION REPORT**  
**APPLICATION FOR PERMANENT DEPARTURE (RELAXATION OF BUILDING LINES)**  
**ERF 1023 GEORGE**

## **1. APPLICATION**

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the following building lines on Erf 1023 George:

- the street boundary building line from 4.0 metres to 2.750 metres to accommodate proposed additions to the dwelling house and to 0.0m to accommodate the open stoep on the southern side of the dwelling house; and
- the eastern side boundary building line from 2.0 metres to 0.800 metres to accommodate proposed additions to the dwelling house, including the open stoep on the southern side of the dwelling house.

The proposed additions are indicated on the proposed site plan and building plan attached hereto as **Annexure "A"**. The completed application form for the application for permanent departure is attached hereto as **Annexure "B"**.

## **2. DEVELOPMENT PROPOSAL**

Erf 1023 George had originally been developed with a small dwelling house which was located on the southern side of the erf. This house was extended over time by means of additions to the northern side of the house.

A new bedroom, a bathroom and a laundry had also been added on the southern side of the original dwelling house, as well as a street boundary fence and elevated concrete stoep between the dwelling house and the boundary fence. The additions, as well as the elevated stoep and street boundary fence, are visible in the following photo, which shows the current south-eastern elevation of the dwelling house.



The following photo shows the current north-western elevation of the dwelling house. The northern portion (left hand side) of the dwelling house will be demolished to accommodate the new northern wing. The steep slope of the erf, which slopes downwards (northwards) from Porter Street, is also clearly visible.

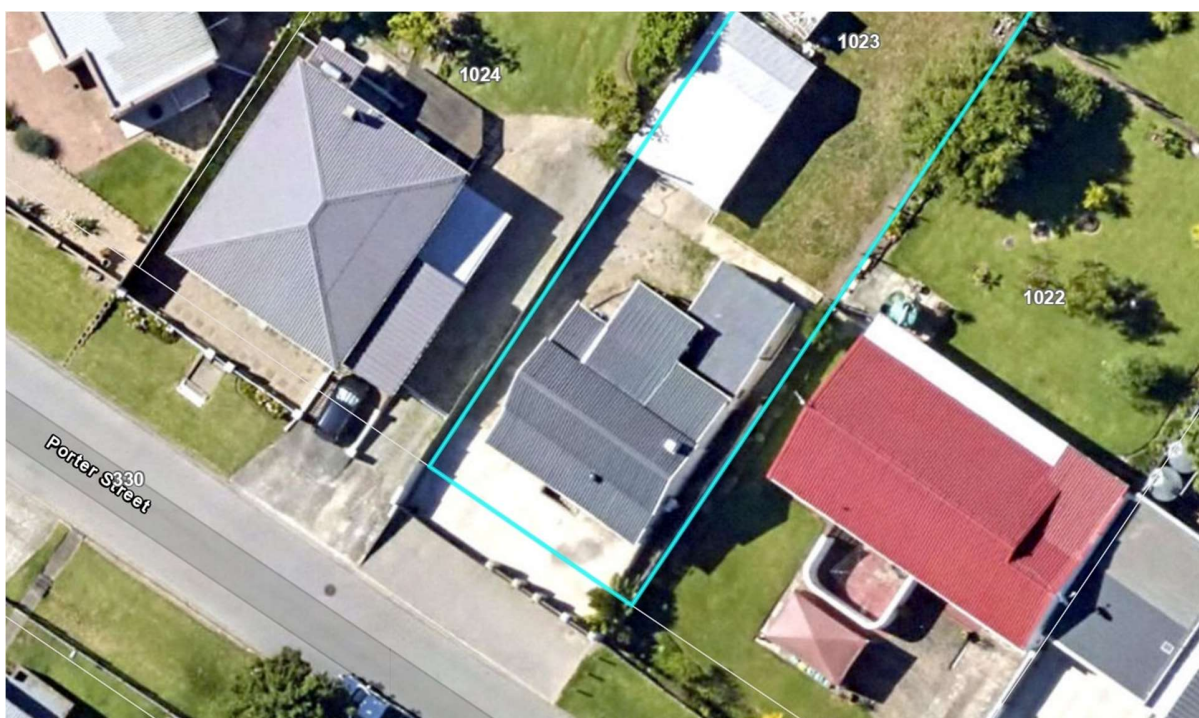


The following photo shows the south elevation of the existing outbuilding which will also be demolished.





The following aerial photo shows the current location of the security fence and the elevated concrete stoep in relation to the street boundary of the application erf.



The security fence, as well as a portion of the elevated concrete stoep had not been erected on the registered street boundary of the erf but is located closer to the tarred roadway of Porter Street.

The current owners are aware of this anomaly and intend to demolish the fence and the portion of the stoep which transgress the street boundary, as part of a total renovation of the dwelling house. This renovation will include demolishing the northern portion of the current building, as well as the free-standing structures (outbuildings) to the north thereof, as well as the current street boundary fence and the portion of the elevated stoep which extend past the street boundary line of the erf.

A new northern wing, under a single roof, will then be added to the northern side of the remaining (original) dwelling house. This new wing will consist of 2 bedrooms, a bathroom, a lounge, a passage and a single garage. The erf will be enclosed on the street side by means of a new security fence consisting of brick columns with “Handi-Plank” panels, with a steel- and “Handi-Plank” sliding gate as well as a pedestrian gate which will be developed on the correct street boundary line of the erf.

The development will be rounded off with a paved area between the street boundary and the dwelling house along the western side boundary up to the single garage, and a garden, consisting of lawn, paving and trees and shrubs on the open area to the north of the dwelling house. Access from Porter Street to the single garage will remain on the western side of the dwelling house.

The coverage and building lines applicable to a “dwelling house” are set out in a table in Schedule II of the George Integrated Zoning Scheme, 2023. The extent of the application erf is 841m<sup>2</sup>. The street boundary building line applicable to a dwelling house on an erf larger than 500m<sup>2</sup>, but not larger than 1 000m<sup>2</sup>, is 4.0 metres and the side and rear boundary building lines are 2.0 metres, whilst the coverage applicable is the larger of 325m<sup>2</sup> or 50% of the area of the erf.

The total floor area of the proposed improved dwelling house 176m<sup>2</sup>, which is considerably lower than the maximum coverage allowed.



Due to the extensions to the original dwelling house being in line with the eastern wall of the original building, the proposed extensions will transgress the 2.00 metres eastern side boundary building line by 1.200 metres.

In addition to this transgression, the extension to the south of the original dwelling house and the open stoep transgress the 4.0 metres street boundary building line by 1.250 metres and 4.0m respectively.

Porter Street and the adjacent erven have a downward slope in an easterly direction. To provide a level building platform, the application erf had been filled up on the lower eastern side. The difference in height between the open stoep south of the dwelling house on the application erf and the garden of the adjacent erf is shown in the following photo, which was taken westwards towards the application erf, from the southern garden of Erf 1022 George.



The transgressions are indicated on the following site and building plan which is also attached hereto as **Annexure "A"**.





The purpose of this application is, therefore, to obtain approval of the permanent departure for the relaxation of the building lines as mentioned in point 1 of this motivation report to facilitate the submission and approval of a building plan in respect of the proposed improvements mentioned.

### 3. GENERAL INFORMATION IN RESPECT OF ERF 1023 GEORGE

#### 3.1 Locality

Erf 1023 George is situated at 6 Porter Street, Bo-dorp. The locality of the erf is indicated on the locality plan attached hereto as **Annexure "C"**.

#### 3.2 Existing land use

The application erf is used for residential purposes.

### 3.3 Extent of erf

The total area of Erf 1023 George is 841m<sup>2</sup>.

### 3.4 Present zoning

In terms of the George Integrated Zoning Scheme, 2023, the zoning of Erf 1023 George is Single Residential Zone I.

### 3.5 Surveyor General Diagram

A copy of the Surveyor General Diagram of Erf 1023 George is attached hereto as **Annexure “D”**.

### 3.6 Title Deed

Erf 1023 George is registered in the names of Anelisa Yani, Identity Number 870404 5497 08 7 and Nonkosi Nicolette Somwahla, Identity Number 960926 0200 08 3. A copy of the Title Deed of Erf 1023 George is attached hereto as **Annexure “E”**.

### 3.7 Power of Attorney

A Power of attorney, whereby Jan Vrolijk Town Planner / Stadsbeplanner is appointed by Anelisa Yani and Nonkosi Nicolette Somwahla, the registered owners of Erf 1023 George, to prepare the application referred to in point 1 of this motivation report and to sign all relevant documents is attached hereto as **Annexure “F”**.

### 3.8 Bondholder's consent

Erf 1023 George is not encumbered by a bond.

### 3.9 Conveyancer Certificate

A Conveyancer Certificate in respect of Erf 1023 George is attached hereto as **Annexure “G”**. The certificate confirms that there are no conditions in the Title Deed of the erf which prohibits the development of the erf as proposed in this application.

#### **4. DESIRABILITY OF APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATIONS): ERF 1023 GEORGE**

##### **4.1 Introduction**

Specific issues which must be addressed in the motivation of applications are highlighted in the Land Use Planning By-Law for George Municipality, 2023. These issues are, however, aimed at more complex applications and are not applicable to lesser applications, such as permanent departures for building line relaxations.

This application will therefore be motivated with reference to the following aspects:

- *Compatibility of the proposal with the existing planning and land uses of the surrounding area.*
- *The impact that the proposal will have on the environment.*
- *The impact that the proposal will have on traffic and parking in the surrounding area.*
- *The impact that the proposal will have on surrounding facilities such as schools, open spaces and other community facilities should the application result in an increase in the population of the area concerned.*
- *The impact that the proposal will have on the existing character of the surrounding area and the right of the inhabitants of the area in respect of erf values, privacy, view, sunlight, et cetera.*
- *Provision of essential services.*

##### **4.2 Existing planning in the area**

The application erf is situated north of Porter Street, in Bo-dorp, to the east of Wellington Street, which is a main access route to Denneoord. The area surrounding Erf 1023 George has a

predominantly single residential land use character, with dwelling houses and outbuildings, situated in neatly kept gardens. The large erven to the north-west and north thereof are currently vacant.

The following aerial photo indicates the locality of Erf 1023 George, as well as the buildings situated on the erf, in relation to the surrounding area.



The aerial photo also shows that the buildings on Erf 1022 George and Erf 1021 George, which are located to the east of the application erf, are located on the communal side boundary, and that the dwelling house on Erf 1024 George, to the west of the application erf, transgresses the western side boundary building line. It is also clear that the application erf is the narrowest of the 5 erven to the north of Porter Street, which restricts the meaningful extension of the existing dwelling house.

The current dwelling house on the application erf appears on the 2016 aerial imagery on the George Municipal Mapping Portal of the area and has, therefore, been in existence for many years. The current eastern wall of the existing dwelling house also transgresses the eastern side

boundary building line. The free-standing structures which appear on the aerial photo and do not form part of the proposed site plan, will be removed.

The proposed upgraded dwelling house will be still being used for residential purposes as described in the land use description of a “dwelling house” in the George Integrated Zoning Scheme, 2023.

The relaxation of the street and side boundary building lines, as proposed in this application, will therefore not establish an undesirable precedent and can be accommodated within the existing planning of the area concerned.

#### **4.3 Impact on schools, open spaces and other community facilities**

The proposal will not result in an increase in the number of inhabitants of the erf beyond that which is accommodated in the erf zoning. As such, the proposed relaxation of the building lines as applied for will not have an impact on schools, open spaces and other community facilities in the area.

This aspect is, therefore, not relevant to this application.

#### **4.4 Impact on sunlight, view and privacy**

The aerial photo in point 2 of this motivation report indicates that the only erf which could be affected by the proposed relaxation of the street- or southern boundary building lines, is Erf 1022 George, which is situated to the east of the application erf.

Sunlight - The proposed extension to the southern portion of the dwelling house will be situated opposite the grassed front yard of the dwelling house on Erf 1022 George. This portion of the front yard is already subjected to some shade due to the proximity of the existing dwelling house on the application erf, which is visible on the aerial photo. The small additional shade portion will, therefore, have a minimal impact on the adjacent erf.



The bulk of the new addition will be located opposite the narrow passage on the western side of the neighboring dwelling house, where it will replace the shadow cast by the existing building. This portion of the proposed new building will, therefore, not have a changing impact on the adjacent erf.

The proposed northern most portion of the new addition will be located opposite the large, grassed garden area to the north of the existing dwelling house on the adjacent erf. The portion of this area directly adjacent to the dwelling house, is taken up by the large rainwater tank located on the north-western corner of the dwelling house. The narrow additional shadow cast for a short while by the proposed northern wing of the upgraded dwelling house on the application erf will, therefore, have limited impact on the adjacent dwelling house.

View - The dwelling house on the adjacent erf fronts northwards, across the northern bank of the small stream along the northern boundary of the erf. The application erf is situated to the west of the neighboring erf. The permanent departure as proposed in this application will, therefore, not have a negative impact on the view of the adjacent erf.

Privacy - As indicated on the copy of the proposed site plan and building plan, which is attached hereto as **Annexure "A"**, there will be no windows or doors located in the eastern wall of the proposed upgraded dwelling house on the application erf. The bulk of the eastern part of the new building will consist of the passage linking the southern portion of the dwelling house with the bedrooms on the northern side, as well as the backwall of the single garage, which are all not habitable rooms. The new wing will front towards the west, where the outdoor living area of the upgraded dwelling house will be located.

The permanent departure as proposed in this application will, therefore, not have a negative impact on the privacy of the adjacent erf.

It is clear from the motivation in this point, that the proposed relaxation of the building lines on the application erf can have no negative impact on sunlight, view or privacy in respect of any adjacent erf.

#### **4.5 Impact on streetscape**



The following photo shows the current elevation of the erf as seen from Porter Street.



The eastwards slope of Porter Street is visible in the photo. It is clear from the street elevation that, due to eastwards slope of the area, the dwelling house on the application erf is situated a little lower than the dwelling house on Erf 1024 George, to the west thereof, and a little higher than the dwelling house on Erf 1022 George, to the east thereof.

The proposed modernization of the elevations will have a positive impact on the appearance of the existing dwelling house and therefore, on the streetscape. The bulk of the proposed additions to the existing building have no impact on the street elevation of the dwelling house, as it is situated on the northern side of the dwelling house and will not be directly visible from the street.

The proposed relaxation of the street and southern side boundary building line can, therefore, not have a negative impact on the streetscape in the vicinity of the application erf.

#### **4.6 Impact on erf values**

As indicated in the previous paragraphs, the improvements in respect of which the building line relaxations are required will not have a negative impact on any of the surrounding properties.

The outside finish will be of good quality and the elevation of the structures will improve the appearance of the existing building. The improvements described add value to the utilization of the erf and represent a substantial capital investment by the owner.

The value of surrounding properties can, therefore, not be negatively impacted upon by the relaxation of the building line as proposed in this application.

#### **4.7 Impact on the provision of parking**

As indicated on the proposed site plan and building plan attached hereto as **Annexure “A”**, a single garage will be provided on the northern side of the dwelling house. There will be ample parking space available for additional vehicles between the garage and the western side boundary of the erf. The proposal as described in this motivation report, therefore, has no influence on the provision of parking, as more than the 2 parking bays required in respect of a dwelling house can still be provided.

The provision of on-site parking can, therefore, not be negatively impacted upon by the relaxation of the building lines as proposed in this application.

#### **4.8 Impact on traffic circulation**

The improvements described in this application will not alter the position of the existing vehicular access to the erf and will be located “behind” the existing street boundary wall. The proposed relaxation of the building lines mentioned can thus have no negative impact on sight-distances in any direction in the streets. The proposed relaxation of the building lines will not result in the generation of more traffic.

The building line relaxations as proposed in this application will, therefore, not have any negative impact on the traffic situation in Poter Street.

#### **4.9 Provision of services**

The existing development on the application erf has been connected to the municipal services in the area and the building line relaxations as proposed in this application will not have any negative impact on the existing services or the provision of services. The proposal will thus not result in infrastructure costs to any external parties and will thus not place any burden on the municipal budget for the provision services infrastructure.

#### **4.10 Firefighting**

The firefighting requirements stipulated in the fire-regulations will not be negatively impacted upon as the application erf will still be fully accessible for fire-fighting purposes.

### **5. CONCLUSION**

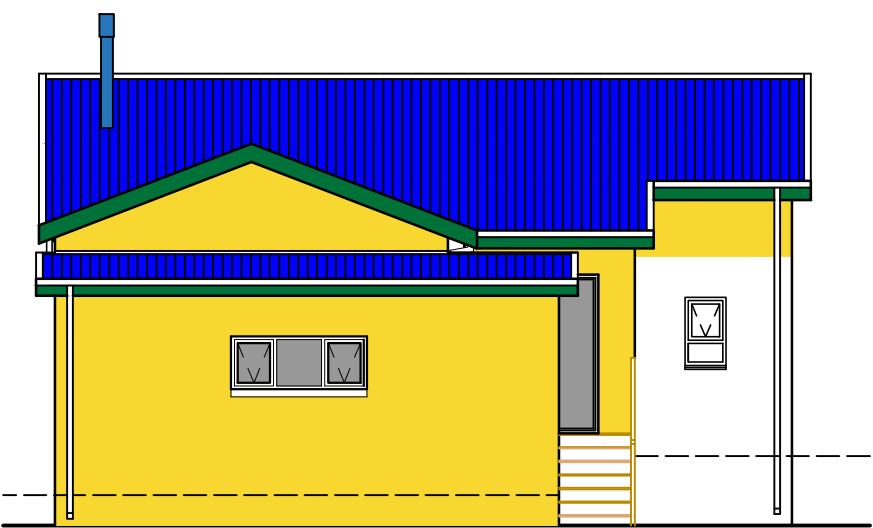
Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the street boundary building line, as well as the eastern side boundary building line on Erf 1023 George to accommodate proposed and existing additions to the dwelling house.

The proposed permanent departure for the relaxation of the mentioned building lines on Erf 1023 George will not have a negative impact on development, public facilities or traffic circulation in the surrounding area.

The application conforms with the prescriptions contained in the Land Use Planning By-Law for George Municipality, 2023 and is submitted for consideration in accordance with the relevant stipulations of the By-Law mentioned.

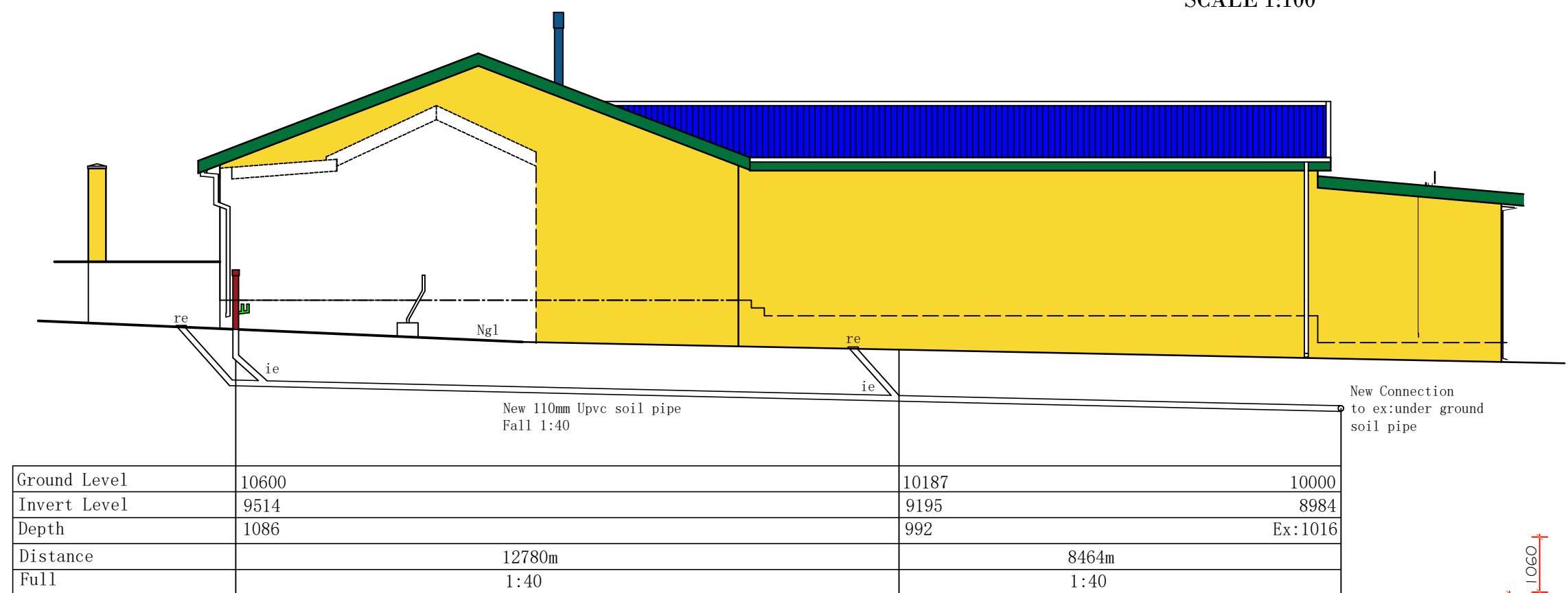
**ANNEXURE "A" - PROPOSED SITE PLAN AND BUILDING PLAN**





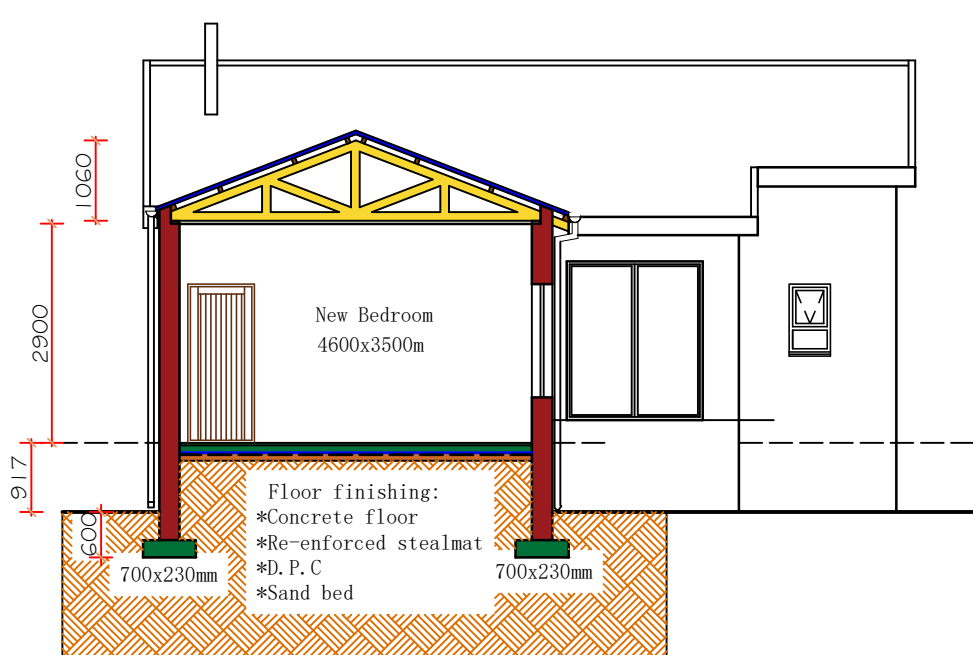
NEW DRAINAGE SECTION (B)

SCALE 1:100



NEW DRAINAGE SECTION (A)

SCALE 1:100

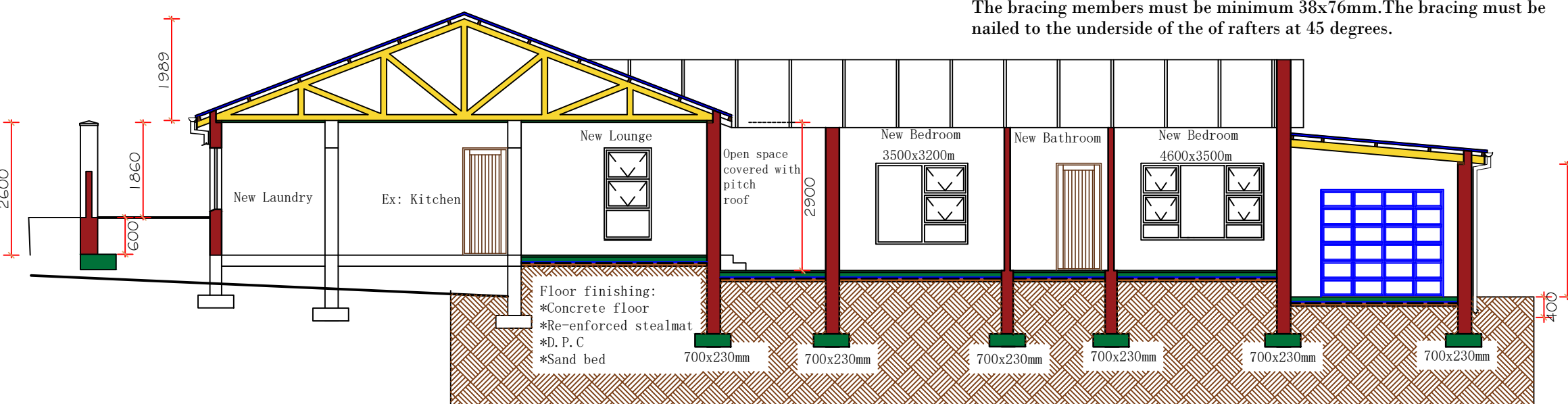


SECTION B-B

SCALE 1:100

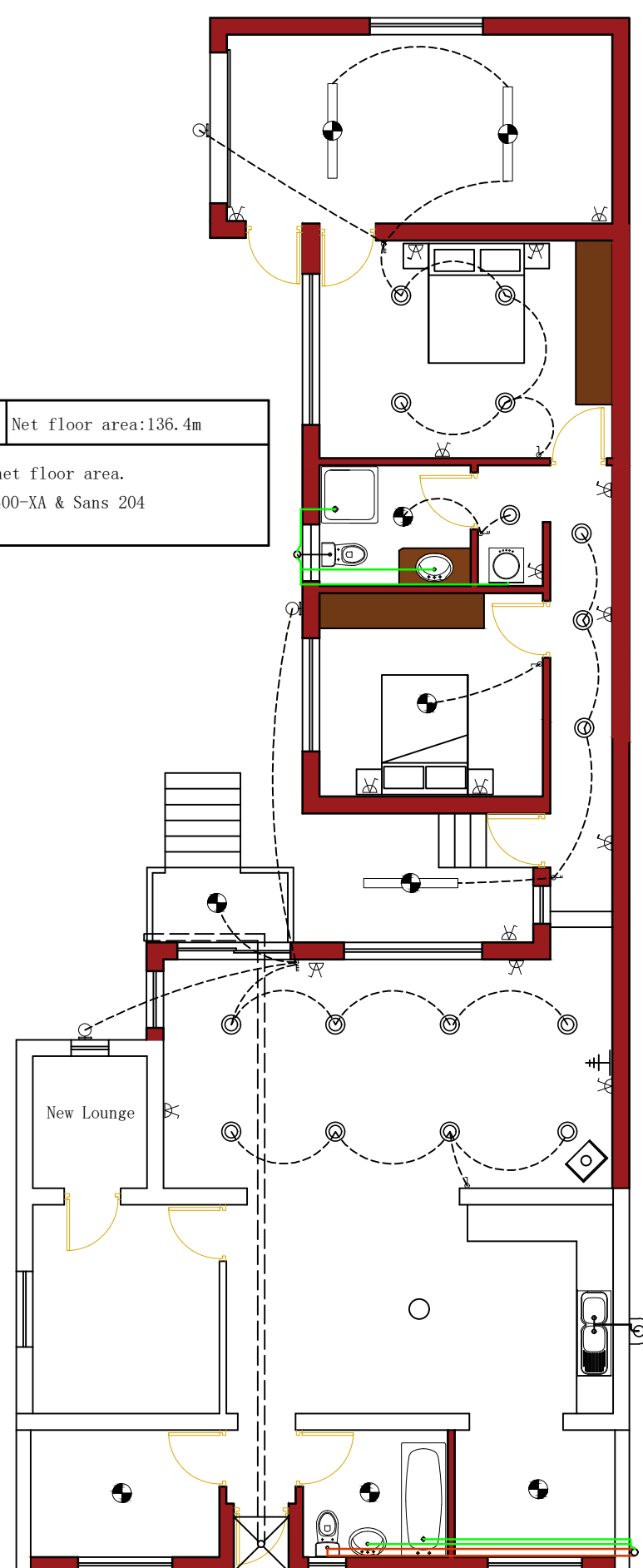
Roof construction: Garage

T.B.R roof sheets on 76x35mm purlins at average 1050m c/c.  
Onto 152x50mm S.A pine Timber Rafters at average 1050mm c/c.  
On to S.A pine 114x38 wallplates nailed to the inner wall of the cavity wall with 75mm nails at 400mm c/c. All the trusses to be nailed to wallplates with 100mm crew nails also using hurricane clips.  
All trusses and wallplates need to be anchored to the cavity wall with 4mm galvanised bracing down into brick wall at least 6 layers down.  
Bracing To secure the trusses, permanent diagonal bracing need to be installed.  
The bracing members must be minimum 38x76mm. The bracing must be nailed to the underside of the rafters at 45 degrees.



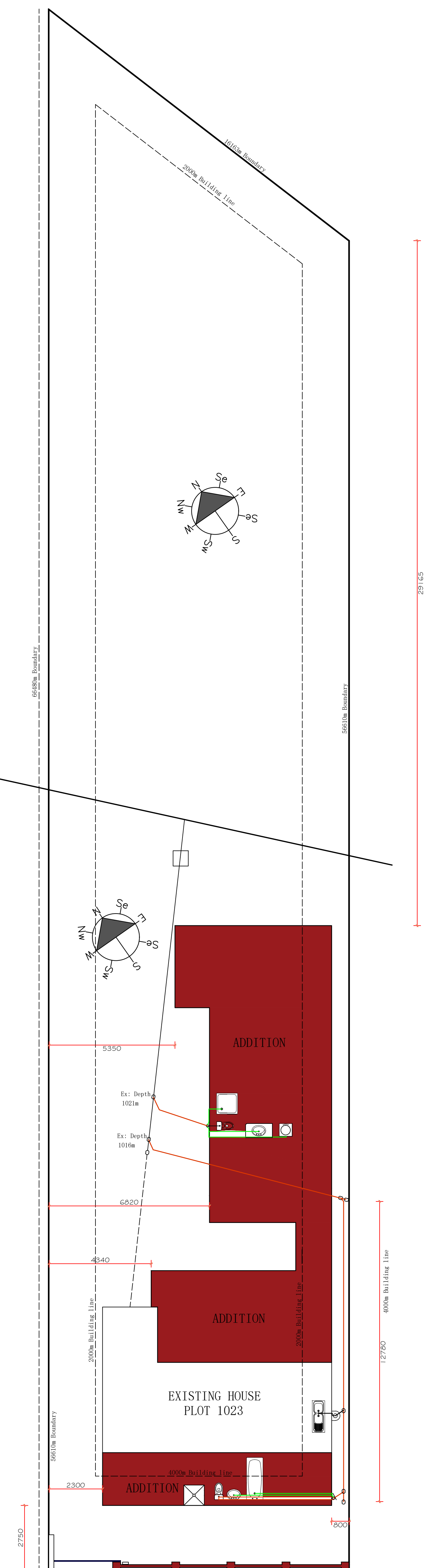
SECTION A-A

SCALE 1:100



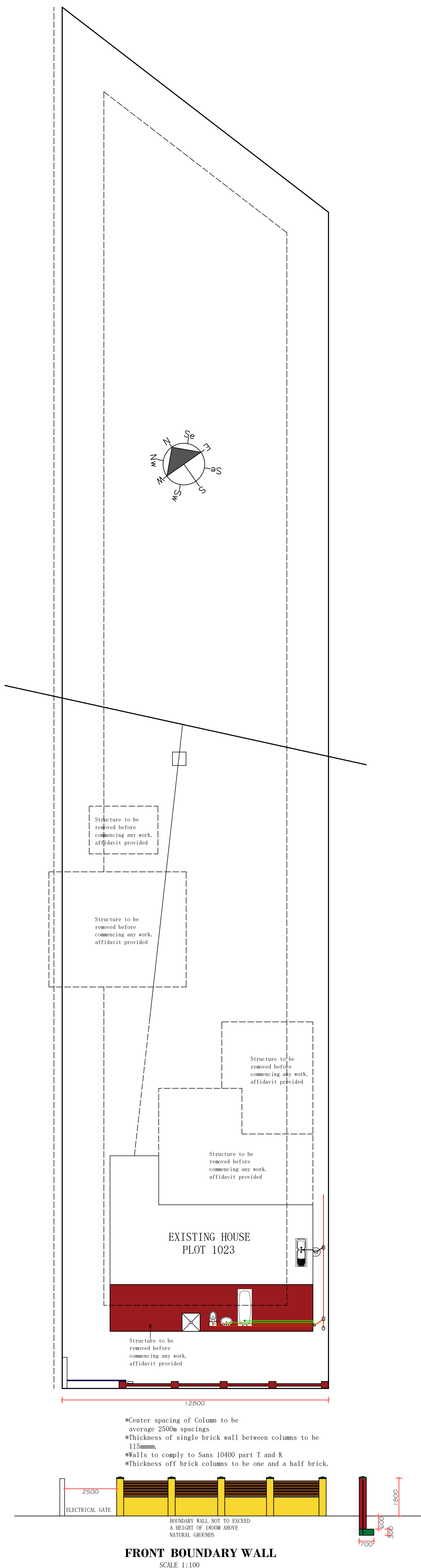
ELECTRICAL PLAN

SCALE 1:100



SITE PLAN

SCALE 1:100



FRONT BOUNDARY WALL

SCALE 1:100

Notes

Please note that contractor must check all dimensions before commencing any work on site. No changes must be performed before draughtsperson are informed. Site operation: SANS 10400P.  
Please note that the Land surveyor to point out boundary pegs before commencing any work or if client is not sure of the placements of boundary pegs.

Roof construction: Pitched roof

T.B.R roof sheets on 76x35mm purlins at average 1050m c/c.  
Onto 114x38mm S.A pine Timber Trusses at average 1050mm c/c.  
On to S.A pine 114x38 wallplates nailed to the inner wall of the cavity wall with 75mm nails at 400mm c/c. All the trusses to be nailed to wallplates with 100mm crew nails also using hurricane clips.  
All trusses and wallplates need to be anchored to the cavity wall with 4mm galvanised bracing down into brick wall at least 6 layers down.  
Bracing To secure the trusses, permanent diagonal bracing need to be installed.  
The bracing members must be minimum 38x76mm. The bracing must be nailed to the underside of the rafters at 45 degrees.  
For zone 4 install:  
Isover 135mm Aerolite R Value, 3.35 insulation. Sams 204.

New Upvc watergoods.

To 110mm half round gutters and 75mm downpipes. The gutters to be fixed to fascia board with UPVC brackets. The fascia board to be 250x9mm.

New ceiling

Nutec ceiling board to be 4mm thick.  
onto 38x35mm battenings at 800mm c/c onto 114x50mm rafters and finished with coved cornice.

All foundation.

Mass concrete strip foundation to be 700x200mm thick as indicated on section view. Depending on what cement contractor used, the optional mixture for Portland cement will be 1 bag cement and 4 wheelbarrows drymix. Other than that please read instructions of any other type of cement.

Floor construction.

25mm screed onto 75mm concrete surface bed onto 250mm dpc onto 50mm sandbed onto compacted filling.

Depending on what cement contractor used, the optional mixture for portland will be 1 bag cement and 3 wheelbarrows drymix. Other than that please read instruction on of any other type of cement.

Mortar mix for brick and plasterwork

Depending on what cement contractor used, the optional mixture for Portland cement will be 1 bag cement and 3 wheelbarrows sand. Other than that please read instruction of any other type of cement.

General notes

- \*All glazing to comply with requirements of Sams 10137 & Sams 10400 Part N - Access doors and side lights, windows lower than 500mm from floor
- \*Slope to be tiled
- \*Smooth plaster to internal and external walls.
- \*Plaster to be 15mm thick.
- \*All internal walls to be skimmed AZ easy skim, and painted to specifications.
- \*Overhang of roof not more than 250mm.
- \*All doors to be hand and door to the cavity wall with 4mm galvanised bracing down into brick wall at least 6 layers down.
- \*Internal eills to be Nutec board.
- \*Battens to be well sealed.
- \*Brickwork to be Sams 10400-B and Sams 10400-T
- \*All other material to be Acc; to Sams 10400.
- \*Brickwork to be every 2 layers, and every layer above windows and doors.
- \*Precast concrete lintels over exte windows/door open.
- \*All other finishing to be owners spec's.
- \*Close caves
- \*All wastepipes to be 50mm/ Sewer pipes to be 110mm
- \*All new openings to be cut out and supported with lintels
- \*All windows and sliding doors to be aluminium

COMPLIANCE CERTIFICATES TO be obtained as follows.

1. GLAZING
  2. ROOFING
  3. PLUMBING
  4. ELECTRICAL WORK.
- \*INSTRUCTIONS OFF CEMENT (USED MUST BE FOLLOWED DEPENDING ON TYPE CEMENT HE USED BY CLIENT).
- \*PLEASE MAKE SURE MORTAR AND CONCRETE IS MIX THOROUGHLY BEFORE USED.
- \*FOUNDATION TO BE BUILT WITH CLAY BRICKS.
- \*190 AND 140MM CEMENT BLOCKS ABOVE FOUNDATION.
- \*STEEL REINFORCED MAT TO BE INSTALLED.
- \*KNOW NATURAL SOIL TO BE USED FOR FOUNDATION FILLING.
- \*7 SOIL TO BE USED.
- \*PLEASE NOTE THAT FOUNDATION WALLS MUST NOT BE LESS THAN 4 BRICK COURSES ABOVE NATURAL GROUND LEVEL.
- \*IN CASE WHERE LAND SURVEYOR PEGS IS NOT VISIBLE THE OWNER MUST OBTAIN A LAND SURVEYOR TO MARK THE CORRECT PEGS AND BOUNDARIES.
- \*IF GROUND SOIL IS NOT STABLE, THEN THE SOIL MUST BE TESTED BEFORE COMMENCING ANY WORK.
- \*KNOW CHANGES TO STRUCTURE WITHOUT INFORMING DRAUGHTSPERSON.
- \*IT IS THE CLIENTS RESPONSIBILITY TO HIRE CONTRACTOR WHO ARE COMPETENT TO START AND FINISH THE PROJECT AND HANDING OVER COMPLIANCE CERTIFICATES TO CLIENT.

SANS 10400 NOTES..

- \*Structural design to comply with Sams 10400 part B.
- \*Dimensions to comply with Sams 10400 part C.
- \*Public safety to comply with Sams 10400 part D.
- \*Excavations to comply with Sams 10400 part G.
- \*Foundations to comply with Sams 10400 part H.
- \*Floors to comply with Sams 10400 part J.
- \*Walls to comply with Sams 10400 part K.
- \*Roofs to comply with Sams 10400 part L.
- \*Glazing to comply with Sams 10400 part N.
- \*Lightning ventilation to comply with Sams 10400 part O.
- \*All drainage to comply with Sams 10400 part P.
- \*Sanitary fittings discharging to gully to discharge over that gully per P of Sams 10400 (4.21)
- \*Drainage installation to comply with Sams 10400 Part P.
- \*Know drainage installation under building.
- \*Rain water not to discharge on to neighboring boundary.
- \*Fire protection to comply to Sams 10400 part T.
- \*Site operation to comply to Sams 10400 part F.
- \*Stairways to comply to Sams 10400 Part M
- \*Storm water disposal to comply to Sams 10400 Part R

Notes

- Ceiling light
- Wall mounted light point
- 15 Amp Wallplug
- Wall light switch
- Fluorescent light
- ⚡ T.V. Conn:

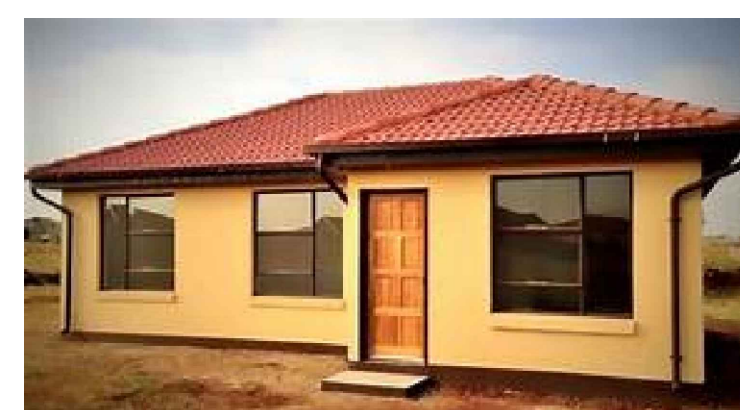
PROPOSED NEW ADDITIONS ON REF NO:1023.

CLIENT: MRS. N. SOMVAHA  
ADDRESS: 6 PORTER STREET BO-DORP, GEORGE  
SIGNATURE: CELL: 0670385971

DRAWN BY: MR. E. P. SPIERS  
14 MOLEN STREET MOLENRIJVERHOF  
REGISTER NO: T06999 CELL: 0677405606  
SIGNATURE: EMAIL: tysielavisa@gmail.com

PLOT NO: 1023  
PLOT SIZE: 843sqm  
EXISTING HOUSE: 43sqm  
NEW ADDITIONS: 133sqm  
TOTAL COVERAGE: 176sqm  
COVERAGE PERCENTAGE: 21%

L&E DRAUGHTING SERVICES





**ANNEXURE “B” - APPLICATION FORM**





**PLANNING AND DEVELOPMENT**  
**APPLICATION FORM FOR CONSENT USE FOR A SECOND**  
**DWELLING/ADDITIONAL DWELLING AND/OR DEPARTURE**

(Please complete the form in full for consideration - tick appropriate boxes with X)

BUILDING LINE RELAXATION	X
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SECOND DWELLING	
-----------------	--

ADDITIONAL DWELLING	
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**PROPERTY DETAILS**

ERF NUMBER	1023	EXTENSION/A REA	Denneoord, George
ZONING	Single Residential Zone I		
EXISTING LAND USE	Residential		

**CORRESPONDENCE DETAILS**

IS THE APPLICANT ALSO THE REGISTERED OWNER OF THE RELEVANT PROPERTY?					YES	NO	
ADDRESS CORRESPONDENCE TO			OWNER	APPLICANT	POST OR E- MAIL	<del>POST</del>	E-MAIL
COLLECT BY HAND	YES	<del>NO</del>	TELEPHONE NO	082 464 7871			

**OWNER DETAILS**

OWNER NAME	Anelisa Yani and Nonkosi Nicolette Somwahla					
STREET NAME	Porter Street			HOUSE NUMBER	6	
POSTAL ADDRESS	As above			SAME AS POSTAL ADDRESS	YES	<del>NO</del>
EXTENSION/AREA	George			CODE	6529	
ID NUMBER	Anelisa Yani, Identity Number 870404 5497 08 7. Nonkosi Nicolette Somwahla, Identity Number 960926 0200 08 3.		E-MAIL ADDRESS	P/a <a href="mailto:tysielavisa@gmail.com">tysielavisa@gmail.com</a>		
TELEPHONE NO	N/a		CELL NO	P/a 0677405606		

**APPLICANT DETAILS (strike through if registered owner is also the applicant)**

NAME	Jan Vrolijk Town Planner / Stadsbeplanner					
STREET NAME	Victoria Street			HOUSE NUMBER	-	
POSTAL ADDRESS	P O Box 710			SAME AS POSTAL ADDRESS	YES	NO
EXTENSION/AREA	George CBD			CODE	6530	
TEL / CELL NO	082 464 7871		E-MAIL ADDRESS	<a href="mailto:janvrolijk@jvtownplanner.co.za">janvrolijk@jvtownplanner.co.za</a>		

PROFESSIONAL CAPACITY	Town Planner	SACPLAN NO	A/1386/2010
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**BOND HOLDERS DETAILS (Only applicable if property is encumbered by a bond)**

IS THE PROPERTY ENCUMBERED BY A BOND?	YES	NO
NAME OF BOND HOLDER	N/a	

**TITLE DEED DETAILS**

TITLE DEED NO.	T15861/2024	
ARE THERE RESTRICTIONS IN THE TITLE DEED WHICH IMPACT THE APPLICATION? (If yes, describe restrictions below)	YES	NO

**APPLICATION DETAILS**

DESCRIPTION OF BUILDING LINE RELAXATION (STREET / LATERAL / REAR BUILDING LINE)	FROM M	TO M	DETAILS
Street boundary building line	4.0m	2.750m and 0.0m	To accommodate proposed additions to the dwelling house.
Southern side boundary building line	2.0m	0.800m	To accommodate proposed additions to the dwelling house.
Is an application for an increase in coverage being applied for? (Indicate increase under details)	YES	NO	
Is an application for a 2 <sup>nd</sup> dwelling /additional dwelling being applied for? (indicate size under details)	YES	NO	

**HOA/ ADJACENT OWNERS DETAILS (Consent letters as well as site plans to be signed by adjacent owners)**

ERF NO	ADDRESS	NAME	CONSENT LETTER ATTACHED
N/a	N/a	N/a	YES /NO

I hereby acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.

APPLICANT'S SIGNATURE		DATE	17 April 2025
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**FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:**

Locality Plan		Building Plan/ Site Plan on A3/ A4		SG Diagram/ General Plan		Title Deed
Power of Attorney		Motivation		Neighbours Consent / Comment		HOA Consent
Bond Holder Consent		Proof of Payment		Conveyance Certificate		Other (Specify)

**ANNEXURE “C” - LOCALITY PLAN**





George Municipality will not be liable for any claims whatsoever, whether for damages or otherwise, which may arise as a result of inaccuracies in the information supplied.



Date: 12/11/2024 5:27 AM      Scale: 1:971



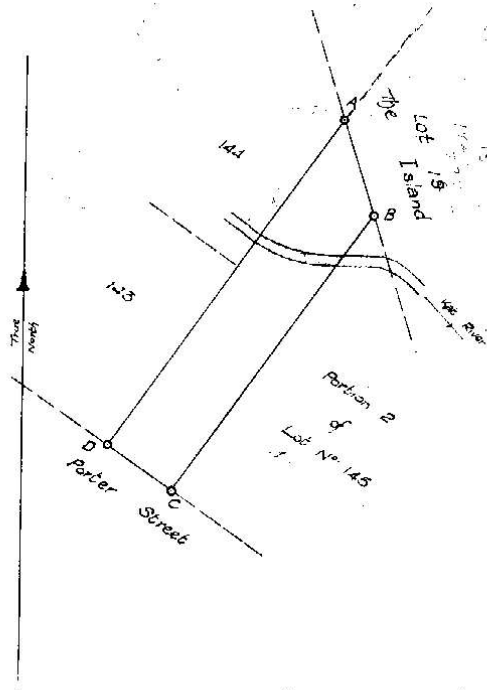
**ANNEXURE "D" - SURVEYOR GENERAL DIAGRAM**

4390/1939.

Approved

*J. G. J. J. J.*  
Surveyor-General.

SIDES Cape Feet		ANGLES	
AB	53.03	A	52.22.40
BC	185.73	B	127.57.20
CD	42.00	C	90.0.0
DA	218.10	D	90.0.0



A & D are flat iron pegs, pieces of wagon tyre.  
B & C are round iron pegs 18" long &  $\frac{1}{2}$ " diameter.

11023  
GEORGE



The figure *ABCD* represents *Portion 1* Morgen 8480 Sq. Feet of land, called *Portion 1* of Lot No. 145 being that portion of a Freehold Grant which is referred to hereunder, situate in the Municipality of George Division of George PROVINCE of CAPE of GOOD HOPE.

Surveyed in July 1939 by me

*J. G. J. J. J.*

Land Surveyor.

This diagram is annexed to DEED  
of TRANSFER No. 10149  
dated 14.9.1939 in favour of  
THEUNIS JOHANNES HURTER

The original diagram is No. A 3594/1923  
annexed to Transfer Deed  
No. 11286 dated 27.12.1923  
in favour of H. W. Hurter  
1923 - 224 - 11286

S.G. File No. 587-1939  
Survey Records No.  
E 1246/1939

BL-700  
W 42

Registrar of Deeds.

Form R1.



**ANNEXURE “E” - TITLE DEED**

1082

Symington De Kok Inc  
Vineyard Square South  
The Vineyard Office Estate  
99 Jip de Jager Street  
Bellville  
7530

Prepared by me

CONVEYANCER  
JANINE FOUCHÉ  
(LPCM60411)

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 1780.000,00	R. 1453,00
Reason for exemption	Category Exemption	Exemption i t o. Sec/Reg. Act/Proc.

DATA / VERIFY

20 MAR 2024

Anitha Manyisana

T 000015861 / 2024

## DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

~~JANINE FOUCHÉ (LPCM 60411)~~

RONELLE WILKINSON(97489)

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him/her by

DATA / CAPTURE

20-03-2024

NOLUVO MTYATYANS

1. **FRANCOIS JOHANNES BEETS**  
Identity Number 851010 5002 08 3  
Unmarried
2. **WERNER LEON BEETS**  
Identity Number 920803 5041 08 6  
Married out of community of property
3. **JOHANNA GERTRUIDA BEETS (PREVIOUSLY VAN ZYL)**  
Identity Number 930812 0014 08 7  
Married out of community of property

which said Power of Attorney was signed at George on 7 February 2024.

And the appearer declared that his/her said principal had, on 22 January 2024, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

1. **ANELISA YANI**  
Identity Number 870404 5497 08 7  
Unmarried
2. **NONKOSI NICOLETTE SOMWAHLA**  
Identity Number 960926 0200 08 3  
Unmarried

their Heirs, Executors, Administrators or Assigns, in full and free property

ERF 1023 GEORGE,  
IN THE MUNICIPALITY AND DIVISION OF GEORGE,  
PROVINCE OF THE WESTERN CAPE

IN EXTENT 841 (EIGHT HUNDRED AND FORTY ONE) Square metres

FIRST TRANSFERRED by Deed of Transfer Number T 10149/1939 with  
Diagram No. 4390/1939 relating thereto and held by Deed of Transfer Number  
T74041/2015

- A. SUBJECT to the conditions contained in Deed of Grant dated 4 December 1833  
(George Quitrents Volume 4 No. 15) namely:

Subject, however, to all such duties and regulations as ate either already or  
shall in future be established with regard to such lands.

WHEREFORE the said Appearer, renouncing all rights and title which the said

1. **FRANCOIS JOHANNES BEETS, Unmarried**
2. **WERNER LEON BEETS, Married as aforesaid**
3. **JOHANNA GERTRUIDA BEETS (PREVIOUSLY VAN ZYL) , Married as aforesaid**

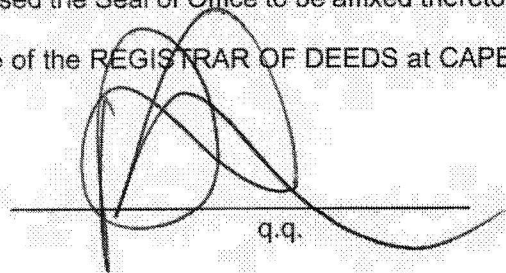
heretofore had to the premises, did in consequence also acknowledge them to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

1. **ANELISA YANI, Unmarried**
2. **NONKOSI NICOLETTE SOMWAHLA, Unmarried**

their Heirs, Executors, Administrators or Assigns, now are and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R1 780 000,00 (ONE MILLION SEVEN HUNDRED AND EIGHTY THOUSAND RAND) .

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on 18 MAR 2024

  
q.q.

In my presence

  
\_\_\_\_\_  
REGISTRAR OF DEEDS



## ANNEXURE "F" - POWER OF ATTORNEY

## POWER OF ATTORNEY

We, the undersigned

**Anelisa Yani and Nonkosi Nicolette Somwahla**

the registered owners of

**Erf 1023 George**

do hereby appoint Jan Vrolijk Town Planner/Stadsbeplanner to prepare, sign and submit the following application to the George Municipality:

*An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of following building lines on Erf 1023 George:*

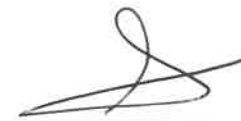
- *the street boundary building line from 4.0 metres to 2.750 metres to accommodate proposed additions to the dwelling house and to 0.0m to accommodate the open stoep on the southern side of the dwelling house; and*
- *the eastern side boundary building line from 2.0 metres to 0.800 metres to accommodate proposed additions to the dwelling house, including the open stoep on the southern side of the dwelling house.*

Signed at George on 16 April 2025

**Anelisa Yani**



**Nonkosi Nicolette Somwahla**



**ANNEXURE “G”- CONVEYANCER CERTIFICATE**

## **CONVEYANCER'S CERTIFICATE**

### **IN TERMS OF SECTION 38(1)(n) OF THE GEORGE MUNICIPALITY: LAND USE PLANNING BY LAW, 2023**

**ERF 1023 GEORGE**

#### **APPLICATION DETAILS**

An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the following building lines on Erf 1023 George:

- the street boundary building line from 4.0 metres to 2.750 metres to accommodate proposed additions to the dwelling house and to 0.0m to accommodate the open stoep on the southern side of the dwelling house; and
- the eastern side boundary building line from 2.0 metres to 0.800 metres to accommodate proposed additions to the dwelling house, including the open stoep on the southern side of the dwelling house.

#### **APPLICATION DATE**

April 2025

I, the undersigned

ANDALEEN CHIMES a duly qualified and admitted Conveyancer, practicing at A Chimes & Van Wyk Attorneys, Cathedral Street, George do hereby certify as follows:

1. I have perused the following title Deed/s and conducted a search behind the pivot of the said title deed/s at the Deeds Office, Cape Town:

**T15861/2024** (current Title Deed)

in respect of:

**ERF 1023 GEORGE**



**IN THE MUNICIPALITY AND DIVISION OF GEORGE  
WESTERN CAPE PROVINCE**

**IN EXTENT: 841 (EIGHT FOUR ONE) SQUARE METRES**

**HELD BY DEED OF TRANSFER NUMBER T15861/2024**

REGISTERED in the name of

**ANELISA YANI AND NONKOSI NICOLETTE SOMWAHLA**

2. I have appraised myself with the details of the abovementioned Land Development Application.
3. The abovementioned Title Deed contains no conditions restricting the contemplated Land Use in terms of the abovementioned Land Development Application.
4. There is no bond registered over the property.

**SIGNED at GEORGE on 15 April 2025**



**CONVEYANCER**