



TOWN PLANNING

Marlize de Bruyn  
[marlize@mdbplanning.co.za](mailto:marlize@mdbplanning.co.za)  
076 634 0150

Denise Janse van Rensburg  
[denise@mdbplanning.co.za](mailto:denise@mdbplanning.co.za)  
067 817 3733

DEVELOPMENT MANAGEMENT CONSULTING

## **PROPOSED PERMANENT DEPARTURES FOR F2 DEVELOPMENT CC**

**ERF 1596**

**39 BAUHINIA STREET, KLEINKRANTZ, WILDERNESS  
GEORGE MUNICIPALITY & DIVISION**



## **CONTENTS**

<b>1. BACKGROUND INFORMATION &amp; PROPERTY DETAILS .....</b>	<b>4</b>
<b>2. APPLICATION .....</b>	<b>5</b>
<b>3. LOCALITY, ZONING, &amp; CHARACTER OF THE PROPERTY .....</b>	<b>5</b>
<b>4. DEVELOPMENT PROPOSAL .....</b>	<b>8</b>
4.1 ADMINISTRATOR'S CONSENT .....	11
4.2 PERMANENT DEPARTURES .....	12
4.2.1. BUILDING LINES .....	12
4.2.2. DEVELOPMENT PARAMETER B(III) (PROPERTY ACCESSIBILITY) .....	12
4.3. FURTHER CONSIDERATIONS .....	13
4.3.1. MUNICIPAL ENGINEERING SERVICES & ACCESS .....	13
4.3.2. IMPACT ON NEIGHBOURING PROPERTIES .....	13
4.3.3. ENVIRONMENTAL CONSIDERATIONS .....	14
<b>5. NEED &amp; DESIRABILITY .....</b>	<b>14</b>
<b>6. LEGISLATION &amp; POLICIES .....</b>	<b>15</b>
6.1 SPATIAL PLANNING & LAND USE MANAGEMENT ACT, 2013 (SPLUMA) .....	15
6.1.1. FIVE DEVELOPMENT PRINCIPLES .....	15
6.2 WESTERN CAPE LAND USE PLANNING ACT, 2014 (LUPA) .....	16
6.3 GEORGE MUNICIPALITY: LAND USE PLANNING BY-LAW, 2023 .....	16
6.4 GEORGE INTEGRATED ZONING SCHEME BY-LAW, 2023 (GIZS) .....	16
6.5 GEORGE MUNICIPAL SPATIAL DEVELOPMENT FRAMEWORK (GMSDF) (2023) .....	17
6.6 WILDERNESS-LAKES-HOEKWIL LOCAL SPATIAL DEVELOPMENT FRAMEWORK (LSSDF) (2015) .....	17
<b>7. CONCLUDING.....</b>	<b>17</b>

### **Annexures**

- 1. Power of Attorney**
- 2. Copy of Title Deed**
- 3. Bond Holder's Consent**
- 4. Surveyor-General Diagram**
- 5. Conveyancer certificate**
- 6. Locality plan**
- 7. Approved building plans**
- 8. Site plan, floor plans, elevations, sections & 3D's**

**Authors of this report:**

M de Bruyn	Professional Planner A/1477/2011	B. Art. et. Scien. Planning
D Janse van Rensburg	Candidate Planner C/9531/2021	MSc. Urban & Regional Planning

**Aerial images:**

<https://gis.elsenburg.com/apps/cfm/#>  
<https://gis.george.gov.za/portal/apps/webappviewer/index.html?id=0283eccf869641e0a4362cb099290fca>  
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## PERMANENT DEPARTURES & ADMINISTRATORS CONSENT

ERF 1596, 39 BAUHINIA STREET, KLEINKRANTZ, WILDERNESS  
GEORGE MUNICIPALITY & DIVISION

### 1. BACKGROUND INFORMATION & PROPERTY DETAILS

Erf 1596 Wilderness is a 325m<sup>2</sup> dwelling house in Bauhinia Street, Kleinkrantz. The property is zoned Single Residential Zone I and is developed accordingly with a dwelling house. The new owner plans to do additions and alterations to the existing dwelling house to optimise the functionality and quality of the property for their retirement years. The existing house is built up to both side boundaries (0.0m) by previous owners.

The title deed imposes stricter building lines than the zoning scheme, and both the existing and proposed structures do not fully comply with the current zoning scheme or title deed building lines, necessitating permanent departures and an Administrator's Consent.

DMC Town Planning was appointed to address the land use requirements so that building plans for the proposed additions, alterations to the existing structures can be submitted and approved for the property. The power of attorney attached as **Annexure 1** to this report. The table below includes relevant information regarding Erf 1596 Wilderness.

<b>Property Description:</b>	Erf 1596 Wilderness
<b>Physical Address:</b>	39 Bauhinia Street, Kleinkrantz
<b>Owner:</b>	F2 Development CC
<b>Title Deed No:</b>	T35346/2024 ( <b>Annexure 2</b> )
<b>Bond Holder:</b>	Nedbank ( <b>Annexure 3</b> )
<b>Size of the property:</b>	325m <sup>2</sup>
<b>SG Diagrams</b>	12404/84 ( <b>Annexure 4</b> )
<b>Zoning</b>	Single Residential Zone I (dwelling house)

The conveyancer certificate confirms that Condition B(6)(b) in the title deed impedes building lines on the property that need to be addressed through the appropriate Administrators Consent as determined by Section 34 of the Western Cape Land Use Planning Act, 2014.

(b) Geen gebou of struktuur of enige gedeelte daarvan, behalwe grensmure en heinings, mag behalwe met die toestemming van die Administrateur nader as 5 meter van die straatlyn wat 'n grens van hierdie erf uitmaak, asook nie binne 3 meter van die agtergrens of 1,5 meter van die sygrens gemeen aan enige aangrensende erf opgerig word nie, met die verstande dat met die toestemming van die plaaslike owerheid –

The necessary request for Administrator's consent is included in this land use application. The conveyancer's certificate is attached hereto as **Annexure 5**.



## 2. APPLICATION

This land use application for Erf 1596 Kleinkrantz, Wilderness entails the following:

- **Administrator's consent** in terms of Section 39(4) of the Western Cape Land Use Planning Act (2014) for the relaxation of the following:

Paragraph B(6)(b):

- Northeastern rear building line from 3.0m to 2.809m for the change in use of the approved bathroom to a laundry (ground floor).
- Southeastern side building line from 1.5m to 0.0m for additions & alterations to the existing dwelling house (ground and first floor).
- Southwestern street building line from 5.0m to 2.574m for additions & alterations to the existing dwelling house (ground and first floor).
- Northwestern side building line from 1.5m to 0.0m for the replacement of the existing, approved deck with a new balcony (first floor).

- **Permanent departures** in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-law (2023) for the following:

- Relaxation of the southwestern street building line from 3.0m to 2.574m for additions & alterations to the existing dwelling house (ground and first floor).
- Relaxation of the northwestern side building line from 1.5m to 0.0m for the replacement of the existing, approved deck with a new balcony (first floor).
- Relaxation of development parameter (b)(iii) so access to the rear of the property can be through the new entrance and braai patio as well as through the existing garage.

## 3. LOCALITY, ZONING, & CHARACTER OF THE PROPERTY

Erf 1596 Wilderness is developed residential property, zoned Single Residential Zone I, located in Bauhinia Street in Kleinkrantz. Kleinkrantz is a small coastal neighbourhood just east of Wilderness between the N2 and the Indian Ocean. A locality map is attached hereto as **Annexure 6**.

The area is dominantly characterised by dwelling houses with a large public open space (OSZI) across from Bauhinia Street. The latter forms the southwestern boundary of the subject property. The zoning and land use of the property will not change following this land use application for permanent departures and Administrator's Consent.

Kleinkrantz is characterised by smaller residential properties that commonly have houses that are attached along the common boundaries of erven.

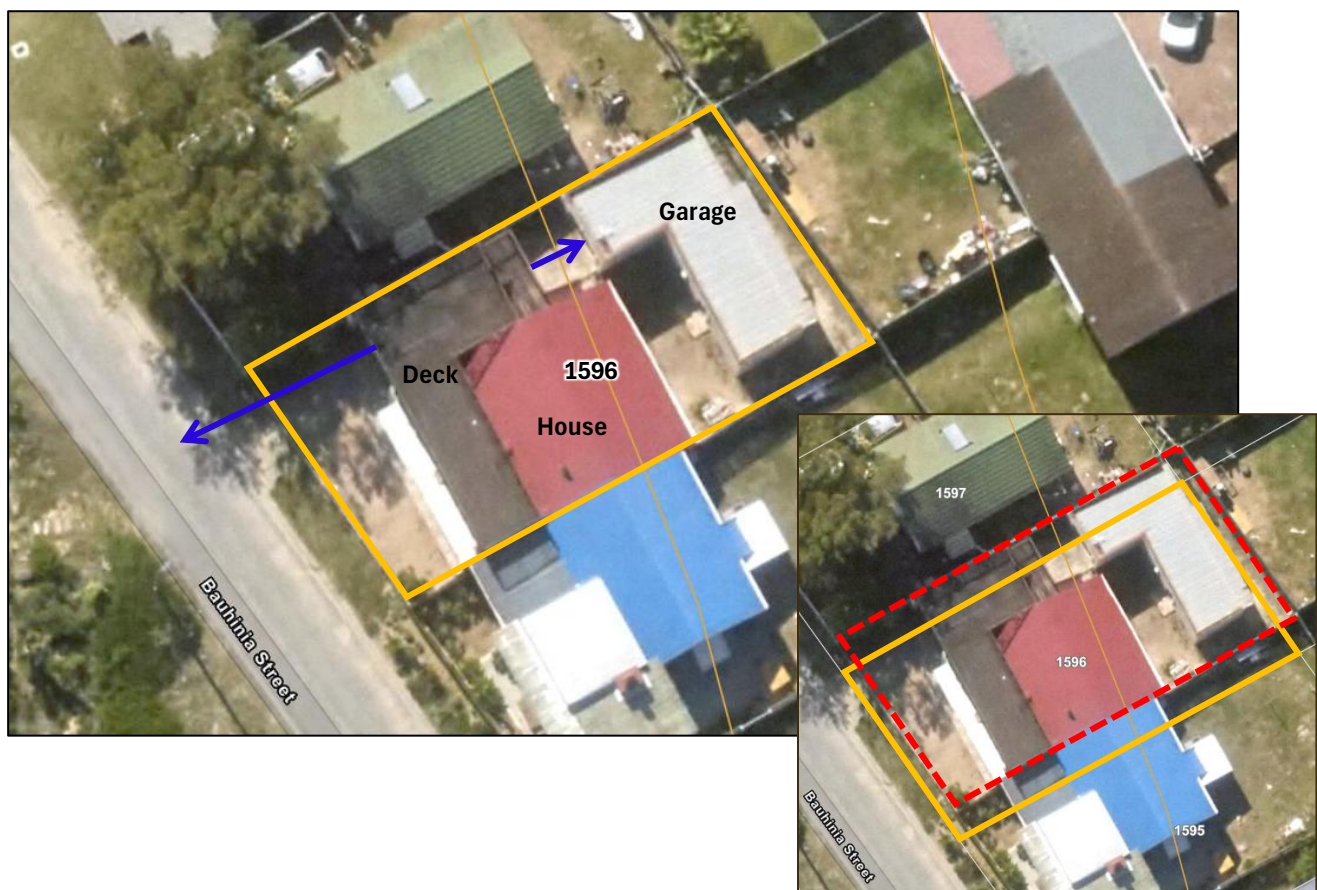


Erf 1596 Wilderness is 325m<sup>2</sup> and has a relatively flat topography. The total footprint of the structures on the property is approximately 140m<sup>2</sup>, which accounts for 43% of the property area. The house on Erf 1596 Wilderness is attached to the neighbouring property's house (Erf 1595) along the southeastern boundary.

Currently, the house is a single-story building with an open deck on the first floor, which is only externally accessible. At the rear of the property is an L-shaped garage. The driveway runs along the northwestern boundary, passing underneath the open deck and connecting Bauhinia Street to the garage.

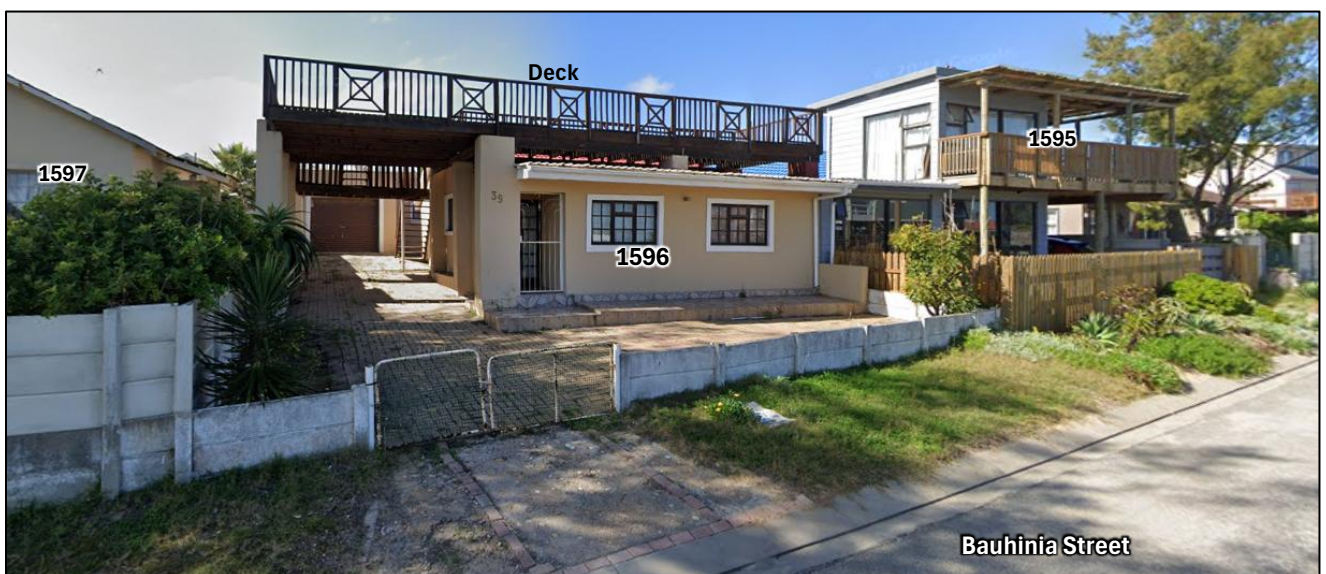
See the previously approved building plans attached hereto as **Annexure 7**.

The image below shows the property as seen from above. Note that the boundary walls and cadastral boundaries are not 100% aligned on the aerial imagery.



The images to follow shows the property as seen from the street and from inside the property boundaries.





#### 4. DEVELOPMENT PROPOSAL

As seen from the images included earlier in this report, the dwelling house is in need of upgrading and general maintenance. The internal floors are all not even on the same level. The new owner of Erf 1596 Wilderness therefore proposes to add a first floor to the existing dwelling house. The proposed additions on the first floor will include a bedroom, bathroom, study, living area, scullery, and replacing the existing deck to create a new balcony. The additions and alterations on the ground floor will entail the creation of two bedrooms with ensuite bathrooms for family and friends when they visit. To the rear of the existing dwelling house (on ground floor) a new entrance (front door) will be created, next to the garage and protected from the elements. A new braai patio is also proposed here next to the front door, also offering protection from the elements.

Then between the existing structure and the existing outbuilding access to the new first floor is proposed. The architect worked with different scenarios and found this position best considering all he has to consider. The stairs and lift are however proposed in the open area between the existing structures found on the property. The implication of this considering the zoning by-law is discussed in more detail later in this report.

The current bathroom in the garage will be converted into a laundry room. The existing deck serves as a roof over the driveway and will be replaced by a concrete structure creating the additions and alteration as visible on the plans provided by the architect, attached hereto as s **Annexure 8**.

The 3D images included with the architect's plans gives an easy view of what is proposed following the successful completion of this land use application. It also shows where the dwelling house as proposed and the dwelling house on the abutting Erf 1595 Wilderness are joined.

*Western view*





*Southwestern view*



*Northwestern view*



*Northern view*



*Southeastern view*





#### 4.1 ADMINISTRATOR'S CONSENT

The title deed imposes a 5.0m street building line, a 3.0m rear building line, and 1.5m side building lines. The existing bathroom as shown on the previously approved building plans in the garage, is 2.809m from the northeastern rear boundary. The change in use of the bathroom into a laundry warrants the Administrator's Consent for a structure to be closer than 3.0m from the rear boundary.

The existing house is already built up to 0.0m from the southeastern side boundary. The internal changes proposed on the ground floor and the additions proposed on the first floor thus also warrants the Administrator's Consent to be closer than 1.5m from the side boundary.

New sliding doors are proposed for each proposed bedroom on the ground floor. These additions with the balcony on first floor level, replacing the existing timber deck, also requires the Administrator's Consent to be closer than 5.0m to the street boundary. At the closest point, the proposed additions will be 2.574m from the street boundary.

The existing deck is already located up to both side boundaries. As part of the additions and alterations, the deck will be replaced by a concrete structure of which part will become the first-floor addition and part will remain an open balcony. Considering the title deed, both side building lines needs to be relaxed to 0.0m from 1.5m for these changes.

All 4 boundaries therefore require the Administrator's Consent for the relaxations as described.

## **4.2 PERMANENT DEPARTURES**

### **4.2.1. BUILDING LINES**

The zoning scheme impedes a 3.0m street building line, a 1.5m rear building line, a 1.5m southeastern side building line, and a 0.0m northwestern side building line.

The existing bathroom in the garage is 2.809m from the northeastern rear boundary. This complies with the zoning scheme building line parameter and the change in use of the bathroom into a laundry does not require a building line relaxation.

The existing house is already built up to 0.0m from the southeastern side boundary. The zoning by-law imposes a 0.0m building line along one side boundary which will be this southeastern side boundary. The additions and alterations on ground floor and first floor do therefore not require permanent departure.

The additions and alterations on ground and first floor facing the street, is 2.574m from this boundary. The street building line is 3.0m according to the zoning by-law with the deviation of less than half a metre, requiring land use approval.

The existing deck is constructed up to the northwestern side building line. According to the current zoning by-law, this side building line is 1.5m (the same as the title deed building line). As stated in this report and shown on the attached plans, the timber deck will be replaced by a concrete balcony. The new scullery proposed for the first-floor additions, will comply with the 1.5m building line for this boundary.

The existing outbuilding will remain in its current position, complying with the requirements of the zoning by-law.

The additions and alterations proposed for Erf 1596 Wilderness as described, primarily follows the lines of the existing structure. Due to the size of the property, the width thereof and the position of the existing structures, the development proposal by the architect took shape, now requiring the building line relaxations. Re-developing the property only in line with the development parameters of the zoning by-law and no departures, will lead to a small, towering structure, not creating the desired aesthetic result for the property and the area.

### **4.2.2. DEVELOPMENT PARAMETER B(III) (PROPERTY ACCESSIBILITY)**

Development parameter b(iii) for a dwelling house in the zoning scheme reads as follows:

- (iii) The Municipality may permit a relaxation of the lateral and/or rear boundary building lines in the case of a dwelling house in Single Residential Zones I and III, provided that the surrounding owners identified by the Municipality have consented to such relaxation, that an adequate means of access, at least 1 metre wide, is provided from a street to every un-built open portion of the property.

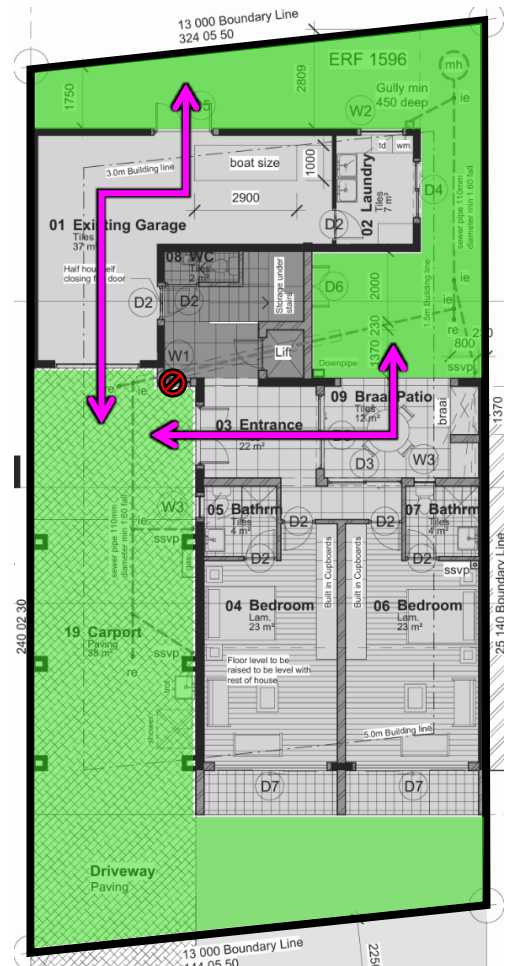


The only remaining access from the front of the property to the back of the property is currently the narrow open passage between the dwelling house and the garage which is on average about 1.0m wide.

As discussed earlier, the architect found that this space together with some of the internal space of the existing dwelling house, is the best for the stairs and lift leading to the first floor. As a result of the proposed additions and the creation of a lobby room for the stairs and lift, this walkthrough will be closed and there will not be a 1.0m pass through to the rear un-built open portion of the property.

In this regard it is proposed that development parameter b(iii) for dwelling house is relaxed to allow this change on the property. As mitigation, the proposal is to add a double door into the northeastern wall of the garage (initially a single width door was proposed) which will provide a 1.6m wide access to the rear of the property. Access is also possible through the front door and the braai patio to the rear. This provides a width for access of 1.613 (front door) and 2.1m (sliding door to braai patio) to the rear.

Where the property only had one narrow route from the front to the rear, it now has two wider access routes. See the attached plans and the sketch to the right. The pink arrows highlight the proposed passthrough routes, serving as alternatives to the 1.0m access between the garage and house, which will be closed off for the installation of the stairs and lift lobby. The green areas represent the designated 'un-built' zones on the property.



#### 4.3. FURTHER CONSIDERATIONS

##### 4.3.1. MUNICIPAL ENGINEERING SERVICES & ACCESS

The municipal engineering services provided to this property will continue to be used as at present.

##### 4.3.2. IMPACT ON NEIGHBOURING PROPERTIES

The public interest of this application is considered limited, as the proposed additions and alterations to the house are in line with the character of the property, the area and are reasonable for a SRZI property. The house will comply with the height parameter. The additions will merely follow the existing footprint of the house, and no new development will lead to 'new' encroachments on the building lines. It is important to note that many structures in Kleinkrantz are located over their building lines and are double storey. The architect did discuss this development proposal with the owner of the abutting Erf 15965 Wilderness. No objections were noted.

#### 4.3.3. ENVIRONMENTAL CONSIDERATIONS

There are no trees, watercourses, or any environmental features on the property. No environmental impact is expected.

### 5. NEED & DESIRABILITY

**Need** depends on the nature of the proposal and is guided by the principle of sustainability. This land use report demonstrates that the requested departures for the proposed additions and alterations to existing structures on Erf 1596 Wilderness are responsive to the property's specific characteristics and will improve the functionality and liveability of the house on the property. The additions and alterations will not negatively impact surrounding properties, the visual landscape, or the environment.

**Desirability** from a planning perspective, is defined as the degree of acceptability of a proposed development on a property. The relevant factors include the physical characteristics of the property, existing planning in the area, character of the area, the locality and accessibility of the property as well as the provision of services.

#### **Physical characteristics of the properties**

No physical characteristics of the property will be changed or negatively affected by the proposed permanent departures. The physical nature of the existing structures informed the architect's proposal for the proposed additions and alterations.

#### **Existing planning in the area**

As indicated later in this land use report, this land use application is not found to be in conflict with the George Municipal Spatial Development Framework (GMSDF).

#### **Character of the area**

The permanent departures will be in line with the character of the area. The area is specifically characterised by densely built and attached dwelling houses due to the smaller erf sizes. The area is also characterised by double storey houses.

#### **Provision of services**

Municipal engineering services are already available on the property and will continue to be used as at present.

#### **Economic impact**

This land use application for permanent departures will improve the value of the property and enhance the area.

#### **Direct impact on surrounding properties**

No neighbours are expected to be impacted negatively by the proposed additions and alterations.

It is our view that the need and desirability of the proposed permanent departures for Erf 1596 Wilderness, shows no negative impacts.

## 6. LEGISLATION & POLICIES

The criteria for the consideration of land use applications as per the Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013) (SLPUMA), the Western Cape Land Use Planning Act, (Act 3 of 2014) (LUPA) and the George Municipality: By-law on Municipal Land Use Planning (2023) builds on each other. SLPUMA introduced legislative and procedural changes to the management of land use planning in South Africa. The Western Cape Province followed with LUPA and thereafter George Municipality with the Municipal Land Use Planning By-law (2023). What is relevant to this land use application is discussed in the paragraphs to follow.

### 6.1 SPATIAL PLANNING & LAND USE MANAGEMENT ACT, 2013 (SPLUMA)

Section 7 of this Act sets out the five development principles that are applicable to spatial planning, land development and land use management and section 42 of SPLUMA then refers to the factors that must be considered by a municipal tribunal when considering a land use planning application, which include but are not limited to:

- Five SPLUMA development principles;
- Public interest;
- Constitutional transformation;
- Respective rights and obligations of all those affected;
- State and impact of engineering services, social infrastructure and open space requirements;
- Compliance with environmental legislation.

Relevant aspects not addressed in the earlier paragraphs of this land use report, are addressed below:

#### 6.1.1. FIVE DEVELOPMENT PRINCIPLES

The five development principles of SPLUMA, namely spatial justice, spatial sustainability, efficiency, spatial resilience, and good administration are not all directly relevant to this land use application.

Spatial justice as described in Section 7(a) of SPLUMA is not fully relevant to this land use application.

Spatial sustainability as described in Section 7(b) of SPLUMA is relevant as follows:

- The proposed application holds no expected negative environmental impact.
- The effective and equitable functioning of land markets is not negatively affected by this application.
- No negative impacts are expected on surrounding properties.

Efficiency as described in Section 7(c) of SPLUMA is not fully relevant to this application.

Spatial resilience as described in Section 7(d) of SPLUMA is not fully relevant to this land use application.

Good Administration as described in Section 7(e) of SPLUMA indicates the responsibilities of all involved in any land use matter.

The paragraphs above show that the land use application for Erf 1596 Wilderness supports the relevant development principles of SPLUMA.

## 6.2 WESTERN CAPE LAND USE PLANNING ACT, 2014 (LUPA)

LUPA requires that local municipalities consider the following when deciding on land use applications:

- Applicable spatial development frameworks;
- Applicable structure plans;
- Land use planning principles referred to in Chapter VI (Section 59) which is an expansion of the five development principles of SPLUMA;
- Desirability of the proposed land use; and
- Guidelines that may be issued by the Provincial Minister regarding the desirability of proposed land use.

The land use planning principles expands on the five development principles of SPLUMA and desirability which is discussed in foregoing paragraphs. Section 19(1) and (2) of LUPA refers to **consistency** and **compliance** of a land use proposal regarding spatial development frameworks or structure plans. Considering the aim of this land use application for Erf 1596 Wilderness, no conflict was found with the George Municipal Spatial Development Framework (GMSDF).

## 6.3 GEORGE MUNICIPALITY: LAND USE PLANNING BY-LAW, 2023

The general criteria for the consideration of applications in terms of this By-law are included in Section 65 which, inter alia, includes:

- Desirability of the proposed utilisation of land;
- Impact of the proposed development on municipal engineering services;
- Integrated development plan, including the municipal spatial development framework, the applicable local spatial development framework and/or local structure plans;
- Relevant municipal policies;
- Western Cape Provincial Spatial Development Framework;
- Section 42 of SPLUMA (public interest, constitutionality);
- Land use planning principles transposed from LUPA; and
- Provisions of the applicable zoning scheme.

The above is addressed elsewhere in this land use report as relevant.

## 6.4 GEORGE INTEGRATED ZONING SCHEME BY-LAW, 2023 (GIZS)

Erf 1596 Wilderness, located in the suburb Kleinkrantz, is a Single Residential Zone I (dwelling house) property according to the George Integrated Zoning Scheme By-law (GIZS) (2023) and developed accordingly with a dwelling house and garage thereon.

The permanent departures requested for relaxation of building lines and regarding development parameter B(iii) of the zoning scheme by-law, are discussed in full detail in especially paragraph 2, 4.2 & 4.3 of this report.

All other relevant development parameters are to be complied with.



## **6.5 GEORGE MUNICIPAL SPATIAL DEVELOPMENT FRAMEWORK (GMSDF) (2023)**

Erf 1596 Wilderness is not addressed specifically in the GMSDF. It is a dwelling house inside the urban edge of Kleinkrantz.

This land use application and the nature thereof is found to be consistent with the GMSDF as required in terms of Section 19 of the Land Use Planning Act, 2014 (LUPA).

## **6.6 WILDERNESS-LAKES-HOEKWIL LOCAL SPATIAL DEVELOPMENT FRAMEWORK (LSSDF) (2015)**

The Wilderness-Lakes-Hoekwil Local Spatial Development Framework is a guiding policy document that promotes sustainable development while preserving the area's natural, environmental, and cultural assets. It aligns with broader municipal and provincial planning policies, sets out land use and development guidelines, supports infrastructure planning, and protects sensitive ecosystems and heritage features. The LSDF also encourages sustainable tourism and economic opportunities while ensuring community needs are considered in future development decisions

The WLH LSDF does not fully support permanent departures. The existing structures informing the additions and alteration proposed for Erf 1596 Wilderness must be kept in mind when reading the WLH LSDF.

It must always be kept in mind that this older document takes its direction from the GMSDF (2023).

## **7. CONCLUDING**

Obtaining the necessary permanent departures for the proposed additions and alterations on Erf 1596 Wilderness will enable the owner to improve the liveability and functionality of their home. Based on this land use report, we believe the application aligns with all relevant planning considerations and complies with the applicable legislation. Furthermore, it does not conflict with the broader spatial objectives for the area.



**MARLIZE DE BRUYN Pr. Pln**

**APRIL 2025**

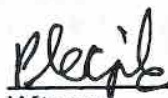
### Resolution & Power of Attorney

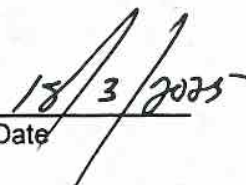
*F2 Development CC (2007/189984/23)*, the registered owner of *Erf 1596 Wilderness, George Municipality & Division*, hereby resolve to authorise *Marlize de Bruyn & Denise Janse van Rensburg* from *DMC Town Planning* to submit the required land use application in terms of Section 15(2) of the George Municipality: Land Use Planning By-law (2023) for the properties.

Signed at PRETORIA on 18 March 2025.

  
CJS Viljoen

  
M Viljoen

  
Witness

  
Date

**Certificate issued by the Companies & Intellectual Property  
Commission on Tuesday, October 1, 2024**



Companies and Intellectual  
Property Commission

a member of **the dti** group

**Abridged Certificate for Annual Returns**

**CK2B**

Registration Number: 2007 / 189984 / 23

Enterprise Name: F2 DEVELOPMENT

**ENTERPRISE INFORMATION**

Registration Number **2007 / 189984 / 23**

Enterprise Name **F2 DEVELOPMENT**

Enterprise Shortened Name

Enterprise Translated Name

Registration Date **2007-09-21 1**

Business Start Date **2007-09-21 12:00**

Enterprise Type **Close Corporation**

Enterprise Status **In Business**

Financial Year End **February**

Addresses **POSTAL ADDRESS**  
**5 SNOWDROP AVENUE**  
**NEWLANDS**  
**NEWLANDS**  
**GAUTENG**  
**0181**

**ADDRESS OF REGISTERED OFFICE**  
**5 SNOWDROP AVENUE**  
**NEWLANDS**  
**NEWLANDS**  
**GAUTENG**  
**0181**

**AUDITOR / ACCOUNTING OFFICER INFORMATION**

Auditor Name	Effective Date	Status	Type
CONSULTUS OUDITEURE ING	2008-09-01 12:	Current	ACC

**DIRECTOR / MEMBER INFORMATION**

ID No / Date of Birth	Surname	Name(s)	Status	Type
570713 XXXX 08 X	VILJOEN	CAREL JOHANNES STEFANUS	Active	Trust
650318 XXXX 08 X	VILJOEN	MARESA	Active	Trust

**Physical Address**  
**the dti** Campus - Block F  
77 Meintjies Street  
Sunnyside 0001

**Postal Address: Companies**  
P O Box 429  
Pretoria  
0001

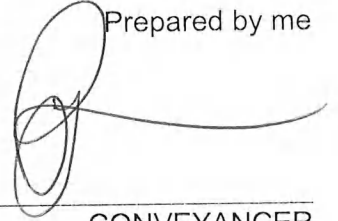
**Docex:** 256  
**Web:** [www.cipc.co.za](http://www.cipc.co.za)  
**Contact Centre:** 086 100 2472 (CIPC)  
**Contact Centre (International):** +27 12 394 9573



14

STEGMANN INCORPORATED  
379 Lynnwood Road  
Menlo Park  
Pretoria

Prepared by me



CONVEYANCER  
TASLEEMA RINQUEST (94904)

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 1 600 000.00	R. 1544.00
Reason for exemption	Category Exemption.....	Exemption i to. Sec/Reg..... Act/Proc.....

**VERBIND MORTGAGED**

VIR FOR R 1806 037.00

**B** 000037525 / 2024

2024 -12- 13

REGISTRAR/REGISTRAR

T000035346 / 2024

## DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

TASLEEMA RINQUEST  
(LPCM 94904)

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him/her by

**ANTHONY JOSEPH MARAIS**  
Identity Number 481109 5030 08 2  
and  
**SHEREEN VERONICA MARAIS**  
Identity Number 500617 0025 08 6  
Married in community of property to each other

DATA / CAPTURE

10 -06- 2024

MTVATYAA

7 -06- 2024

which said Power of Attorney was signed at PRETORIA on 3 MAY 2024.



And the appearer declared that his/her said principal had, on 16 April 2024, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

**F2 DEVELOPMENT CC**  
**Registration Number 2007/189984/23**

or its Successors in Title or assigns, in full and free property

ERF 1596 WILDERNESS, SITUATED IN THE MUNICIPALITY AND DIVISION  
OF GEORGE, PROVINCE OF THE WESTERN CAPE

IN EXTENT 325 (THREE HUNDRED AND TWENTY FIVE) Square metres

FIRST TRANSFERRED by Deed of Transfer Number T52472/2007 with General Plan  
TP No. 10855 annexed thereto

- A. SUBJECT to the conditions contained in adage amalgamated Title dated August 2, 1904, George Inheritance Volume 14, No. 15, one of which reads as follows:

"The land thus granted being further subject to all such Duties and Regulations as either are already or shall in future be established respecting lands granted on similar tenure."

- B. SUBJECT to the following conditions contained in Deed of Transfer T52472/2007 imposed by and in favour of the Administrator of the Cape of Good Hope in terms of the provisions of Section 18 of Ordinance No. 33 of 1934 during the approval of the establishment of KLEINKRANTZ VILLAGE, namely:
1. Alle woorde en uitdrukkings wat in die volgende voorwaardes gebesig word, het dieselfde betekenis as wat daaraan geheg word by die regulasies afgekondig by Provinsiale Kennisgewing Nr. 623 van 14 Augustus 1970.
  2. Ingeval 'n dorpsaanlegskema of enige gedeelte daarvan op hierdie erf van toepassing is of daarop van toepassing gemaak word, sal enige bepaling daarvan wat meer beperkend is as enige voorwaardes van eiendomsreg wat op hierdie erf van toepassing is voorkeur geniet. Enige bepaling van hierdie voorwaarde moet nie opgevat word as sou dit die bepaling van artikel 17 van Ordonnansie Nr. 19 van 1976, soos gewysig, vervang nie.
  3. Geen gebou op hierdie erf mag gebruik word of van gebruik verander word vir 'n ander doel as wat volgens hierdie voorwaardes toegelaat word nie.
  4. Die eienaar van hierdie erf is verplig om sonder betaling van vergoeding toe te laat dat hoofgasleidings, elektrisiteits-, telefoon- of televisiekabels of --drade en hoof- en/of ander waterpype en die rioolvuil en dreinerings, insluitende stormwater van enige ander erf of erwe, binne of buite hierdie dorp, oor hierdie erf gevoer word en dat bopgrondse installasies soos mini-substasies, meter kioske en dienspale daarop geïnstalleer word indien dit deur die plaaslike of 'n ander statutêre owerheid nodig geag word, en wel op die wyse en plek wat van tyd tot tyd redelikerwys vereis word. Dit sluit die reg op toegang te alle redelike tye tot die eiendom in met die doel om enige werke met betrekking tot bogenoemde aan te lê, te wysig, te verwyder of te inspekteer.

5. Die eienaar van hierdie erf is verplig om sonder vergoeding op die erf die materiaal te ontvang of uitgrawings op die erf toe te laat al na vereis word, sodat die volle breedte van die straat gebruik kan word en die wal veilig en behoorlik skuins gemaak kan word omrede die verskil tussen die hoogte van die straat soos finaal aangelê en die erf tensy hy verkies om steunmure te bou tot genoeë van en binne 'n tydperk wat die plaaslike owerheid bepaal.
6. (a) Hierdie erf mag alleenlik gebruik word vir die oprigting daarop van een woning of ander geboue vir die doeleindes wat die Administrateur van tyd na oorleg met die Dorpekommissie en die plaaslike owerheid goedkeur, met dien verstande dat indien die erf in die gebied van 'n dorpsaanlegskema ingesluit is, die plaaslike owerheid enige ander geboue wat deur die skema toegelaat word, kan toelaat onderworpe aan die voorwaardes en beperkings wat in die skema bepaal word.
  - (b) Geen gebou of struktuur of enige gedeelte daarvan, behalwe grensmure en heinings, mag behalwe met die toestemming van die Administrateur nader as 5 meter van die straatlyn wat 'n grens van hierdie erf uitmaak, asook nie binne 3 meter van die agtergrens of 1,5 meter van die sygrens gemeen aan enige aangrensende erf opgerig word nie, met die verstande dat met die toestemming van die plaaslike owerheid –
    - (i) 'n buitegebou wat uitsluitlik vir die stalling van motorvoertuie gebruik word en hoogstens 3 meter hoog is, gemeet van die vloer van die buitegebou tot by die muurplaat daarvan, binne sodanige sy- en agterruimtes opgerig mag word, en enige ander buitegebou van dieselfde hoogte binne die agterruimte en syruimte opgerig mag word vir 'n afstand van 12 meter gemeet van die agtergrens van die erf, met dien verstande dat in geval van 'n hoekerf die afstand van 12 meter gemeet moet word van die punt wat die vereiste is van die strate wat die erf begrens;
    - (ii) 'n buitegebou ingevolge subparagraaf (i) slegs nader aan 'n sygrens of agtergrens van 'n perseel as die afstand hierbo voorgeskryf, opgerig mag word indien geen vensters of deure in enige muur, wat op sodanige grens front, aangebring word nie.
  - (c) By konsolidasie van hierdie erf of enige gedeelte daarvan met enige aangrensende erf wat onderworpe is aan dieselfde voorwaardes as die wat hierin uiteengesit word, is hierdie voorwaardes op die gekonsolideerde erf van toepassing asof dit een erf is.
  - (d) Ingeval hierdie erf onderverdeel word, is elke onderverdeelde gedeelte, uitgesonderd enige gedeelte afgesny vir pad- of derglike doeleindes, onderworpe aan die voorwaardes hierin uiteengesit asof dit die oorspronklike erf is.

WHEREFORE the said Appearer, renouncing all rights and title which the said

**ANTHONY JOSEPH MARAIS and SHEREEN VERONICA MARAIS, Married  
as aforesaid**

heretofore had to the premises, did in consequence also acknowledge them to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

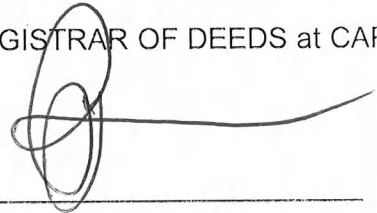
**F2 DEVELOPMENT CC  
Registration Number 2007/189984/23**

or its Successors in Title or assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R1 600 000,00 (ONE MILLION SIX HUNDRED THOUSAND RAND).

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on

07 JUN 2024



q.q.

In my presence



REGISTRAR OF DEEDS





DMC Town Planning  
Email: marlize@mdbplanning.co.za

2 April 2025

Your ref: Marlize de Bruyn

Our ref: T Hilder

Dear Sir/Madam

**HOME LOAN IN THE NAME OF** : F2 Development CC  
**ACCOUNT NUMBER** : 8005547902901  
**SECURITY DESCRIPTION** : Erf 1596 Wilderness


We refer to your request dated 17 March 2025 and advise as follows:

We have no objection to the additions/alterations on the abovementioned property, the relaxation of the title deed building lines - Par B(6)(b) in Title deed T35346/2024 and the relaxation of the street building line and a side building line, subject to:-

- Local municipality approval
- All building work must be done by a recognised builder registered with the NHBRC
- Client needs to contact Nedbank Group Insurance on 0860 333 111 to update insurance on the property.

If you have any further questions regarding this matter, kindly contact Theona Hilder on 010 234 7719.

Yours faithfully

  
**THEONA HILDER**  
**Administrator**  
**Administrations**  
**Gauteng Home Loans**

cc

## Home Loans | Gauteng

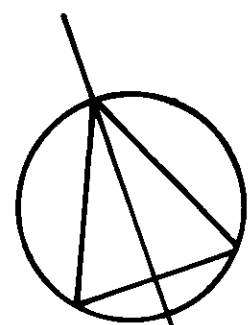
**16 Constantia Boulevard Constantia Kloof Roodepoort 1709 PO Box 1144 Johannesburg 2000 South Africa**  
**T 0860 555 111 F 011 495 9161**

Directors: AD Mminele (Chairperson) JP Quinn (Chief Executive) HR Brody (Lead Independent Director) BA Dames MH Davis (Chief Financial Officer) NP Dongwana Dr MA Hermanus  
EM Kruger P Langeni RAG Leith L Makalima MC Nkuhlu (Chief Operating Officer) Dr TM Nombembe S Subramoney  
Company Secretary: J Katzin 15.07.2024.

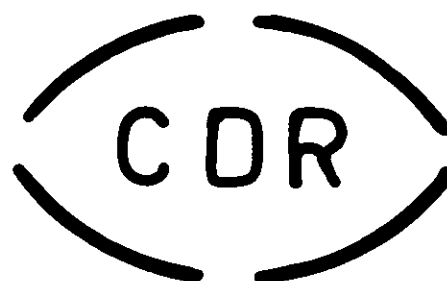
[www.nedbank.co.za](http://www.nedbank.co.za)

**NEDBANK**





Restant van Erf 1298



**C**  
TP  
ALGEMENE PLAN Nr. 10855  
VAN  
DIE DORP KLEINKRANTZ  
(WILDERNESS TOEKENNINGSGBIED)

Geleë op Erf 1740 (gedeelte van Erf 1298), Wilderness, in die Administratiewe Distrik van George, Provinsie van die Kaap die Goeie Hoop.

SKAAL 1:500

L.G. Nr. 12404/84

VEL 2  
HIERDIE PLAN BESTAAN UIT 7 VELLE

GOEDGEKEUR

*Handwritten signature*

LANDMETER - GENERAAL

OPGEMEET IN JUNIE - AUGUSTUS 1974

DEUR ONS

*Handwritten signatures*

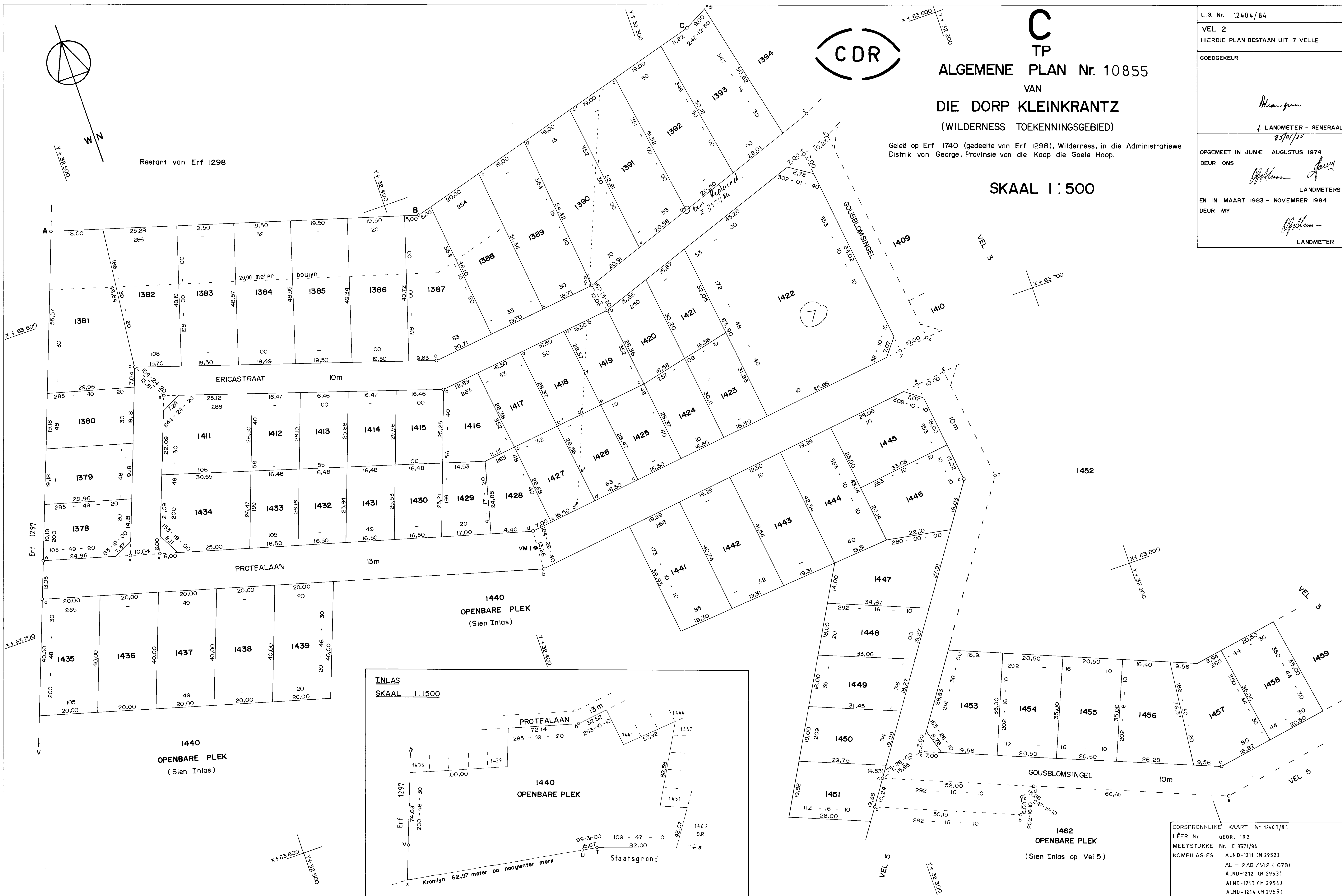
LANDMETERS

EN IN MAART 1983 - NOVEMBER 1984

DEUR MY

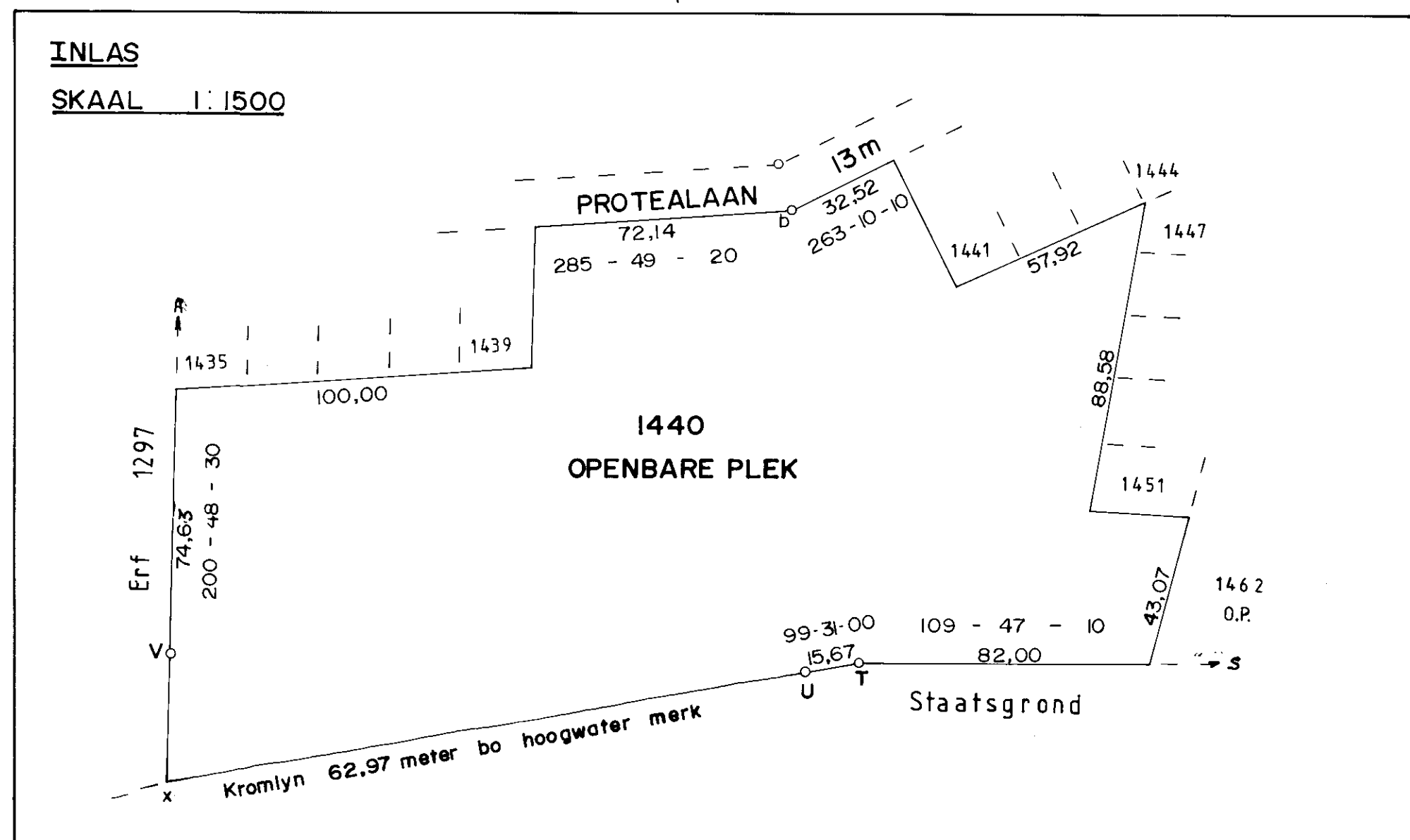
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LANDMETER



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SKAAL 1:500



OORSPRONKLIKE KAART Nr. 12403/84

LÉER Nr. GEOR. 192

MEETSTUKKE Nr. E 3571/84

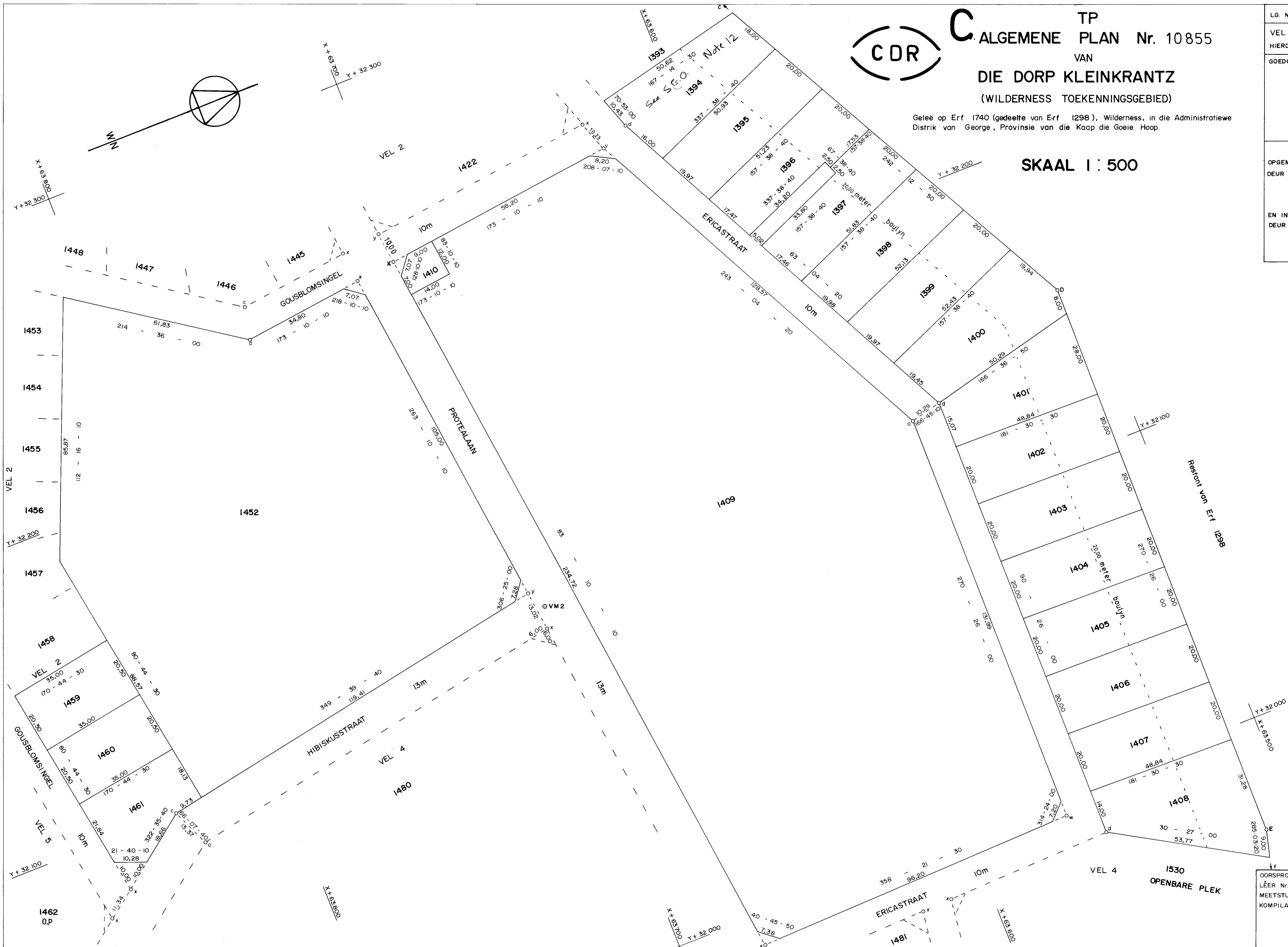
KOMPILASIES ALND-1211 (M 2952)

AL - 2AB / V12 ( 678)

ALND-1212 (M 2953)

ALND-1213 (M 2954)

ALND-1214 (M 2955)



L.G. Nr. 12404/84

VEL 3

HIERDIE PLAN BESTAAN UIT 7 VELLE

GOEDGEKEUR

Atten gra

✓ LANDMETER - GENERAAL

85/01/25

OPGEMEET IN JUNIE - AUGUSTUS 1974

DEUR ONS

*Alfred Kroen*

*John*

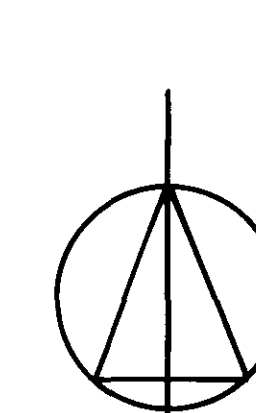
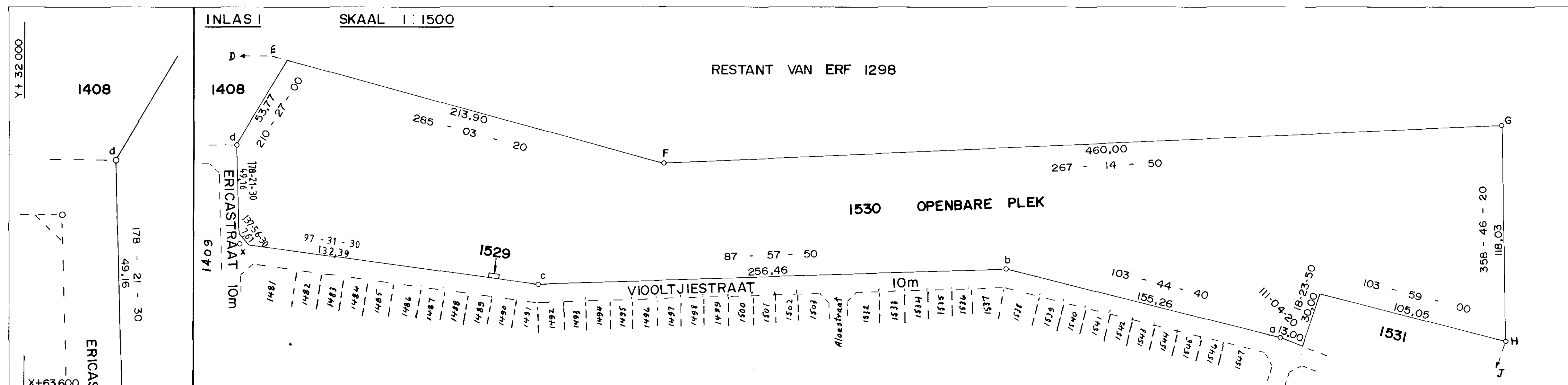
EN IN MAART 1983 - NOVEMBER 1984

DEUR MY

*A. J. Moore*

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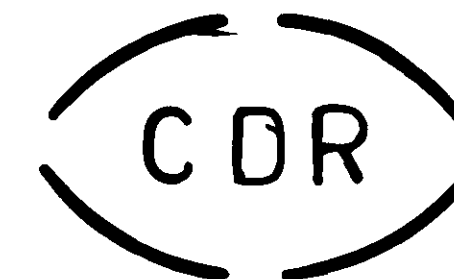
OORSPRONKLIKE KAART Nr. 12403/84  
LEER Nr. GEOR. 192  
MEETSTUKKE Nr. E 3571/84  
KOMPILASIES  
ALND - 1211 (M 2952)  
AL - 2AB/V12 (678)  
ALND - 1212 (M 2953)  
ALND - 1213 (M 2954)  
ALND - 1214 (M 2955)



TP  
ALGEMENE PLAN Nr. 10855  
VAN  
DIE DORP KLEINKRANTZ  
(WILDERNESS TOEKENNINGSGBIED)

Geleë op Erf 1740 (gedeelte van Erf 1298), Wilderness, in die Administratiewe Distrik van George, Provinsie van die Kaap die Goeie Hoop.

SKAAL 1:500



X + 63 600  
Y + 31 600

L.G. Nr. 12404/84

VEL 4

HIERDIE PLAN BESTAAN UIT 7 VELLE

GOEDGEKEUR

*Manjer*

LANDMETER - GENERAAL

OPGEMEET IN JUNIE - AUGUSTUS 1974

DEUR ONS

*Opklem*

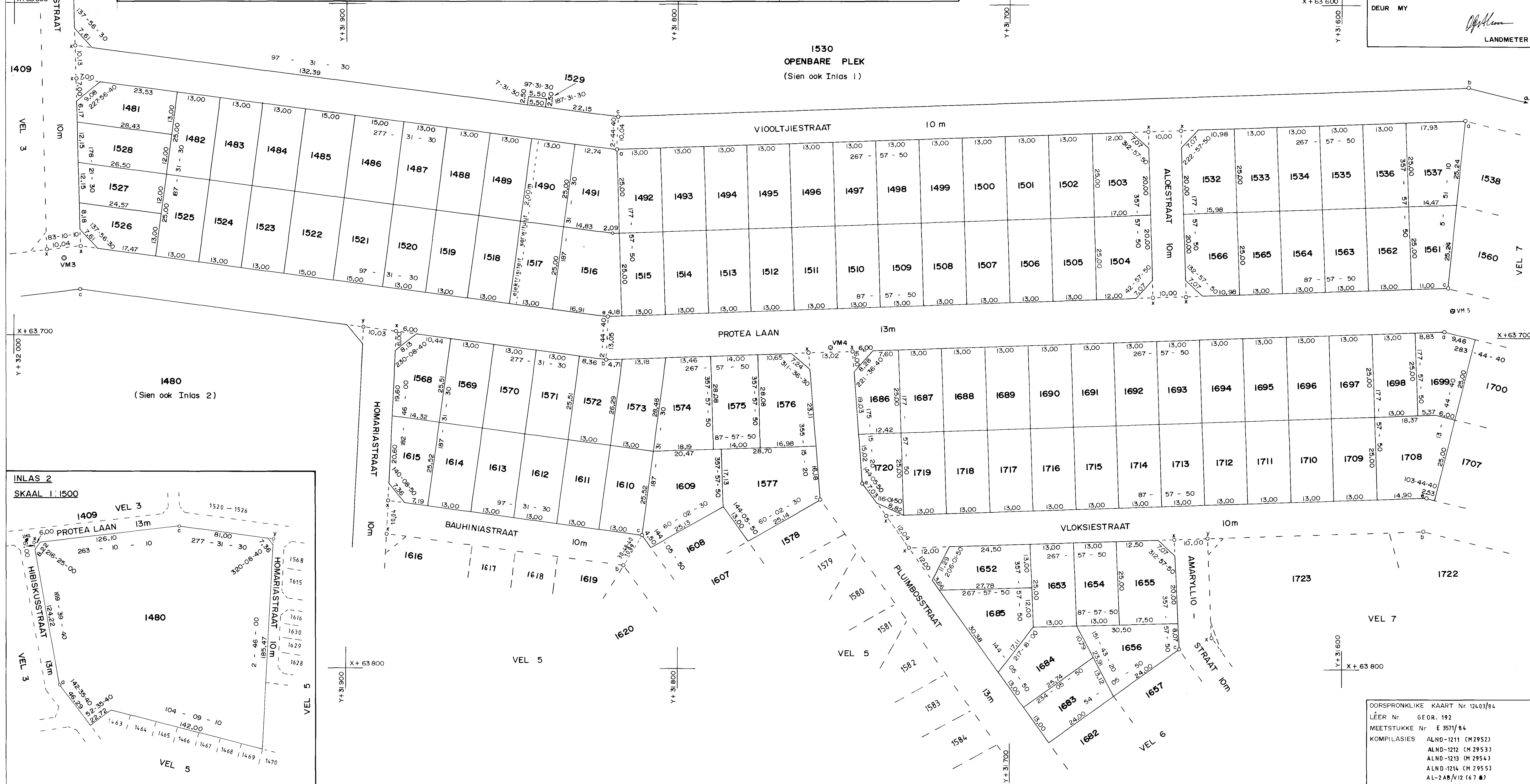
LANDMETERS

EN IN MAART 1983 - NOVEMBER 1984

DEUR MY

*Opklem*

LANDMETER



OORSPRONKLIKE KAART Nr. 12403/84

LÉER Nr. GEOR. 192

MEETSTUKKE Nr. E 3571/84

KOMPILASIES ALND-1211 (M 2952)

ALND-1212 (M 2953)

ALND-1213 (M 2954)

ALND-1214 (M 2955)

AL-2 AB/V12 (67 8)

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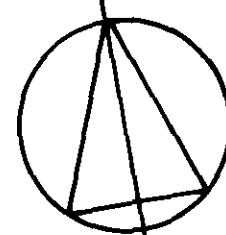


C TP  
ALGEMENE PLAN Nr. 10855  
VAN  
DIE DORP KLEINKRANTZ  
(WILDERNESS TOEKENNINGSGBIED)

Geleë op Erf 1740 (gedeelte van Erf 1298), Wilderness, in die Administratiewe  
Distrik van George, Provinsie van die Kaap die Goeie Hoop.

SKAAL 1 : 500

CDR



000 1E + Y

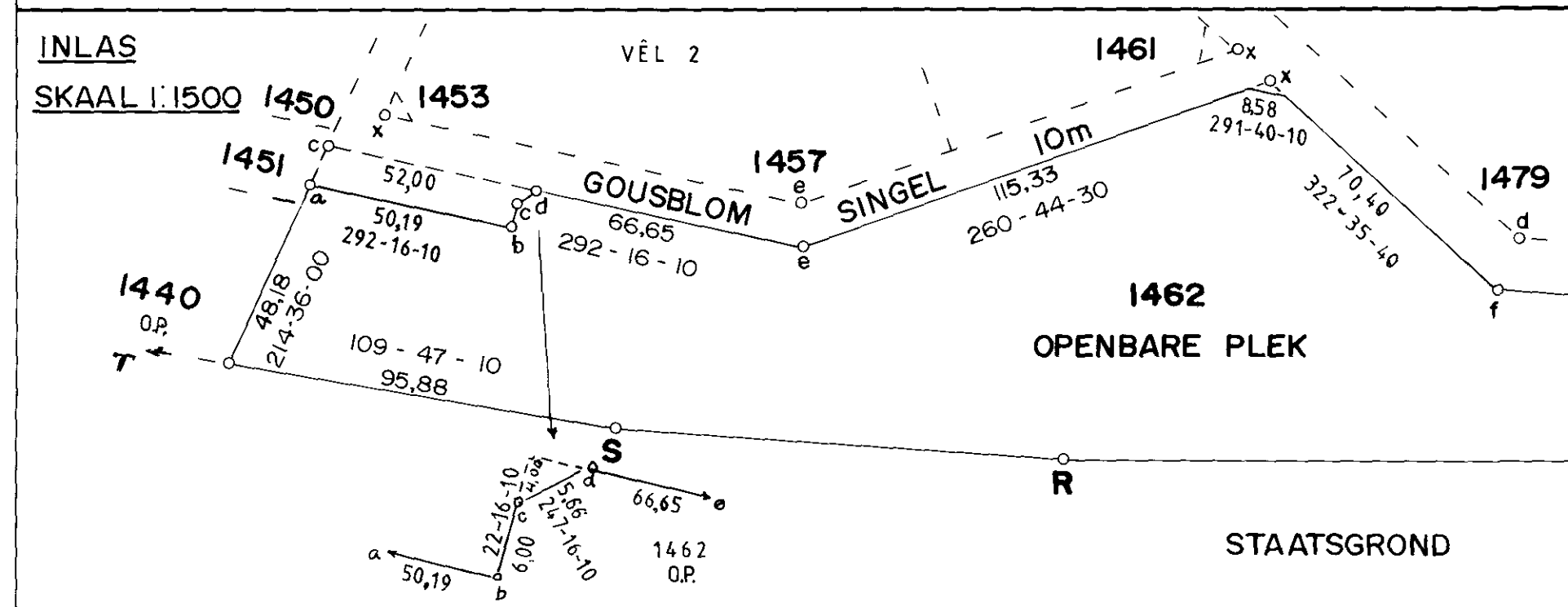
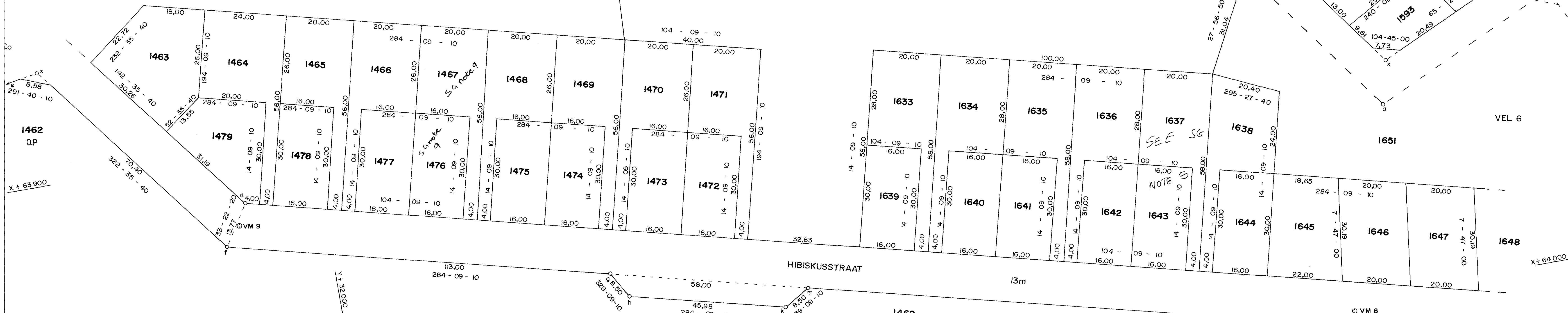
VEL 4

X + 63 800

1480

VEL 4

1480



L.G. Nr. 12404/84

VEL 5

HIERDIE PLAN BESTAAN UIT 7 VELLE

GOEDGEKEUR

*Handwritten signature*

LANDMETER - GENERAAL

15/01/25

OPGEMEET IN JUNIE - AUGUSTUS 1974

DEUR ONS

*Handwritten signatures*

LANDMETERS

EN IN MAART 1983 - NOVEMBER 1984

DEUR MY

*Handwritten signature*

LANDMETER

COERSPRONKLIKE KAART Nr. 12403/84  
LÉER Nr. GEOR. 192  
MEESTSTUKKE Nr. E 3571/84  
KOMPILASIES ALND-1211 (M 2952)  
AL - 2AB/V12 (67 87)  
ALND - 1212 (M 2953)  
ALND - 1213 (M 2954)  
ALND - 1214 (M 2955)







VAN  
DIE DORP KLEINKRANTZ  
(WILDERNESS TOEKENNINGSGEBIED)

Kaart Nr. 12403/1984

geheg aan S.G. T. 1985-13882

### BAKENBESKRYWING

M, N, O, P, R, S, T, U

V

Alle Verzekeringsmerke : Standaard dorpopmetingsmerk

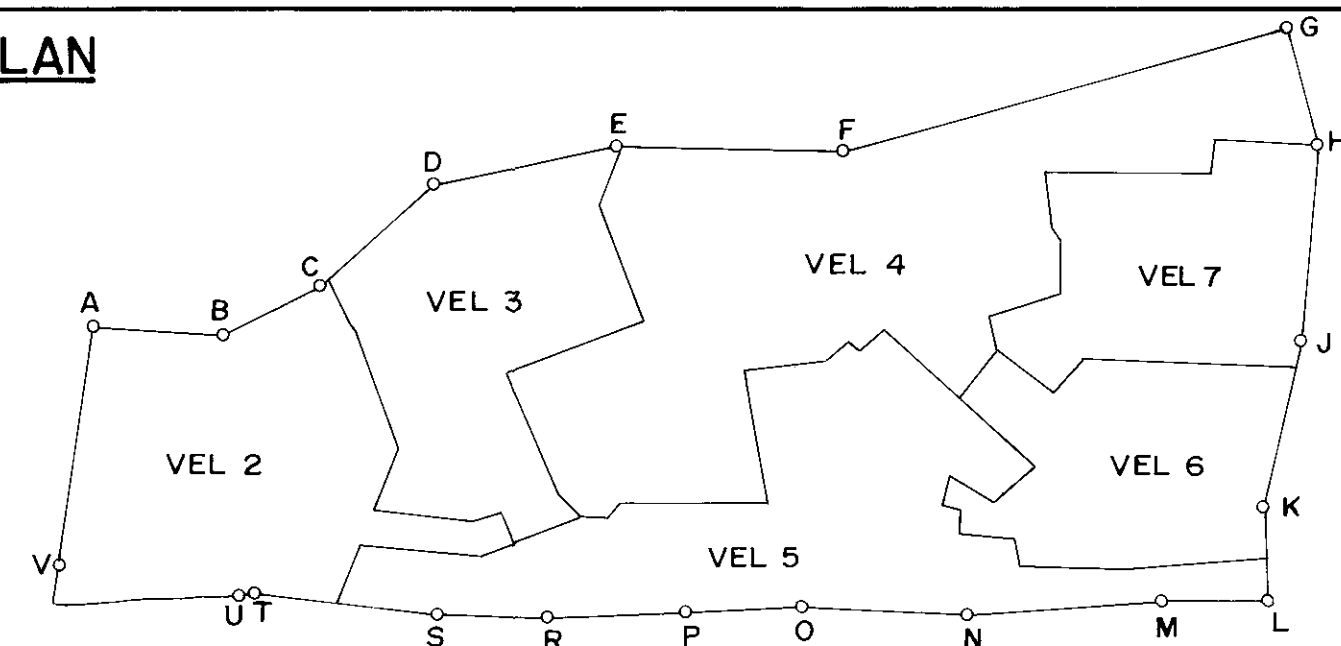
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NOTAS

- SERWITUUTNOTAS

1. Erwe 1490 en 1517 is onderhewig aan 'n elektrisiteit serwituut  
2,00 meter wyd, soos aangetoon
2. Erwe 1586 en 1599 is onderhewig aan 'n elektrisiteit serwituut  
2,00 meter wyd, soos aangetoon
3. Erf 1567 is onderhewig aan 'n tydelike serwituutpad, 10,00  
meter wyd, soos aangetoon
4. Erwe 1729, 1730 en 1731 is onderhewig aan n tydelike serwituutpad  
10,00 meter wyd, soos aangetoon

VEL	ERWE
2	1378-1393, 1411-1451, 1453-1458
3	1394-1410, 1452, 1459-1461
4	1480-1530, 1532-1537, 1561-1566, 1568-1577, 1609-1615, 1652-1656, 1683-1699, 1708-1720
5	1462-1479, 1578-1608, 1616-1647
6	1648-1651, 1657-1682, 1724-1737
7	1531, 1535-1560, 1567, 1700-1709, 1721-1723

[illegible]

ERF	VIERKANTE	ERF	VIERKANTE	ERF	VIERKANTE	ERF	VIERKANTE	ERF	VIERKANTE	ERF	VIERKANTE	ERF	VIERKANTE	ERF	VIERKANTE	ERF	VIERKANTE	ERF	VIERKANTE
Nr.	METER	Nr.	METER	Nr.	METER	Nr.	METER	Nr.	METER	Nr.	METER	Nr.	METER	Nr.	METER	Nr.	METER	Nr.	METER
1378	560	1418	468	1459	717	1501	325	1542	325	1582	325	1622	518	1663	312	1703	312	1722	1,2580 Ha.
1379	572	1419	468	1460	717	1502	325	1543	325	1583	325	1623	471	1664	312	1704	312	1723	4 002
1380	572	1420	483	1461	767	1503	412	1544	325	1584	325	1624	580	1665	311	1705	325	1725	14
1381	1365	1421	514	1463	783	1504	412	1545	325	1585	325	1625	325	1666	307	1706	325	1726	8 984
1382	983	1422	3 497	1464	744	1505	325	1546	325	1586	325	1626	345	1667	313	1707	325	1727	8 121
1383	943	1423	511	1465	640	1506	325	1547	362	1587	325	1627	363	1668	320	1708	522	1728	3 568
1384	950	1424	482	1466	640	1507	325	1548	340	1588	325	1628	401	1669	354	1709	325	1729	542
1385	958	1425	469	1467	640	1508	325	1549	331	1589	325	1629	328	1670	436	1710	325	1730	674
1386	966	1426	471	1468	640	1509	325	1550	336	1590	325	1630	344	1671	490	1711	325	1731	626
1387	973	1427	472	1469	640	1510	325	1551	325	1591	350	1631	14	1672	338	1712	325	1732	522
1388	979	1428	439	1470	640	1511	325	1552	325	1592	406	1633	680	1673	342	1713	325	1733	499
1389	989	1429	394	1471	640	1512	325	1553	14	1593	383	1634	680	1674	329	1714	325	1734	500
1390	1051	1430	417	1472	480	1513	325	1554	318	1594	325	1635	680	1675	312	1715	325	1735	496
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1392	995	1432	428	1474	480	1515	325	1556	325	1596	325	1637	680	1677	312	1717	325	1737	585
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1394	1123	1434	804	1476	480	1517	325	1558	325	1598	325	1639	480	1679	312	1719	325	1739	447
1395	1017	1435	797	1477	480	1518	325	1559	325	1599	325	1640	480	1680	312	1720	254		
1396	938	1436	797	1478	480	1519	325	1560	361	1600	325	1641	480	1681	312	1721	8 623		
1397	944	1437	797	1479	571	1520	325	1561	318	1601	325	1642	480	1682	312	1480	3,4354 Ha.		
1398	1035	1438	797	1481	359	1521	375	1562	325	1602	325	1643	480	1683	323	OPENBARE PLEKKE			
1399	1041	1439	797	1482	325	1522	375	1563	325	1603	325	1644	480	1684	400				
1400	1227	1441	778	1483	325	1523	325	1564	325	1604	325	1645	610	1685	416	1440	3,2442 Ha.		
1401	1052	1442	794	1484	325	1524	325	1565	325	1605	325	1646	600	1686	307	1462	3,6083 Ha.		
1402	977	1443	809	1485	375	1525	325	1566	387	1606	325	1647	600	1687	325				
1403	977	1444	825	1486	375	1526	293	1567	5 350	1607	325	1648	600	1688	325	1530	5,8513 Ha.		
1404	977	1445	748	1487	325	1527	306	1568	374	1608	325	1649	446	1689	325	1632	1,3498 Ha.		
1405	977	1446	730	1488	325	1528	330	1569	332	1609	525	1650	464	1690	325	1724	1 472		
1406	977	1447	784	1489	325	1529	14	1570	332	1610	332	1651	4 687	1691	325				
1407	977	1448	604	1490	325	1531	3 801	1571	332	1611	332	1652	358	1692	325				
1408	1339	1449	576	1491	371	1532	387	1572	333	1612	332	1653	325	1693	325	OORSPRONKLIKE KAART Nr 12403/84			
1409	2,7398 Ha	1450	577	1492	325	1533	325	1573	356	1613	332	1654	325	1694	325	LEËR Nr GEOR. 192			
1410	155	1451	561	1493	325	1534	325	1574	444	1614	332	1655	425	1695	325	MEETSTUKKE Nr E 3571/84			
1411	799	1452	1,6112 Ha.	1494	325	1535	325	1575	393	1615	326	1656	407	1696	325	KOMPILASIES ALND - 1211 (M 2952)			
1412	434	1453	772	1495	325	1536	325	1576	446	1616	356	1657	312	1697	325	AL - 22B/V/12 ( 678)			
1413	428	1454	717	1496	325	1537	405	1577	647	1617	379	1658	312	1698	325	ALND - 1212 (M 2953)			
1414	423	1455	717	1497	325	1538	448	1578	325	1618	385	1659	312	1699	371	ALND - 1213 (M 2954)			
1415	418	1456	747	1498	325	1539	325	1579	325	1619	387	1660	312	1700	325	ALND - 1214 (M 2955)			
1416	524	1457	820	1499	325	1540	325	1580	325	1620	390	1661	312	1701	325				
1417	468	1458	717	1500	325	1541	325	1581	325	1621	549	1662	312	1702	325				

<

L.G. Nr. 12404/84
VEL I
HIERDIE PLAN BESTAAN UIT 7 VELLE
GOEDGEKEUR
<i>H. van der</i> LANDMETER - GENERAAL
<i>85/8/133</i> OPGEMEET IN JUNIE - AUGUSTUS 1974
DEUR ONS
<i>[Signature]</i> <i>[Signature]</i> LANDMETERS
EN IN MAART 1983 - NOVEMBER 1984
DEUR MY
<i>[Signature]</i> LANDMETER

ADMINISTRATEUR SE GOEDKEURING AF 395/1/2 GEDATEER 1984-11-14

BEKENDGEMAAK AS 'N GOEDGEKEURDE DORP

KENNISGEWING NO PK 355/1985 GEDATEER 24-5-1985

OFFISIËLE KOERANT NO. 4374

ENDOSSEMENTE					
No.	WYSIGING	BYVOEGING	MAGTIGING	GETEKEN	DATUM

L.G. NOTES

1. ERWE 1532 EN 1533 IS GEKONSOLIDEERD VIDE KAART NR.9874/94 ERF 1981

2. ERWE 1526 EN 1527 IS GEKONSOLIDEERD VIDE KAART NR.7040/1998 ERF 2069

3. Erwe 1640 en 1641 gekonsolideer sien Erf 2261 Krt. No. 2349/1999

4. Erwe 1622 en 1623 gekonsolideer vide krt.1340/2000 ERF 2273

5. Erwe 1637 en 1643 gekonsolideer vide krt3863/2003 Erf 1993

6. Erf 1452 Vide Dummy Diagram No. 158/2004

7. Erf 1422 vervaardig vide Dgm.No.5/2005.

8. Erf 1391 bcons replaced i.to Reg 18(2) See Geor 192 vol 5 pg 1434 E 3571/1984

9. Erwe 1457 en 1476 gekonsolideer vide dgm 3943/2006 erf 2405

10. Erf 1548 beacn replace i.to Reg 18(2) see Geor 192 vol 6 pg93 E3571/1984

11. Erven 1466 and 1477 consolidated vide dgm. 528/2014 Erf 2279

12. Erf 1394 framed vide Diagram No.3085/2022

13. Erf 1464 beacons replaced i.to. Reg 18(2). See S/GEOR 192 VOL.7 pages 159-161; SRE3571/1984

B



## CONVEYANCER CERTIFICATE

I the undersigned, **J.J. VAN DER BERG (LPCM61135)**, in my capacity as conveyancer and attorney practising at Oosthuizen Marais & Pretorius Attorneys in Mossel Bay certify that a search was conducted in the Deeds Registry, Cape Town, regarding the following property (including both current and earlier title deeds / pivot deeds / deeds of transfer):

ERF 1596 WILDERNESS

In the Municipality and Division of George,  
Province of the Western Cape;

IN EXTENT: 325 (THREE HUNDRED AND TWENTY FIVE) Square Meters

Held by Deed of Transfer Number T35346/2024

In respect of which it was found that there is a restrictive condition registered against such property prohibiting the erection of certain buildings or structures within the parameters of the street line as set out below:

“6. (b) Geen gebou of struktuur of enige gedeelte daarvan, behalwe grensmure en heinings, mag behalwe met die toestemming van die Administrateur nader as 5 meter van die straatlyn wat ‘n grens van hierdie erf uitmaak, asook nie binne 3 meter van die agtergrens of 1,5 meter van die sygrens gemeen aan enige ander aangrensende erf opgerig word nie, met die verstande dat met die toestemming van die plaaslike owerheid –

(i) ‘n buitegebou wat uitsluitlik vir die stalling van motorvoertuie gebruik word en hoogstens 3 meter hoog is, gemeet van die vloer van die buitegebou tot by die muurplaat daarvan, binne sodanige sy- en agterruimtes opgerig mag word, en enige ander buitegebou van dieselfde hoogte binne die agterruimte en syruimte opgerig mag word vir ‘n afstand van 12 meter gemeet van die agtergrens van die erf, met dien verstande dat in die geval van ‘n hoekerf die afstand van 12 meter gemeet moet word van die punt wat die vereiste is van die strate wat die erf begrens;

(ii) ‘n buitegebou ingevolge subparagraaf (i) slegs nader aan ‘n sygrens of



agtergrens van 'n perseel as die afstand hierbo voorgeskryf, opgerig mag word indien geen vensters of deure in enige muur, wat op sodanige grens front, aangebring word nie.

Such restrictive conditions are addressed in the accompanying application and there are no further restrictive conditions registered against such property prohibiting the Administrator's Consent and Permanent Departure applied for as set out in the accompanying application.

In respect of which it was found that there is a Mortgage Bond registered over such property under Bond number B37525/2024, for which a consent from the bondholder is provided in the accompanying application.

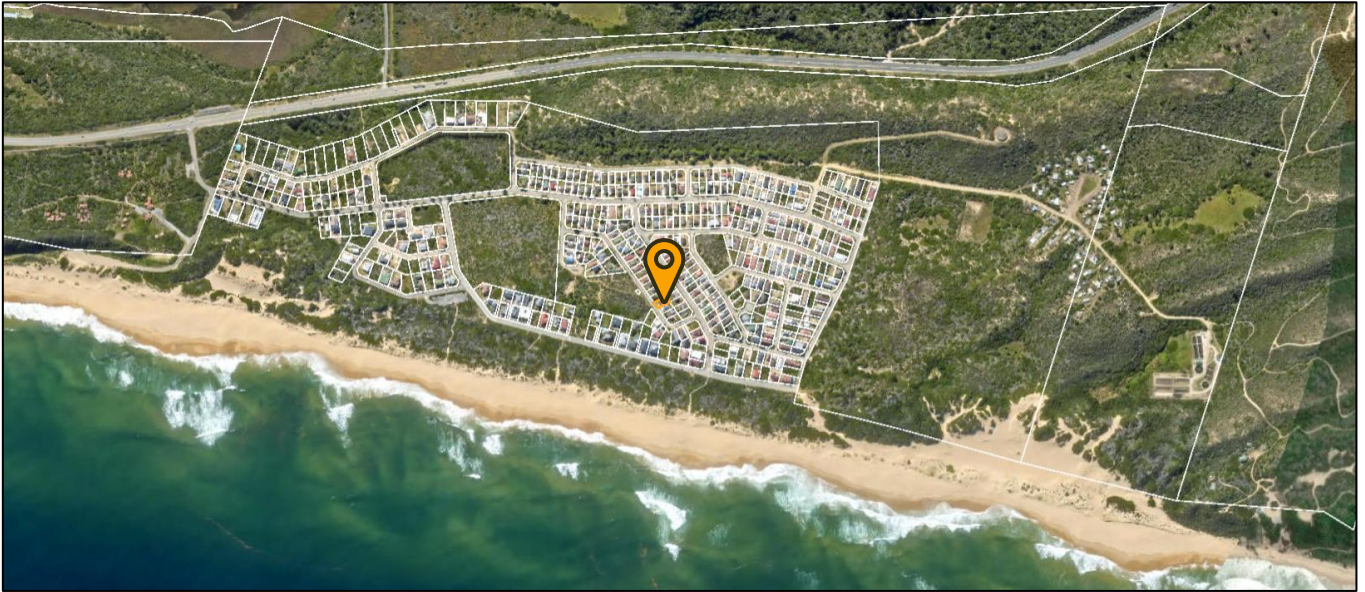
DATED and SIGNED at MOSSEL BAY on the 9th day of APRIL 2025.



---

**CONVEYANCER**  
**J.J. VAN DER BERG**  
**OOSTHUIZEN, MARAIS & PRETORIUS INC.**  
**SIOUX BUILDING**  
**16 SIOUX STREET**  
**VOORBAAI**  
**MOSSEL BAY**

## LOCALITY PLAN



Copyright ©

**ERF 1596,**  
**39 BAUHINIA STREET, KLEINKRANTZ**  
**GEORGE MUNICIPALITY & DIVISION**

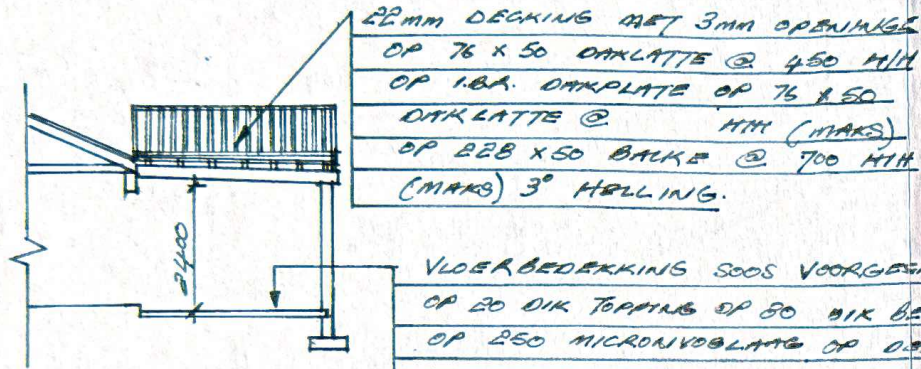
For scale refer to figured dimensions. Measurements always to be checked by Professional Land Surveyor.



KLEINKRANTZ.



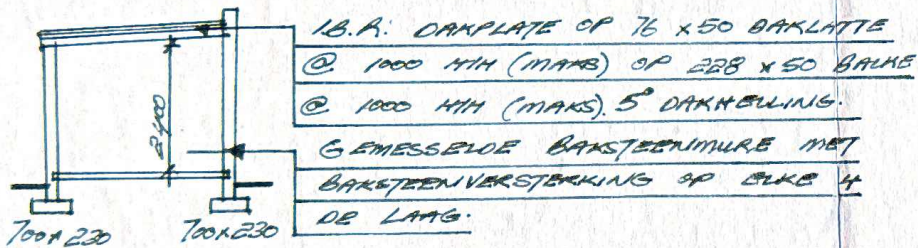
SNIT A-A 1:100



22MM DECKING MET 3MM OPENINGS  
OP 76 x 50 OAKLATTE @ 450 MM  
OP 18A OAKPLATE OP 76 x 50  
OAKLATTE @ MM (MAX)  
OP 228 x 50 BALLE @ 700 MM  
(MAX) 3° HELLING.

VLOERBEDERKING SOOS VOORGESKRYF  
OP 20 DIK TOPPING OP 80 DIK BETON  
OP 250 MICRONVLOER OP DITSLIKE  
GOED GEWONPARTIEKOE PUINVULLING

SNIT B-B 1:100



18A OAKPLATE OP 76 x 50 OAKLATTE  
@ 1000 MM (MAX) OP 228 x 50 BALLE  
@ 1000 MM (MAX) 5° DAKTHELLING.

GEMESSELDE BAKSTEENMUUR MET  
BAKSTEENVERSTERKING OP ELKE 4  
DE LAAG.

GEORGE MUNICIPALITY  
APPROVED subject to Section 7(1)(a) of the  
National Building Regulations & Building  
Standards Act 1977 (Act 103/1977).  
The approval hereby granted expires after 12  
months of date of approval unless erection of  
the building is commenced within the said  
period, or unless the period is extended  
through a written approval.

GEORGE MUNICIPALITY  
**APPROVED**  
DATE: 7/2/08 PLAN No: 1433/07  
Building Control Officer

GEORGE MUNICIPALITY  
**APPROVED**  
DATE: 7/2/08 PLAN No: 1433/07  
Plans Examiner

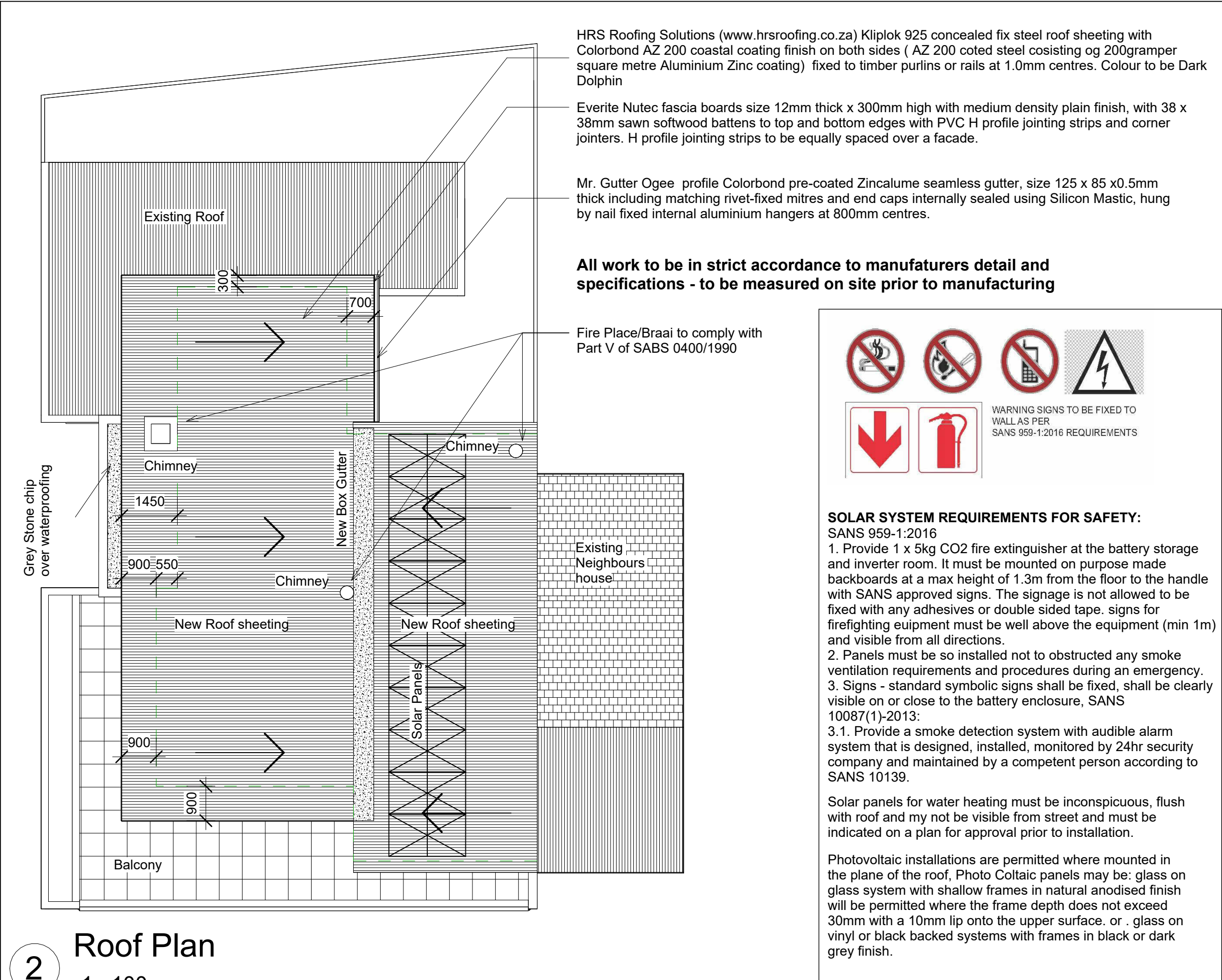
No final inspection  
will be carried out  
after 12h00 on a Friday

No person shall remove or prune  
any tree within a Municipal Road  
reserve without the prior permission  
in writing being obtained from the  
Municipality.

Geen persoon sal enige boom vanaf 'n  
Munisipale pad reserve verwyder of  
snod sonder die skriftelike  
toestemming van die Munisipaliteit.

VOORGESTELDE NUWIE UITER.  
OP ERF NO 1596 VIK  
MR. A. MARRIS, KLEINKRAAN





**SOLAR SYSTEM REQUIREMENTS FOR SAFETY:**  
SANS 959-1:2016  
1. Provide 1 x 5kg CO2 fire extinguisher at the battery storage and inverter room. It must be mounted on purpose made backboards at a max height of 1.3m from the floor to the handle with SANS approved signs. The signage is not allowed to be fixed with any adhesives or double sided tape. Signs for firefighting equipment must be well above the equipment (min 1m) and visible from all directions.  
2. Panels must be so installed not to obstruct any smoke ventilation requirements and procedures during an emergency.  
3. Signs - standard symbolic signs shall be fixed, shall be clearly visible on or close to the battery enclosure, SANS 10087(1)-2013:  
3.1. Provide a smoke detection system with audible alarm system that is designed, installed, monitored by 24hr security company and maintained by a competent person according to SANS 10139.  
Solar panels for water heating must be inconspicuous, flush with roof and my not be visible from street and must be indicated on a plan for approval prior to installation.  
Photovoltaic installations are permitted where mounted in the plane of the roof, Photo Voltaic panels may be: glass on glass system with shallow frames in natural anodised finish will be permitted where the frame depth does not exceed 30mm with a 10mm lip onto the upper surface. or, glass on vinyl or black backed systems with frames in black or dark grey finish.



SITE LOCALITY PLAN n.t.s



SG DIAGRAM n.t.s

**TAKE NOTE:**

- T.V. aerials and sishes must be fitted below eaves, Dish to be painted same colour as per external walls.
- Sewer and vent pipes must be concealed in brickwork
- Telephone and electrical cables to be underground.
- Air-con units must be concealed and smaller than 1200mm, Window mounted air-units are not allowed.
- Gas, Refuse bins, Clothesline must be concealed in yard.
- Solar heating systems my not be visable
- Number of property must be one set of numbers with max. height of 250mm and can be fitted to boundary wall.
- All cold water taps to be on right hand side of sanitary fitting and hot water taps on left hand side, consult the designer for position of bath and shower mixers as well as shower rose.
- W/M drainage pipe to be fitted with trap.

All fire places to comply with part V of SABS 0400/1996

**TAKE NOTE**

- Provide a slip-joint between concrete and load bearing brickwork wherever it occurs.  
To be embossed brickrip 375 micron dpc, bearing SABS mark No. 952-1969 Type B, well lapped at all joints and intersections & bedded in cement mortar.
- Provide vertical weep holes approximately every 880mm (i.e. after every 4th stretcher) all round building & to top of all window and door openings externally centred and positioned equidistant to outside.
- All brickwork to be laid in strict accordance with manufacturer's instructions and good building practise, with the use of standard brickforce and butterfly ties, making sure that all cavities are free from mortar.
- All reinforced concrete beams, floors slabs, staircases, retaining walls and foundations to engineer's detail and specifications.
- Depth of foundation and exact position of natural ground line and No. of steps to be determined on site.
- All gates leading to swimming pool area to be fitted with self closing and self latching device. Fences, walls and gates min height 1.2m as per Part DD48 SABS 0400
- Doors leading from garage into house to be fitted with self closing half hour fire door, walls between garage and rest of dwelling to be beamfilled.
- Continuous prestressed beam to be provided over garage door openings, spanning from one side of the garage to the other.

**SANS 10400XA Specifications:**

- Orientation**
    - Orientation be in accordance with SANS 204 4.1 & 4.2
  - Shading**
    - To be in accordance with SANS 204 4.3.5
  - External Walls**
    - To be in accordance with SANS 10400XA 4.4.3
    - Cavity and grouted cavity wall systems do comply to SANS 10400XA
  - Fenestration**
    - To be in accordance with SANS 10400XA 4.4.3 or SANS 204 4.3.4
    - All fenestration air infiltration to be in accordance with SANS 613
  - Roof Assembly Constructions**
    - To be in accordance with SNS 10400XA 4.4.2
  - Services - Lighting & Power**
    - To be in accordance with SANS 204 4.5.1
    - All lights must comply to table 12 pg 24
    - Energy saving bulb must be used throughout (LED)
  - Services - Mechanical ventilation and air conditioning**
    - To be in accordance with SANS 204 4.6
  - Hot water supply**
    - To be in accordance with SANS 10400XA 4.1
    - Solar heating systems need to comply with SANS 1307, SANS 10106
    - SANS 10254 and SANS 10252-1 These are regulations regarding the acutal system Requirements for water installations in buildings shall be in accordance with SANS 10252-1:2004 and SANS 10252-1(the installation of water systems)
    - All hot water service pipes shall be clad with insulation with a min R value of 1.
    - Hot Water pipes to be insulated with 25mm Polyurethane foam or 40mm of mineral wool or fiberglass.
    - Thermal insulation shall be installed in accordance with the manufacturers
- instructions.** An assessment of the roof by a structural engineer must check the location and structure thereof if installed on roof.

**ALL DRAWINGS AND DIMENSIONS MUST BE CORRELATED BEFORE ANY MATERIALS ARE ORDERED OR BUILDING WORK COMMENCES. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORKS. ANY DIFFERENCES MUST BE BROUGHT UNDER THE ATTENTION OF THE DESIGNER IMMEDIATELY. COPYRIGHT IS RESERVED ON ALL DRAWINGS AND DESIGNS.**

**GENERAL**

- All building work and drainage to be in strict accordance with S.A.B.S. 0400 requirements
- All dimensions and levels to be checked on site before commencement of works
- Written dimensions overrides scaled dimensions
- All structural timber to be V4 S.A. Pine unless otherwise specified.
- All dpc's to be stepped with weep holes at 880 cts positioned min 150 above paving or nat. ground level.
- All doors and window openings are to have pre-stressed concrete lintols over with a minimum of four continuous courses of brickwork with brickforce.(min. 230mm bearing)
- All external window and door openings to have vertical dpc's.
- All safety glazing to be as per S.A.B.S 0400 part N.
- Cavity walls to have min. 2.5 wire ties per sqm.

**DRAINAGE**

- All waste fittings to have deepseal traps.
- All sewer pipes to be 110 p.v.c at min 1:60 fall.
- All waste pipes to enter seperately into soil and vent stack.
- All sewer pipes running beneath driveways, conc. slabs or footings to be encased in 300 conc. all round.
- All waste fittings to have 40 p.v.c waste pipes.

No.	Description	Date

**ARCHITECTURE**  
Andre v. Schalkwyk  
Pr S Arch T ST1097  
0828888078  
Email: avanschalkwyk4@gmail.com

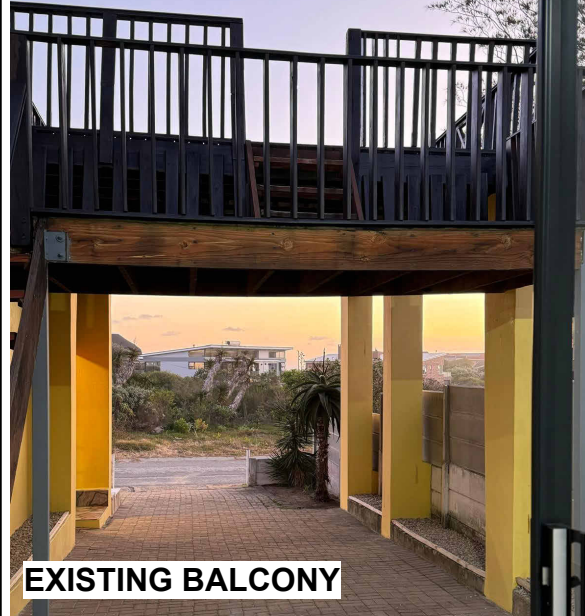
Client details:

**House Viljoen**

Alterations and extensions  
on erf 1596, 39 Bauhinia  
Kleinkrantz

**Site information  
& Roof Plan**

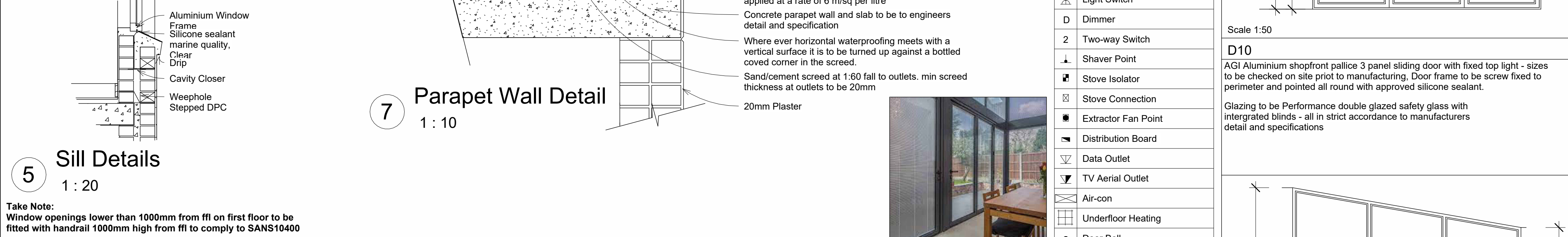
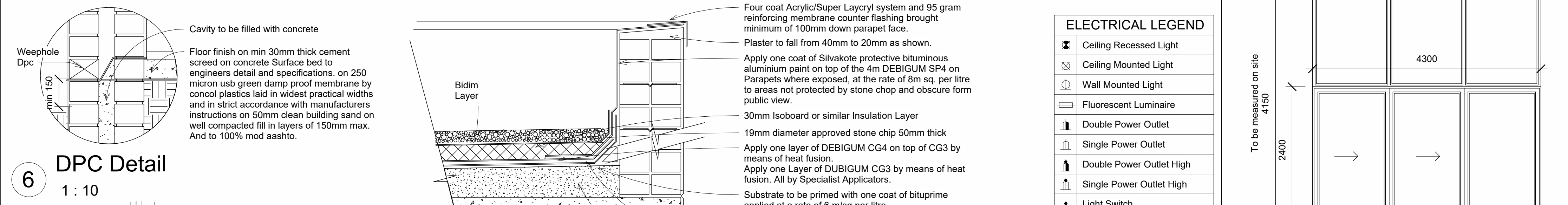
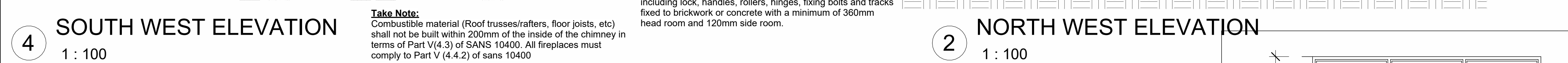
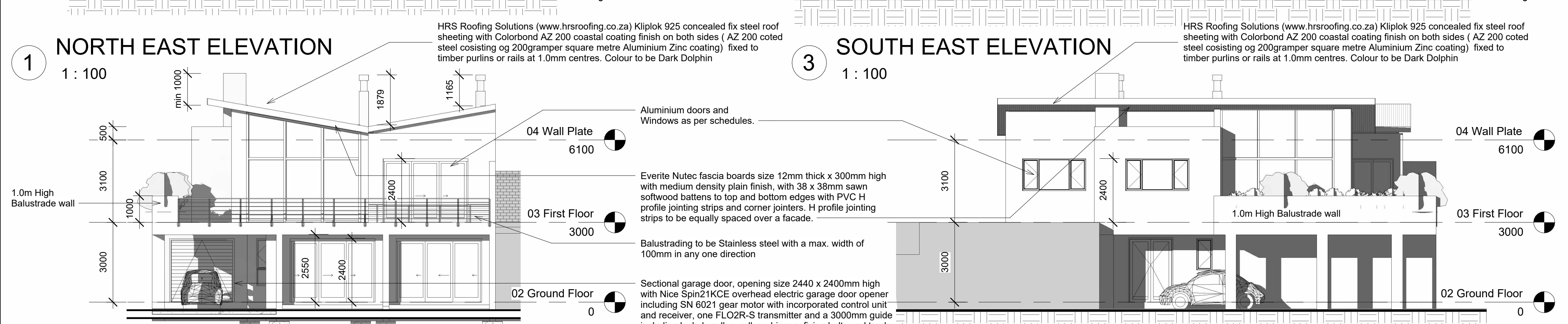
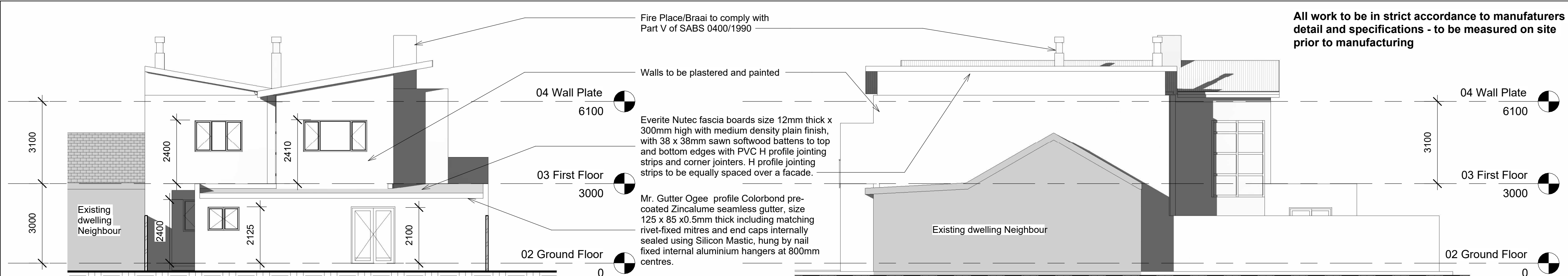
Project number	005 2025
Date	18 03 2025
Drawn by	avs
Checked by	Checker
Drawing no.	2000
Scale	1 : 100











DOOR SCHEDULE							
All Bathroom windows to be fitted with safety glass as per SANS 10400							
D1	D2	D3	D4	D5	D6	D7	D8
Glazing to be Performance double glazed safety glass with integrated blinds - all in strict accordance to manufacturers detail and specifications							

**TAKE NOTE:**

T.V. aerials and sishes must be fitted below eaves, Dish to be painted same colour as per external walls.

Sewer and vent pipes must be concealed in brickwork

Telephone and electrical cables to be underground.

Air-con units must be concealed and smaller than 1200mm, Window mounted air-units are not allowed.

Gas, Refuse bins, Clothesline must be concealed in yard.

Solar heating systems my not be visable

Number of property must be one set of numbers with max. height of 250mm and can be fitted to boundary wall.

All cold water taps to be on right hand side of sanitary fitting and hot water taps on left hand side, consult the designer for position of bath and shower mixers as well as shower rose.

W/M drainage pipe to be fitted with trap.

All fire places to comply with part V of SABS 0400/1996

**TAKE NOTE:**

Provide a slip-joint between concrete and load bearing brickwork wherever it occurs.

To be embossed brickrip 375 micron dpc, bearing SABS mark No. 952-1969 Type B, well lapped at all joints and intersections & bedded in cement mortar.

Provide vertical weep holes approximately every 880mm (i.e. after every 4th stretcher) all round building & to top of all window and door openings externally centred and positioned equidistant to outside.

All brickwork to be laid in strict accordance with manufacturer's instructions and good building practise, with the use of standard brickforce and butterfly ties, making sure that all cavities are free from mortar.

All reinforced concrete beams, floors slabs, staircases, retaining walls and foundations to engineer's detail and specifications.

Depth of foundation and exact position of natural ground line and No. of steps to be determined on site.

All gates leading to swimming pool area to be fitted with self closing and self latching device. Fences, walls and gates min height 1.2m as per Part DD48 SABS 0400

Doors leading from garage into house to be fitted with self closing half hour fire door, walls between garage and rest of dwelling to be beamfilled.

Continuous prestressed beam to be provided over garage door openings, spanning from one side of the garage to the other.

**SANS 10400XA Specifications:**

**1. Orientation**

- Orientation be in accordance with SANS 204 4.1 & 4.2

**2. Shading**

- To be in accordance with SANS 204 4.3.5

**3. External Walls**

- To be in accordance with SANS 10400XA 4.4.3
- Cavity and grouted cavity wall systems do comply to SANS 10400XA

**4. Fenestration**

- To be in accordance with SANS 10400XA 4.4.3 or SANS 204 4.3.4
- All fenestration air infiltration to be in accordance with SANS 613

**5. Roof Assembly Constructions**

- To be in accordance with SNS 10400XA

**4.4.2**

**6. Services - Lighting & Power**

- To be in accordance with SANS 204 4.5.1
- All lights must compy to table 12 pg 24
- Energy saving bulb must be used throughout (LED)

**6.1 Services - Mechanical ventilation and air conditioning**

- To be in accordance with SANS 204 4.6

**7. Hot water supply**

- To be in accordance with SANS 10400XA 4.1
- Solar heating systems need to comply with SANS 1307, SANS 10106 SANS 10254 and SANS 10252-1 These are regulations regarding the acutal system Requirements for water installations in buildings shall be in accordance with SANS 10252-1:2004 and SANS 10252-1(the installation of water systems)
- All hot water service pipes shall be clad with insulation with a min R value of 1.
- Hot Water pipes to be insulated with 25mm Polyurethane foam or 40mm of mineral wool or fiberglass.
- Thermal insulation shall be installed in accordance with the manufacturers

**instructions.**

An assessment of the roof by a structural engineer must check the location and structure thereof if installed on roof.

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**GENERAL**

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All dimensions and levels to be checked on site before commencement of works

Written dimensions overrides scaled dimensions

All structural timber to be V4 S.A. Pine unless otherwise specified.

All dpc's to be stepped with weep holes at 880 cts positioned min 150 above paving or nat. ground level.

All doors and window openings are to have pre-stressed concrete lintols over with a minimum of four continuous courses of brickwork with brickforce.(min. 230mm bearing)

All external window and door openings to have vertical dpc's.

All safety glazing to be as per S.A.B.S 0400 part N.

Cavity walls to have min. 2.5 wire ties per sqm.

**DRAINAGE**

All waste fittings to have deepseal traps.

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**ARCHITECTURE**

Andre v. Schalkwyk  
Pr S Arch T ST1097  
0828888078  
Email: avanschalkwyk4@gmail.com

Client details:

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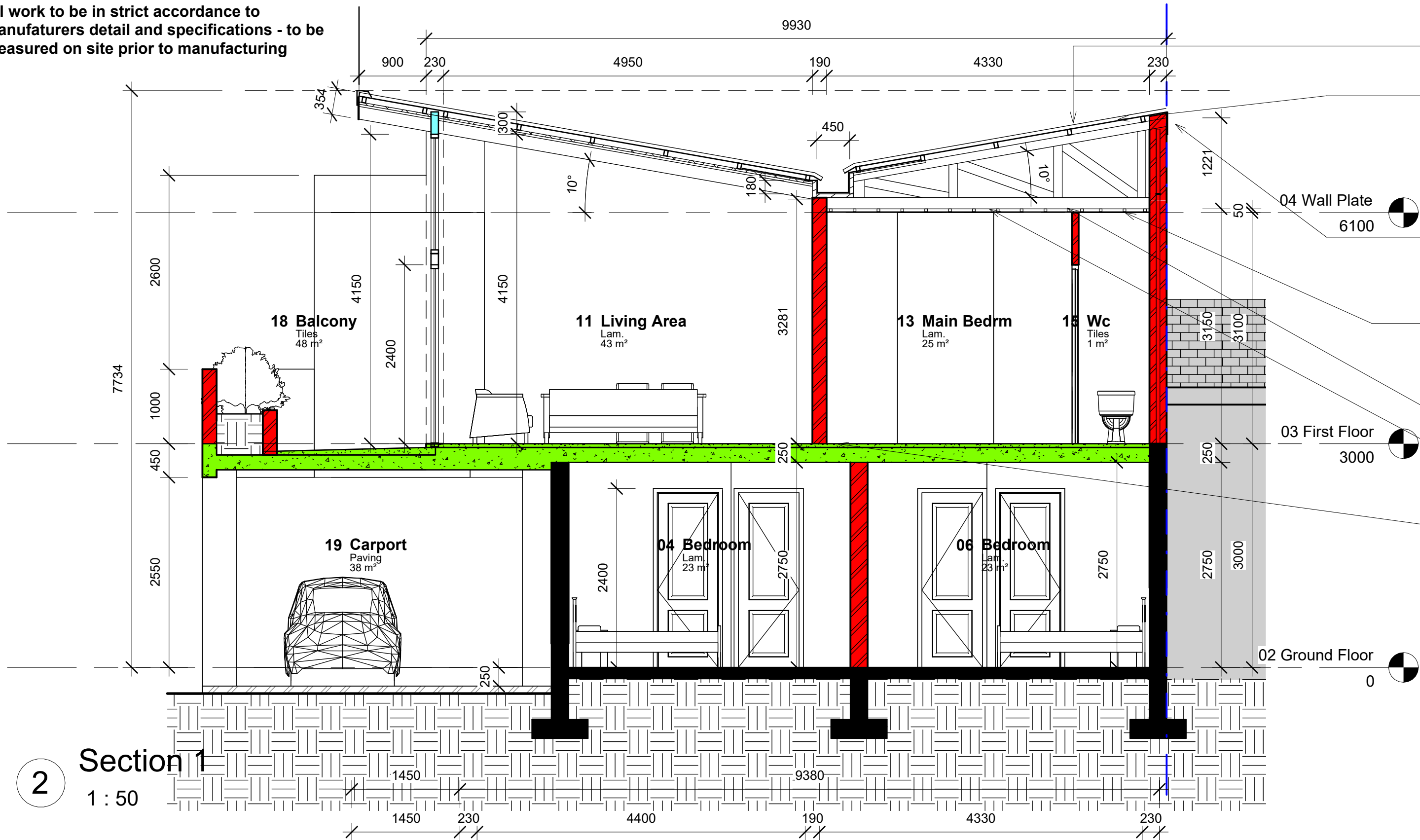
Alterations and extensions  
on erf 1596, 39 Bauhinia  
Kleinkrantz

**Elevations**

Project number	005 2025
Date	18 03 2025
Drawn by	avs
Checked by	Checker
Drawing no.	2002
Scale	As indicated



All work to be in strict accordance to manufacturers detail and specifications - to be measured on site prior to manufacturing



HRS Roofing Solutions (www.hrsroofing.co.za) Kliplik 925 concealed fix steel roof sheeting with Colorbond AZ 200 coastal coating finish on both sides (AZ 200 coated steel consisting of 200gram per square metre Aluminium Zinc coating) fixed to timber purlins or rails at 1.0mm centres. Colour to be Dark Dolphin

Super Sisalation® 405 Multi-purpose grade reinforced aluminium foil insulation double sided, light grammage, durable, reflective foil laminate incorporating layers of aluminium foil, high strength Kraft paper and reinforcing scrim bonded together with low density polyethylene, tested for conformance with SABS 1381: Part IV-1985, with a Class 1 fire rating in accordance with SABS 0177: part III - 1981 and BS 476 part 5, 6 and 7, drawn tautly across rafters and secured to each rafter with 38mm x 3,2mm x 1100mm hardboard counter batten strips positioned flush with the bottom edge of the material thus leaving 150mm overlap exposed at the top for the next layer and 150mm overlap thereafter on each 1250mm width roll.

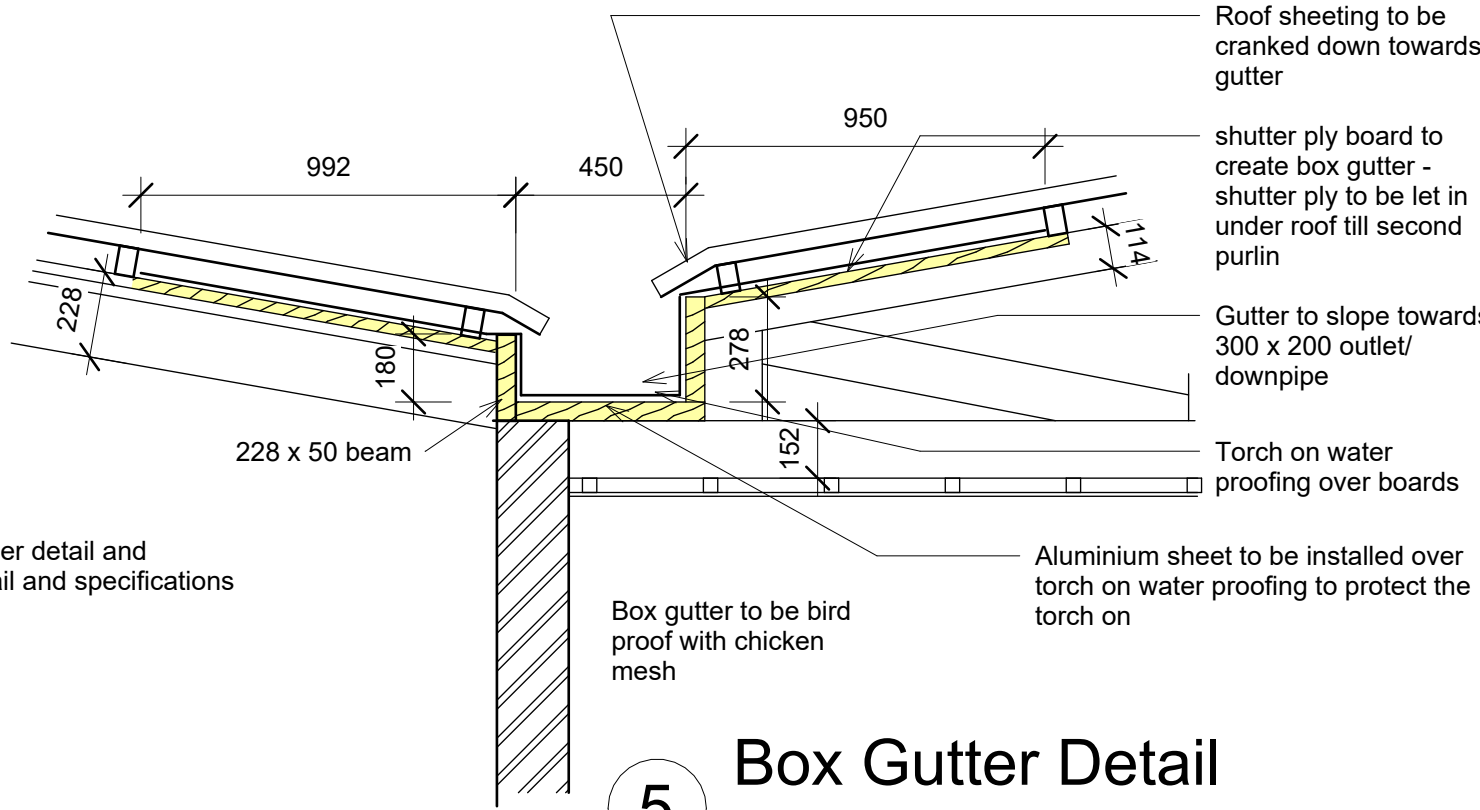
Everite Nuteac fascia boards size 12mm thick x 300mm high with medium density plain finish, with 38 x 38mm sawn softwood battens to top and bottom edges with PVC H profile jointing strips and corner jointers. H profile jointing strips to be equally spaced over a facade.

Gyproc 6,4mm RhinoCell Value gypsum flush plastered ceiling with square edged Rhinoboard fixed print side up with 32mm galvanised clout or semi-clout nails at 150mm centers to 38 x 38mm SA Pine bracing at 300mm centres in one direction. All joints to be covered with Rhinotape fixed over joints (double over butt joints) and then plastered with 3mm to 6mm thick Rhino Creststone gypsum skim plaster, all fixed to trusses at centres not exceeding 760mm in accordance with the manufacturers recommendations.

Shadow line cornice to be installed in strict accordance to manufacturers detail and specifications

Isotherm 165mm thick polyester thermal insulation laid over ceiling bracing closely fitted between rafters.

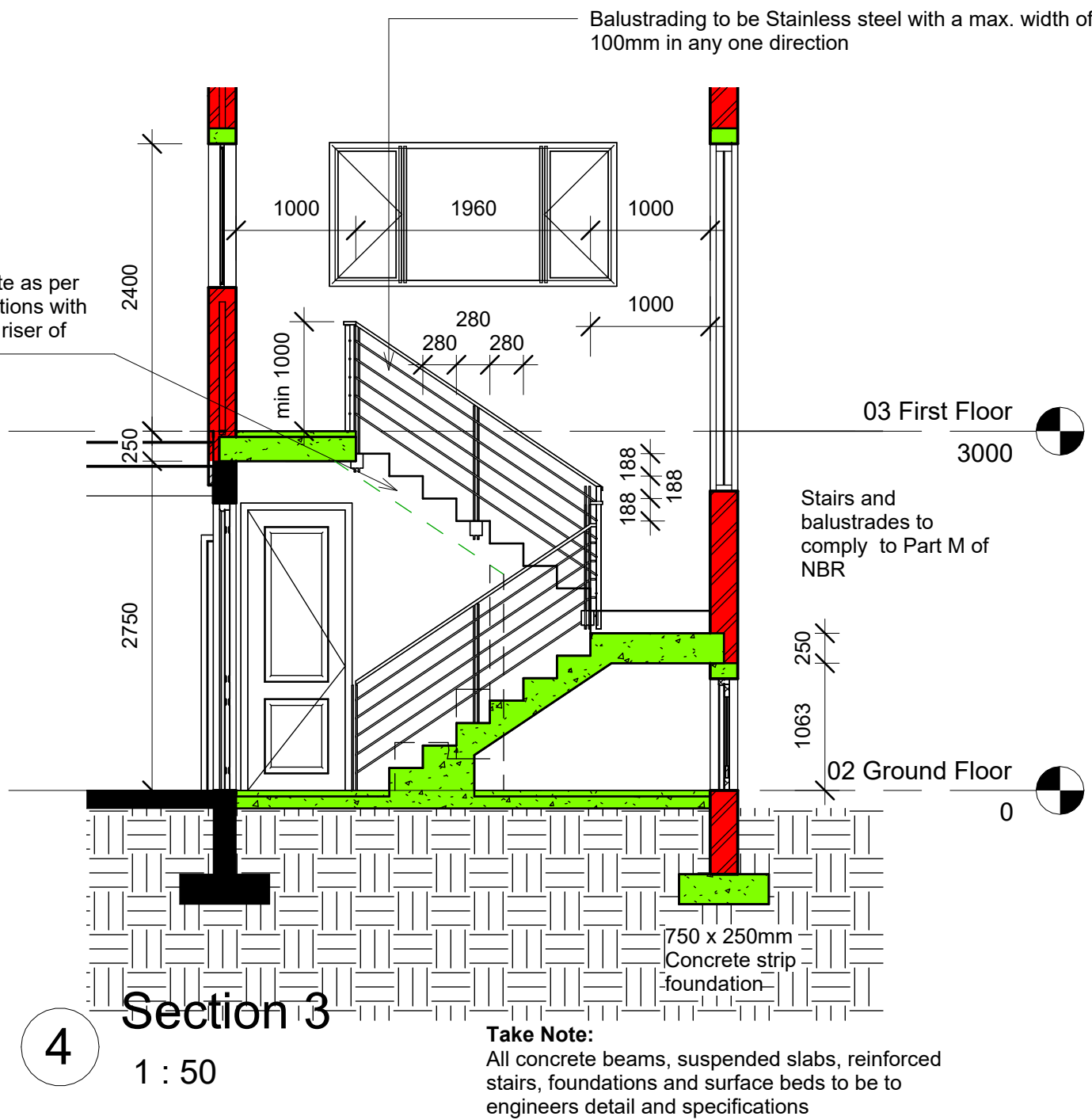
Cape Town Timber Co. solid SA pine skirting WSK5 size 22 x 140mm high, plugged and countersunk screwed to walls.



Airtion Timber or by similar S.A. pine prefabricated 10 degree pitch truss system @ max 1000mm c/c with roof sheeting covering designed in accordance with International Truss Systems and manufactured in accordance with ITC all conforming to the relevant SABS Codes of Practice, 300 to 600mm overhang, including all relevant bracing, hips and valley-sets, ect. Trusses to be fixed to walls either end with galv. steel teco brackets/truss hangers.

Suspended concrete floor slab to be to engineers detail and specification. - underside to be smooth as no ceiling to be installed

Floor finish on minimum 30mm thick screed on 100mm concrete surface bed to engineers specifications on 250micron usb green damp proof membrane by concol plastics laid in widest practical widths and in strict accordance with manufacturers instructions on 50mm clean building sand on well compacted fill in layers of 150mm max. & to 100% mod.aashto.



**Take Note:**  
All concrete beams, suspended slabs, reinforced stairs, foundations and surface beds to be to engineers detail and specifications

#### TAKE NOTE:

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\* Cavity and grouted cavity wall systems do comply to SANS 10400XA

**4. Fenestration**  
\* To be in accordance with SANS 10400XA 4.4.3 or SANS 204 4.3.4  
\* All fenestration air infiltration to be in accordance with SANS 613

**5. Roof Assembly Constructions**  
To be in accordance with SANS 10400XA

**4.4.2**  
**6. Services - Lighting & Power**  
\* To be in accordance with SANS 204 4.5.1  
\* All lights must comply to table 12 pg 24  
\* Energy saving bulb must be used throughout (LED)

**6.1 Services - Mechanical ventilation and air conditioning**  
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**7. Hot water supply**  
\* To be in accordance with SANS 10400XA 4.1  
\* Solar heating systems need to comply with SANS 1307, SANS 10106 SANS 10254 and SANS 10252-1 These are regulations regarding the acutal system

Requirements for water installations in buildings shall be in accordance with SANS 10252-1:2004 and SANS 10252-1(the installation of water systems)  
\* All hot water service pipes shall be clad with insulation with a min R value of 1.  
\* Hot Water pipes to be insulated with 25mm Polyurethane foam or 40mm of mineral wool or fiberglass.  
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**instructions.**  
An assessment of the roof by a structural engineer must check the location

and structure thereof if installed on roof.

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#### GENERAL

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All dpc's to be stepped with weep holes at 880 cts positioned min 150 above paving or nat. ground level.

All doors and window openings are to have pre-stressed concrete lintols over with a minimum of four continuous courses of brickwork with brickforce.(min. 230mm bearing)

All external window and door openings to have vertical dpc's.

All safety glazing to be as per S.A.B.S 0400 part N.

Cavity walls to have min. 2.5 wire ties per sqm.

#### DRAINAGE

All waste fittings to have deepseal traps.

All sewer pipes to be 110 p.v.c at min 1:60 fall.

All waste pipes to enter seperately into soil and vent stack.

All sewer pipes running beneath driveways, conc. slabs or footings to be encased in 300 conc. all round.

All waste fittings to have 40 p.v.c waste pipes.

No.	Description	Date

**ARCHITECTURE**  
Andre v. Schalkwyk  
Pr S Arch T ST1097  
0828888078  
Email: avanschalkwyk4@gmail.com

Client details:

**House Viljoen**

Alterations and extensions  
on erf 1596, 39 Bauhinia  
Kleinkrantz

## Sections

Project number	005 2025
Date	18 03 2025
Drawn by	Author
Checked by	Checker
Drawing no.	2003
Scale	As indicated

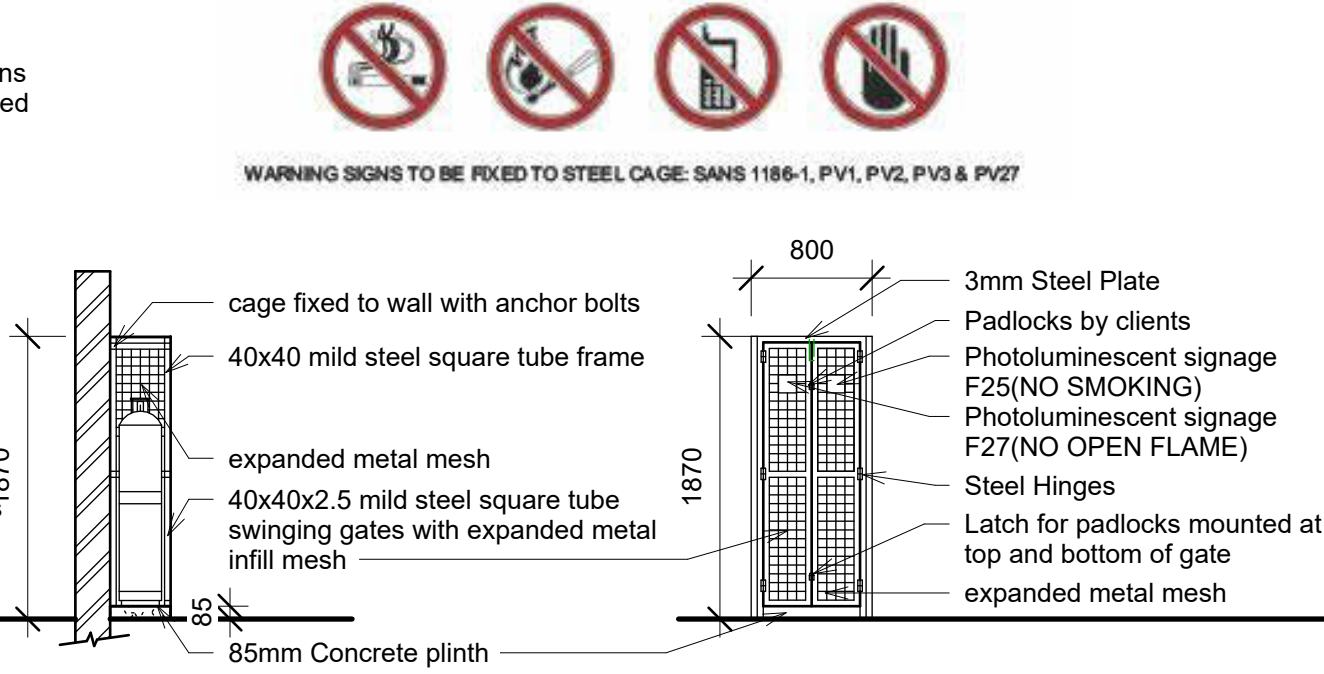
#### LP Gas plan to conform to SANS 10087

**Notes:**  
1. the installation of the containers, complete with all associated equipment and appliances and any subsequent repair of modifications to the installation, shall be carried out by a registered installer qualified to the appropriate grade( domestic of commercial grade). th storage of containers shall be in accordance with SANS 10087-3 or SANS 10087-7. NOTE this requirement does not inculde the replacement of containers. Each container shall be located in an upright position with the valce uppermost, and shll be so placed on a firm level base that there can be no danger of container tilting or falling over. containers shall be so located in an accessible position that, full and empty containers can be changed easily, they can be disconnected and removed quickly in case of an emergency, and the container valve can be easily operated. Provide emergency shut off valve at gas cylinder and on at gas hob.

A. Containers to be installed on firm, clean and dry level base that is sheltered from extreme weather, and area surrounding the containers shall be kept clear of combustible materials. Where necessary the containers shall be so installed as to protect them from accidental damage and interference by persons, animals or vehicles.

B. it is recommended that containers be protected by a suitable housing or hood.

C. No containers shall be installed less than 1m from any wall or fence on the boundary of the property of any opening in a non permanent building that is below the level of the container, IE doors, windows, air bricks, ect. and less than 2m from any drain pit or manhole



#### Gas Cage

1 : 50

All Building work and site operations to be in strict accordance to Occupational Health and Safety Act. The Occupational Health and Safety Act. Requires the employer to bring about and maintain, as far as reasonably practicable, a work environment that is safe and without risk to the health of the workers



#### SOLAR SYSTEM REQUIREMENTS FOR SAFETY:

SANS 959-1:2016

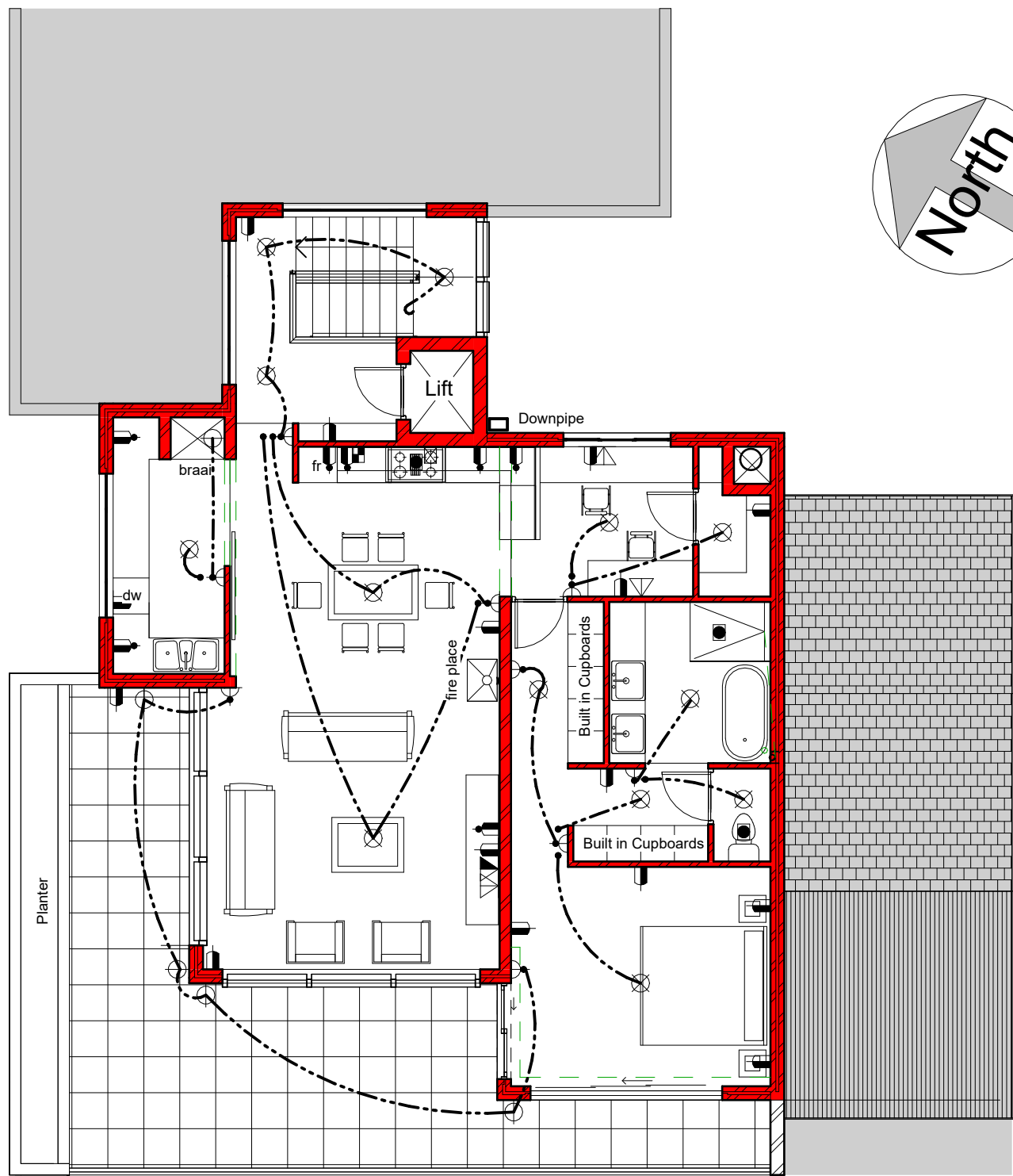
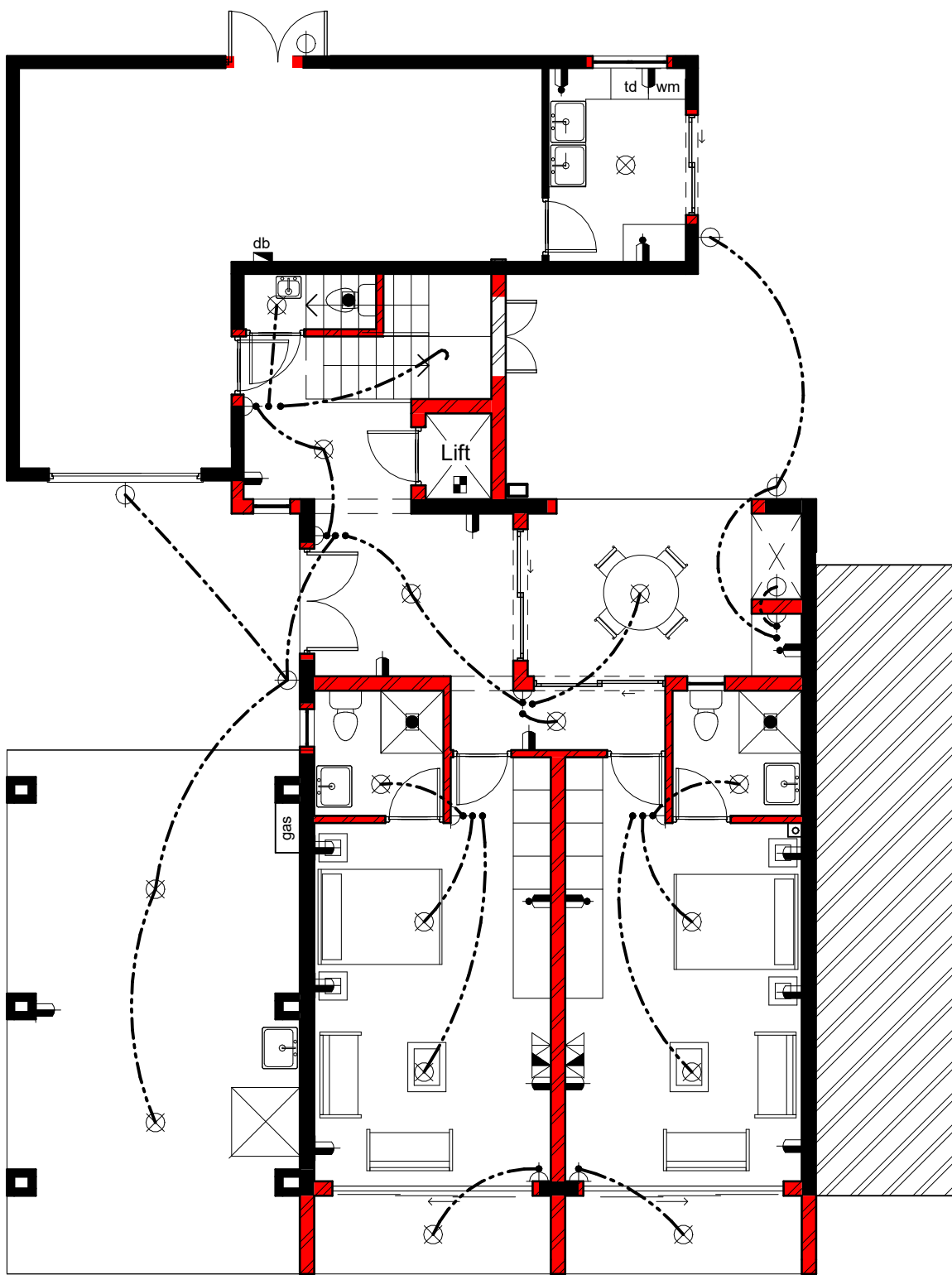
1. Provide 1 x 5kg CO2 fire extinguisher at the battery storage and inverter room. It must be mounted on purpose made backboards at a max height of 1.3m from the floor to the handle with SANS approved signs. The signage is not allowed to be fixed with any adhesives or double sided tape. signs for firefighting equipment must be well above the equipment (min 1m) and visible from all directions.

2. Panels must be so installed not to obstruct any smoke ventilation requirements and procedures during an emergency.

3. Signs - standard symbolic signs shall be fixed, shall be clearly visible on or close to the battery enclosure, SANS 10087(1)-2013:

3.1. Provide a smoke detection system with audible alarm system that is designed, installed, monitored by 24hr security company and maintained by a competent person according to SANS 10139.





## 07 Ground Floor Electrical

1 : 100

## 08 First Floor Electrical

1 : 100

ELECTRICAL LEGEND		
	Ceiling Recessed Light	D Dimmer
	Ceiling Mounted Light	2 Two-way Switch
	Wall Mounted Light	Shaver Point
	Fluorescent Luminaire	Stove Isolator
	Double Power Outlet	Stove Connection
	Single Power Outlet	Extractor Fan Point
	Double Power Outlet High	Distribution Board
	Single Power Outlet High	Telephone Outlet
	Light Switch	TV Aerial Outlet
	Door Bell	Air-con
	Warm Water Cylinder	Underfloor Heating

**Take Note:**  
Air from toilet and any habitable room, with no windows, shall be discharged or exhausted to the outside air. The artificial ventilation system shall not be connected to any artificial lighting system for the purpose of on/off control. All proposed artificial ventilation systems must have 10 air changes/h and 250/s per person in terms of Part Q(4.3.2) and tab.2 of sans 10400 and be a 2way system or an engineer must be appointed if it is a rational design.



**SOLAR SYSTEM REQUIREMENTS FOR SAFETY:**  
SANS 959-1:2016  
1. Provide 1 x 5kg CO2 fire extinguisher at the battery storage and inverter room. It must be mounted on purpose made backboards at a max height of 1.3m from the floor to the handle with SANS approved signs. The signage is not allowed to be fixed with any adhesives or double sided tape, signs for firefighting equipment must be well above the equipment (min 1m) and visible from all directions.  
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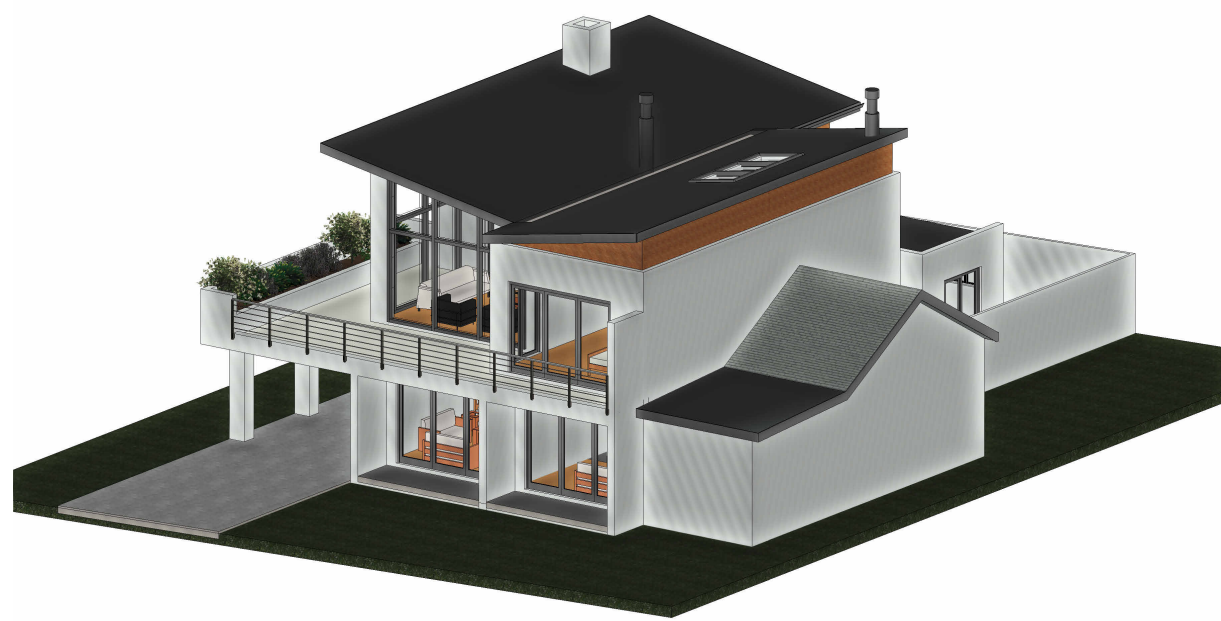
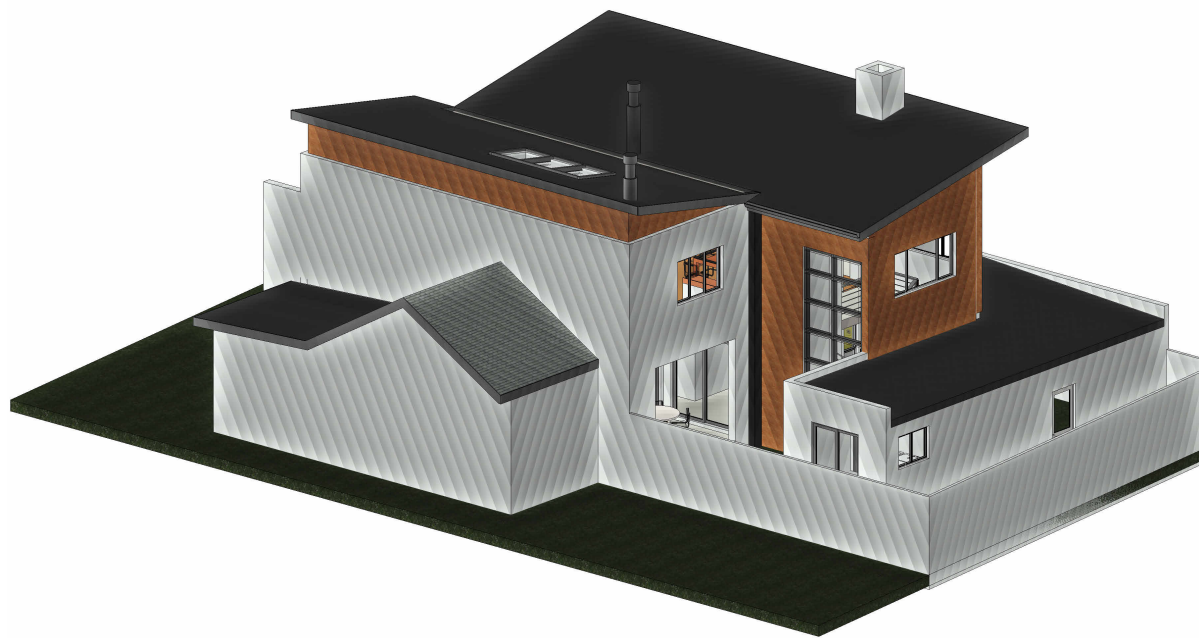
Solar panels for water heating must be inconspicuous, flush with roof and my not be visible from street and must be indicated on a plan for approval prior to installation.

Photovoltaic installations are permitted where mounted in the plane of the roof. Photo Voltaic panels may be: glass on glass system with shallow frames in natural anodised finish will be permitted where the frame depth does not exceed 30mm with a 10mm lip onto the upper surface, or, glass on vinyl or black backed systems with frames in black or dark grey finish.

WATER EFFICIENT SHOWER HEADS	Ecoflow 7LPM Plush Rain Showerhead
WATER EFFICIENT TAP AERATORS	Ecoflow 6LPM Tap Aerator Insert to be used in all taps
WATER EFFICIENT DUAL FLUSH SYSTEM	Dual flush cistern with a 3Ltr and 6Ltr flush
Water conservation and demand management system is to be in place with all taps to have a Ecoflow 6Lpm Tap Aerator insert to ensure limited water usage. All toilets to have dual flush cisterns with a 3ltr and 6ltr flush. All showers to have reduced shower heads with Ecoflow 7Lpm Plush rain showerhead.	
GAS WATER HEATER	16lt Bosch Optiflow range gas Geyser with 6 star energy rating  SANS 10400 Part XA:  A minimum of 50% of annual average hot water heating requirement shall be provided by means other than electrical resistance heating - The property will make use of gas water heaters

WATER HEATING CALCULATION			
A	Dwelling	4	People
B	Usage per Person	115	Liter sans 10252 table 5
C	Daily consumption	460	Liter/Day
D	Ambient input Temperature	15	Degrees C
E	Target output Temperature	55	Degrees C
F	Ave. temperature difference	40	Degrees C
G	Specific heat. fl of water	4.184	kJ/kg K
H	Daily energy usage	76985.6	kJ
I	KWh per day	21.3848889	kWh
J	Annual energy usage	7805.48444	kWh
K	Efficiency target = 50% of output	3902.74222	kWh
L	Geyser Cap.	240	Liters
	Flow Rate	20	l/m
	Heating Capacity	4.7	kW
	Power consumption	1.17	kW
	Co-Efficient of productivity	4	COP
	Annual heating energy	6784.356	kWh
	Annual heating energy spare	2881.61378	kWh

AVERAGE WATER CONSUMPTION			
Domestic & Commercial Appliances	L/Operation	No. Fitting	Total L/Operation
Bath	80-90	1	80
Shower	3-6/minute	3	9
Wash Hand Basins	4-8	5	20
WC flushing valve	8-10	4	32
Domestic Appliances	L/Day/Per Person served	No. People	
Garden Use	3-6	4	12
Drinking, Food prep, cooking	18-22	4	72
Personal washing and bathing	20-30	4	80
Washing dishes	8-12	4	36
WC flushing valve	32-40	4	128
Total			469



### TAKE NOTE:

T.V. aerials and sishes must be fitted below eaves, Dish to be painted same colour as per external walls.

Sewer and vent pipes must be concealed in brickwork

Telephone and electrical cables to be underground.

Air-con units must be concealed and smaller than 1200mm,

Window mounted air-units are not allowed.

Gas, Refuse bins, Clothesline must be concealed in yard.

Solar heating systems my not be visable

Number of property must be one set of numbers wih max. height of 250mm and can be fitted to boundary wall.

All cold water taps to be on right hand side of sanitary fitting and hot water taps on left hand side, consult the designer for position of bath and shower mixers as well as shower rose.

W/M drainage pipe to be fitted with trap.

All fire places to comply with part V of SABS 0400/1996

### TAKE NOTE

Provide a slip-joint between concrete and load bearing brickwork wherever it occurs.  
To be embossed brickgrip 375 micron dpc, bearing SABS mark No. 952-1969 Type B, well lapped at all joints and intersections & bedded in cement mortar.

Provide vertical weep holes approximately every 880mm (i.e. after every 4th stretcher) all round building & to top of all window and door openings externally centred and positioned equidistant to outside.

All brickwork to be laid in strict accordance with manufacturer's instructions and good building practise, with the use of standard brickforce and butterfly ties, making sure that all cavities are free from mortar.

All reinforced concrete beams, floors slabs, staircases, retaining walls and foundations to engineer's detail and specifications.

Depth of foundation and exact position of natural ground line and No. of steps to be determined on site.

All gates leading to swimming pool area to be fitted with self closing and self latching device. Fences, walls and gates min height 1.2m as per Part DD48 SABS 0400

Doors leading from garage into house to be fitted with self closing half hour fire door, walls between garage and rest of dwelling to be beamfilled.

Continuous prestressed beam to be provided over garage door openings, spanning from one side of the garage to the other.

### SANS 10400XA Specifications:

**1. Orientation**  
\* Orientation be in accordance with SANS 204 4.1 & 4.2

**2. Shading**  
\* To be in accordance with SANS 204 4.3.5

**3. External Walls**  
\* To be in accordance with SANS 10400XA 4.4.3  
\* Cavity and grouted cavity wall systems do comply to SANS 10400XA

**4. Fenestration**  
\* To be in accordance with SANS 10400XA 4.4.3 or SANS 204 4.3.4  
\* All fenestration air infiltration to be in accordance with SANS 613

**5. Roof Assembly Constructions**  
To be in accordance with SNS 10400XA

**4.4.2**

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Kleinkrantz

## Electrical Layout

Project number	005 2025
Date	18 03 2025
Drawn by	avs
Checked by	Checker
Drawing no.	2004
Scale	As indicated