



The Municipal Manager
P O Box 19
George
6530

Reference: Ptn 292 of 192

29 April 2025

Sir

APPLICATION FOR DEPARTURE (RELAXATION OF BUILDING LINES): PORTION 292 OF THE FARM KLEIN KRANTZ 192

Attached hereto, please find an application in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for a permanent departure for the relaxation of various building lines in respect of the existing dwelling house and associated outbuildings, second dwelling and double carport of Portion 292 of the Farm Klein Krantz 192.

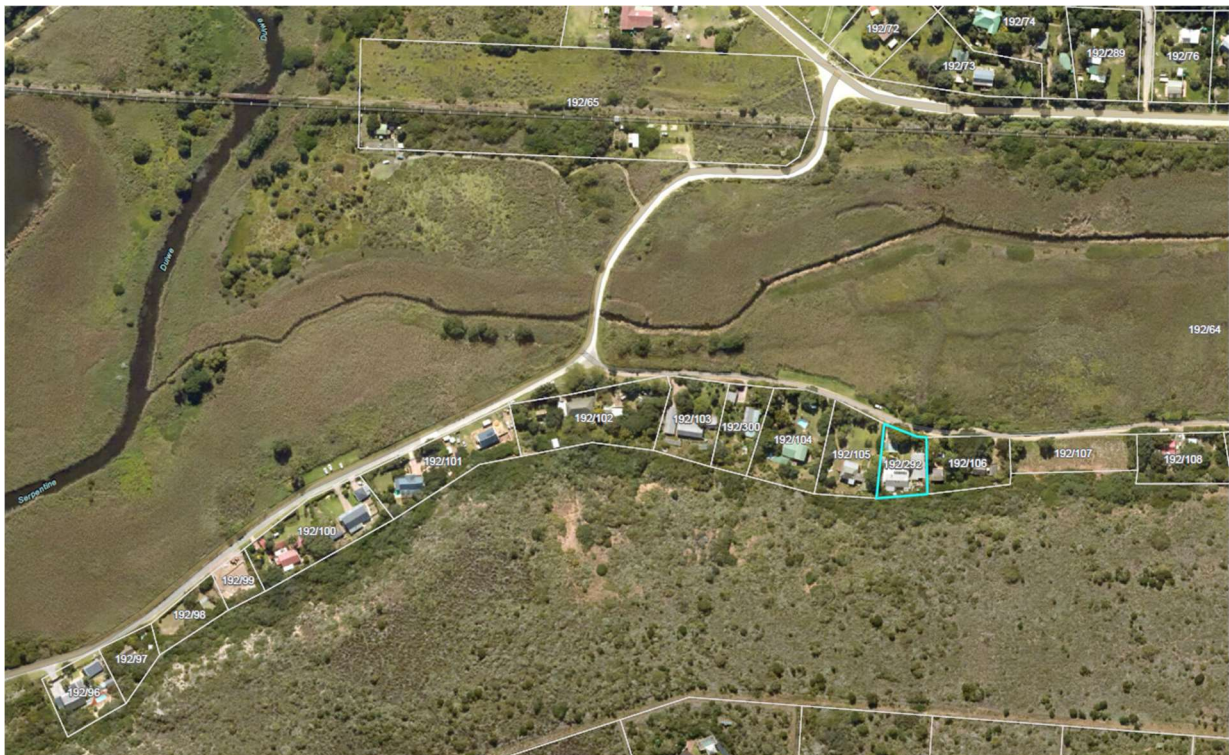
Your prompt consideration of the application will be appreciated.

Thanking you in anticipation.

Jan Vrolijk

MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURE
PORTION 292 OF THE FARM KLEIN KRANTZ 192

29 April 2025



Prepared for:

Philip Graig and Jill Marion
22 Die Vleie Road
Wilderness
6538

Prepared by:

Jan Vrolijk Town Planner/Stadsbeplanner
Millwood building, C/o York- and Victoria streets,
George,
P.O. Box 710, George, 6530
South-Africa
Tell: 044 873 3011
Cell: 082 464 7871
Fax: 086 510 4383
SACPLAN Registration No A/1386/2011

INDEX

1. APPLICATION

2. DEVELOPMENT PROPOSAL

3. GENERAL INFORMATION IN RESPECT OF PORTION 292 OF THE FARM KLEIN KRANTZ 192

- 3.1 Locality
- 3.2 Existing land use
- 3.3 Extent of erf
- 3.4 Present Zoning
- 3.5 Surveyor General Diagram
- 3.6 Title Deed
- 3.7 Power of Attorney
- 3.8 Bondholder's consent
- 3.9 Conveyancer Certificate

4. DESIRABILITY OF APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATION): PORTION 292 OF THE FARM KLEIN KRANTZ 192

- 4.1 Introduction
- 4.2 Existing planning in the area
 - 4.2.1 Primary dwelling house
 - 4.2.2 Second dwelling unit
- 4.3 Impact on schools, open spaces, and other community facilities
- 4.4 Impact on sunlight, view, and privacy
- 4.5 Impact on streetscape
- 4.6 Impact on property values

- 4.7 Impact on provision of parking
- 4.8 Impact on traffic circulation
- 4.9 Provision of services
- 4.10 Fire fighting

5. CONCLUSION

ANNEXURES

Annexure "A": Site and building plan

Annexure "B": Application form

Annexure "C": Locality plan

Annexure "D": Surveyor General Diagram

Annexure "E": Title Deed

Annexure "F": Power of Attorney

Annexure "G": Conveyancer Certificate

Annexure "H": Consent of owner of Portion 106 of the Farm Klein Krantz 192

MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURE (RELAXATION OF BUILDING LINES)
PORTION 292 OF THE FARM KLEIN KRANTZ NO 192

1. APPLICATION

- Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for a permanent departure for the relaxation of the following building lines in respect of the existing primary dwelling house and second dwelling unit and outbuildings including a double carport, storeroom and garden shed on Portion 292 of the Farm Klein Krantz 192:

⇒ the eastern side boundary building line from 10.0 meters to:

- 1.065 meters in respect of the northern corner of the veranda of the second dwelling unit;
- 1.081 and 1.126 meters in respect of the bedroom and bathroom of the second dwelling unit;
- 1.126 and 1.145 meters in respect of the bathroom and bedroom of the non-inter-leading rooms of the primary dwelling house; and
- 4.145 meters in respect of the living room of the non-inter-leading rooms of the primary dwelling house.

⇒ the rear boundary building line for the existing primary dwelling house from 10.0 meters to:

- 4.688 meters in respect of the bathroom;
- 2.904 and 3.477 meters in respect of the dressing room;
- 6.667 meters and 7.932 meters in respect of the kitchen;
- 4.320 meters and 5.423 meters in respect of the store room; and
- 9.365 meters in respect of the pergola in front of the bedroom.

- ⇒ the western side boundary building line for the primary dwelling house and outbuildings from 10.0 meters to:
- 3.349 meters and 3.391 meters in respect of the pergola in front of bedroom, bathroom and lounge;
 - 0.0 metres for a distance of 7.472 meters for the veranda at the swimming pool; and
 - 2.556 meters and 2.578 meters in respect of the storeroom and garden tool shed.

The proposed site and building plan are attached hereto as **Annexure “A”**. The completed application form for the permanent departure (building line relaxations) is attached hereto as **Annexure “B”**.

2. DEVELOPMENT PROPOSAL

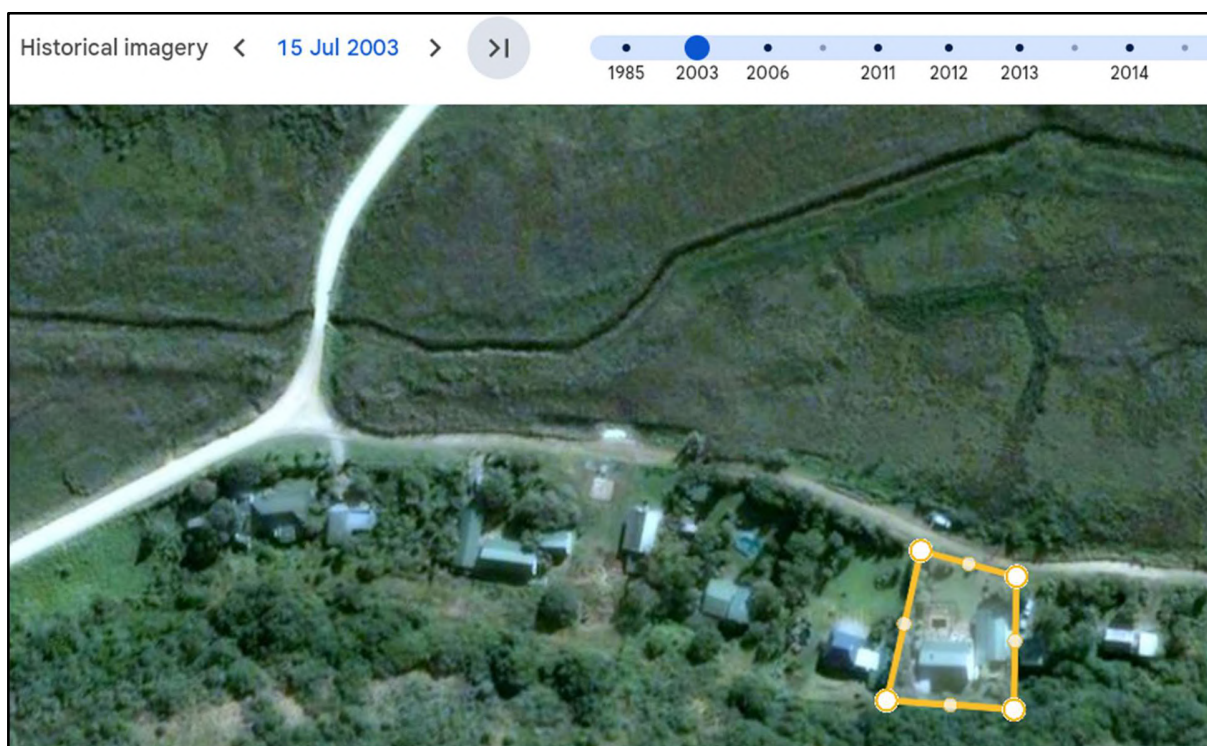
Portion 292 of the Farm Klein Krantz No. 192 is 1419m² in extent and is developed with a primary dwelling house of 291m² in extent, situated in the south-western corner of the property, consisting of 2 bedrooms, 2 bathrooms, open living space including the kitchen, a study and a north facing lounge with associated outbuildings including two storerooms, a garden toolshed and double carport.

The property also consists of an existing second dwelling unit (±133m² in extent) situated along the eastern side of the property, consisting of a bedroom, bathroom and small kitchen leading out to the covered patio. Attached to the second dwelling are also two non-inter-leading rooms (±55m² in extent) that also lead out to the covered patio of the second dwelling. The two non-inter-leading rooms consist of a bedroom with bathroom and a lounge.

The garden is well maintained and consists of a neatly kept lawn, mature trees and shrubs. The outdoor living space also includes a large swimming pool and veranda for outdoor dining and entertainment purposes. The entire property is well maintained and has a serene and comfortable character.

The house and second dwelling unit are visible on the 2003 google aerial imagery as indicated in the aerial image below. The aerial imagery from 1985 is very unclear and blurry and it is believed that the development only took place after 1997, when Portion 292 was created by the subdivision of Portion 106.

The current owners bought the property in 2006 with both the dwelling and second dwelling units in existence. Unfortunately, no approved building plans could be obtained and therefore the application for building line relaxation is required to submit as-built building plans for approval by the municipality.



The following photo indicates the access to the property, with the double carport and enclosed toolshed. The main dwelling's roof is visible behind the double carport, as the property has a gradual slope towards the north. Behind the main dwelling is retaining walls as the slope increases drastically thereafter.

The contour lines are indicated on the site plan attached as **Annexure "A"**.



The following photo taken in a southerly direction indicates the existing north facing primary dwelling house. The well-kept dwelling house is 291m² in extent, which includes the house, covered patio, double carports and associated outbuildings (tool shed and store room).



The picture below is taken in a south-western direction indicating the existing swimming pool and veranda/open air dining area for entertainment purposes. The wall in the back has a framed mirror to give the impression of continuous space, however this is the boundary wall of the property.



The following photo is taken in an eastern direction indicating the existing second dwelling and the two not inter-leading rooms of the primary dwelling house.



The existing second dwelling unit is built in the same architectural style to comply with the development parameter (b) of a “second dwelling”.

The second dwelling unit consists of a sizable bedroom, bathroom, dressing room and small kitchen that leads to the covered patio area and can also gain entrance from the veranda. The bedroom also has direct access to the north facing veranda. The second dwelling is spacious and purposefully built for luxury accommodation. However, it is important to note that the second dwelling unit is only utilized by the owner’s family and friends and is not being rented out.

Furthermore, the two non-inter-leading rooms that also gain access from the covered patio consists of a bedroom with a bathroom and a lounge/living room. The two non-inter-leading rooms also have a separate access from the south, as illustrated in the photo below.



The existing single vehicular access from Die Vleie Road will remain unchanged for both the primary and second dwelling units. The second dwelling unit has an open parking space in front of the existing tool shed. The area is already paved and will remain unchanged.

The site plan illustrates the layout of the property at 192 Klein Kraatz Road. Key features include:

- Portion 106 of the Farm Klein Kraatz 192 (192106):** Located at the top, containing a 'Secondary Dwelling' and a 'Covered Patio'.
- Portion 292 of the Farm Klein Kraatz 192 (192292):** A central area with a 'Main Dwelling' and another 'Covered Patio'.
- Portion 105 of the Farm Klein Kraatz 192 (192105):** Located at the bottom, featuring a 'Garage Building' and a 'Swimming Pool'.
- Portion 64 of the Farm Klein Kraatz 192 (19264):** Situated on the left side, primarily consisting of trees and landscaping.
- Unnamed Road:** A road running along the left boundary of the property.
- Locality Plan:** An inset map in the top right corner showing the property's location within the surrounding area.

3.1 Locality

Portion 292 of the Farm Klein Krantz 192 is situated in the western portion of Klein Krantz farms, to the north of “The Dunes” in the “Langvlei” smallholding area, east of the George and north of Kleinkrantz.

The locality of the property is indicated on the locality plan which is attached hereto as **Annexure “C”**.

3.2 Existing land use

The application property is currently used for rural residential purposes.

3.3 Extent

Portion 292 of the Farm Klein Krantz 192 is 1419m² in extent.

3.4 Present zoning

In terms of the George Integrated Zoning Scheme By-Law, 2023, the zoning of Portion 292 of the Farm Klein Krantz 192 is Agricultural Zone II (Smallholding).

3.5 Surveyor General Diagram

A copy of the Surveyor General diagram of Portion 292 of the Farm Klein Krantz 192 is attached hereto as **Annexure “D”**.

3.6 Title Deed

Portion 292 of the Farm Klein Krantz 192 is registered in the name of Philip Craig Marion and Jill Marion. A copy of Title Deed T27344/2006, the Title Deed of Portion 292 of the Farm Klein Krantz 192, is attached hereto as **Annexure “E”**.

3.7 Power of Attorney

A Power of Attorney, whereby Jan Vrolijk Town Planner / Stadsbeplanner is appointed by Philip Craig Marion and Jill Marion, the registered owners of Portion 292 of the Farm Klein Krantz 192, to prepare the application referred to in point 1 of this motivation report and to sign all relevant documents is attached hereto as **Annexure “F”**.

3.8 Bondholder’s Consent

Portion 292 of the Farm Klein Krantz 192 is not encumbered by a bond.

3.9 Conveyancer Certificate

A Conveyancer Certificate in respect of Portion 292 of the Farm Klein Krantz 192 is attached hereto as **Annexure “G”**. The Conveyancer Certificate confirms that there are no conditions in the Title Deed of the application property which restrict the existing structures on the property.

4. DESIRABILITY OF THE APPLICATION FOR PERMANENT DEPARTURE (RELAXATION OF BUILDING LINES) IN RESPECT OF PORTION 292 OF THE FARM KLEIN KRANTZ 192

4.1 Introduction

Specific issues which must be addressed in the motivation of applications are highlighted in the Land Use Planning By-Law for George Municipality, 2023. These issues are, however, aimed at more complex applications and are not applicable to lesser applications, such as permanent departures for building line relaxations.

This application will therefore be motivated with reference to the following aspects:

- *Compatibility of the proposal with the existing planning and land uses of the surrounding area.*
- *The impact that the proposal will have on the environment.*
- *The impact that the proposal will have on traffic and parking in the surrounding area.*

- *The impact that the proposal will have on surrounding facilities such as schools, open spaces and other community facilities, should the application result in an increase in the population of the area concerned.*
- *The impact that the proposal will have on the existing character of the surrounding area and the rights of the inhabitants of the area in respect of property values, privacy, view, sunlight, et cetera.*
- *Provision of essential services.*

4.2 Existing planning in the area

4.2.1 Primary dwelling house

The application property is situated in an area characterized by and zoned to accommodate “smallholdings”. The owners are using the property for rural residential purposes, in line with the zoning. In terms of the George Integrated Zoning Scheme Bylaw, 2023 as set out below, the primary dwelling unit may have 2 not inter-leading rooms, thus the bedroom with ensuite bathroom and living room are the two not inter-leading rooms in terms of the zoning scheme regulations

“smallholding”

Land use description: “*smallholding*” means an extensive landholding, including a dwelling house, where small-scale agricultural activities, that is not a public nuisance or harmful to the environment and does not require approval in terms of other legislation, may take place and may also include natural areas.

A “dwelling house is defined in terms of the George Integrated Zoning Scheme Bylaw as follows:

“dwelling house”

Land use description: “*dwelling house*” means a building containing only one dwelling unit, together with such outbuildings as are ordinarily used with a dwelling house, including:

- (a) a storeroom and garaging;

- (b) a second dwelling unit;
- (c) a braai room;
- (d) home occupation;
- (e) letting to lodgers;
- (f) a bed and breakfast establishment;
- (g) home child care; and
- (h) greenhouse.

“**dwelling unit**” means a self-contained, inter-leading group of rooms with a uniform architectural style approved by the Municipality used for the living accommodation and housing of one family, together with such outbuildings as are ordinarily used with such a dwelling unit —

- (a) with not more than one kitchen;
- (b) provided that a maximum of two habitable rooms which are not inter-leading with the main dwelling unit and do not include a kitchen, are permissible and an outbuilding is not an inter-leading room;
- (c) does not include tourist accommodation or accommodation used as part of a hotel; and
- (d) including the conducting of an office based work-related activity of a professional, clerical, or administrative nature by an employee of a company from their place of residence, which excludes a home occupation, and does not result in additional trip generation;

In terms of the George Integrated Zoning Scheme By-Law, 2023 the building lines applicable to smallholdings are determined by the extent of the property. The application property is 1419m² in extent. The building lines for smallholdings smaller than 2 hectares are 10 metres, however smallholdings smaller than 5 000m² have a 5-metre street building line.

The extent of the application property, as well as that of the property to the east and west thereof, (which are both only used for rural residential purposes) are similar to single residential erven in an urban area, where the side and rear boundary building lines would have been 3.0 metres. Except for the eastern side boundary building line which ranges between 1.065 to 1.145 metres the rest of the structures comply with the 3 metres building line and could therefore be considered to be in line with the “residential” use of the area.

4.2.2 Second dwelling unit

The existing second dwelling unit is $\pm 133\text{m}^2$ in extent and complies with the Land Use description and development parameters as set out in the George Integrated Zoning Scheme for George Municipality, 2023

“second dwelling”

Land use description: “*second dwelling*” means another dwelling unit which may, in terms of this By-law, be erected on a land unit where a dwelling house is also permitted; and such second dwelling may be a separate structure or attached to an outbuilding or may be contained in the same structure as the dwelling house; provided that –

- (a) the second dwelling must remain on the same land unit as the dwelling house and not be alienated separately;
- (b) all habitable rooms in a second dwelling unit must be interleading.

Development parameters:

The development parameters applicable to the “primary use” as indicated in column 2 of the use zone table in schedule 1 apply, together with the following additional parameters:

- (a) The total floor space of a second dwelling unit may not exceed 175 m^2 , which includes the floor space of all ancillary buildings.
- (b) A second dwelling must be constructed in a style that is similar to the architecture of the main dwelling house, unless otherwise permitted by the Municipality.
- (c) A second dwelling that is a separate structure to a dwelling house may not exceed a height of 6,5 metres to the top of the roof.
- (d) A second dwelling that is contained within the same building as a dwelling house must be designed so that the building appears to be a single dwelling house; both units may have a ground floor, or one unit may be on the ground floor and the other unit above.

- (e) The existence of a second dwelling may not in itself be sufficient reason for the Municipality to grant an application in terms of planning law to subdivide the land unit containing the dwelling units.
- (f) The construction of a second dwelling may be subject to the Municipality's municipal services department certifying that adequate services network capacity is available to serve the needs of the second dwelling.

4.3 Impact on schools, open spaces and other community facilities

This application entails the relaxation of building lines on the application property to accommodate the existing dwelling house, second dwelling unit and associated outbuildings.

The proposed permanent departure for the relaxation of the mentioned building lines will not result in an increase in the number of inhabitants of the property beyond that which is accommodated in the zoning of the property. As such, the relaxation of the building lines as applied for will not have an impact on schools, open spaces and other community facilities in the area. This aspect is, therefore, not relevant to this application.

4.4 Impact on sunlight, view and privacy

The following aerial photo indicates that, as there is a large nature area to the north and south of the application property, the only properties that could be affected by the building line relaxations, are Portion 106 of the Farm Klein Krantz 192 to the east and Portion 105 to the west, which is situated adjacent to the application property.

The aerial photo shows that the dwelling house on Portion 105 of the Farm Klein Krantz 192 is situated on the north-eastern side of the property, with a large undeveloped area towards the north. The existing house on Portion 105 and the subject property is approximately 8m apart, which is 2m more than in a single residential area, where properties are more than 1000m² in extent. It is also visible from the aerial image below that dense vegetation and mature trees are on the boundary of Portion 105, which creates the necessary privacy. Portion 106 on the eastern side of the subject property gave written consent to the building line relaxation, as they were

owners on Portion 106, when the second dwelling was constructed and also gave their consent at that time. A copy of the written consent is attached hereto as **Annexure “H”**.

It is therefore clear that the proposed relaxation of the building lines as proposed in this application can have no negative impact on sunlight, view or privacy in respect of any of the adjacent properties.



4.5 Impact on streetscape

The following photo indicates the street elevation of the application property. The only structure that is visible from the street level is the existing carport and toolshed when the access gate is open. When the gate is closed the mature trees screen all the structures except the boundary wall from the street level.



The relaxation of the building lines, as proposed in this application, will therefore not have a negative impact on the streetscape in the vicinity of the application property.

4.6 Impact on property values

As indicated in the previous paragraphs, the existing structures in respect of which the building line relaxations are required will not have a negative impact on the surrounding properties. The outside finishes are of good quality and the structures fit in with the existing character of the area.

The value of surrounding properties can, therefore, not be negatively impacted by the relaxation of the building lines as proposed in this application.

4.7 Impact on the provision of parking

The provision of parking conforms with the requirement for on-site parking as set out in the George Integrated Zoning Scheme By-Law, 2023. Two parking bays for the primary dwelling house are provided by means of a double carport and an open parking space is provided in front of the existing toolshed on an already paved area. The provision of on-site parking will therefore not be negatively impacted upon by the relaxation of the building line as proposed in this application.

4.8 Impact on traffic circulation

The proposed relaxation for the existing dwelling house and second dwelling is only for the side and rear boundary building lines. The street building line for smallholdings smaller than 5000m² is 5 metres. The existing double carport and tool shed is 10m from the street boundary building line.

Traffic circulation will therefore not be negatively impacted upon by the relaxation of the building lines as proposed in this application.

4.9 Provision of services

The building line relaxations as proposed in this application will not have any negative impact on the existing services or the provision of services. Should any extension of the existing municipal infrastructure be required as a result of this application for building line relaxations, all costs as a result of such extension will be for the account of the owner, subject to the conditions of the municipality.

4.10 Firefighting

The fire-fighting requirements stipulated in the fire-regulations will not be negatively impacted upon as the application property will still be fully accessible for fire-fighting purposes.

5. CONCLUSION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for a permanent departure for the relaxation of various building lines in respect of the existing dwelling house and associated outbuildings, second dwelling and double carport of Portion 292 of the Farm Klein Krantz 192.

As indicated in this report the proposed application for permanent departure is compatible with all existing planning documents, spatial plans, legislation and policy documents applicable to the application.

The proposal will not have a negative impact on the environment, development, public facilities, traffic circulation or Municipal services in the surrounding area.

The application can therefore be considered desirable and is submitted for consideration in terms of the relevant stipulations of the Land Use Planning By-Law for the George Municipality, 2023.

ANNEXURE "A": PROPOSED SITE AND BUILDING PLAN



Site Plan
Scale:1:100



Locality Plan

Areas and Coverage Breakdown		
Erf Info	Areas	Unit
Extent of Erf	1 419.000	m²
Building Lines Streets	0	m
Building Lines Side Boundaries	0	m
Zoning	Agricultural	AZII
Occupancy	Dwelling House	H4
Areas & Coverage		
Main Dwelling	183.423	m²
Secondary Dwelling	132.957	m²
Ancillary Room 1	29.015	m²
Ancillary Room 2	25.517	m²
Swimming Pool	15	m²
Garage Building	56.268	m²
Veranda	12	m²
Total	477.8	m²
Total Coverage	33.67	%

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ACTS OF PARLIAMENT:
All Contractors shall ensure that, before any work is put in hand, they comply with all the necessary Acts of Parliament of the Republic of South Africa.

GENERAL NOTES:
- ALL WORK TO COMPLY WITH NATIONAL BUILDING REGULATIONS SANS 10400. NO MEASUREMENTS TO BE SCALED.
- ALL LEVELS AND DIMENSIONS TO BE VERIFIED ON SITE.
- ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / DESIGNER IMMEDIATELY.
- READ DRAWINGS IN CONJUNCTION WITH ENGINEER'S DETAIL.
- ALL REINFORCED CONCRETE WORK TO BE ACCORDING TO STRUCTURAL ENGINEER'S DESIGN AND DETAIL.
- THE BUILDING OWNER IS RESPONSIBLE FOR ENSURING THAT THEIR PROJECT IS SANS COMPLIANT AND SIGNED OFF BY A QUALIFIED ENGINEER.

STAIRS AND RAILING:
A NON COMPLIANT BALUSTRADE IS A SAFETY RISK. ENSURE THE BALUSTRADE SYSTEM IS INSTALLED CORRECTLY.
SANS 10400 Part B, Part D and Part M, SANS 10160-2:2011.
Stairs and risers as shown. Risers as indicated on drawing and run as indicated on drawing. minimum balustrade height: 1000mm. Opening between rails and / or droppers not to exceed 100mm. Any balustrade or wall provided to protect a change in level shall comply with the requirements of SANS 10400-8.

FIRE PROTECTION: SANS 10400 Part T:
The requirements of the Act will be deemed to have been satisfied if the design, construction and equipment of buildings complies with SANS 10400 Part T and satisfies the local authority.

STORM WATER: SANS 10400 Part R:
The owner of any site shall provide suitable means for the control and disposal of accumulated stormwater which may run off from any earthworks, building or paving. CONTRACTOR MUST ENSURE THAT STORM WATER DOES NOT DAMAGE EXISTING BUILDING WORK OR NEIGHBOURING PROPERTIES DURING CONSTRUCTION AND THAT STORMWATER DRAINAGE IS SUFFICIENT.

PLUMBING & SEWER: SANS 10400 Part P:
Existing sewer presumed to be according to previous approval. Not visible for inspection by Arch Technologist. All sanitary appliances to be supplied with anti-siphon traps and/or ventilated according to NBR requirements. -ie's at all bends, connections and changes of gradient with marked covers on ground level. Sufficient access panels to be installed in all shafts over ie's. -all sanitary pipes to be accessible. Sewage pipes under floors or buildings not to change direction and must be encased in 100mm concrete.

RAINWATER DISPOSAL:
Provide 1m paving around building with fall away from structure where practical. GUTTERS & DOWN PIPES TO BE INSTALLED WHERE PRACTICAL. We highly recommend installing as many rainwater tanks as practically possible.

SITE PREPARATION:
Remove top-soil and organic material within interior footprint of building and paving. Above material not to be used as backfill. Keep site dry. Stockpile top-soil and re-use where possible.

FOUNDATION: SANS 10400 Part H:
All foundations concrete strip foundations unless specified. Concrete minimum 15MPa after 28 days.

FILLING: SANS 10400 Part J (JJ2.3):
Backfill to be compacted in layers not more than 150mm layers to minimum. Compact to min. 96% MOD. ASHTO or otherwise as specified by Engineer.

SURFACE BEDS:
Minimum 100mm thick 15MPa on DPC. Expansion joints to be provided 20m max.

WATERPROOFING: SANS 10400 Part JJ(JJ3) and Sec. K(KK15):
Provide 250 micron USB DPC underneath all surface beds and 375 micron Black DPC in walls with min. 100mm overlap at joints. Provide "brickrip" DPC underneath all window sills. All joints according to specifications.

BRICKWORK: SANS 10400 Part K:
Brickwork in stretching bond with minimum joint thickness of 10mm. Interior walls minimum 110mm thick. Brick as indicated. Stock bricks to be kept clean of mortar. Provide brickforce in each layer for foundation walls, (6 layers minimum), each layer above windows and doors and at 4 course intervals: use alternate layer of 75mm brickforce and butterfly tie-wires for all other 280mm brickwork. Use 75mm brickforce in each course every 4 layers for 110mm and 220mm brick walls.

PLASTER WORK:
One layer plaster minimum 12mm thick.

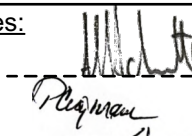
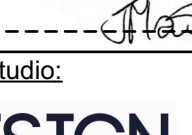
ROOF:
Construction & Material to comply with SANS 10400 Part L and SANS 1000:2009.

GLAZING:
SANS 10400 Part N, SABS 0137-200, SABS 1263: Clear Glass unless specified. Mark all sliding doors visible. SAFETY GLASS IN ALL DOORS AND WINDOWS LOWER THAN 300mm FROM GROUND LEVEL AND LARGER THAN 1 m².

SKIRTING AND CORNICING:
Skirting & cornicing where required as specified.

GEYSERS: SABS 0254
With drip-tray.

SPACE HEATING & CHIMNEYS:
To comply with SANS 10400: Part V.

Signatures:
Professional:  Date: 25/04/2025
Client:  Date: 25/04/2025

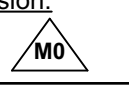
Design Studio:
DESIGN 6IXTY 6IX Design66 (PTY) Ltd
Adriaan J Schutte
Professional Senior Architectural Technologist
REGISTERED:
S.A.C.A.P - PSAT 0503
S.A.I.A.T - 32700

Hoekwil Office: +27 71 459 9283
3 Lorie Avenue, P.O.Box 188, Hoekwil, Western Cape, 6533, South Africa
Windhoek Office: +254 81 420 9282
P.O.Box 22219, Windhoek, Namibia, 10005

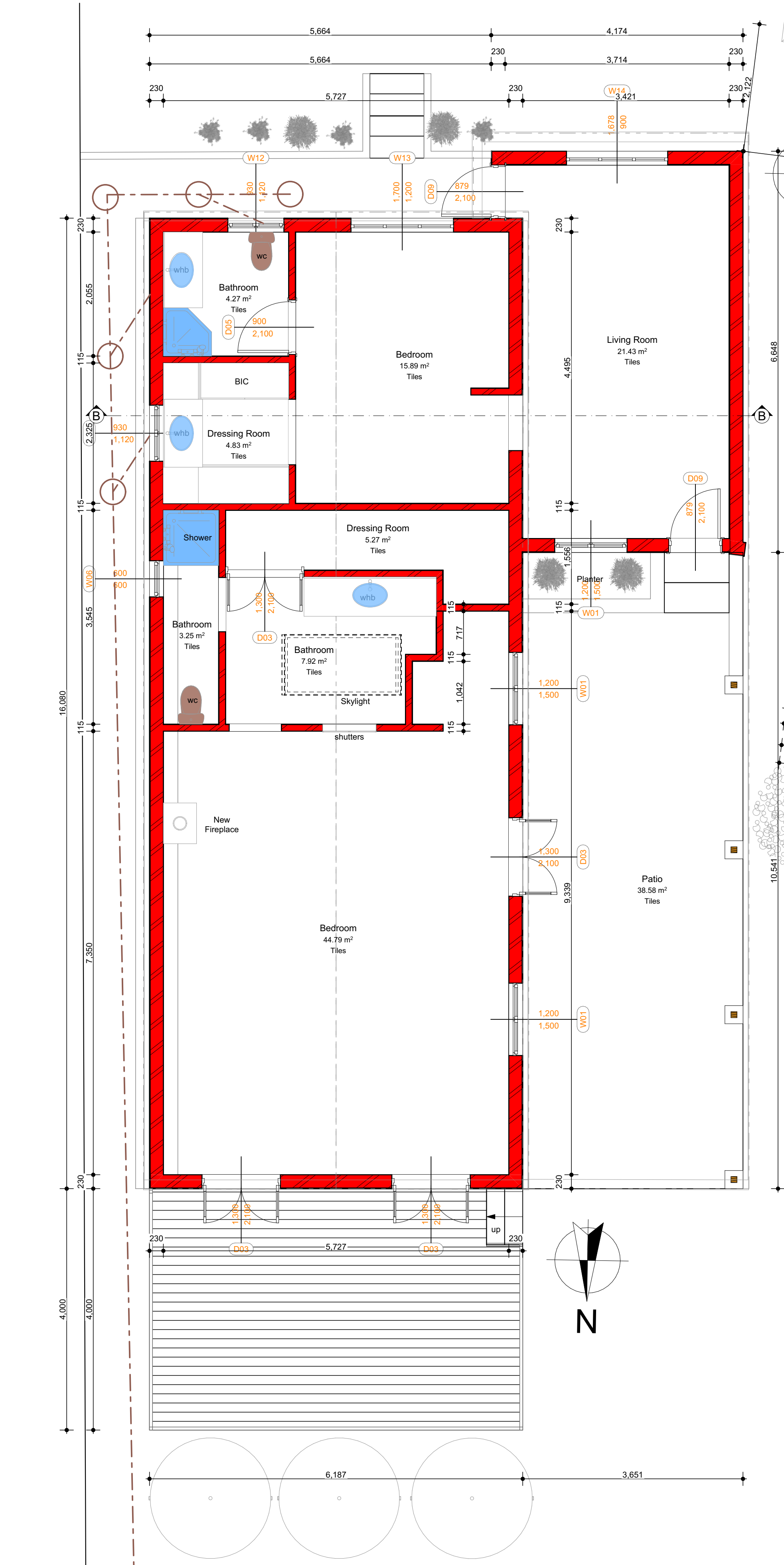
Client:
House Marion

Project Title:
As-Built's For Record Purposes on Erf 192/292, Kleinkrantz, Western Cape, South Africa

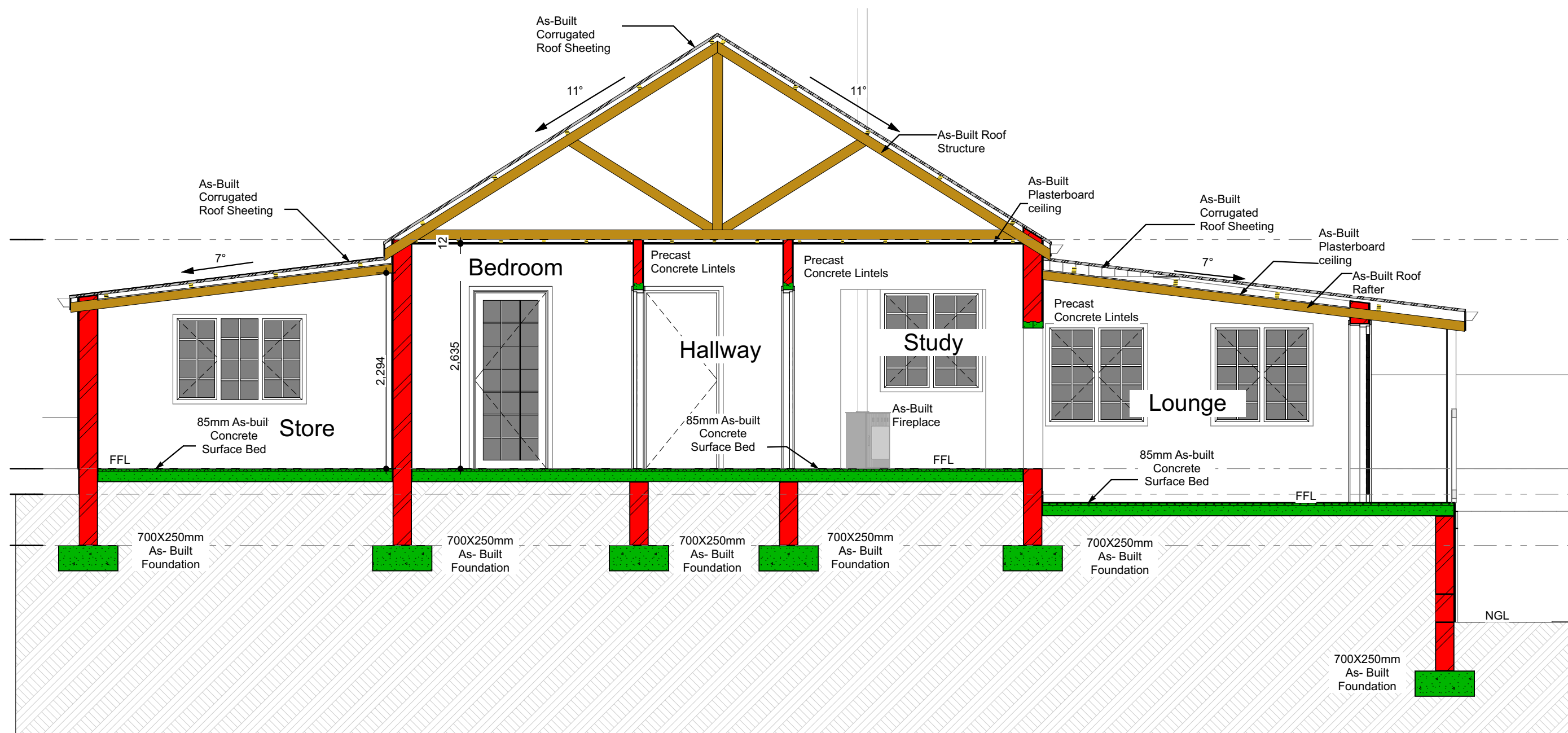
Drawing Title:
As-Built's for Record Purposes:
Locality Plan, Site Plan, Sewer Section

Drawn:	Checked:	Date:
DFLR	AJS	25/04/2025
Project Number:	Drawing Number:	Revision:
24-040	M101	

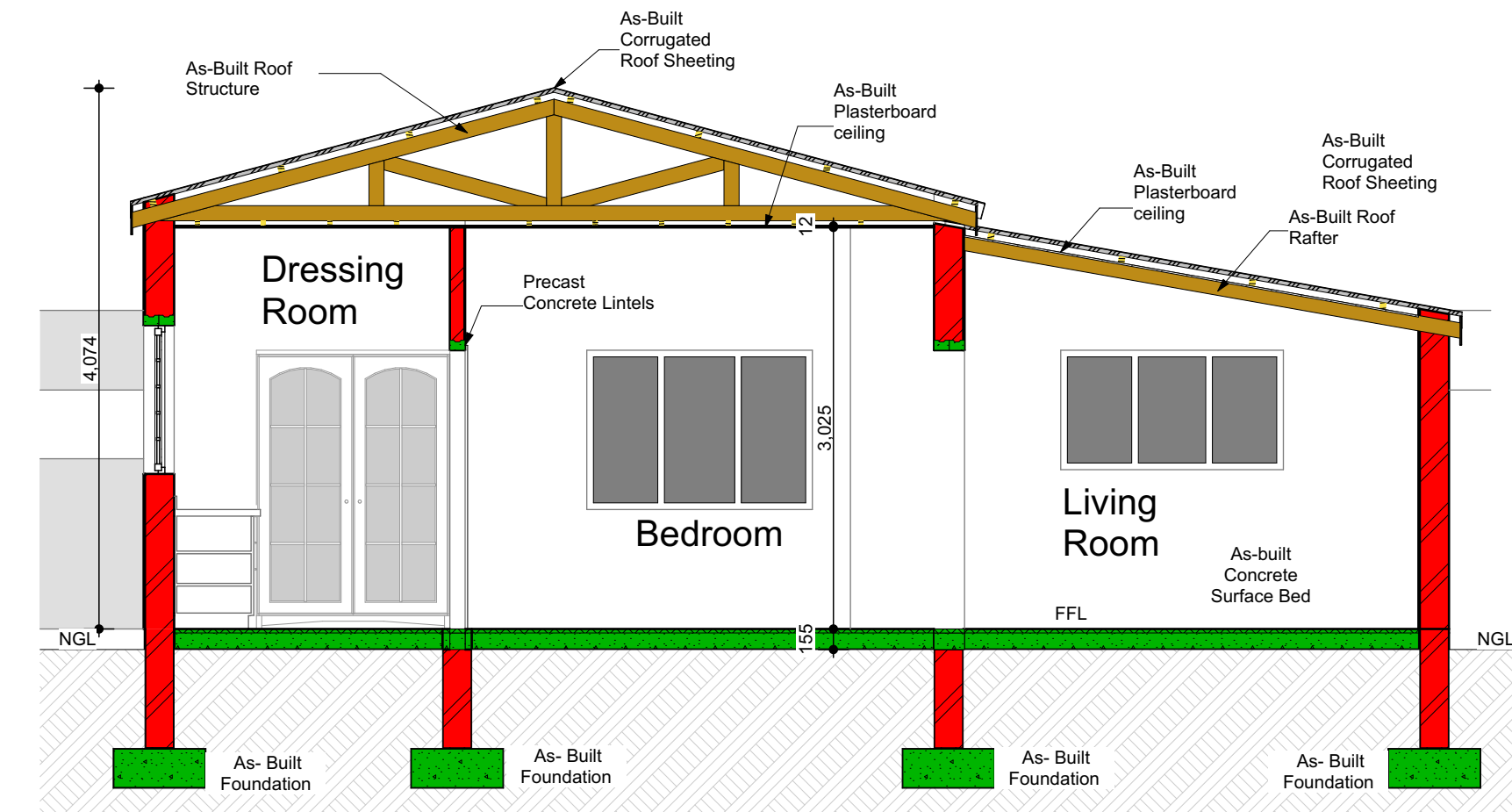
Site Plan, C:\Users\user\Desktop\Project\24-040\24-040\11 Town Planner.jm



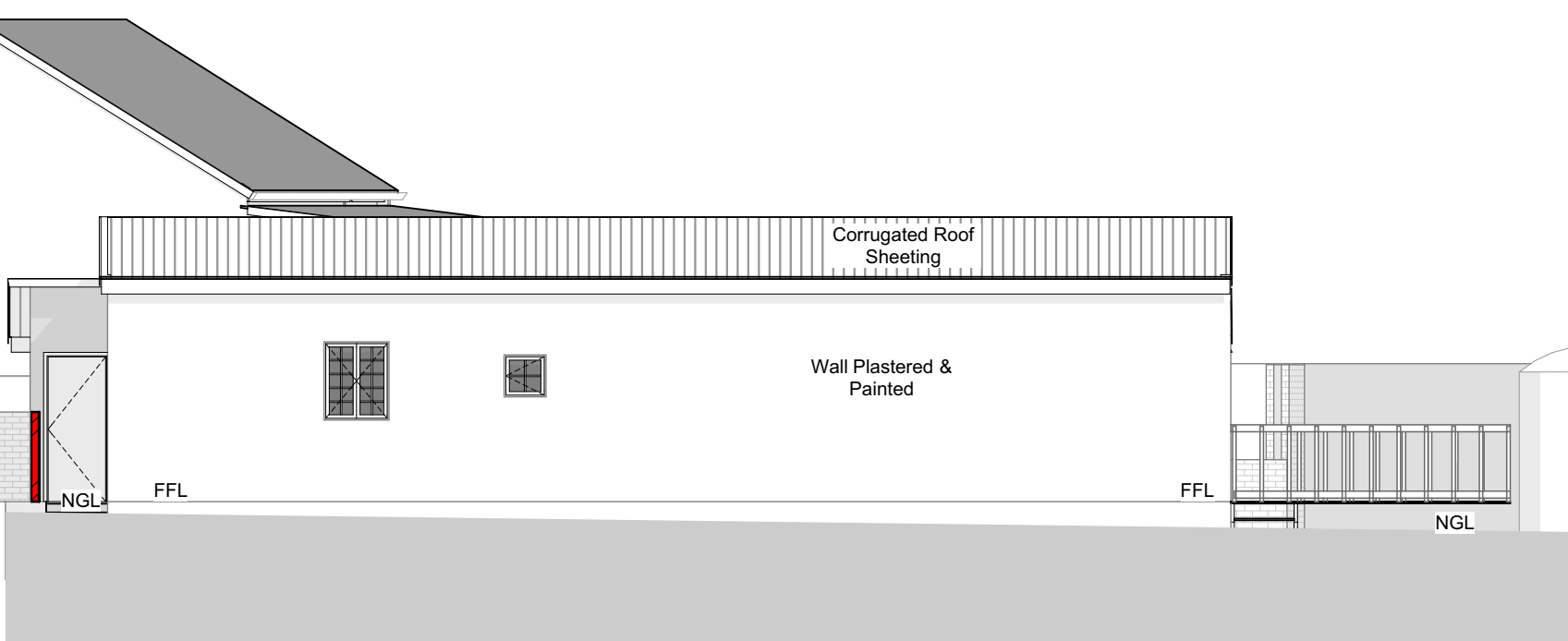
Secondary Dwelling
Scale:1:50



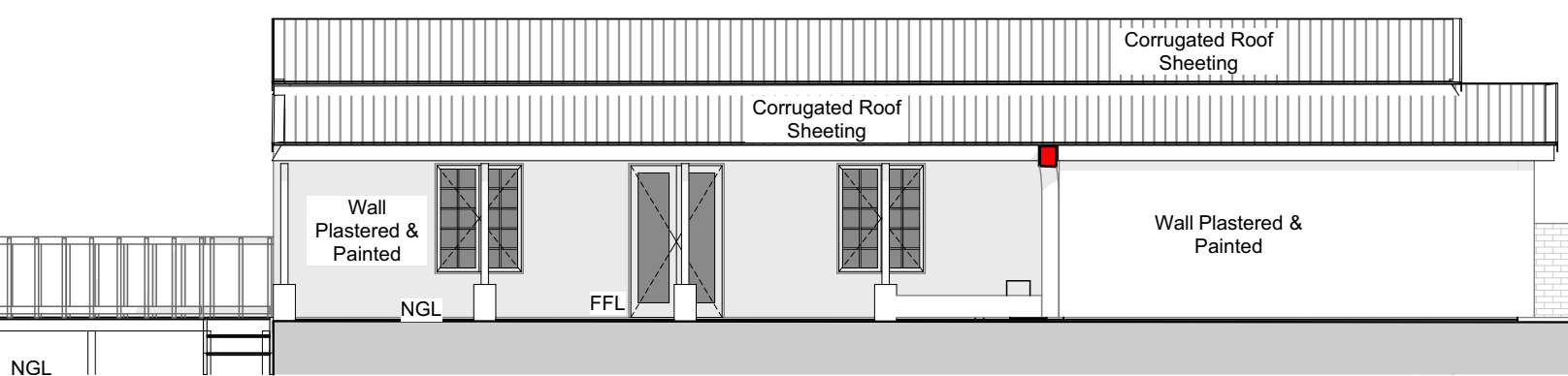
Building Section A-A
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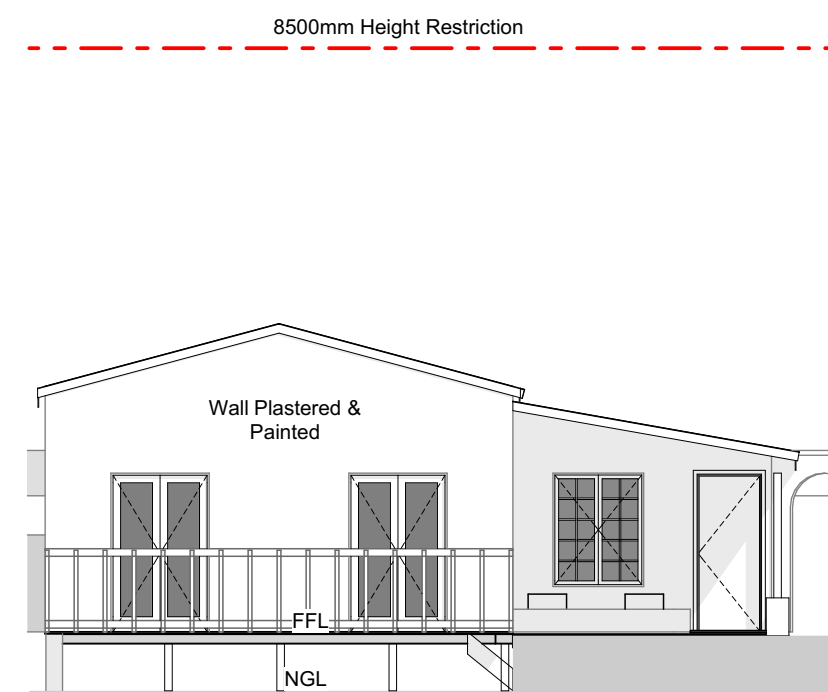
Building Section B-B
Scale:1:50



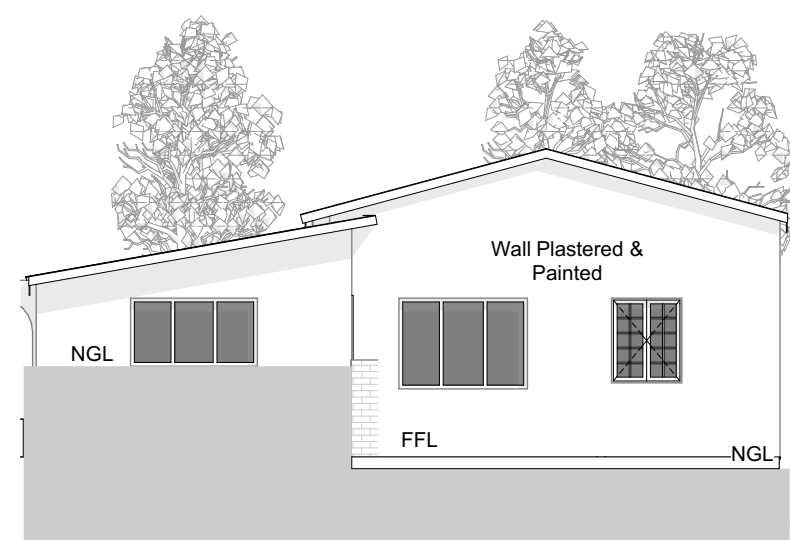
East Elevation Secondary Dwelling
Scale:1:100



Secondary Dwelling
Scale:1:100



North Elevation Secondary Dwelling
Scale:1:100



South Elevation Secondary Dwelling
Scale:1:100

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ACTS OF PARLIAMENT:
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GENERAL NOTES:
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- ALL LEVELS AND DIMENSIONS TO BE VERIFIED ON SITE.
- ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / DESIGNER IMMEDIATELY.
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STAIRS AND RAILING:
A NON COMPLIANT BALUSTRADE IS A SAFETY RISK. ENSURE THE BALUSTRADE SYSTEM IS INSTALLED CORRECTLY.
SANS 10400 Part B, Part D and Part M, SANS 10160-2:2011.
Stairs and risers as shown. Risers as indicated on drawing and run as indicated on drawing. minimum balustrade height: 1000mm. Opening between rails and / or droppers not to exceed 100mm. Any balustrade or wall provided to protect a change in level shall comply with the requirements of SANS 10400-8.

FIRE PROTECTION: SANS 10400 Part T:
The requirements of the Act will be deemed to have been satisfied if the design, construction and equipment of buildings complies with SANS 10400 Part T and satisfies the local authority.

STORM WATER: SANS 10400 Part R:
The owner of any site shall provide suitable means for the control and disposal of accumulated stormwater which may run off from any earthworks, building or paving. CONTRACTOR MUST ENSURE THAT STORM WATER DOES NOT DAMAGE EXISTING BUILDING WORK OR NEIGHBOURING PROPERTIES DURING CONSTRUCTION AND THAT STORMWATER DRAINAGE IS SUFFICIENT.

PLUMBING & SEWER: SANS 10400 Part P
Existing sewer presumed to be according to previous approval. Not visible for inspection by Arch Technologist. All sanitary appliances to be supplied with anti-siphon traps and/or vented according to NBR requirements. -ie's at all bends, connections and changes of gradient with marked covers on ground level. Sufficient access panels to be installed in all shafts over ie's, all sanitary pipes to be accessible. Sewage pipes under floors or buildings not to change direction and must be encased in 100mm concrete.

RAINFALL DISPOSAL:
Provide 1m paving around building with fall away from structure where practical. GUTTERS & DOWN PIPES TO BE INSTALLED WHERE PRACTICAL. Vis highly recommended installing as many rainwater tanks as practically possible.

SITE PREPARATION:
Remove top-soil and organic material within interior footprint of building and paving. Above material not to be used as backfill. Keep site dry. Stockpile top-soil and re-use where possible.

FOUNDATION: SANS 10400 Part H:
All foundations: concrete strip foundations unless specified. Concrete minimum 15MPa after 28 days.

FILLING: SANS 10400 Part J (JJ2.3):
Backfill to be compacted in layers not more than 150mm layers to minimum. Compact to min. 98% MDD. ASHTO or otherwise as specified by Engineer.

SURFACE BEDS:
Minimum 100mm thick 15MPa on DPC. Expansion joints to be provided 20m max.

WATERPROOFING: SANS 10400 Part JJ(JJ3) and Sec. K(KK15):
Provide 250 micron USB DPC underneath all surface beds and 375 micron Black DPC in walls with min. 100mm overlap at joints. Provide "Briqrip" DPC underneath all window sills. All joints according to specifications.

BRICKWORK: SANS 10400 Part K:
Brickwork in stretching bond with minimum joint thickness of 10mm. Interior walls minimum 110mm thick. Brick as indicated. Stock bricks to be kept clean of mortar. Provide brickwork in each layer for foundation walls. (5 layers minimum), each layer above windows and doors and at 4 course intervals. Use alternate layer of 75mm brickwork and butterfly tie-wires for all other 280mm brickwork. Use 75mm brickwork in each course every 4 layers for 110mm and 220mm brick walls.

PLASTER WORK:
One layer plaster minimum 12mm thick.

ROOF:
Construction & Material to comply with SANS 10400 Part L and SANS 1900:2009

GLAZING:
SANS 10400 Part N, SABS 0137-200, SABS 1263: Clear Glass unless specified. Mark all sliding doors visible. SAFETY GLASS IN ALL DOORS AND WINDOWS LOWER THAN 300mm FROM GROUND LEVEL AND LARGER THAN 1 m².

SKIRTING AND CORNICING:
Skirting & cornicing where required as specified.

GEYSERS: SABS 0254
With drip-tray.

SPACE HEATING & CHIMNEYS:
To comply with SANS 10400: Part V.

Signatures:
Professional: _____ Date: 11/09/2024
Client: _____ Date: 11/09/2024

Design Studio:
DESIGN 6IXTY 6IX ARCHITECTURE
Design66 (PTY) Ltd
Adriaan J Schutte
Professional Senior
Architectural Technologist
REGISTERED:
S.A.C.A.P - PSAT 0503
S.A.I.A.T - 32700

Hoekwil Office: +27 71 459 9283
3 Lorie Avenue, P.O.Box 188, Hoekwil, Western Cape,
6539, South Africa
Windhoek Office: +264 61 420 9282
P.O.Box 22219, Windhoek, Namibia, 10005

Client:
House Marion

Street, Erf, Town / City, South Africa Mobile: +27 00 000 0000

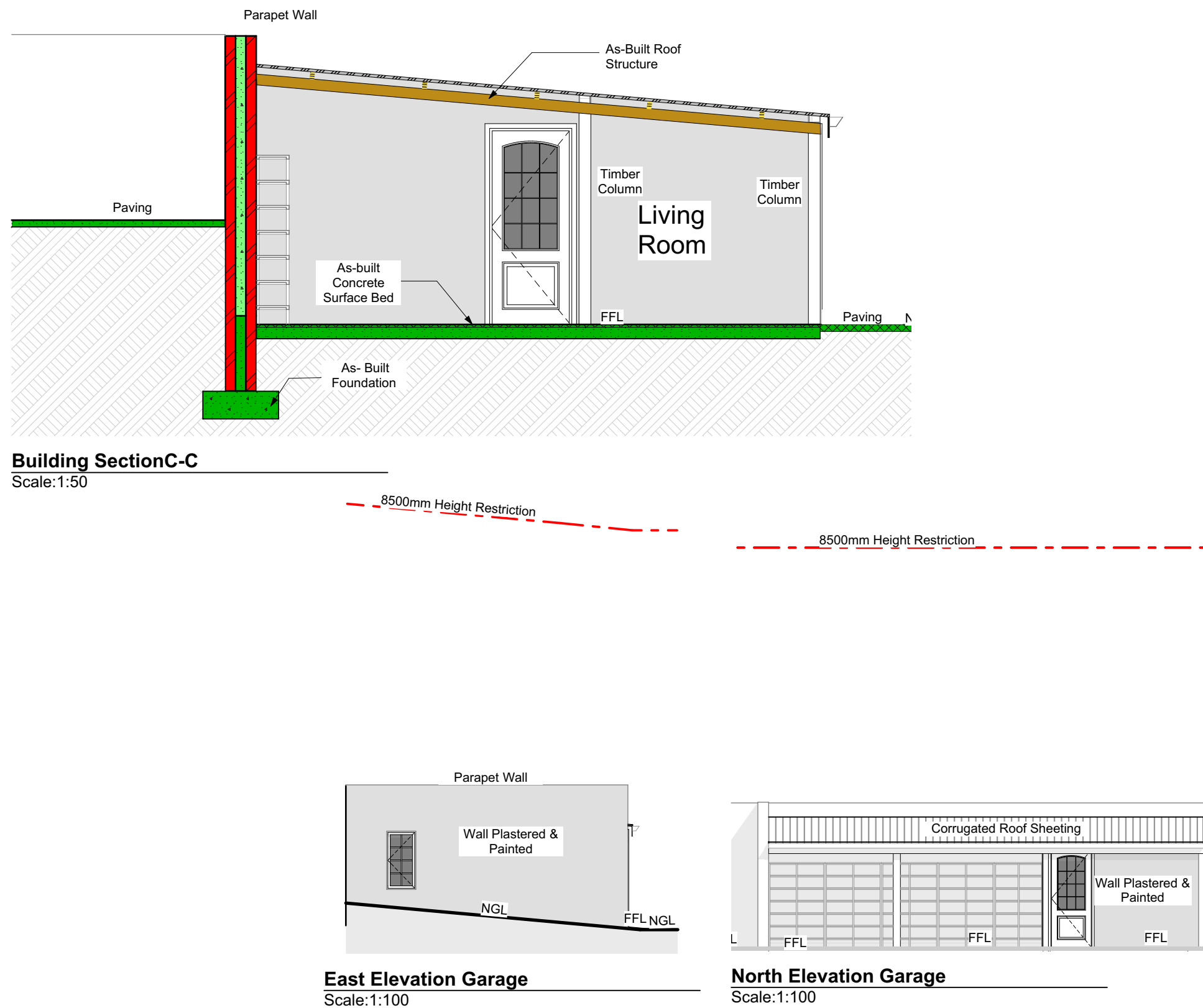
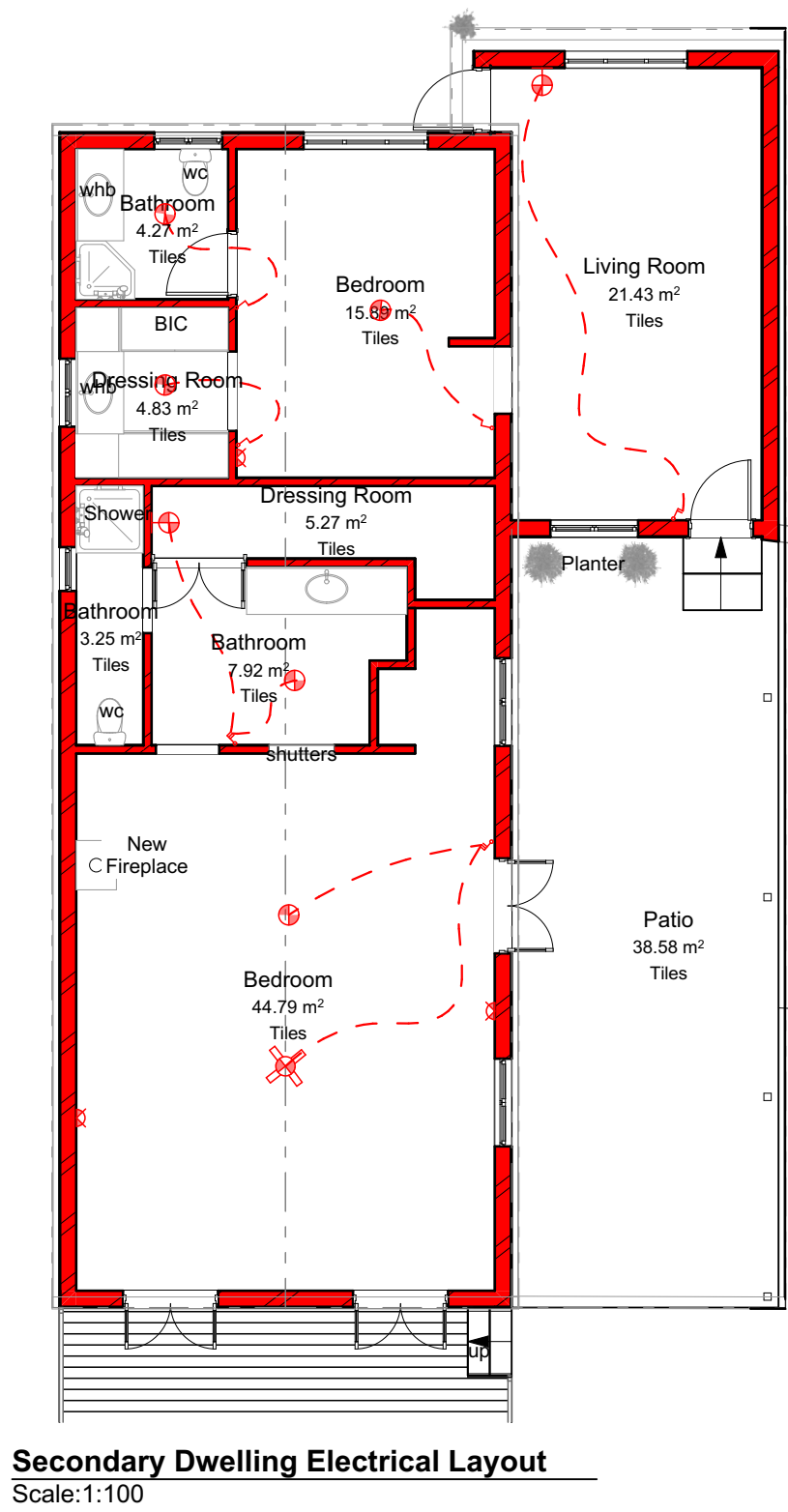
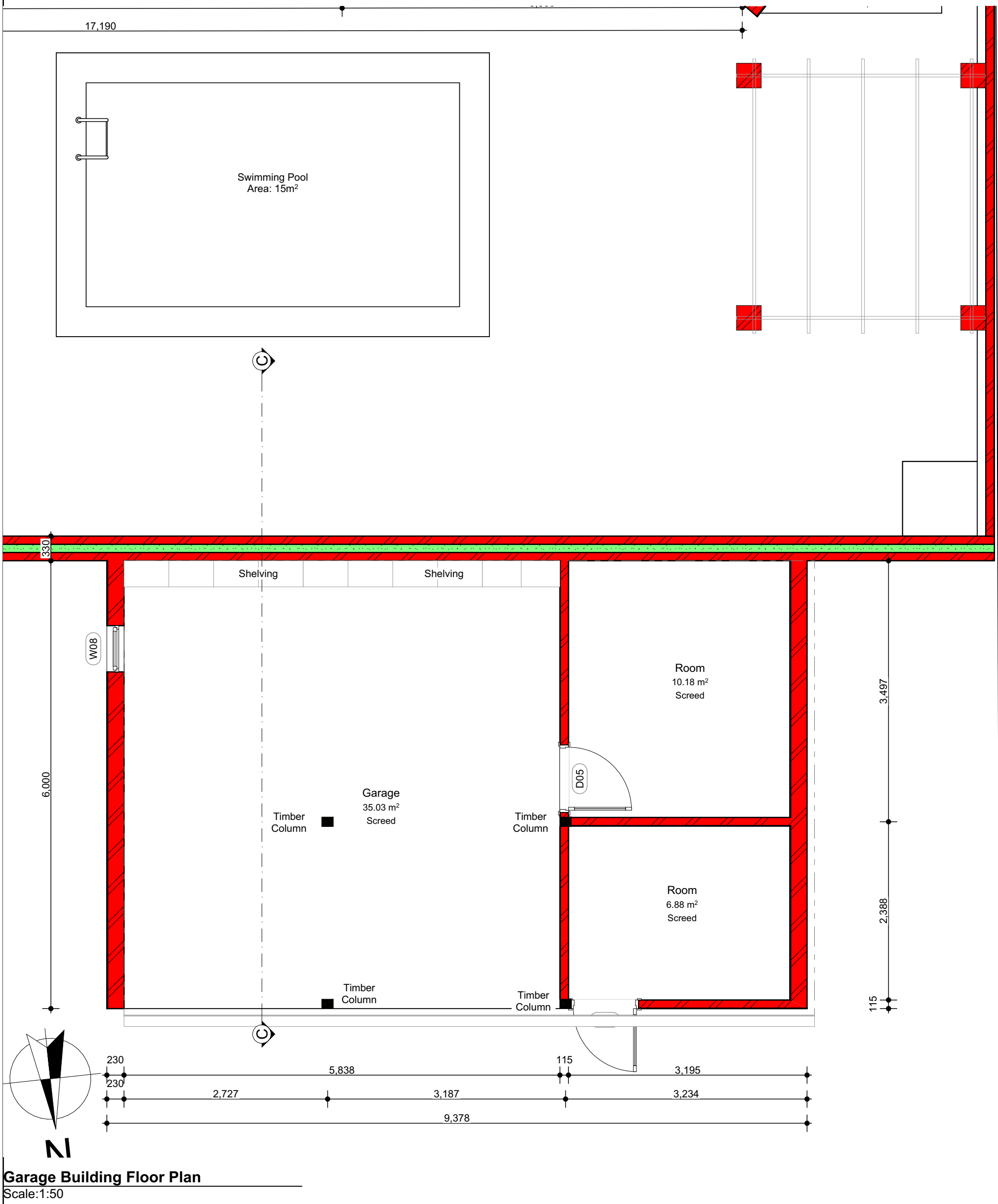
Project Title:
As-Built For Record Purposes on Erf 192/292, Kleinkrantz, Western Cape, South Africa

Drawing Title:
As-Built For Record Purposes:

Secondary Dwelling, Building Section A-A, Building Section B-B, East Elevation Secondary Dwelling, North Elevation Secondary Dwelling, South Elevation Secondary Dwelling

Drawn:	Checked:	Date:
DFLR	AJS	11/09/2024
Project Number:	Drawing Number:	Revision:
24-040	M103	

File Path: C:\Users\User\Downloads\secondarydwelling_192-24-house-du-66-62-24-040.pdf_2024-09-09_141702-040 Main Drawing.dwg



DOOR SCHEDULE									
Label on plan	D01	D02	D03	D04	D05	D06	D07	D08	D09
Front View									
Width x Height	900x2,100	1,370x2,100	1,300x2,100	900x2,100	900x2,100	1,600x2,100	1,300x2,100	1,000x2,100	879x2,100
Quantity	5	1	6	2	5	1	1	2	2
Door Leaf	As-Built hinged Glass & Timber leaf Single Door	As-Built hinged Glass & Timber Leaf Double Door	As-Built hinged Glass & Timber Leaf Double Door	As-Built hinged Glass & Timber Leaf Single Door	As-Built hinged Timber Frame Leaf Single Door	As-Built hinged Glass & Timber Leaf Double Door	As-Built hinged Glass & Timber Leaf Double Door	As-Built hinged Glass & Timber Leaf Double Door	As-Built hinged Timber Frame & Leaf Single Door

Door Schedule

WINDOW SCHEDULE						
Label on plan	W01	W02	W03	W05	W06	W07
View from Reveal Side						
Quantity	6	4	1	1	2	3
W x H Size	1,200x1,500	1,200x1,200	510x900	1,565x1,050	600x600	600x1,200
Window	As-Built Timber Frame Window	As-Built Timber Frame Window		As-Built Timber Frame Window	As-Built Timber Frame Window	As-Built Timber Frame Window
Nominal Glazed/Opening Area	1.80	1.44	0.46	1.64	0.36	0.72

Window Schedule

WINDOW SCHEDULE							
Label on plan	W08	W09	W10	W11	W12	W13	W14
View from Reveal Side							
Quantity	1	1	2	1	1	1	1
W x H Size	300x1,500	900x1,300	560x1,525	930x1,120	930x1,120	1,700x1,200	1,678x900
Window	As-Built Timber Frame Window	As-Built Timber Frame Window	As-Built Timber Frame Window	As-Built Timber Frame Window	As-Built Timber Frame Window	As-Built Timber Frame Window	As-Built Timber Frame Window
Nominal Glazed/Opening Area	0.45	1.17	0.85	1.04	1.04	2.04	1.51

Window Schedule

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ROOF:
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Skirting & cornicing where required as specified.

GEYSERS: SABS 0254
With drip-tray.

SPACE HEATING & CHIMNEYS:
To comply with SANS 10400: Part V.

Signatures:
Professional: _____ Date: __11/09/2024_____
Client: _____ Date: __11/09/2024_____
Design Studio:
DESIGN 6IXTY 6IX Design66 (PTY) Ltd
Adriaan J Schutte
Professional Senior
Architectural Technologist
REGISTERED:
S.A.C.A.P. - PSAT 0503
S.A.I.A.T - 32700
Hoekwil Office: +27 71 459 9283
3 Lorie Avenue, P.O.Box 188, Hoekwil, Western Cape,
6538, South Africa
Windhoek Office: +264 61 420 9282
P.O.Box 22219, Windhoek, Namibia, 10005
PROFESSIONAL SENIOR ARCHITECTURAL
TECHNOLOGIST
ADRIAAN JOHANNES JACOBUS SCHUTTE
12:56 PM (Africa/Johannesburg) on 08 May 2025
Client:
House Marion
Street, Erf, Town / City, South Africa Mobile: +27 00
000 0000
Project Title:
As-Built For Record Purposes on Erf
192/292, Kleinkrantz, Western Cape, South
Africa
Drawing Title:
As-Built For Record Purposes:
Main Dwelling Electrical Layout, Secondary Dwelling
Electrical Layout, Garage Building Floor Plan, Building
Section C-C, East Elevation Garage, North Elevation
Garage, Door Schedule, Window Schedule
Drawn: DFLR Checked: AJS Date: 11/09/2024
Project Number: 24-040 Drawing Number: M104 Revision:

ANNEXURE "B": APPLICATION FORM



PLANNING AND DEVELOPMENT
APPLICATION FORM FOR CONSENT USE FOR A SECOND
DWELLING/ADDITIONAL DWELLING AND/OR DEPARTURE

(Please complete the form in full for consideration - tick appropriate boxes with X)

BUILDING LINE RELAXATION	X
--------------------------	---

SECOND DWELLING	
-----------------	--

ADDITIONAL DWELLING	
---------------------	--

PROPERTY DETAILS

ERF NUMBER	192/292	EXTENSION/A REA	Klein Krantz Farms "Die Vleie"
ZONING	Agricultural Zone II		
EXISTING LAND USE	Rural Residential		

CORRESPONDENCE DETAILS

IS THE APPLICANT ALSO THE REGISTERED OWNER OF THE RELEVANT PROPERTY?					YES	NO	
ADDRESS CORRESPONDENCE TO			OWNER	APPLICANT	POST OR E- MAIL	POST	E-MAIL
COLLECT BY HAND	YES	NO	TELEPHONE NO	082 464 7871			

OWNER DETAILS

OWNER NAME	Philip Craig Marion and Jill Marion						
STREET NAME	Die Vleie Street	HOUSE NUMBER	22				
POSTAL ADDRESS	P O Box 10088	SAME AS POSTAL ADDRESS	YES	NO			
EXTENSION/AREA	George	CODE	6530				
ID NUMBER	Philip Craig Marion - 5105305565188 Jill Marion - 5701290116183	E-MAIL ADDRESS	philipcraigmarion@gmail.com				
TELEPHONE NO	N/a	CELL NO	079 522 9282 079 517 0517				

APPLICANT DETAILS (strike through if registered owner is also the applicant)

NAME	Jan Vrolijk Town Planner / Stadsbeplanner						
STREET NAME	Victoria Street	HOUSE NUMBER	-				
POSTAL ADDRESS	P O Box 710	SAME AS POSTAL ADDRESS	YES	NO			
EXTENSION/AREA	George CBD	CODE	6530				
TEL / CELL NO	082 464 7871	E-MAIL ADDRESS	janvrolijk@jvtownplanner.co.za				
PROFESSIONAL CAPACITY	Town Planner	SACPLAN NO	A/1386/2010				

BOND HOLDERS DETAILS (Only applicable if property is encumbered by a bond)

IS THE PROPERTY ENCUMBERED BY A BOND?		YES	NO
NAME OF BOND HOLDER	N/a		

TITLE DEED DETAILS

TITLE DEED NO.	T27344/2006		
ARE THERE RESTRICTIONS IN THE TITLE DEED WHICH IMPACT THE APPLICATION? (If yes, describe restrictions below)		YES	NO
N/a			


APPLICATION DETAILS

DESCRIPTION OF BUILDING LINE RELAXATION (STREET / LATERAL / REAR BUILDING LINE)	FROM M	TO M	DETAILS
Side and rear boundary building line			As per motivation report
Is an application for an increase in coverage being applied for? (Indicate increase under details)	YES	NO	
Is an application for a 2 nd dwelling /additional dwelling being applied for? (indicate size under details)	YES	NO	

HOA/ ADJACENT OWNERS DETAILS (Consent letters as well as site plans to be signed by adjacent owners)

ERF NO	ADDRESS	NAME	CONSENT LETTER ATTACHED
To be advertised			

I hereby acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.

APPLICANT'S SIGNATURE		DATE	29 April 2025
------------------------------	---	-------------	---------------

FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:

Locality Plan		Building Plan/ Site Plan on A3/ A4		SG Diagram/ General Plan		Title Deed
Power of Attorney		Motivation		Neighbours Consent / Comment		HOA Consent
Bond Holder Consent		Proof of Payment		Conveyance Certificate		Other (Specify)

ANNEXURE "C": LOCALITY PLAN

Portion 292 of the Farm Klein Krantz 192 - Locality plan



0 0.05 0.1 0.2 km

Date: 1/21/2025 12:42 PM

Scale: 1:2,515



Disclaimer
George Municipality makes no warranties as to the correctness of the information supplied.
Persons relying on this information do so entirely at their own risk.

George Municipality will not be liable for any claims whatsoever, whether for damages or otherwise,
which may arise as a result of inaccuracies in the information supplied.

ANNEXURE "D": SURVEYOR GENERAL DIAGRAM

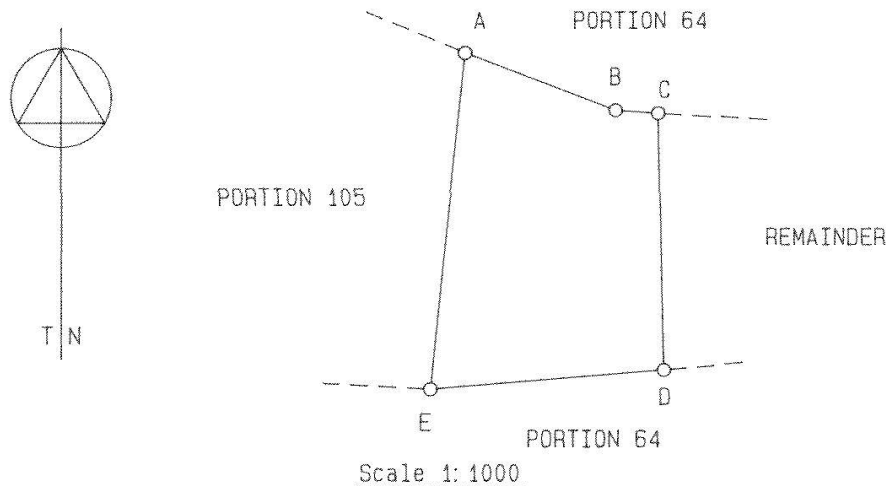
G S SAVAGE & ASSOCIATES

SIDES Metres	ANGLES OF DIRECTION	CO-ORDINATES Y System Lo 23° X			S.G. No. 7462/1997
		Constant:	±	0,00 +3 700 000,00	
AB	24,13	290 53 00	A +	31 981,33 + 62 238,96	Approved <i>G S Savage</i> for Surveyor-General 1998-07-27
BC	6,37	273 51 50	B +	31 958,79 + 62 247,56	
CD	38,92	358 47 00	C +	31 952,43 + 62 247,99	
DE	35,15	85 11 00	D +	31 951,61 + 62 286,90	
EA	51,17	185 56 50	E +	31 986,63 + 62 289,85	
		KNYS 31 No 228	Δ +	31 442,81 + 61 120,07	
		KNYS 32 No 229	Δ +	33 944,40 + 63 411,29	

Description of Beacons

A B : 150x150 conc beacon 900mm long

C D E : 16mm iron pegs



The figure A B C D E
represents 1419 square metres of land, being

PORTION 292 a portion of Portion 106 of the FARM
KLEIN KRANTZ No. 192

situate in the Administrative District of George
Province of the Western Cape

Surveyed in
October 1997, by me

G S Savage
Professional Land Surveyor
G S Savage PLS 0543

This diagram is annexed to

The original diagram is

File No. Geor.192
S.R. No. E 2991/1997

No.

Dated

i.f.o.

T97760/98

No. 7210/1979

annexed to Transfer

No. 5384/1979 1981

Comp. BL-8CDC (4142)

Registrar of Deeds

APPROVED IN TERMS OF SECT. 4
OF ACT 70/1970

REF 28510

DATE 1998-04-21

APPROVED IN TERMS OF SECT. 25
OF ORD. 15/1985

REF 14/7/2/1281


DATE 1996-12-30

ANNEXURE "E": TITLE DEED

329

Scholtz Prokureurs
2de Vloer, 5 Waterford Mews
Waterford Place
CENTURY CITY
7441

Opgestel deur my



TRANSPORTBESORGER
SCHOLTZ L

SEELREG DUTY	R.....
FOOI FEE	R. <i>500,00</i>

T 000027344 / 2006

TRANSPORTAKTE

HIERBY WORD BEKEND GEMAAK DAT

LOUISE SCHOLTZ

voor my verskyn het, REGISTRATEUR VAN AKTES, te KAAPSTAD, hy die genoemde
komparant synde behoorlik daartoe gemagtig deur 'n Volmag aan hom verleen deur

CAROLE ELIZABETH YUILL HARRIS
Identiteitsnommer 580110 0080 08 0
Ongetroud

geteken te *Wildernis* op *28 Maart 2006*

DATA / CAPTURE
8 04 MAY 2006
VAN WYK Z
GhostConvey 8.0.2.3

En genoemde Komparant het verklaar dat sy prinsipaal, op 1 Maart 2006, waarlik en wettiglik verkoop by Privaat ooreenkoms, en dat hy, in sy voorgenoemde hoedanigheid hierby sedeer en transporteer aan en ten gunste van

1. **PHILIP CRAIG MARION**
Identiteitsnommer 510530 5565 18 8
Getroud buite gemeenskap van goed
2. **JILL MARION**
Identiteitsnommer 570129 0116 18 3
Getroud buite gemeenskap van goed

hulle Erfgename, Eksekuteurs, Administrateurs of Regverkrygendes in volkome en vrye eiendom,

GEDEELTE 292 (GEDEELTE VAN GEDEELTE 106) VAN DIE PLAAS KLEIN KRANTZ NR 192 IN DIE MUNISIPALITEIT VAN GEORGE, AFDELING GEORGE, PROVINSIE WES-KAAP;

GROOT 1419 (EEN DUISEND VIER HONDERD EN NEGENTIEN) Vierkante Meter

AANVANKLIK OORGEDRA kragtens Transportakte Nr. T 97760/1998 met Diagram S.G. Nr. 7462/1997 wat daarop betrekking het en gehou kragtens Transportakte Nr.T17350/2002

- A. ONDERHEWIG aan die voorwaardes vervat in Sertifikaat van Gewysigde Titel gedateer 2 Augustus 1904 (George Erfpagbriewe Boekdeel 14 nr. 15).
- B. GEREGTIG op die terme van die endossement gedateer 22 Januarie 1980 op die volgende Transportaktes gehou deur die Grondverdelingskomitee, naamlik:-

Nr 7222 gedateer 21 September 1911;
Nr 7223 gedateer 21 September 1911;
Nr 7225 gedateer 21 September 1911;
Nr 7231 gedateer 21 September 1911;
Nr 3198 gedateer 6 April 1925;
Nr 14179 gedateer 15 November 1943;
Nr 2386 gedateer 6 Februarie 1948;
Nr 1811 gedateer 13 Februarie 1952;
Nr 1811 gedateer 13 Februarie 1952;
Nr 6142 gedateer 25 April 1952;
Nr 17041 gedateer 30 Oktober 1953;
Nr 3020 gedateer 7 Maart 1956;
Nr 639 gedateer 25 Januarie 1957;
Nr 1873 gedateer 17 Februarie 1961;
Nr 16144 gedateer 17 November 1961;
Nr 10853 gedateer 6 Augustus 1962;
Nr 8173 gedateer 20 Mei 1964;
Nr 22933 gedateer 1 November 1966;
Nr 22940 gedateer 1 November 1966;
Nr 26868 gedateer 21 November 1967;
Nr 9860 gedateer 15 Mei 1968;
Nr 36362 gedateer 29 Desember 1969



Nr 12544 gedateer 14 Mei 1971;
Nr 11472 gedateer 29 April 1974;
Nr 9698 gedateer 9 Mei 1978;
Nr 32145 gedateer 23 Oktober 1975;
Nr 12623 gedateer 5 September 1962;

Welke endossement as volg lees:-

"RESTANT

Kragtens Akte van Transport Nr T854/80 hede gedateer is die restant van die binnegemelde eiendom groot 310,6506 ha

1. Geregtig op 'n serwituutpad 20 meter wyd; die noordoostelike grens van die serwituutpad aangetoon deur die lyne O6 P6, P6 Q6 op kaart 7115/78 geheg aan bogemelde Transportakte.
 2. Geregtig op 'n serwituutpad 20 meter wyd: die noordoostelike grens van die serwituutpad aangetoon deur die lyne A1 S6 en S6 T6 op kaart 7115/1978 geheg aan bogemelde Transportakte; oor ged. 64 van die plaas Klein Krantz Nr 192 groot 488,9102 ha. gehou kragtens bogemelde Transportakte. Soos meer volledig sal blyk uit die gesegde Transportakte."
- C. ONDERHEWIG aan die volgende voorwaarde opgelê deur die Suid-Kaap Streeksdiensteraad in terme van Ordonansie 15 van 1985 ten tye van die goedkeuring van die onderverdeling van Gedeelte 106 van die Plaas Klein Krantz Nr. 192, Distrik George, #; *soos verwat in Transportakte*
no T 17350/2002
Die eienaar en sy opvolgers in titel sal kennis neem van die feit dat die padreserwe 10m wyd is, naamlik 5m vanaf die middel van die ryvlak.

WESHALWE die komparant afstand doen van al die regte en titel wat

CAROLE ELIZABETH YUILL HARRIS, Ongetroud

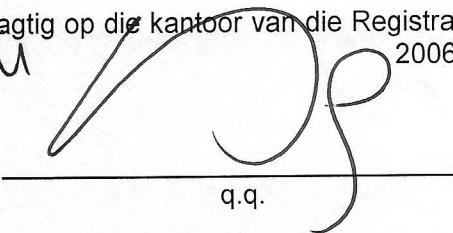
voorheen op genoemde eiendom gehad het, en gevolglik ook erken het dat sy geheel en al van die besit daarvan onthef en nie meer daartoe geregtig is nie en dat, kragtens hierdie akte, bogenoemde

1. **PHILIP CRAIG MARION, Getroud soos vermeld**
2. **JILL MARION, Getroud soos vermeld**

hulle Erfgename, Eksekuteurs, Administrateurs of Regverkrygendes, tans en voortaan daartoe geregtig is, ooreenkomstig plaaslike gebruik, behoudens die regte van die Staat en ten slotte erken hulle dat die verkoopprijs die bedrag van **R1 810 000,00 (Een Miljoen Agt Honderd en Tien Duisend Rand)** beloop.

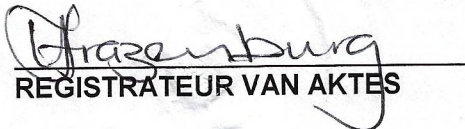
TEN BEWYSE WAARVAN ek, genoemde Registrateur, tesame met die Komparant hierdie Akte onderteken en dit met die ampeël bekragtig het.

Onderteken, verly en met die ampeël bekragtig op die kantoor van die Registrateur van Aktes te Kaapstad op 21 April 2006



q.q.

In my teenwoordigheid



REGISTRATEUR VAN AKTES

ANNEXURE "F": POWER OF ATTORNEY

POWER OF ATTORNEY

We, the undersigned

Philip Craig Marion and Jill Marion

in our capacity as the registered owner of

Portion 292 of the Farm Kleinkrantz 192

do hereby appoint Jan Vrolijk Town Planner/Stadsbeplanner to prepare, sign and submit the following applications to the George Municipality:

An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for a permanent departure for the relaxation of the following building lines in respect of the existing primary dwelling house and second dwelling unit and outbuildings including a double carport, storeroom and garden shed on Portion 292 of the Farm Klein Krantz 192:

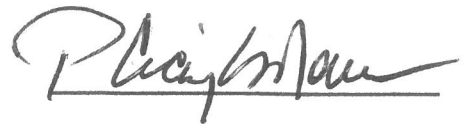
- the eastern side boundary building line from 10.0 meters to:
 - 1.065 meters in respect of the northern corner of the veranda of the second dwelling unit;
 - 1.081 and 1.126 meters in respect of the bedroom and bathroom of the second dwelling unit;
 - 1.126 and 1.145 meters in respect of the bathroom and bedroom of the non-inter-leading rooms of the primary dwelling house; and
 - 4.145 meters in respect of the living room of the non-inter-leading rooms of the primary dwelling house.
- the rear boundary building line for the existing primary dwelling house from 10.0 meters to:
 - 4.688 meters in respect of the bathroom;
 - 2.904 and 3.477 meters in respect of the dressing room;



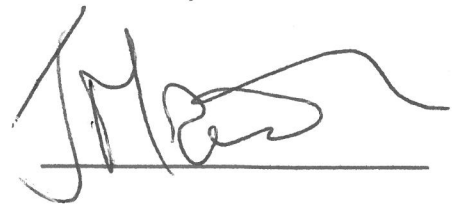
- 6.667 meters and 7.932 meters in respect of the kitchen;
 - 4.320 meters and 5.423 meters in respect of the store room; and
 - 9.365 meters in respect of the pergola in front of the bedroom.
-
- the western side boundary building line for the primary dwelling house and outbuildings from 10.0 meters to:
 - 3.349 meters and 3.391 meters in respect of the pergola in front of bedroom, bathroom and lounge;
 - 0.0 metres for a distance of 7.472 meters for the veranda at the swimming pool; and
 - 2.556 meters and 2.578 meters in respect of the storeroom and garden tool shed.

Signed at George on 25 April 2025.

Philip Craig Marion

A handwritten signature in black ink, appearing to read 'Philip Marion', written over a horizontal line.

Jill Marion

A handwritten signature in black ink, appearing to read 'J Marion', written over a horizontal line.

ANNEXURE "G": CONVEYANCER CERTIFICATE

CONVEYANCER CERTIFICATE

I, the undersigned

MADELEINE GOLDIE

Conveyancer of Millers Incorporated, Beacon House, 123 Meade Street, George hereby certify as follows:

1. That I have perused Deed of Transfer No T27344/2006 in respect of Portion 292 (Portion of Portion 106) of the Farm Klein Krantz No 192, in the Municipality of George, Division of George, Western Cape Province, In extent 1419 (One four one nine) square metres registered in the name of

PHILIP CRAIG MARION

Identity Number 510530 5565 18 8

Married out of community of property

And

JILL MARION

Identity Number 570129 0116 18 3

Married out of community of property

2. No Bonds are registered on the property.
3. To the best of my knowledge, the said Deed of Transfer and the previous title deeds do not contain any restrictive conditions which prohibit:
 - Permanent departure in terms of section 15(2)(b) of the George Municipality: Land Use Planning By-Law, 2015 for relaxation of building lines for the dwelling house

Signed at GEORGE on this 6th of February 2025.



CONVEYANCER

MADELEINE GOLDIE

**ANNEXURE "H": CONSENT OF OWNER OF PORTION 106 OF THE FARM KLEIN
KRANTZ 192**

3 December 2024

Portion 292 of Portion 106, Section 192
of the farm Kleinkrantz

Re: Relaxation of boundary building line

TO WHOM IT MAY CONCERN

Dear Sir/Madam

I, Leanette Botha, owner of Portion 106 Section 192 of the farm Kleinkrantz, hereby confirm that I approved a formal request from the then neighbour and co-signed an application form from the Town Planning Council, George Municipality, to grant an exception to the standard building regulation and move the building line to 1m (one meter) from the boundary of my property.

Yours sincerely

A handwritten signature in black ink, appearing to be 'L. Botha', with a long horizontal flourish extending to the right.

LEANETTE BOTHA