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Beplanning en Ontwikkeling
Planning and Development

Collaborator No.: 3633163
Reference / Verwysing: Erf 28643, George
Date / Datum: 25 July 2025
Enquiries / Navrae: Marisa Arries

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DELPLAN
PO BOX 9956
GEORGE
6530

**APPLICATION FOR DEPARTURE (BUILDING LINE RELAXATION):
ERF 28643, CNR OF STANDER AND KERSHOUT STREET, GEORGE**

Your application in the above regard refers.

The Senior Manager: Town Planning (Authorised Official) has, under delegated authority, 4.17.3.13 of 24 April 2025 decided that the application for Departure in terms of Section 15(2)(b) of the Land Use Planning By-law for George Municipality (2023), for the relaxation of following applicable to Erf 28643, George:

- a) relaxation of the south-eastern street boundary building line (Kershout Street) from 4m to 0.94m to accommodate the existing garage; and
- b) from Section 45(2) in the Zoning Scheme to allow for an access closer to the intersection than 10m;

BE APPROVED in terms of Section 60 of the said By-law for the following reasons:

REASONS

- (i). The property is situated on a corner lot at the intersection of two cul-de-sac streets, both of which experience light vehicular traffic and minimal through traffic.
- (ii). The proposed departures will not negatively impact the surrounding residential character of the area, streetscape or natural environment.
- (iii). The proposed departures will not have a negative impact on sunlight, view or privacy in respect of any adjacent erf.
- (iv). No negative comments or objections were received.

Subject to the following conditions imposed in terms of Section 66 of said By-law, namely:

CONDITIONS

- 1. That in terms of the provisions of the Land Use Planning By-law for the George Municipality 2023, the approval shall lapse if not implemented within a period of two (2) years from the date the approval comes into operation.
- 2. This approval shall be taken to cover only the departure applications as applied for and as indicated on the site layout plan, plan no 2025/18, drawn by R&D Designs (R. Smit) dated 28 February 2025, attached as “**Annexure A**” which bears Council’s stamp and shall not be construed as to depart from any other Council requirements or legal provisions.



3. The above approval will be considered as implemented on the approval of building plans for the garage structure.

Notes:

- *A building plan must be submitted for approval in accordance with the National Building Regulations.*
- *Stormwater must be dispersed responsibly, and the stormwater management and erosion measures must be addressed on the building plans.*
- *Applicant to show all existing structures on site (including swimming pool) when submitting Building Plans for approval.*
- *The illegal storage contained must be removed from the property or must be moved to be within the property boundaries. Note that structures such as storage contained also requires building plans.*
- *The applicant is to comply with the National Forestry Act, Act No 84 of 1998, should it be required.*

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Human Settlements, Planning and Development, P O Box 19, George, 6530 or Directorate: Human Settlements, Planning and Development, 5th floor, Civic Centre, York Street, George **on or 15 AUGUST 2025** and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

Yours faithfully



C. PETERSEN

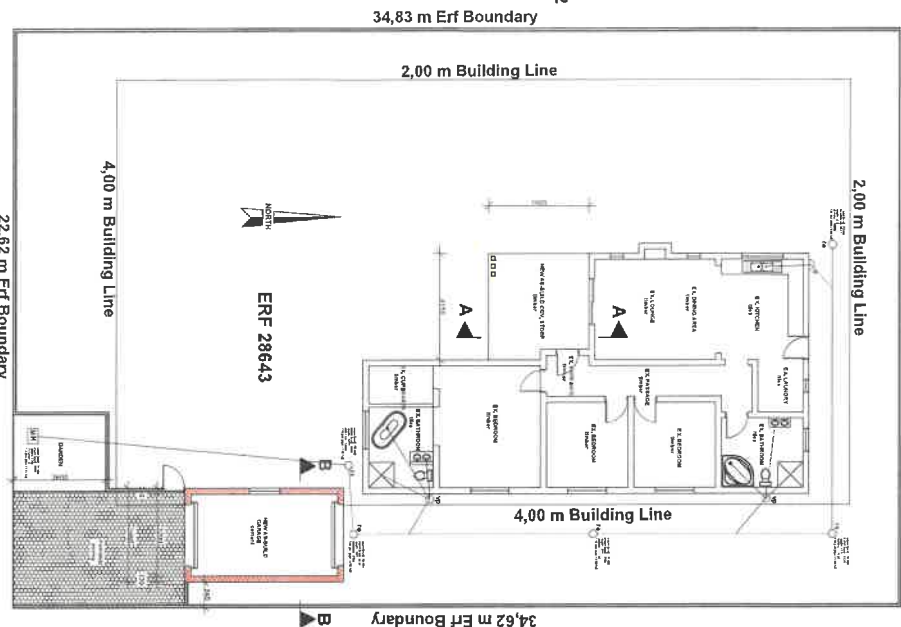
SENIOR MANAGER: TOWN PLANNING

C:\Marisa\Decisions_New By-Law Pro formas_(applicant)\Erf 28643, George(departure_building line relaxation_approval)r & d designs.docx

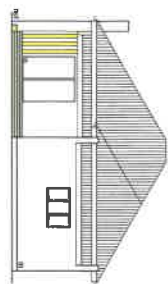
GROUND & SITEPLAN 1:100

22,60 m Erf Boundary

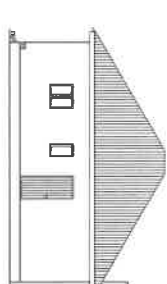
ERF 28875



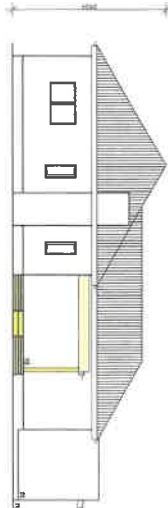
SOUTH ELEVATION 1:100



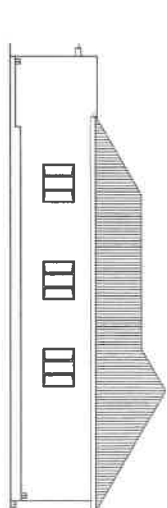
NORTH ELEVATION 1:100



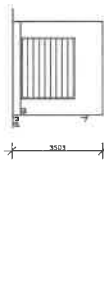
WEST ELEVATION 1:100



EAST ELEVATION 1:100



NORTH ELEVATION 1:100



WEST ELEVATION 1:100



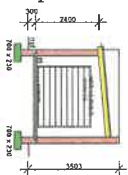
SOUTH ELEVATION 1:100



EAST ELEVATION 1:100



SECTION B-B 1:100



MUNISIPALITEIT GEORGE/MUNICIPALITY

Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

25/7/2025

DATE
DATUM

SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STATSBEPLANNING

AREA:
EX. HOUSE: 18,18 m²
NEW AS-BUILD COVERED STORGE: 18,18 m²
NEW AS-BUILD GARAGE: 22,64 m²
TOTAL AREA: 59,00 m²

ERF AREA: 78,18 m²
COVERED: 21,00 m²

Project: PROPOSED NEW AS-BUILD COV. STOEP ON ERF NO: 28643, J. PHYFER
STANDER STREET 8, GEORGE.

Client: J. PHYFER

Scale: 1:100
Date: 2025/07/25

Drawn: 2025/07/25
Check: 2025/07/25

R. SWIT
S. SWIT
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