



ERF 8990 GEORGE CARPE DIEM SCHOOL

**Application for a permanent departure (building line
relaxation)**



3 July 2025

1.0 INTRODUCTION

1.1 Background

This application concerns Erf 8990 George, the existing Carpe Diem School located on Lang Street. The site is zoned Community Zone 1 (primary use a place of instruction). The property is surrounded by Community Zone 1 properties to the north and west (erf 20671, 3422 and 4467), a Utility Zoned property to the east (3284), an Undetermined Use Zone property to the south (erf 9129) and Single Residential Zone 1 properties to the southwest. Erf 8990 measures 10.5841 ha.

The main access point to the school is from Lang Street. Land uses to the north and west include educational facilities with associated hostel accommodation and sports fields (erf 20671, 3422 and 4467), George correctional centre to the east and south (erf 3284 and 9129), and residential to the southwest.

Carpe Diem School has been in operation since 2006 offering therapeutic services (provided by a psychologist, occupational therapist, physiotherapist, speech therapist and a nursing sister), therapeutic activities, a computer centre, transport facilities, hostels, a feeding scheme and sporting facilities for learners with intellectual, physical or learning impairments (www.carpediemskool.co.za).

The Western Cape Education Department (WCED) has made additions to their existing facility by providing additional classrooms in the southern corner of the property. These additional classrooms to the existing school have necessitated an application for a permanent departure for the side (west) building line.

1.2 Property Concerned

- **Property Description:** Erf 8990 George
- **Registered Owner:** Western Cape Government (refer to **Title Deed**)
- **Applicant:** Chrysalis Projects (Pty) Ltd (refer to **PoA**)
- **Extent:** 10.5841 ha (refer to **SG Diagram / General Plan**)
- **Title Deed:** T52772 / 1984 (refer to **Title Deed**)
- **Applicable Zoning:** George Integrated Zoning Scheme By-Law, 2023
- **Current Zoning:** Community Zone 1

1.3 Summary of Applications

An application is made in terms of Section 15(2)(b) of the George Municipality Land Use Planning By-Law, 2023 for a permanent departure for the relaxation of the side (west) building line on Erf 8990 George:

- the side (west) boundary line from 5m to 4.3m to permit additional classrooms.

The site plan/as-built plan is attached as Annexure 1.

1.4 Supporting documents

The following supporting documents are appended to this application:

- Annexure 1 Site plan / as-built plan

- Annexure 2 Locality Plan
- Annexure 3 SG Diagram
- Annexure 4 Title Deed
- Annexure 5 Power of Attorney
- Annexure 6 Conveyancer Certificate

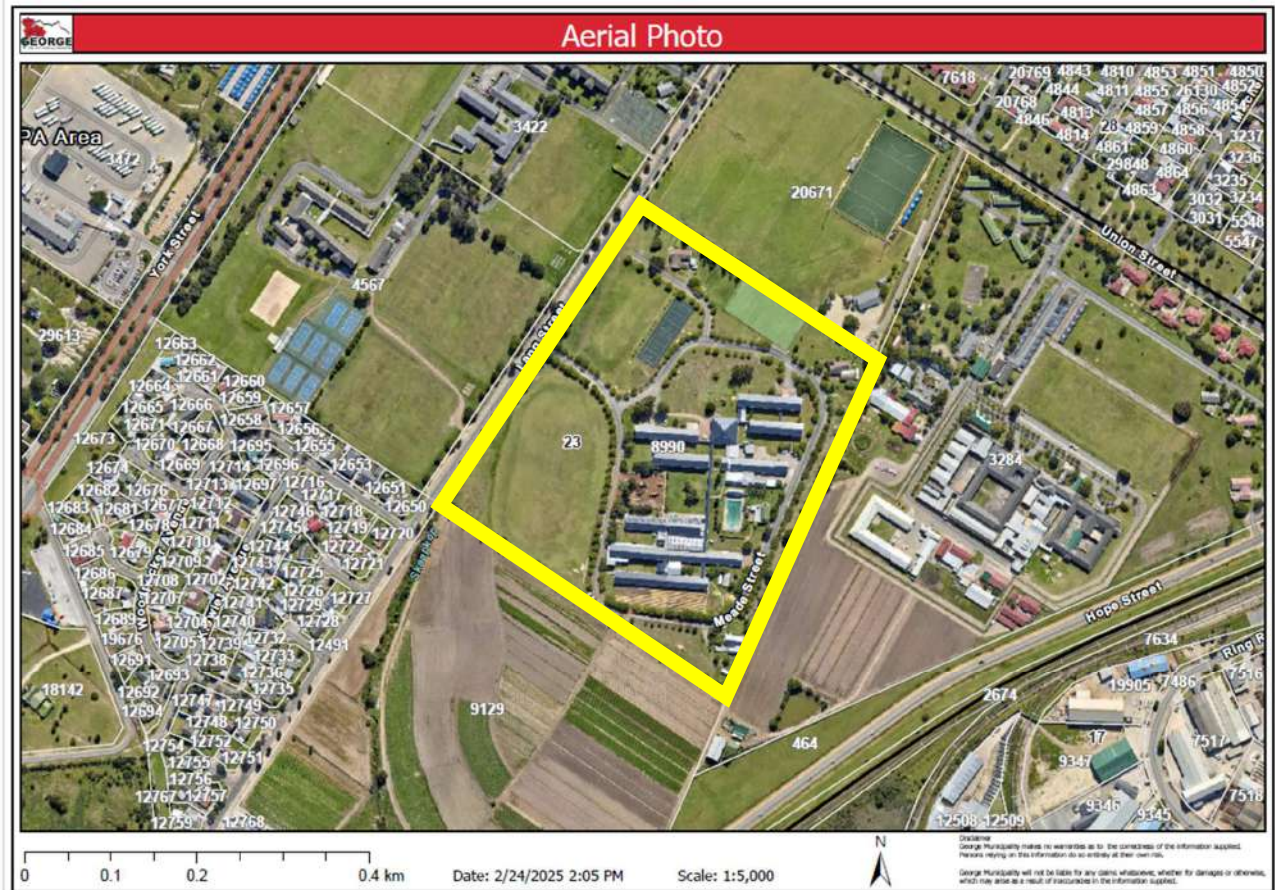


Figure 1: Erf 8990 Carpe Diem School Aerial photo

2.0 LEGAL FRAMEWORK

The process and assessment of planning applications are set out and governed by the legal and policy environment that apply to land development. This section provides an overview of the key laws that apply to the application made with respect to Erf 8990 George.

2.1 Spatial Planning & Land Use Management Act, 2013 (SPLUMA) and Western Cape Land Use Planning Act, 2014 (LUPA)

The Spatial Planning and Land Use Management Act (SPLUMA) (Act 16 of 2013) provides an important set of overarching guidelines in the development principles contained in Chapter 2 of the Act as noted below:

- Spatial justice:
 - past spatial and other development imbalances must be redressed through improved access to and use of land.
 - spatial development frameworks must address the inclusion of persons and areas that were previously excluded.
 - spatial planning mechanisms, including land use schemes, must incorporate provisions that enable redress in access to land by disadvantaged communities and persons.
 - land use management systems must include all areas of a municipality and include provisions that are flexible and appropriate for the management of disadvantaged areas, informal settlements.
 - land development procedures must include provisions that accommodate access to secure tenure and the incremental upgrading of informal areas.
- Spatial sustainability:
 - promote land development that is within the fiscal, institutional, and administrative means of the Republic.
 - ensure that special consideration is given to the protection of prime and unique agricultural land.
 - uphold consistency of land use measures in accordance with environmental management instruments.
 - promote and stimulate the effective and equitable functioning of land markets.
 - consider current and future costs for the provision of infrastructure and social services.
 - promote land development in locations that are sustainable and limit urban sprawl; and
 - results in communities that are viable.
- Efficiency:
 - land development optimises the use of existing resources and infrastructure.
 - decision-making procedures are designed to minimise negative financial, social, economic, or environmental impacts; and
 - development application procedures are efficient and streamlined and timeframes are adhered to by all parties.
 - Spatial resilience, whereby flexibility in spatial plans, policies and land use management systems are accommodated to ensure sustainable livelihoods in communities most likely to suffer the impacts of economic and environmental shocks.

The **Western Cape Land Use Planning Act, 2014 (LUPA)** sets out the principles for development, the minimum requirements for municipal planning matters as well as the minimum content for metropolitan spatial

development frameworks and zoning schemes at the provincial level. The minimum requirements set out in Section 2 apply. These include:

- Municipalities are responsible for land use planning in their respective municipal areas and within their jurisdiction.
- A municipality must regulate at least the following:
 - the development, adoption, amendment, and review of a zoning scheme for the municipal area.
 - the procedures in terms of which the municipality receives, considers, and decides on land use applications.
 - the procedures in terms of which the municipality facilitates public participation in its consideration of land use applications.
 - the criteria for deciding on land use applications.
 - the imposition of conditions of approval for land use applications.
 - the procedures applicable after a land use application has been approved; and
 - the enforcement by the municipality of its by-laws and decisions regarding land use planning.
- A municipality must perform the functions referred to in this section in accordance with this Act.

The development principles in Section 7 of SPLUMA and Section 59 of LUPA have been considered, and the proposed development proposal (additional classrooms to an existing educational facility) is compliant therewith:

- Spatial justice:
 - the proposal is contextually appropriate for the existing character of the area and the current use of the property.
 - it poses no negative impact on the surrounding neighbours.
 - the development proposal is the provision of additional educational infrastructure (additional classrooms) in accordance with the existing current land use rights of the property concerned.
- Spatial sustainability:
 - the social needs of the local community will be met by the provision of additional educational infrastructure (in the form of additional classrooms) which will result in a more viable community and urban fabric that is more compact.
- Spatial efficiency:
 - the proposal is efficient in that it optimizes existing resources and infrastructure and further promotes a diverse combination of land uses.

2.2 George Municipality Land Use Planning By-Law, 2023

The George Municipality Planning By-law provides the mechanism for land use applications, including subdivisions. The By-law also provides the general procedures for all applications. The procedures include making an application, notice and comment, process and criteria for deciding application, the decision, the appeal process, etc. Section 65 provides the general criteria for considering applications and includes, amongst others:

- the desirability of the proposed utilisation of land and any guidelines issued by the Provincial Minister regarding the desirability of proposed land uses
- the impact of the proposed land development on municipal engineering services
- the integrated development plan, including the municipal spatial development framework
- the integrated development plan of the district municipality including its spatial development framework, where applicable

- the applicable local spatial development frameworks adopted by the Municipality
- the applicable policies of the Municipality that guide decision-making
- the provincial spatial development framework
- a regional spatial development framework contemplated in section 18 of the Spatial Planning and Land Use Management Act and provincial regional spatial development framework
- the policies, principles and the planning and development norms and criteria set by the national and provincial government
- the principles referred to in Chapter VI of the Land Use Planning Act
- the applicable provisions of the zoning scheme

2.3 George Integrated Zoning Scheme By-Law, 2023

The purpose of the by-law is to:

- Make provision for appropriate rural and urban zoning categories
- include provisions to permit the incremental management and upgrading of rural areas and promote the inclusion of affordable housing in residential land development
- Provide incentives to promote the effective implementation of the municipality's spatial development frameworks and other development policies
- Include provisions that promote the effective implementation of national and provincial government policies
- Give effect to the Municipal Spatial Development Framework and the Integrated Spatial Development Plan

The site is zoned Community Zone 1 with a primary use of place of instruction. The following development parameters are applicable:

Description	Allowed / Required	As per site plan/as-built drawing	Compliant / Application required
Floor factor	1,2	0.157	Compliant
Coverage	60%	12.6%	Compliant
Height	12 meters	No buildings on site exceed 12 meters	Compliant
Building lines	street building line 5 meters	5 meters	Compliant
	side (west) building line 5 meters	4.3 meters	Departure required from 5.m to 4.3m, to permit additional classrooms
	side (east) building line 5 meters	5 meters	Compliant
	rear building line 5 meters	5 meters	Compliant
Parking	1.5 bays per classroom: 66 bays 1.5 bays per office: 20 bays disabled parking: 2 bays total bays: 88 bays	66 bays 20 bays 7 bays 93 bays	Compliant

Table 1: Development parameters for a place of instruction

3.0 PLANNING CONTEXT

3.1 George Spatial Development Framework 2023 (May 2023)

The subject property, the Carpe Diem School, is not specifically referred to in the George SDF. The school is located just south of the George CBD, an identified Category A Node, i.e. the primary activity hub of George that should be developed to accommodate a mix of residential, commercial, office and public facilities.

Furthermore, the school site is located within the identified urban edge and takes direct access from Lang Street, a designated activity corridor. Even though the SDF is not directly applicable to the development proposals, the development itself is consistent with the following policies and spatial strategies of the SDF:

- A7: PG a: Facilitate clustering of social (also sport) functions - provision congruent with population density/numbers, as per facility requirements.
- A7: PG b: Protection of areas for provision of high order social functions, adjacent to public transport routes and/or regionally accessible nodes
- B8: PG a: Encouraging integrated development (spatial integration - shared uses/access) with mixed typologies and densities in private/public development
- C2.3: PG a: Development and re-development of land / buildings within the urban edge, in context appropriate localities, to accommodate higher density residential use is supported - graded development densities will apply

4.0 MOTIVATION SUMMARY & CONCLUSIONS

The development application is for a departure application (building line) to permit additional classrooms in the southern corner of the site at the existing school, Carpe Dieme.

The application's alignment with the **Spatial Planning and Land Use Management Act, 2013 (SPLUMA)** and the **Western Cape Land Use Planning Act, 2014 (LUPA)** has been comprehensively addressed in Section 2 of this report. The proposed development of additional classrooms to an existing educational facility in the southern corner of the subject property is compliant with the core development principles as set out in the aforementioned legislation, as outlined below:

- **Spatial justice:** The proposed land use is contextually appropriate within the established character of the surrounding area. The development poses no anticipated negative impact on adjacent landowners.
- **Spatial sustainability:** The development directly addresses the educational needs of the local community, thereby contributing to the creation of a socially sustainable settlement. By providing essential community services within close proximity to residential areas, the proposal promotes a more compact, integrated, and efficient urban form.
- **Spatial efficiency:** The development optimises the use of existing infrastructure networks by adding to an already compatible and needed community facility. It encourages a more diverse and functional land use mix, aligning with broader municipal objectives to maximise land use efficiency and support an inclusive urban environment.

Even though the subject property, the Carpe Diem School, is not specifically referred to in the **George Spatial Development Framework**, the development itself is consistent with the policies and spatial strategies of the SDF, see Section 3.

Section 65 of the George Municipality Land Use Planning By-Law, 2023 sets out the criteria for deciding applications. The preceding sections of this report showed how this proposal passes the test set by section 65. The following considerations are relevant to the assessment of the desirability of the proposed application:

(a) socio-economic impact

- The provision of additional classrooms to the existing school will yield significant socio-economic benefits. These include the creation of both short-term and long-term employment opportunities during the construction and operational phases, respectively.
- More critically, the development will expand access to formal education in the area, thereby delivering a vital social service that supports community upliftment, youth development, and long-term economic resilience.
- The school serves as a strategic public facility that supports socio-economic upliftment, educational access, and local employment creation.

(b) compatibility with surrounding uses

- The addition of classrooms to the existing school is compatible with the existing surrounding land uses which include educational facilities with associated hostel accommodation and sports fields to the north and west and residential land uses to the southwest.
- The scale, height, and built form of the additional classrooms has been carefully designed to respond sensitively to the surrounding context, ensuring consistency with existing building typologies, urban grain, and development patterns.

- The proposed development will not give rise to any adverse impacts in terms of land use compatibility and is therefore considered appropriate and complementary to the character and function of the immediate environment.
- The additional classrooms serves as a logical and contextually appropriate addition to the site and the area's social infrastructure network.

(c) impact on the external engineering services

- The school already exists, and it is not located near to any existing Council services.
- There are no engineering services that are regarded as adversely affected by the development proposal, i.e. additional classrooms to an existing educational facility.

(d) impact on safety, health and wellbeing of the surrounding community

- The proposed development (the additional classrooms) is not anticipated to generate any adverse effects on the safety, health, or wellbeing of the surrounding community. On the contrary, it will positively contribute to the social fabric and sense of security within the area.
- The proposal will in fact contribute to improving the safety, health and wellbeing of the community, further improve the passive surveillance in the area and is considered contextually appropriate with the surrounding area.
- Overall, the proposal is contextually appropriate, socially beneficial, and aligns with principles of inclusive, resilient community development.

(e) impact on heritage: There will be no adverse heritage impact.

(f) impact on the biophysical environment: There will be no adverse impact on the biophysical environment.

(g) traffic impacts, parking, access and other transport related considerations

- There will be no adverse impact on traffic, parking, access and other transport related considerations.
- The existing access point to the site will be maintained and adequate on-site parking has been provided.

(h) whether the imposition of conditions can mitigate an adverse impact of the proposed use or development of land

- It is acknowledged that, should the proposed development (the additional classrooms) be approved, the competent authority may impose reasonable and appropriate conditions of approval to mitigate any potential adverse impacts that may arise.
- However, the additional classrooms is not anticipated to negatively affect existing land use rights, nor does it give rise to concerns regarding land use desirability or compatibility.
- The application is therefore considered to be both appropriate and capable of being managed effectively through standard development controls, where necessary.



Nazeema van Rooyen Pr.Plh
for **Chrysalis Projects (Pty) Ltd**

Building Plan / Site Plan

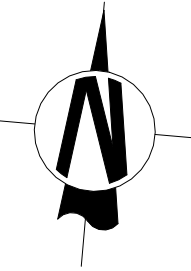
Area Schedules and Town Planning Directives		
Occupation Classification:	A3 - Place Of Instruction	
Site Area:	106 074,75m²	
Allowable Coverage :	60%	63 644,85 m²
Achieved Coverage :	12,6%	13 385,56 m²
Floor Factor:	0,157	16 707,49 m²
Covered Floor Area		
Ground Floor		
Hostel A		698,2 m²
Hostel B		575 m²
Hostel C		700,41 m²
Hostel D		574,75 m²
Dining Hall		439,12 m²
Services - Dry Yard		86,85 m²
Services - Poolhouse		62,91 m²
Services - Trans. Room		51,44 m²
Services - Ablution Blocks		110,61 m²
Recreational Hall		225,37 m²
Block A		685,12 m²
Block B		738,54 m²
Block C		403,19 m²
Block D		668,36 m²
Classrooms		1179,4 m²
Admin Block		501,9 m²
Multi-Purpose Hall		599,88 m²
Dwelling		197,97 m²
Hearing Disabled Classrooms		240,34 m²
Autistic Unit Classrooms		276,59 m²
Walkways (Covered)		1218,33 m²
Hardstands		2847,2 m²
Pool		304,08 m²
Total Covered Ground Floor Area		13 385,56m²
First Floor		
Hostel A		698,2 m²
Hostel B		575 m²
Hostel C		700,41 m²
Hostel D		574,75 m²
Block B		738,54 m²
Multi-Purpose Hall		31,03 m²
Total Covered First Floor Area		3317,93 m²

Design Guidelines for School Sanitation - Table B.2										
	Learners - 388					Staff - 110				
	Girls - 149			Boys - 239			Female - 80		Male - 30	
	WC	WHB	WC	WHB	Urinal	WC	WHB	WC	WHB	Urinal
Needed	11	7	5	7	7	9	5	3	5	6
Achieved	38	33	29	26	7	19	20	16	17	6

Parking Requirments	Total Requirments	Total Achieved
1,5 Per Classroom plus stop & drop facility	66	66
1,5 Per Office	20	20
Disabled Parking	2	7
Total	88	93



SITE PLAN
1:1000



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Municipal Approval:

Revisions

Rev	Date	Issued by	Description
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Project Status:

COUNCIL SUBMISSION

Signatures:

Client	
Architect	
Other:	



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Project Title:
Carpe Diem School
Project Address:
Erf 8990, George
EMIS:
118456233
Site Development Plan

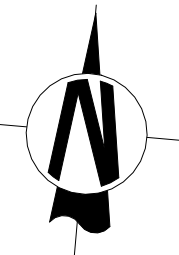
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Date Checked:	Date
Checked By:	D.MOFFETT: PrArch: 6115

Sheet Description:
Site Plan

Occupation Classification:	A3
Scales : As Shown	ARCH 001



MASTER PLAN
1:500



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Other:



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Project Title:
Carpe Diem School
Project Address:
Erf 8990, George
EMIS:
118456233
Site Development Plan

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Date Checked: Date

Checked By: D.MOFFETT- P/Arch: 6115

Sheet Description:
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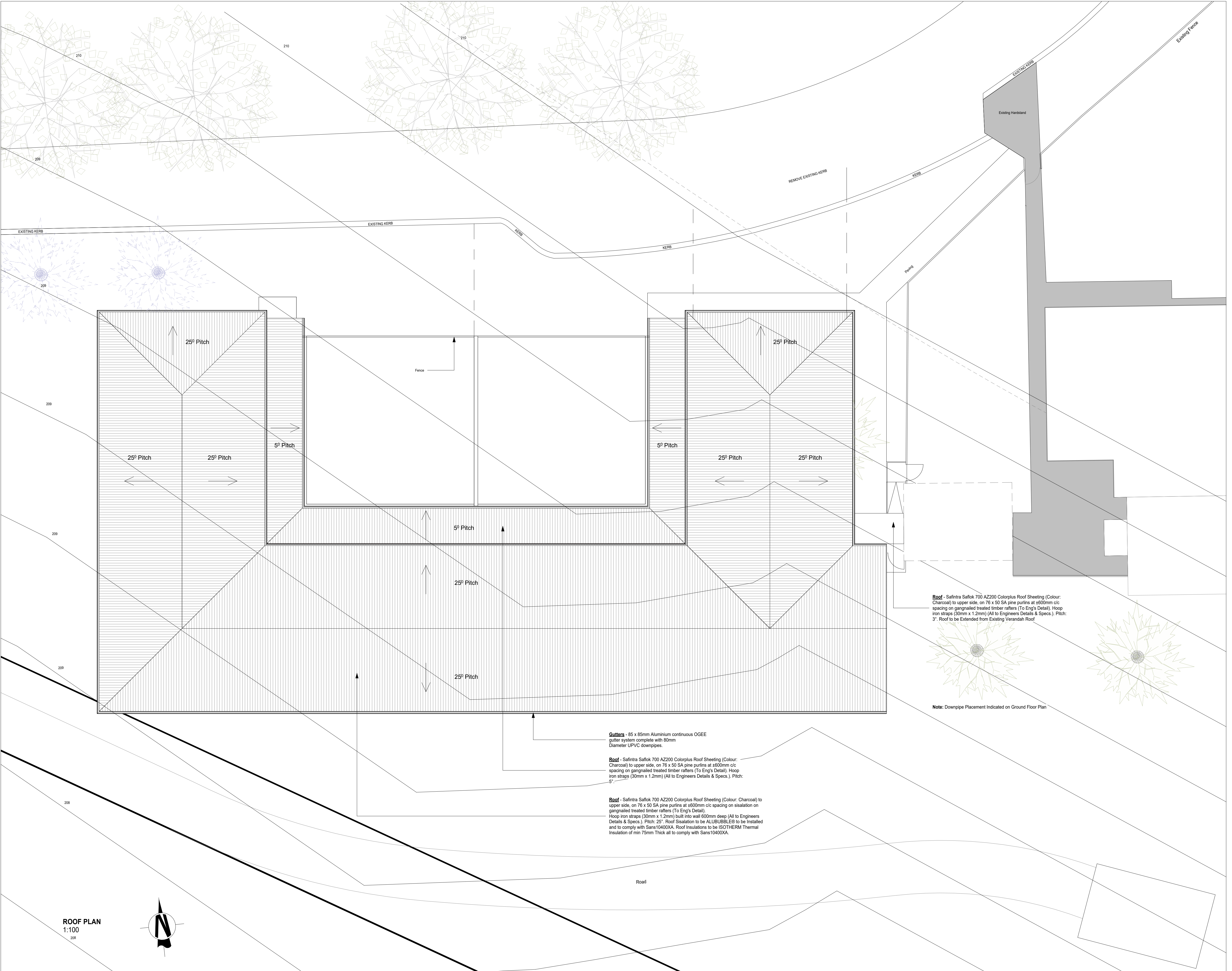
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Scales : As Shown ARCH 003

ENERGY USAGE IN BUILDING

- Roof assemblies to receive insulation to achieve the R-value as indicated in table 7, thickness given in SANS 204 table 10. See SANS 10400-va clause 4.4.5 & SANS 204 table 10. Non masonry walls will have R-values as provided. See SANS 10400-va clause 4.4.2.1.
- Double skin masonry with plaster inside or render outside complete. Single leaf minimum 120mm with plaster inside and render outside complete. See SANS 10400-va clause 4.4.2.2.
- Other masonry walls will have R-value of 0.35. See SANS 10400-va clause 4.4.3.3.
- Air leakage shall not exceed 2 l/s/m² fenestration area. 0.066 l/s/m² fixed glazing, and 0.1 l/s/m² fenestration / swing doors. See SANS 10400-va clause 4.4.11 and SANS 113 clause 4.
- Fenestration more than 10% area to net floor area per storey then the total heat gain and total conductance should comply with SANS 204 clause 4.3.4.
- Fenestration up to 10% area to net floor area per storey complies. See SANS 10400-va clause 4.4.1.
- Provide 50% of hot water required by volume through non-electrical resistance sources. All exposed hot water piping to be insulated with R-value of 1. See SANS 10400-va clause 4.1.

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Failing which any alterations or substitutions rendered necessary the incorrect interpretation of such drawings, specification or bills of quantities shall be at contractor's cost.
The description of an item implies the complete supply, assembly and operation of the item, unless otherwise specified.
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Revisions

Project Status:

COUNCIL SUBMISSION



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**Western Cape
Government**

Approvals:

Project Leader	Date:	Sign:
Other:		

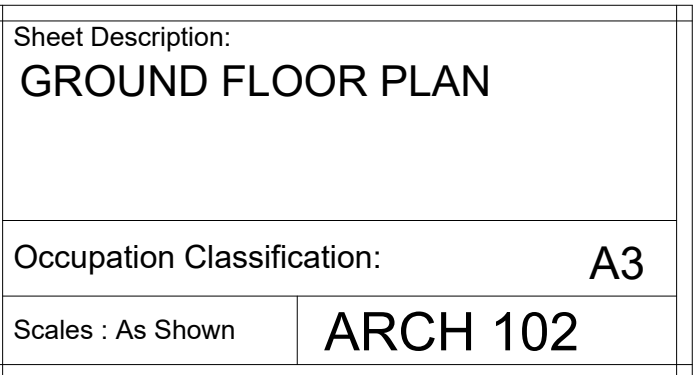
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CARPE DIEM SCHOOL
 ERF 8990, GEORGE.
 EMIS: 118456233

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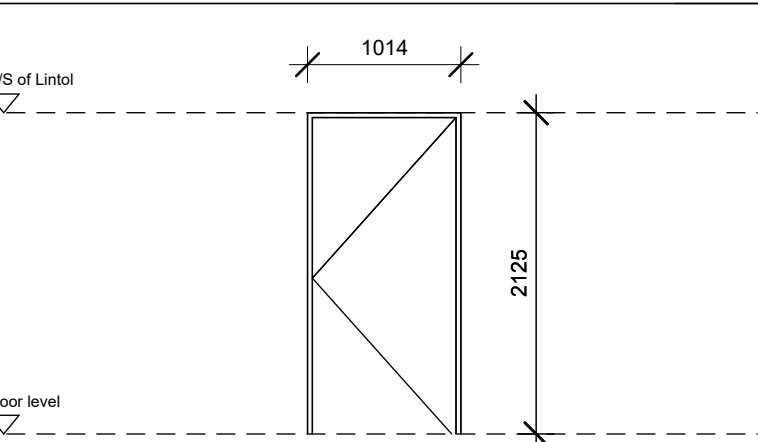
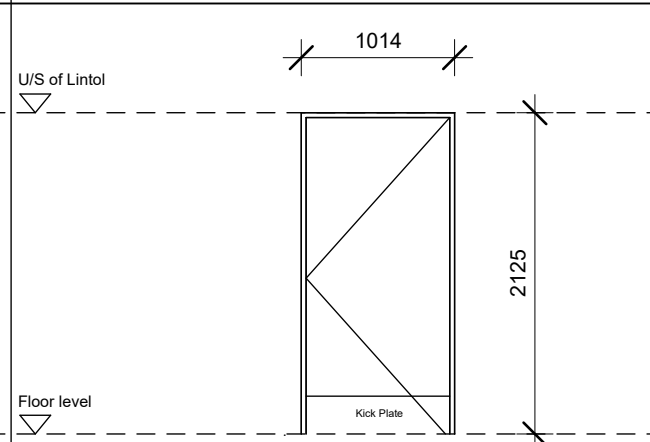
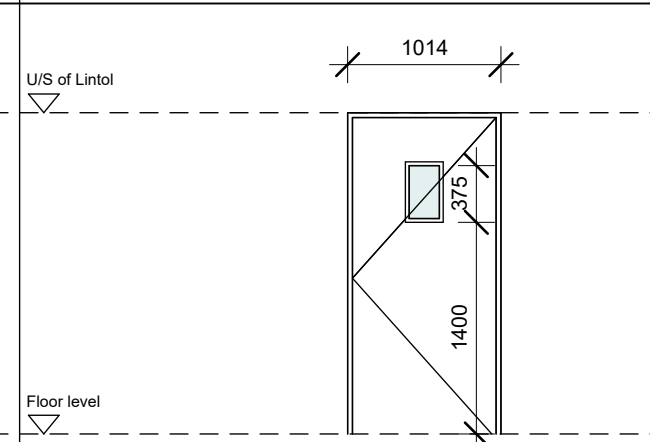
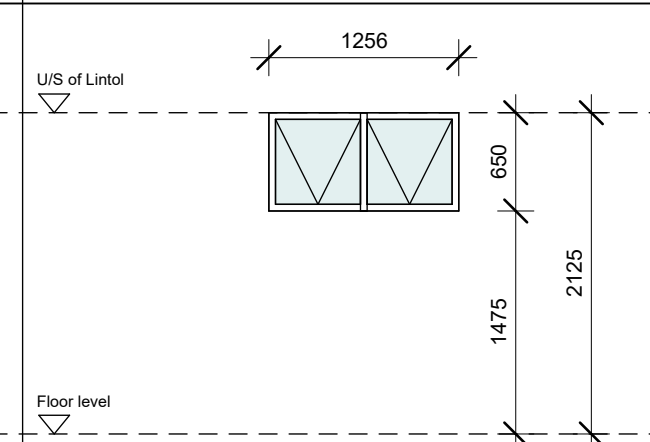
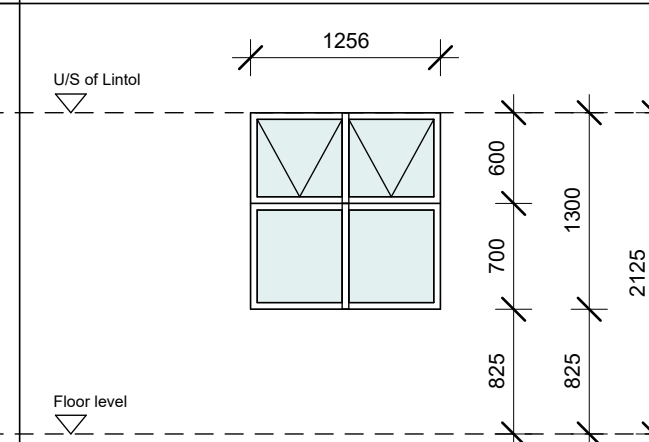
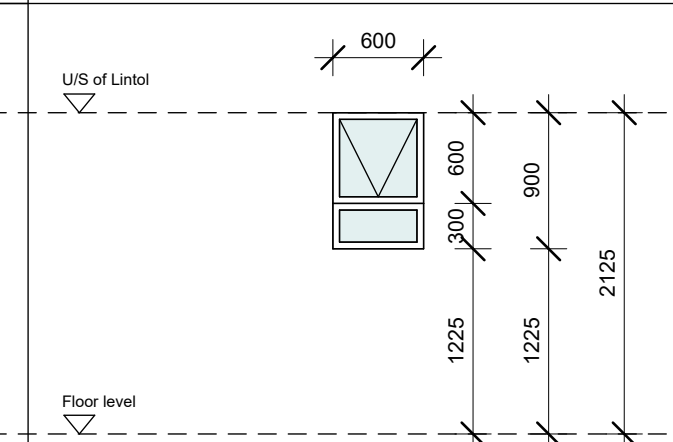
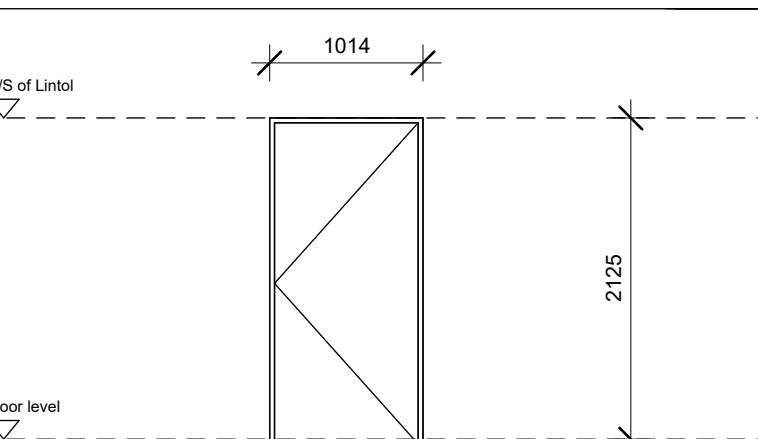
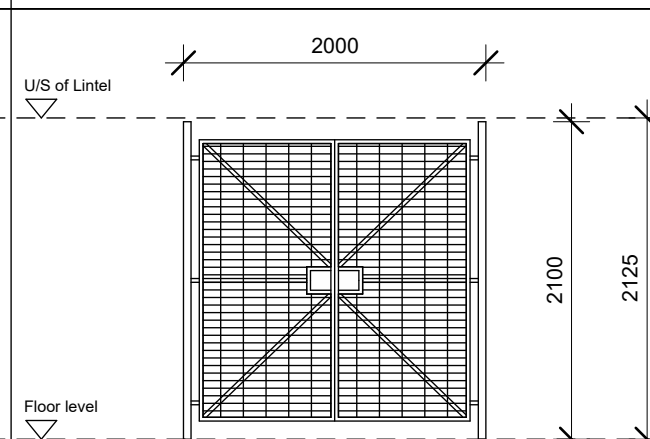
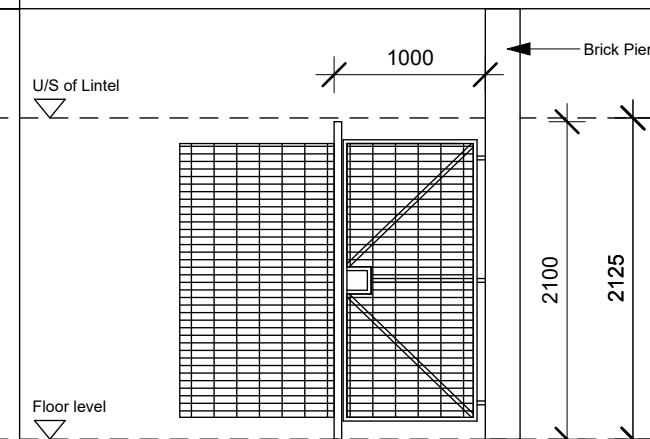
ARCH 102

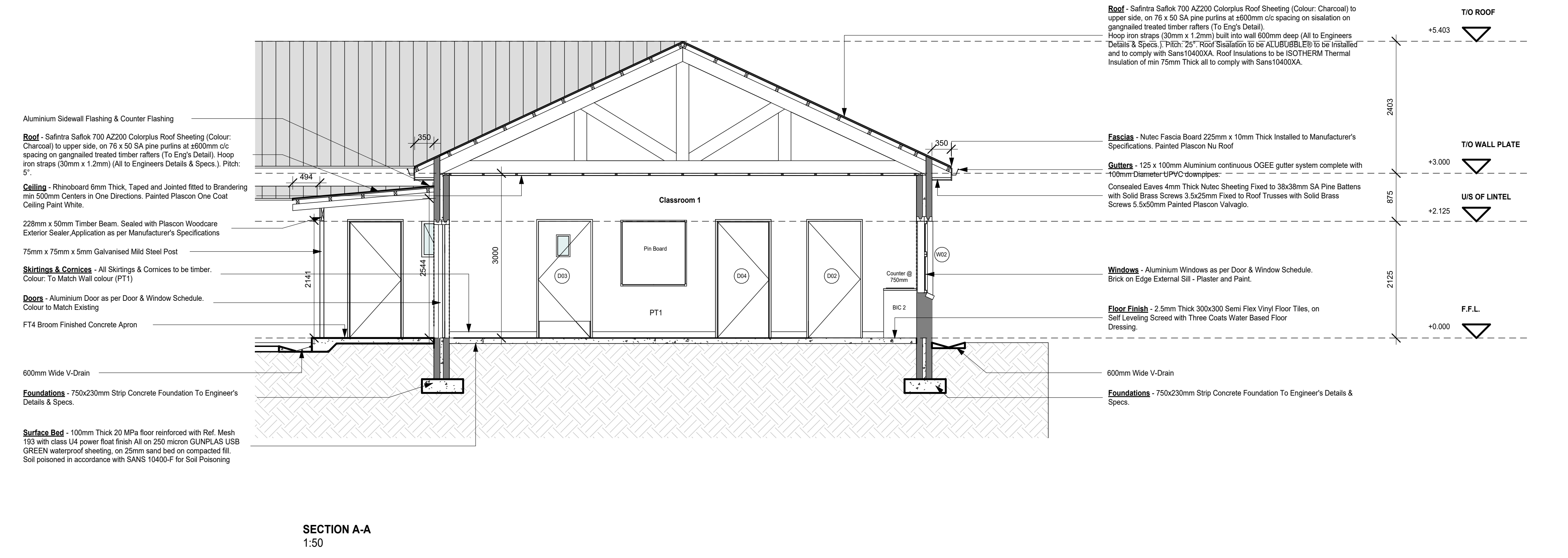


Occupation Classification: A3	
Scales : As Shown	ARCH 104

FINISHING DESCRIPTION			
	REF NUMBER	SPECIFICATION	TOTAL
PAINTS & VARNISHES	PT1	<p>Interior Wall Paint</p> <p>PLASCON PROFESSIONAL HYGIENE LOW SHEEN. Code: PH1.</p> <p>Fill all imperfections with POLYCELL MENDALL 90 or the appropriate POLYFILLA and spot prime flat areas with PRIMER (UC 50), DYSUMM AND PLASTER PRIMER (PP 700).</p> <p>Remove loose and flaking paint back to a sound substrate and a firm edge by scraping and sanding. Clean with POLYCELL SUGAR SOAP POWDER CLEANER solution to remove all contaminants and chalked material. Rinse with clean water to remove all traces of sugar soap. Alternatively, rinse with high pressure water jet. Spot prime bare areas with the appropriate primer. Sand glossy enamel surfaces to a matt finish and apply one coat of PROFESSIONAL ALL PURPOSE UNDERCOAT (PU 800).</p> <p>Apply two or more coats to suitably primed surfaces to achieve complete obliteration. Always maintain a wet edge and avoid downworking tools during the application process to prevent lap marks and variances in colour or texture. Work from corner to corner or from a natural cut off point to another. Do not attempt touch ups but redo complete panels.</p> <p>Tints specified: 84-A2-2: Still Water</p>	NA
	PT2	<p>External Wall Paint (Suitable for all external paint works).</p> <p>PLASCON WALL & ALL. Code: WAA Range.</p> <p>Complete surface preparation by scraping and sanding. Rinse with clean water. Ensure that concrete has dried for at least four weeks and other masonry surfaces two weeks before painting. Remove any oil, grease, and mould release agents with PLASCON AQUASOLV DEGREASER (DS 1). Rinse thoroughly. Prime entire area with PLASCON PLASTER PRIMER (UC 50).</p> <p>Tints specified: Y7-D2-2 Majestic Beauty</p>	NA
	PT3	<p>Door and Doorframe Paint (Suitable for Steel and Timber)</p> <p>PLASCON SUPER UNIVERSAL ENAMEL. Code: NY 110 Range.</p> <p>Remove loose and flaking paint by scraping and sanding. Clean with POLYCELL SUGAR SOAP POWDER solution to remove all contaminants and chalked material. Rinse well with clean water to remove all traces of SUGAR SOAP. Alternatively, clean with high pressure water jet. Spot prime bare areas with the appropriate primer. Sand glossy enamel surfaces to a matt finish and apply a coat of PLASCON UNIVERSAL UNDERCOAT (UC 1).</p> <p>Ready for use with brush or roller application.</p> <p>For spray application this is recommended.</p> <p>Tints specified: 84-D2-1 Splash</p>	NA
	PT4	<p>Ceiling Paint (Suitable for standard gypsum ceilings).</p> <p>PLASCON EASY LIVING WALL MASTER MATT. Code: ELM Range.</p> <p>Remove loose and flaking paint by scraping and sanding. Clean with POLYCELL SUGAR SOAP POWDER solution to remove all contaminants and chalked material. Rinse well with clean water to remove all traces of SUGAR SOAP. Alternatively, clean with high pressure water jet. Spot prime bare areas with the appropriate primer. Sand glossy enamel surfaces to a matt finish and apply a coat of PLASCON UNIVERSAL UNDERCOAT (UC 1).</p> <p>Apply two or more coats to achieve complete obliteration.</p> <p>Tints specified: White</p>	NA
	PT5	<p>Wood details</p> <p>PLASCON WOODCARE WATERBASED PERNAMENT INTERIOR RANGE. Code: X-A4-1 Range.</p> <p>Remove old varnish by sanding or by using REMOVAL ALL PURPOSE REMOVER (ORA 220). If used, sand thoroughly with 60 grit sandpaper and allow to dry. Sand to a smooth finish. Remove dust with a damp cloth and allow to dry. Apply the first coat by brush. Allow to dry for 4 hours. Sand lightly between coats with fine paper to de-burr. Remove dust with damp cloth and allow to dry.</p> <p>Apply second coat in the same manner. Apply at least 2 coats to New and old wood.</p> <p>Tints specified: None</p>	NA
CEILING	CL1	<p>New plaster board Ceiling throughout school</p> <p>New plasterboard ceiling to be skim plastered and painted with PT4 paint (Finishes Schedule)</p> <p>Installation and finishing to be according to manufacturers details and specifications.</p>	NA
FIXTURES/EQUIPMENT	BIC 1	<p>1900mmx590mmx190mm Built-in Bookshelf</p> <p>18mm SUGARCOAT casing and shading with SUPALAM to all surfaces and edges. DUCO spray finish COLOUR: Dove Grey and Stainless</p>	3
	BIC 2	<p>1800x600mm @750mm Counter with SS</p> <p>32mm FORMICA face double point formed waterproofed on blued tops @ 750mm height (sink installed) on 16mm SUPALAM casing and shading with SUPALAM to all surfaces and edges. DUCO spray finish COLOUR: Dove Grey and Stainless. Steel pull handles on tops. Frame Cascade DDXD2-120 with Frame Projectile Single Lever Mixer</p>	3
	Pin Board	<p>Bulletin Board: Pin-up</p> <p>Panel Bulletin Board Ribbed Aluminium Frame (1200x1200mm) – Laurel</p>	6
	White Board	<p>Whiteboard Board: Standard</p> <p>Panel Standard Magnetic White board. Aluminium Frame (1800x1200mm) – Laurel</p>	6
	FT1	<p>300x300 Vinyl Floor Tiles</p> <p>Multi-Floor Multi-Quartz vinyl tile: Blue (072)</p> <p>Semi-flexible Vinyl Floor Tile 200mm Manufacturer Contact (SABS) 300x300mm vinyl floor tiles, installed as per manufacturer's specification</p> <p>Seal with Multi-Floor Vinyl polish.</p>	
FLOORING & TILES	FT2	<p>Full-bodied porcelain tiles with epoxy grout</p> <p>Union Tiles, Duralek Range. Ivory Salt & Pepper. 300x300x12mm. Full-Bodied Porcelain Tile. Code: UNIC1112A300</p> <p>Both adhesive and grout to be TA EPOXY ADHESIVE & GROUT. Colour: Natural. As per manufacturers specifications. Joint Thickness: 3mm.</p> <p>Interface between new floor tiles and existing vinyl flooring of adjacent passages to be covered with Promas Aluminium Reducer or similar approved.</p>	
	FT3	<p>Disabled WC wall tiles. (Floor to Ceiling)</p> <p>150 x 120mm Espresso white Matt WHI +41 Ceramic tiles. Both adhesive and grout to be TA EPOXY ADHESIVE & GROUT. Colour: Natural. As per manufacturers specifications. Joint Thickness: 3mm.</p>	
	FT4	<p>Floated Concrete Finish For Walkway</p> <p>Floated Concrete Finish with face brick bonding</p>	

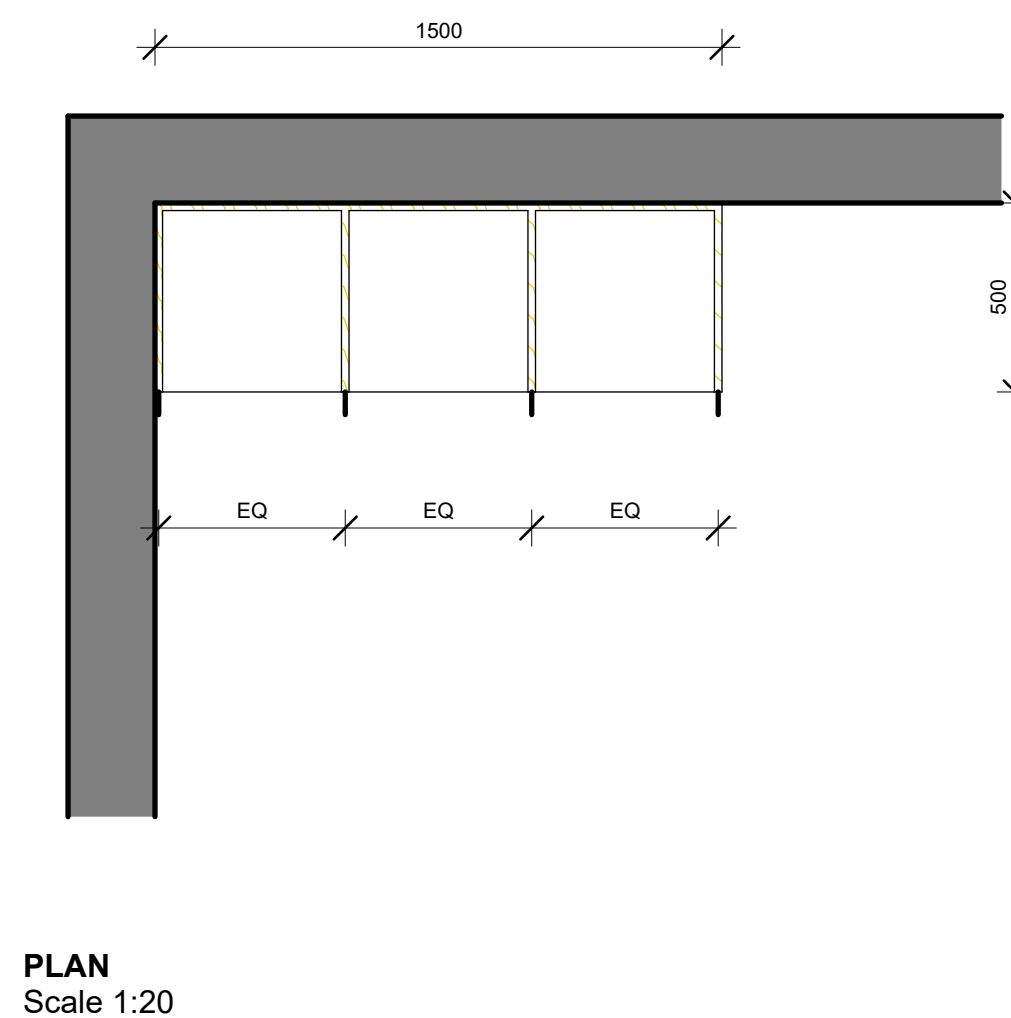
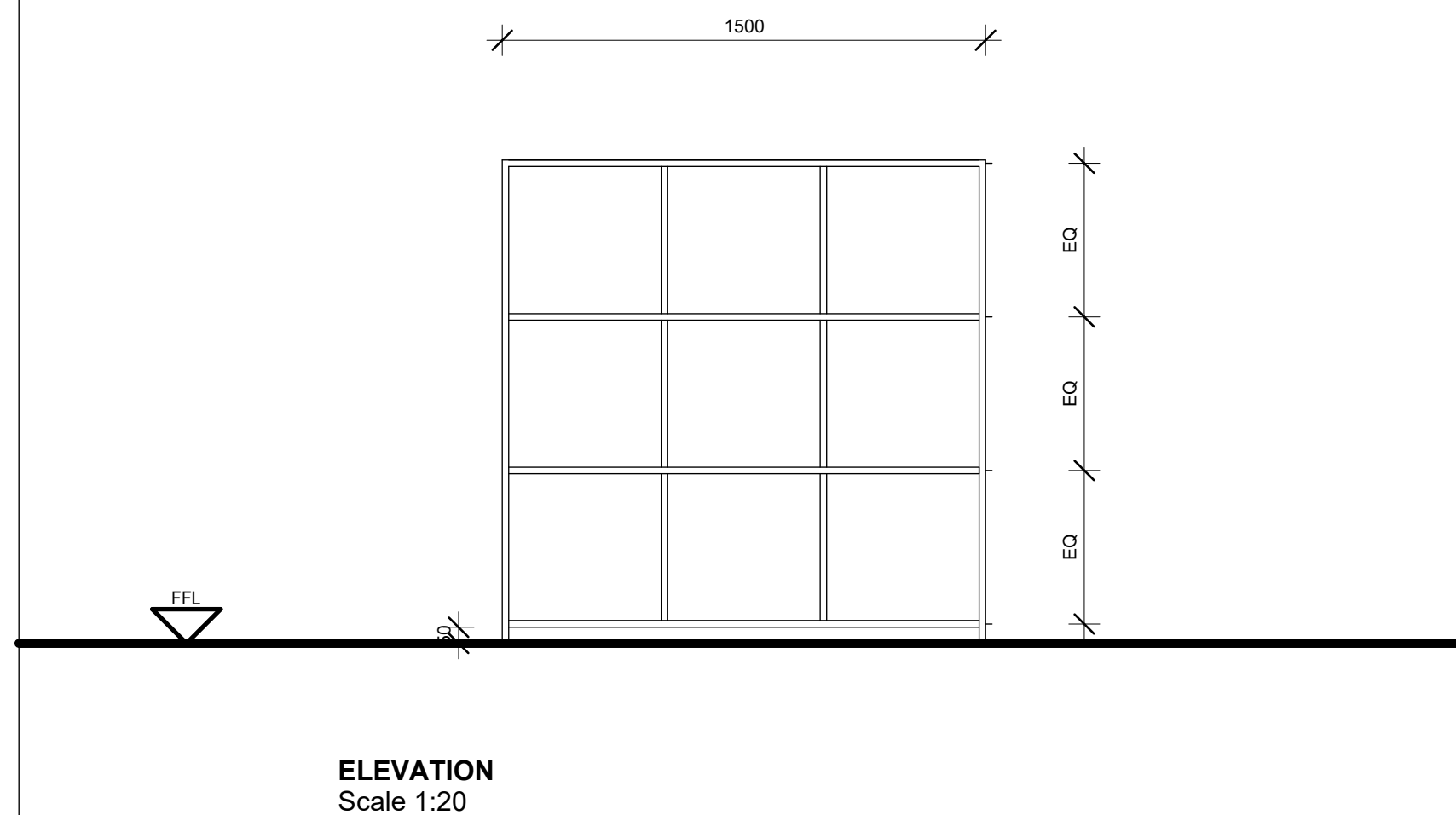
SANITARYWARE DESCRIPTION			
REF NUMBER	SPECIFICATION		TOTAL
DWC	<p>VAAL PEARL PARAPLEIC SEMI-CLOSED COUPLED SUITE Parapleic WC Suite - Including Grab Rails Supplier's Code: VAA-720310WH Pearl Parapleic semi close coupled toilet suite, with purposes made up of: side-flush lever (left or right) and purpose made urea seat. Includes F14C cranked rail and F16C citern rail. 32 mm stainless steel side grab rail (code D62), 32 mm stainless steel rear grab rail around system (code SRCA). For basin specification, see WHB0. All accompanying mechanisms and fixtures as per manufacturers specifications.</p> <p>TOLLET PAPER HOLDER/SPENSOR (2-Roll) "Frankie Rodan Toilet Roll Holder" (Code: RODX762) Surface mounted Toilet Roll Holder, plugged. Wall mounted.</p> <p>WASTE BIN "Frankie Rodan" (Code: RODX000) Surface mounted waste bin, plugged.</p> <p>VAAL HIBISCUS WALL-HUNG WHITE BASIN Wall Mounted Parapleic Hand Basin Supplier's Code: VAA-702303WH Rounded wall-hung basin with three semi-punctured tapholes, integrated overflow, and chain stay hole through the centre semi-punctured taphole. Mixer to be Colima Medical Tap. Chrome. Supplier's Code: CCB-505-21H Medical elbow-activation, square-type pillar tap, chrome. Includes: 1/4" turn ceramic disc, blue indico, 1/2" BSP male inlet, flanged bonnet. Ideal for medical, kitchen and industrial installations. SANZ 205 Type 2. All accompanying mechanisms and fixtures as per manufacturers specifications.</p> <p>MIRROR 3mm silvered float copper backed glass with exposed chromium plated corner brackets fixed to panels - 400x500mm. Wall mounted.</p>	6	
SH	<p>FRANKIE SH SLOP HOPPER WITH SS GRID & 100mm SPLASH BACK 2420035 FRANKIE SH sloopper 540x540 manufactured from grade 304 (1810) stainless steel, 1.2mm thick with a 100mm high integral splash back to the rear and both sides.</p>	1	

DOOR & SCHEDULE - Contractor to check against drawings and BOQ before ordering.						GENERAL NOTES: All windows with sills lower than 500mm above FFL to be safety glass. • Where 'OBS' is indicated, glazing is to be safety glass. • Window sills to be plastered and painted sills • Sills to be painted according to Exterior Paint Finish Schedule (All locks to be Master-Key, including locks to gates, and numbered)
Purpose made doors and windows standard ironmongery. All bathroom windows to be obscure glass. All doors exceeding (≥)1800mm in height (h) & lower than 500mm from F.F.L. to receive Safety glass.						
D01 Solid Timber FLB (Framed, Ledged and Braced) door Timber External Swing door facing.	D02 Solid Timber (Solid Timber Veneered, Both sides) door Timber Internal Swing door facing with kick plate.	D03 Solid Timber (Solid Timber Veneered, Both sides) door Timber Internal Swing door facing with small glass panel.	W01 Powder coated, casement 28, Standard Top-hung Aluminium window	W02 Powder coated, casement 28, Standard Top-hung Aluminium window	W03 Powder coated, casement 28, Standard Top-hung Aluminium window	
						
SIZE: 1014 x 2125mm	SIZE: 1014 x 2125mm	SIZE: 1014 x 2125mm	SIZE: 1256 x 650mm	SIZE: 1256 x 1300mm	SIZE: 600 x 900mm	
DOOR FINISH: Knot, stop, prepare. Colour: Light Blue	DOOR FINISH: Knot, stop, prepare. Colour: Light Blue	DOOR FINISH: Knot, stop, prepare. Colour: Light Blue	WINDOW FINISH: Powder coated aluminium. Colour: White	WINDOW FINISH: Powder coated aluminium. Colour: White	WINDOW FINISH: Powder coated aluminium. Colour: White	
FRAME: Hardwood door frame. Colour: White	FRAME: Hardwood door frame. Colour: White	FRAME: Hardwood door frame. Colour: White	FRAME: Powder coated aluminium. Colour: White	FRAME: Powder coated aluminium. Colour: White	FRAME: Powder coated aluminium. Colour: White	
GLAZING: N/A	GLAZING: N/A	GLAZING: 6.4mm laminated safety glass, Clear Single Low-E. Glazing to be fixed with 45 dia. Clip-in glazing beads. Cutting of glass to be as per manufacturers details and specifications. All sizes as per dimensions.	GLAZING: 6.4mm laminated safety glass, Clear Single Low-E. Glazing to be fixed with 45 dia. Clip-in glazing beads. Cutting of glass to be as per manufacturers details and specifications. All sizes as per dimensions.	GLAZING: 6.4mm laminated safety glass, Clear Single Low-E. Glazing to be fixed with 45 dia. Clip-in glazing beads. Cutting of glass to be as per manufacturers details and specifications. All sizes as per dimensions.	GLAZING: 6.4mm laminated safety glass, Clear Single Low-E. Glazing to be fixed with 45 dia. Clip-in glazing beads. Cutting of glass to be as per manufacturers details and specifications. All sizes as per dimensions.	
IRONMONGERY: 2x Dorma CB30 Handles, 1x Dorma D034S Lockset 2x Dorma DBB-SS-009 Hinges, 1x Dorma DDS-SS-017 Door Stop	IRONMONGERY: 3x Heavy Duty Hinges 2x Push/Pull Handle on Stainless Steel Backing Plate to both sides of door 1x Disabled-approved Indicator Bolt	IRONMONGERY: 2x Dorma CB30 Handles, 1x Dorma D034S Lockset 2x Dorma DBB-SS-009 Hinges, 1x Dorma DDS-SS-017 Door Stop	IRONMONGERY: Standard, Factory-fitted ironmongery	IRONMONGERY: Standard, Factory-fitted ironmongery	IRONMONGERY: Standard, Factory-fitted ironmongery	
MANUFACTURE CODE: N/A	MANUFACTURE CODE: N/A	MANUFACTURE CODE: N/A	MANUFACTURE CODE: Wispeco Crealco Casement 28 Standard Aluminium window.	MANUFACTURE CODE: Wispeco Crealco Casement 28 Standard Aluminium window.	MANUFACTURE CODE: Wispeco Crealco Casement 28 Standard Aluminium window.	
QUANTITY: 13	QUANTITY: 6	QUANTITY: 6	QUANTITY: 31	QUANTITY: 24	QUANTITY: 6	
D04 Solid Timber FLB (Framed, Ledged and Braced) door Timber External Swing door facing.	G01 Clearvu Transparent Double Security Gate	G02 Clearvu Transparent Single Security Gate				
						
SIZE: 1014 x 2125mm	SIZE: 2000 x 2100mm	SIZE: 1000 x 2100mm				
DOOR FINISH: Knot, stop, prepare. Colour: Light Blue	DOOR FINISH: Powder Coated, Hot Dipped Galvanized Steel - Black	DOOR FINISH: Powder Coated, Hot Dipped Galvanized Steel - Black				
FRAME: Hardwood door frame. Colour: White	FRAME: Powder Coated, Hot Dipped Galvanized Steel - Black	FRAME: Powder Coated, Hot Dipped Galvanized Steel - Black				
GLAZING: N/A	GLAZING: N/A	GLAZING: N/A				
IRONMONGERY: 3x Heavy Duty Hinges 2x Push/Pull Handle on Stainless Steel Backing Plate to both sides of door 1x Disabled-approved Indicator Bolt	IRONMONGERY: 3x Heavy Duty Hinges Predrilled holes for a lock As per manufactures specification.	IRONMONGERY: 3x Heavy Duty Hinges Predrilled holes for a lock As per manufactures specification.				
MANUFACTURE CODE: N/A	MANUFACTURE CODE: N/A	MANUFACTURE CODE: N/A				
QUANTITY: 6	QUANTITY: 4	QUANTITY: 3				



BIC 1: Built in Bookshelf

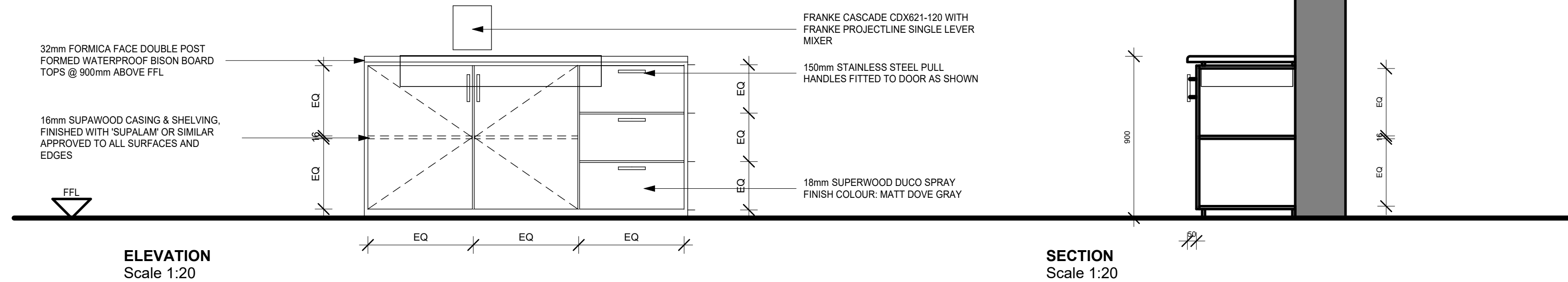
Contractor to Check against Drawings and BOQ before Ordering



Number Required	x3
Description	<p>Timber cupboards: All timber to be 16mm supawood. All internal & external surfaces of cupboard to be covered with matching Melamine.</p>
Ironmongery	N/A
Additional Instructions	Cupboard machine-screwed into the walls as indicated by school staff

BIC 2: Sink with Built-in Cupboard below

Contractor to Check against Drawings and BOQ
before Ordering



Number Required	x3
Description	<p>Timber cupboards: Depth: 600mm All timber to be 16mm supawood. All internal & external surfaces of cupboard covered with matching Melamine.</p>
Ironmongery	<p>5x Stainless Steel Pull Handles(each) 5x Lockset to specialist recommendation(each) 4x Stainless Steel Hinges(each)</p>
Additional Instructions	<p>Cupboard machine-screwed into the walls as indicated by school staff</p>

GENERAL NOTES

1. The design on this drawing is copyright and remainsthe property of Western Cape Government. Copyright is reserved.
2. All work to be carried out in strict accordance with the local authority requirements, National Building Regulations, and the S.A.B. standards.
3. This drawing may not be scaled. Only figured dimensions and levels may be used.
4. All relevant details, levels, and dimensions must be checked on site before commencement of work. Any discrepancies to be reported to the Architects office immediately.
5. The use of trademarks on this drawings simply serves to indicate a standard acceptable to the department, any other brand may be used with the prior written approval of the project leader.

Revisions

Project Status:

COUNCIL SUBMISSION



Approvals:

Project Leader	Date:	Sign:
Other:		

CLASSROOM EXPANSIONS SNE 2024
CARPE DIEM SCHOOL
 ERF 8990, GEORGE.
 EMIS: 118456233

Date Drawn:	2025/04/14 13:52:20
Drawn by:	H. NIGRINI: CANT72088910
Appointment No:	N/A

Sheet Description:

JOINERY SCHEDULE

Occupation Classification: A3

Scales : As Shown

Locality Plan

Erf 8990 Locality Plan



Legend



Erf

Map Center: Lon: 22°26'55.8"E
Lat: 33°58'38.5"S

Scale: 1:7,500

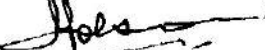
Date created: 2025/30/04



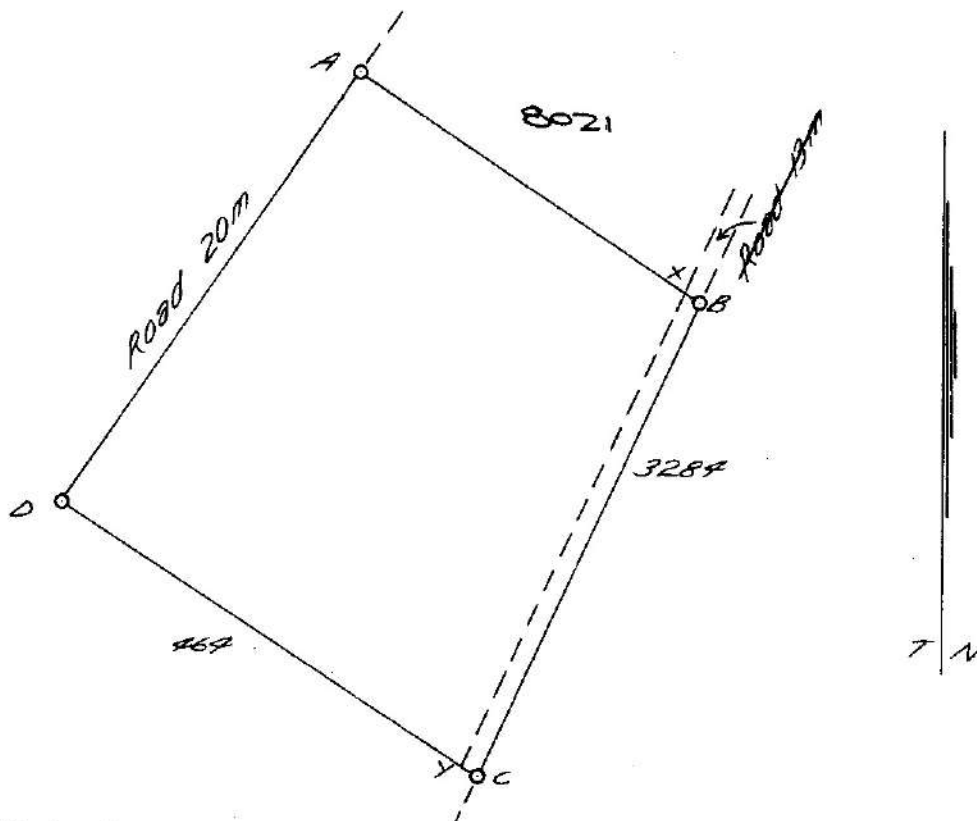
Western Cape
Government
FOR YOU

Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community
Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community
Chief Surveyor-General (DALRRD)

SG Diagram

SIDES Metres		ANGLES OF DIRECTION	CO-ORDINATES <i>Provisional</i> Y System <i>Lo 23°</i> X				S.G. No.
		<u>CONSTANT</u>			0,00	13 700 000,00	5547/81 Approved  Surveyor-General 1982-03-12
AB	273,44	303.34.50	A	+	50 927,96	+ 60 254,13	
BC	353,37	23.34.20	B	+	50 700,16	+ 60 905,37	
CD	334,86	123.34.50	C	+	50 841,47	+ 61 229,26	
DA	348,00	213.34.50	D	+	51 120,44	+ 61 044,05	
		96PA	⊕	+	51 089,35	+ 60 385,19	
		97PA	⊕	+	50 266,38	+ 60 908,50	

All beacons are 16mm iron pegs in concrete.



COMPONENT	FIGURE	ERF NO	DIAGRAM NO	TRANSFER
1	AXYD	8150	1362/79	1984 52771
2	XBCY	8989	5546/1981	1984 52771

Scale 1:5000

The figure ABCD

represents 10,5841 Hectares

of land, being

ERF 8990 GEORGE and comprises 1 and 2
situate in the Municipality and as quoted above

Administrative District of George

Province of Cape of Good Hope.

Compiled
Surveyed in July 1981

by me,

[Signature]
Land Surveyor

This diagram is annexed to
Cert.Consol.Title

No. T.52772/1984

dated

i.f.o.

The original diagrams are
as quoted above

No. annexed to
Transfer/Grant
No.

File No. 5/8775/119

S.R. No. Compiled

Comp. BL-700/132(6517)
741(1758)

Registrar of Deeds

8x
2003-04-04
8775/119 Vol 3 552
P114
2003-05-26

Annexure 4

Title Deed

.....S.....

1984-11-13	WEG	TEUR
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29/10/84	K
3	WEG
52772/84	

T52772/1984

Opgestel deur my,

[Handwritten Signature]
TRANSPORTBESORGER.

KANNENBERG, C. R.

SERTIFIKAAT VAN VERENIGDE TITEL

Uitgereik kragtens die bepalings van Artikel 40 van die Registrasie van Akteswet, 1937 (Wet Nr. 47 van 1937).

NADEMAAL

STEPHANUS PETRUS DE WIT in sy hoedanigheid as Beheer Administratiewe Beampte in die Departement van Gemeenskapsontwikkeling handelende kragtens n Spesiale Algemene Volmag geregistreer in die Akteskantoor te Kaapstad, Nr. P.A. 616/1982 gedateer 30 September 1982 gemagtig deur die Minister van Gemeenskapsontwikkeling van die REPUBLIEK VAN SUID-AFRIKA

aansoek gedoen het vir die uitreiking aan die REPUBLIEK VAN SUID-AFRIKA van n SERTIFIKAAT VAN VERENIGDE TITEL kragtens die bepalings van Artikel 40 van die Registrasie van Aktes Wet 1937;

EN

EN NADEMAAL die gemelde REPUBLIEK VAN SUID-AFRIKA die geregistreerde eienaar is van:

1. Erf Nr. 8150 (gedeelte van Erf Nr. 464) GEORGE, in die Munisipaliteit en Administratiewe Distrik van George.

GEHOU: deur die REPUBLIEK VAN SUID-AFRIKA kragtens Transportakte Nr. T **52771/84** /1984.

2. Erf Nr. 8989 (gedeelte van Erf Nr. 464) GEORGE, in die Munisipaliteit en Administratiewe Distrik van George.

GEHOU: deur die REPUBLIEK VAN SUID-AFRIKA kragtens Transportakte Nr. T /1984.

52771/84

wat verenig is tot die grond hieronder beskryf.

SO IS DIT dat ingevolge die bepalinge van genoemde Wet, ek, die REGISTRATEUR VAN AKTES te KAAPSTAD, hierby sertifiseer dat voornoemde

REPUBLIEK VAN SUID-AFRIKA

Die se opvolgers-in-titel of regverkrygendes, die geregistreerde eienaar is van:

Erf Nr. 8990 GEORGE, in die Munisipaliteit en Administratiewe Distrik George.

GROOT: 10,5841 (Tien komma vyf ag vier een) Hektaar.

SOOS BLYK UIT AANGEHEGTE KAART NR. 5547/81.

A. GEREGTIG

an

A. GEREGTIG tot die voordeel van die serwituut waarna verwys word in die volgende endossement gedateer 29 Desember 1938 op Grondbrief (George Eiendomsbriewe Boekdeel 15 Nr. 15) gedateer 15 Junie 1922, naamlik:

"By Deed of Transfer No. 13615 dated 29.12.1938 the owner and his successors-in-title of the property thereby conveyed is prohibited from carrying on any trade or business other than that of saw mill, grist mill and certain manufactures connected with a timber factory, as will more fully appear on reference to the said Deed of Transfer."

B. ONDERHEWIG aan die terme van 'n Serwituut waarna verwys word in die endossement gedateer 7 Junie 1977 op genoemde Grondbrief (George Eiendomsbriewe Boekdeel 15 Nr. 15) gedateer 15 Junie 1922, naamlik:

"Registration of Servitude

"The within described land is subject to a servitude with regard to apportionment of water in terms of an Order of the Water Court (Water Court District No. W10/76) dated 5.6.77 as will more fully appear on reference to the copy of the said Order annexed, filed as K493/77S".

EN dat kragtens hierdie Sertifikaat genoemde

REPUBLIEK VAN SUID-AFRIKA

Die se opvolgers-in-title of regverkrygendes, nou en voortaan daartoe geregtig is ooreenkomstig plaaslike gebruik.

TEN



7 52772/1984

Page 6

ENDORSEMENT IN TERMS OF ITEM 28 OF SCHEDULE 6 OF ACT 108/1996

In terms of Section 238(1) of Act 200/1993 the within property now vests in the
PROVINCIAL GOVERNMENT OF THE WESTERN CAPE

As will more fully appear from certificate filed with P00060558 / 2013

22

Deeds Office

CAPE TOWN


REGISTRAR OF DEEDS

2013 - 11 - 06

TEN BLYKE WAARVAN EK, die genoemde REGISTRATEUR VAN AKTES, tesame met die Komparant hierdie Akte onderteken en met my ampseël bekragtig het.

ALDUS GEDOEN EN ONDERTEKEN in die Kantoor van die REGISTRATEUR VAN AKTES te KAAPSTAD op die 25^{ste} dag van Oktober in die jaar van Ons Heer Eenduisend Negehonderd Vier-en-Tagtig. (1984)

.....
REGISTRATEUR VAN AKTES

[Handwritten signature]

Power of Attorney

POWER OF ATTORNEY (REGISTERED OWNERS CONSENT)

I/we, the registered owner(s)/applicant:

- Western Cape Government

Registered owners of the following properties:

- Erf 8990 George

wish to certify that authority is hereby granted to the following agent / consultant:

- Nazeema van Rooyen / Chrysalis Projects (Pty) Ltd

To submit the required land use applications to George Municipality in terms of the George Municipality Land Use Planning By-Law, 2023:

- Permanent departure

The undersigned therefore nominates, constitutes and appoints the above party with power of substitution to be the registered owner's legal representative/agent and to act in the name, place and stead of the registered owner(s) in the above regard. Accordingly, power of attorney is hereby also granted to the agent to sign and receive all correspondence in respect of the matter referred to above during the applicable process.

Owners name:

Gerrit Coetzee

(Director: Physical Resources Planning & Property Management)

Date:

Registered owners signature:

Gerrit
Coetzee

Digitally signed
by Gerrit Coetzee
Date: 2025.04.30
11:33:47 +02'00'

POWER OF ATTORNEY

1. I, the undersigned, **Mr Brett Blackburn**, in my capacity as **Chief Director: Immovable Asset Management** in the **Department of Infrastructure** and duly authorised thereto, assign special power of attorney to **Mr Gerrit Coetzee, Director: Physical Resources Planning & Property Management at the Western Cape Education Department**, to act for and on behalf of the **Western Cape Government**, the owner of the property known as **Erven 8990, George** (the property), as its lawful agent with full power and authority and in its name and benefits in fulfilling the following:

- 1.1. To act as Agent in the name of the **Western Cape Government** as the owner, with regards:
- a) Applying for rights on the applicable properties and to submit all the necessary applications including, but not limited to, any land use management, planning, environmental, heritage or development management and related application in terms of relevant legislation,
 - b) To comply with all conditions of approval,
 - c) To construct, a school on the applicable property, if permitted in terms of the Municipal Planning Bylaws and according to any other relevant legislation, and
 - d) To apply for all the necessary Municipal Service Connection Applications on the abovementioned properties.
2. Any cost incurred from the actions identified in Clause 1.1 above, will be for the account of the Agent.
3. Furthermore, the Agent has free and full access to the property to attain the actions identified in Clause 1.1 above.
4. The Agent assumes all liability and responsibility to comply with all legislative requirements, and all legislative prescripts are transferred to the Agent.
5. This Power of Attorney is subject to the following conditions:
- 5.1. that a copy of the approved building plans and/or approved Site Development Plans be submitted to the Custodian prior to the construction of the said structure;
 - 5.2. that a copy of all the necessary applications including, but not limited to, any land use management, planning, environmental, heritage and any other development

rights application in terms of relevant legislation as well as the related approvals be submitted to the Custodian prior to the construction of the said structure;

5.3. that, in the case of environmental applications, the application to stipulate the Agent as the applicant and holder of the environmental authorisation.

6. This Power of Attorney may, in the sole and unfettered discretion of the Western Cape Government, be withdrawn at any time.

7. I further validate and ratify everything the Agent shall do or purport by virtue of this Power of Attorney on behalf of the Western Cape Government.

8. This Power of Attorney is valid for a period of 2 years from the date of first signature. Upon the expiration of the POA, a new application will be required to be undertaken.

Signed at **CAPE TOWN** on this 04 day of November 2024 in the presence of the undersigned witnesses.

FOR THE WESTERN CAPE GOVERNMENT




MR BRETT BLACKBURN

CHIEF DIRECTOR: IMMOVABLE ASSET MANAGEMENT

AS WITNESSES

1. 

2. 



Ref: PN 55527663

**MR BRETT BLACKBURN
CHIEF DIRECTOR: IMMOVABLE ASSET MANAGEMENT**

Dear Brett

**DIRECTIVE IN TERMS OF SECTION 32(1) OF THE PUBLIC SERVICE ACT, 1994 TO PERFORM
RESPONSIBILITIES RELATING TO IMMOVABLE ASSET MANAGEMENT**

The Public Service Act, 1994 empowers an Executive Authority or the Head of Department through section 32(1) to direct an employee under his or her control to perform functions other than those ordinarily assigned to the employee.

It is accordingly hereby confirmed that you have been allocated the responsibilities of the Chief Director: Immovable Asset Management and Head of Component, effective 1 December 2023.

Yours sincerely

**ADV CHANTAL SMITH
HEAD OF DEPARTMENT (Acting)
DEPARTMENT OF INFRASTRUCTURE
Date: 27/21/2024**

Conveyancer Certificate



Date: 23 JUNE 2025

Your Ref: Erf 8990 George

Our Ref: MAT30451

CONVEYANCER'S CERTIFICATE

IN TERMS OF SECTION 38(1)(n) OF THE GEORGE MUNICIPALITY: LAND USE PLANNING BY-LAW, 2023

Erf 8990 GEORGE

Application details:

An application is made in terms of Section 15(2)(b) of the George Municipality Land Use Planning By-Law, 2023 for a permanent departure for the relaxation of the side (west) building line on Erf 8990 George: the side (west) boundary line from 5m to 4.3m to permit additional classrooms.

I, the undersigned

MICHELLE SMIT 992856), a duly qualified and admitted Conveyancer, practicing at, MADELEYN INC, at 8 VREDE STREET, DURBANVILLE, do hereby certify as follows:

1. I have perused the following title deed at the Western Cape Deeds Office, Cape Town:

T52772 / 1984 (current title deed)

In respect of

Erf 8990 George
In the Municipality and Division of George
Western Cape Province

In extent: 10, 5841 (ten comma five eight four one) hectares

Held by deed of transfer number T52772 / 1984

Registered in the name of

Provincial Government of the Western Cape

2. I have appraised myself with the details of the land development application.
3. The aforementioned title deed contains no conditions restricting the contemplated land use in terms of the aforementioned land development application:

EXTREMELY IMPORTANT NOTICES:

EMAIL RELATED FRAUD: WE SHALL NEVER CHANGE THE BANKING DETAILS OF ACCOUNTS WHICH REFLECT ON OUR STATEMENTS OF ACCOUNTS NOR WILL WE SEND YOU ANY LETTERS WHICH DO NOT INCLUDE A MADELEYN INC LETTERHEAD. DUE TO THE RISK OF EMAIL RELATED FRAUD, SHOULD YOU RECEIVE ANY SUCH EMAIL OR ANY OTHER SUSPICIOUS COMMUNICATION, PLEASE IMMEDIATELY CONTACT OUR OFFICE TELEPHONICALLY.

CYBERCRIMES:

CLIENTS ARE HEREBY URGED TO SUPPORT MADELEYN INC IN THE PREVENTION OF CYBERCRIMES BY CONTACTING OUR OFFICE TELEPHONICALLY TO CONFIRM OUR BANKING DETAILS BEFORE ATTENDING TO ANY PAYMENTS.

MADELEYN INCORPORATED | Reg. No 1997/015776/21 | Attorneys, Notaries, Conveyancers

DIRECTORS: Henry George Madeleyn (MD) & Proc (UP), Nicolaas Johannes Pretorius & Proc (UOFS), Nigel John Samuels & Proc LLB (UWC), Theunis Johannes Nel & Proc (UOFS), Gareth Thom BA LLB (UCT, UNISA) **PROFESSIONAL ASSISTANTS:** Roxanne Little LLB (UWC), Eugene Van Der Walt LLB (UNISA), Janneke Mostert LLB (UNISA), Hugo Tallie LLB (UOFS), Andro Tredoux LLB (UNISA), Charlene Theron LLB (UNISA) Michelle Smit LLB (NWU & KUL) **CONSULTANT:** Erica Madeleyn

4. There is no bond registered over the property.

Signed at Cape Town on 23 June 2025


CONVEYANCER
MICHELLE SMIT (92856)

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52772/51

T52772/1984

Opgestel deur my.

h
TRANSPORTBESORGER.

KANNENBERG, C. R.

SERTIFIKAAT VAN VERENIGDE TITEL

Uitgereik kragtens die bepalings van Artikel 40 van die Registrasie van Akteswet, 1937 (Wet Nr. 47 van 1937).

NADEMAAL

STEPHANUS PETRUS DE WIT in sy hoedanigheid as Beheer Administratiewe Beampte in die Departement van Gemeenskapsontwikkeling handelende kragtens 'n Spesiale Algemene Volmag geregistreer in die Akteskantoor te Kaapstad, Nr. P.A. 616/1982 gedateer 30 September 1982 gemagtig deur die Minister van Gemeenskapsontwikkeling van die REPUBLIEK VAN SUID-AFRIKA

aansoek gedoen het vir die uitreiking aan die REPUBLIEK VAN SUID-AFRIKA van 'n SERTIFIKAAT VAN VERENIGDE TITEL kragtens die bepalings van Artikel 40 van die Registrasie van Aktes Wet 1937:

EN

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EN NADEMAAL die gemelde REPUBLIEK VAN SUID-AFRIKA die
geregistreeerde eienaar is van:

1. Erf Nr. 8150 (gedeelte van Erf Nr. 464) GEORGE,
in die Munisipaliteit en Administratiewe Distrik
van George.

GEHOU: deur die REPUBLIEK VAN SUID-AFRIKA kragtens
Transportakte Nr. T 52771/84 /1984.

2. Erf Nr. 8989 (gedeelte van Erf Nr. 464) GEORGE,
in die Munisipaliteit en Administratiewe Distrik
van George.

GEHOU: deur die REPUBLIEK VAN SUID-AFRIKA kragtens
Transportakte Nr. T 52771/84 /1984.

wat verenig is tot die grond hieronder beskryf.

SO IS DIT dat ingevolge die bepalinge van genoemde Wet,
ek, die REGISTRATEUR VAN AKTES te KAAPSTAD, hierby ser-
tifiseer dat voornoemde

REPUBLIEK VAN SUID-AFRIKA

Die se opvolgers-in-titel of regverkrygendes, die geregis-
treerde eienaar is van:

Erf Nr. 8990 GEORGE, in die Munisipaliteit en Administra-
tiewe Distrik George.

GROOT: 13,5341 (Tien komma vyf ag vier een)
Hektaar.

SOOS BLYK UIT AANGERECHTE KAART NR. 5547/81.

A. GERECTIG

Am

A. GEREGTIG tot die voordeel van die servituut waarna verwys word in die volgende endossement gedateer 29 Desember 1938 op Grondbrief (George Eiendomsbriewe Boekdeel 15 Nr. 15) gedateer 15 Junie 1922, naamlik:

"By Deed of Transfer No. 13515 dated 29.12.1938 the owner and his successors-in-title of the property thereby conveyed is prohibited from carrying on any trade or business other than that of saw mill, grist mill and certain manufactures connected with a timber factory, as will more fully appear on reference to the said Deed of Transfer."

B. ONDERHEWIG aan die terme van 'n Servituut waarna verwys word in die endossement gedateer 7 Junie 1977 op genoemde Grondbrief (George Eiendomsbriewe Boekdeel 15 Nr. 15) gedateer 15 Junie 1922, naamlik:

"Registration of Servitude

"The within described land is subject to a servitude with regard to apportionment of water in terms of an Order of the Water Court (Water Court District No. W10/76) dated 5.6.77 as will more fully appear on reference to the copy of the said Order annexed, filed as K493/77S".

EN dat kragtens hierdie Sertifikaat genoemde

REPUBLIEK VAN SUID-AFRIKA

Die se opvolgers-in-title of regverkrygendes, nou en voortaan daartoe geregtig is ooreenkomstig plaaslike gebruik.

TEN

7 52772/1984

Page 6

ENDORSEMENT IN TERMS OF ITEM 28 OF SCHEDULE 6 OF ACT 108/1996

In terms of Section 238(1) of Act 200/1993 the within property now vests in the
PROVINCIAL GOVERNMENT OF THE WESTERN CAPE

As will more fully appear from certificate filed with 000060558 / 2013

(22)

Deeds Office

CAPE TOWN


REGISTRAR OF DEEDS

2013 - 11 - 08

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TEN BLYKE WAARVAN EK, die genoemde REGISTRATEUR VAN AKTES, tesame met die Komparant hierdie Akte onderteken en met my ampseël bekragtig het.

ALDUS GEDOEN EN ONDERTEKEN in die Kantoor van die REGISTRATEUR VAN AKTES te KAAPSTAD op die 25^{ste} dag van Oktober in die jaar van Ons Heer Eenduisend Negehonderd Vier-en-Tagtig. (1984)

.....
REGISTRATEUR VAN AKTES

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