

Collaborator No.: 3710551
Reference / Verwysing: Portions 4, 130, 131, 132 and 139 of the farm 208, Gwayang
Date / Datum: 18 July 2025
Enquiries / Navrae: Primrose Nako

Email: chris@bamarchitects.co.za

Christian Bam Architects cc
PO BOX 2850
CAPE TOWN
8000

**APPLICATION FOR SITE DEVELOPMENT PLAN: PORTIONS 4, 130, 131, 132 AND 139 OF FARM
GWAYANG NO 208, DIVISION GEORGE**

Your application in the above regard refers.

The Senior Manager: Town Planning (Authorised Official) has, under delegated authority, 4.17.3.13 of 24 April 2025 decided that the application for a Permission in terms of Section 15(2)(l) of the Land Use Planning By-law for George Municipality, 2023, for the approval of Site Development Plan No's 2113 1000 Revision D, 2113 1001 Revision G, and 2113 1003 Revision G dated 23 May 2025 drawn by BAM ARCHITECTS (attached as **Annexure A**) in terms of condition 9 of the approval dated 6 May 2022 for Portion 4 of the Farm Gwayang No 208, Division George, condition 16 of the approval dated 31 March 2023 for Portions 130, 131 and 132 of the Farm Gwayang No 208, Division George, and condition 15 of the approval dated 21 July 2023 for Portion 139 of the Farm Gwayang No 208, Division George.

BE APPROVED in terms of Section 60 of the said By-law for the following reasons:

REASONS FOR DECISION:

- (i). The proposed development is in accordance with the current zoning and can be accommodated within the development parameters of the site.
- (ii). The proposed development will not have an adverse impact on the surrounding area and neighbouring properties.
- (iii). The Site Development Plan was drawn in accordance with the requirements of the conditions of approval and approved Architectural Guidelines.

Notes

- a) *The developer is to adhere to the requirements of all relevant Acts, as well as all conditions stipulated by any other authority whose approval is required and obtained for this proposed development.*
- b) *Building plan to be submitted in terms of Section 4 of the National Building Regulations and Building Standards Act, 103 of 1977, for the development.*
- c) *Building plans to comply with SANS 10400, and any other applicable legislation.*

- d) No construction may commence until such time as a building plan has been approved.*
- e) The proposed development shall comply with the Airport Business Park Architectural Guidelines.*
- f) Tree species must be indigenous and suitable to the area.*

Yours faithfully

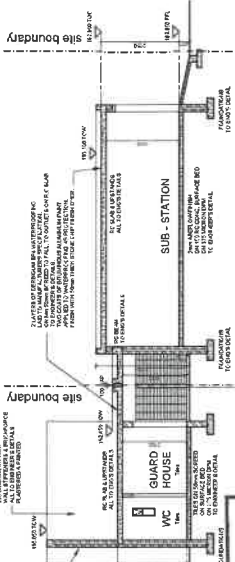


C PETERSEN

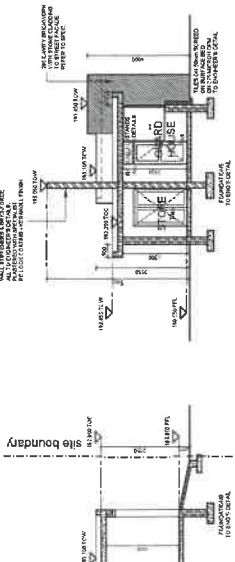
SENIOR MANAGER: TOWN PLANNING

C:\scan\Portions 130_139 & 4 farm 208 Gwayang (SDP of Approval)Chris Bam.docx

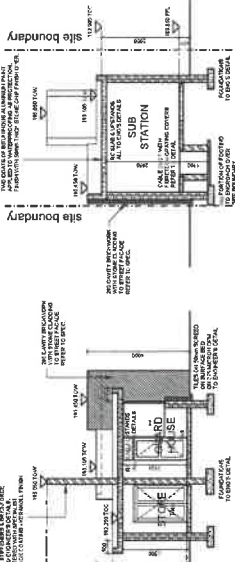
SECTION A-A
Scale 1:100



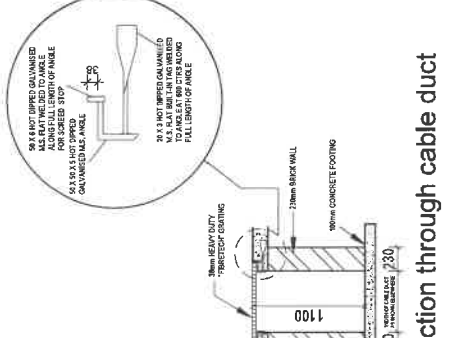
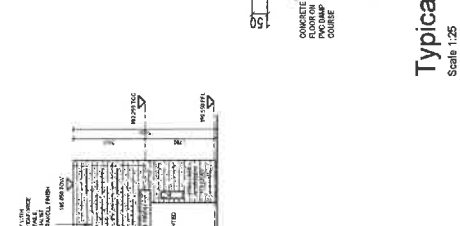
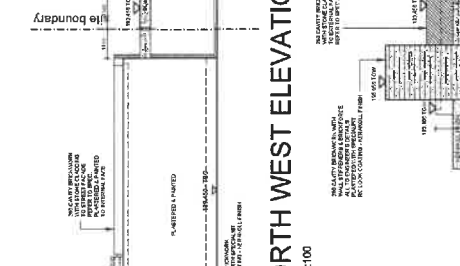
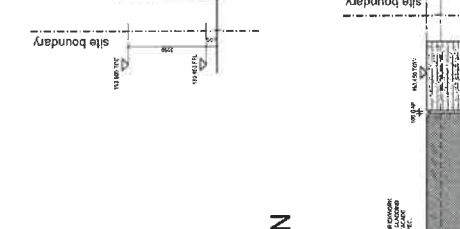
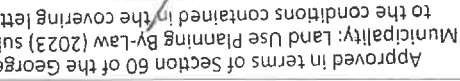
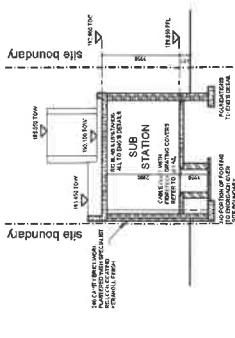
SECTION B-B
Scale 1:100



SECTION C-C
Scale 1:100



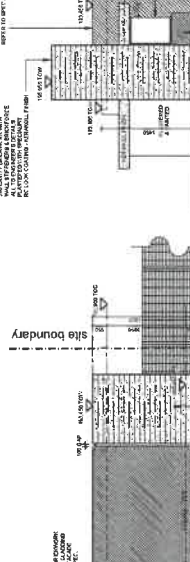
SECTION D-D
Scale 1:100



NORTH EAST ELEVATION
Scale 1:100



NORTH WEST ELEVATION
Scale 1:100



SOUTH EAST ELEVATION
Scale 1:100



SOUTH WEST ELEVATION
Scale 1:100



STONE CLADDING SPEC:
STONE CLADDING: CAPE QUARTZ
SOURCE: (K)YNSA / PLETTERBERG BAY
STONE MASONRY STYLE: UNCOURSURED SQUARE
RUBBLE MASONRY
COLOUR: GREY
POINTING: 20MM LIGHT GREY MORTAR JOINTS
POINTING RAKE DEPTH: 0mm

NOTE:
ALL LEVELS SUBJECT TO
CIVIL ENGINEER'S FINAL DESIGN

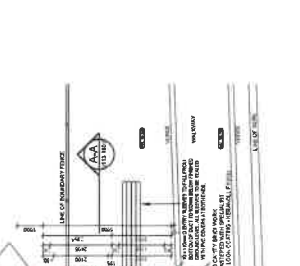
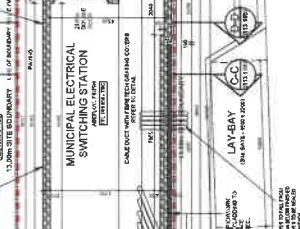
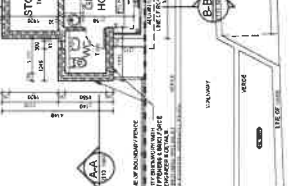
STONE CLADDING SPEC:
STONE CLADDING: CAPE QUARTZ
SOURCE: (K)YNSA / PLETTERBERG BAY
STONE MASONRY STYLE: UNCOURSURED SQUARE
RUBBLE MASONRY
COLOUR: GREY
POINTING: 20MM LIGHT GREY MORTAR JOINTS
POINTING RAKE DEPTH: 0mm

NOTE:
ALL LEVELS SUBJECT TO
CIVIL ENGINEER'S FINAL DESIGN

STONE CLADDING SPEC:
STONE CLADDING: CAPE QUARTZ
SOURCE: (K)YNSA / PLETTERBERG BAY
STONE MASONRY STYLE: UNCOURSURED SQUARE
RUBBLE MASONRY
COLOUR: GREY
POINTING: 20MM LIGHT GREY MORTAR JOINTS
POINTING RAKE DEPTH: 0mm

NOTE:
ALL LEVELS SUBJECT TO
CIVIL ENGINEER'S FINAL DESIGN

STONE CLADDING SPEC:
STONE CLADDING: CAPE QUARTZ
SOURCE: (K)YNSA / PLETTERBERG BAY
STONE MASONRY STYLE: UNCOURSURED SQUARE
RUBBLE MASONRY
COLOUR: GREY
POINTING: 20MM LIGHT GREY MORTAR JOINTS
POINTING RAKE DEPTH: 0mm



FLOOR LAYOUT - ELECTRICAL SWITCHING STATION & GUARD HOUSE
Scale 1:100

3D IMAGE - SOUTH VIEW



REV.	DATE	DESCRIPTION
A	15/01/2023	SDP SUBMISSION
B	15/01/2023	REVISIONS TO SDP SUBMISSION
C	15/01/2023	REVISIONS TO SDP SUBMISSION
D	15/01/2023	REVISIONS TO SDP SUBMISSION
E	15/01/2023	REVISIONS TO SDP SUBMISSION
F	15/01/2023	REVISIONS TO SDP SUBMISSION
G	15/01/2023	REVISIONS TO SDP SUBMISSION
H	15/01/2023	REVISIONS TO SDP SUBMISSION
I	15/01/2023	REVISIONS TO SDP SUBMISSION
J	15/01/2023	REVISIONS TO SDP SUBMISSION
K	15/01/2023	REVISIONS TO SDP SUBMISSION
L	15/01/2023	REVISIONS TO SDP SUBMISSION
M	15/01/2023	REVISIONS TO SDP SUBMISSION
N	15/01/2023	REVISIONS TO SDP SUBMISSION
O	15/01/2023	REVISIONS TO SDP SUBMISSION
P	15/01/2023	REVISIONS TO SDP SUBMISSION
Q	15/01/2023	REVISIONS TO SDP SUBMISSION
R	15/01/2023	REVISIONS TO SDP SUBMISSION
S	15/01/2023	REVISIONS TO SDP SUBMISSION
T	15/01/2023	REVISIONS TO SDP SUBMISSION
U	15/01/2023	REVISIONS TO SDP SUBMISSION
V	15/01/2023	REVISIONS TO SDP SUBMISSION
W	15/01/2023	REVISIONS TO SDP SUBMISSION
X	15/01/2023	REVISIONS TO SDP SUBMISSION
Y	15/01/2023	REVISIONS TO SDP SUBMISSION
Z	15/01/2023	REVISIONS TO SDP SUBMISSION

CLIENT	ARCHITECT
CHRISTIAN BAM PO BOX 2652, Cape Town, 8000	SDP APPLICATION
021 461 1111	021 461 1111
www.bam-architects.co.za	www.bam-architects.co.za
100, Main Road, Cape Town, 8000	100, Main Road, Cape Town, 8000

PROPOSED SUBSTATION, ENTRANCE FEATURES & FENCING OF FARM 130, 131, 132 & 4 OF FARM 280 GRAYANG, GEORGE

MUNICIPAL SWITCHING STATION

PLAN, SECTION & ELEVATION

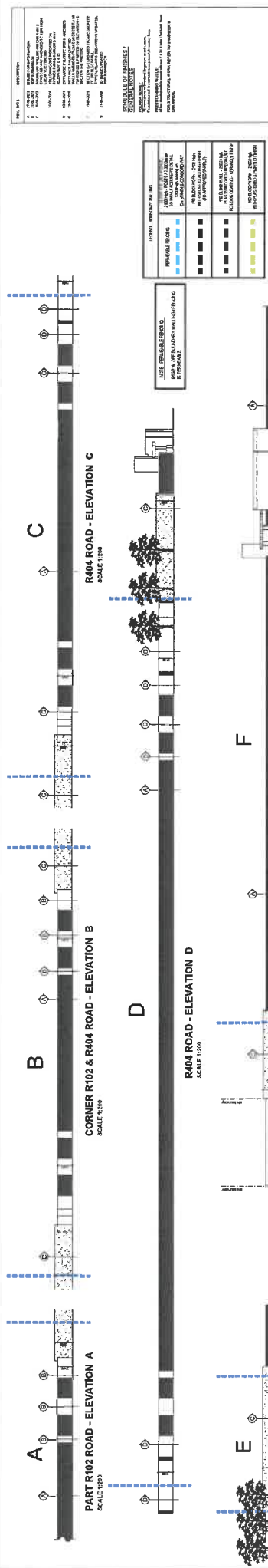
Scale 1:100

27-06-23

SW

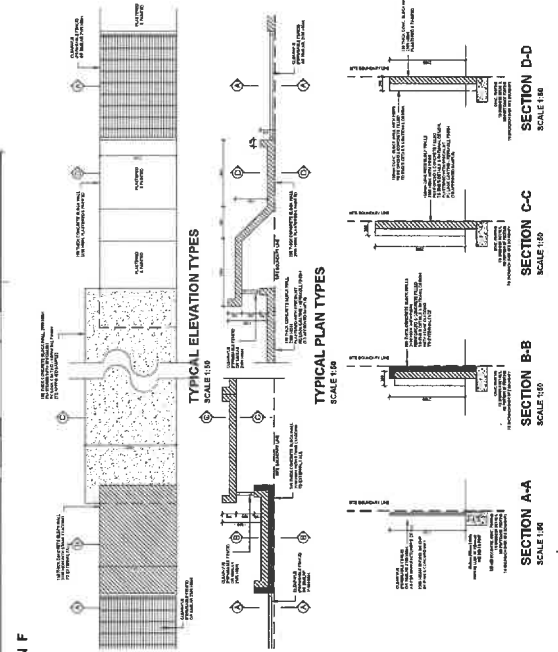
2113 1001

G



MUNICIPALITEIT GEORGE MUNICIPALITY
Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

DATE: 18/7/2025
SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STADSBEPLANNING



bam
ARCHITECTS

PROPOSED SUBSTITUTION
OF PORTION 131 OF PTN 131 & 132 OF PTN 132 & 133 OF PTN 133 & 134 OF PTN 134 & 135 OF PTN 135 & 136 OF PTN 136 & 137 OF PTN 137 & 138 OF PTN 138 & 139 OF PTN 139 & 140 OF PTN 140 & 141 OF PTN 141 & 142 OF PTN 142 & 143 OF PTN 143 & 144 OF PTN 144 & 145 OF PTN 145 & 146 OF PTN 146 & 147 OF PTN 147 & 148 OF PTN 148 & 149 OF PTN 149 & 150 OF PTN 150

BOUNDARY WALL
SITE PLAN & ELEVATIONS

DATE
18/7/2025

SCALE
1:200

PROJECT
SUBSTITUTION OF PORTION 131 OF PTN 131 & 132 OF PTN 132 & 133 OF PTN 133 & 134 OF PTN 134 & 135 OF PTN 135 & 136 OF PTN 136 & 137 OF PTN 137 & 138 OF PTN 138 & 139 OF PTN 139 & 140 OF PTN 140 & 141 OF PTN 141 & 142 OF PTN 142 & 143 OF PTN 143 & 144 OF PTN 144 & 145 OF PTN 145 & 146 OF PTN 146 & 147 OF PTN 147 & 148 OF PTN 148 & 149 OF PTN 149 & 150 OF PTN 150

SDP APPLICATION

DATE
18/7/2025

SCALE
1:200

PROJECT
SUBSTITUTION OF PORTION 131 OF PTN 131 & 132 OF PTN 132 & 133 OF PTN 133 & 134 OF PTN 134 & 135 OF PTN 135 & 136 OF PTN 136 & 137 OF PTN 137 & 138 OF PTN 138 & 139 OF PTN 139 & 140 OF PTN 140 & 141 OF PTN 141 & 142 OF PTN 142 & 143 OF PTN 143 & 144 OF PTN 144 & 145 OF PTN 145 & 146 OF PTN 146 & 147 OF PTN 147 & 148 OF PTN 148 & 149 OF PTN 149 & 150 OF PTN 150

DATE
18/7/2025

SCALE
1:200

PROJECT
SUBSTITUTION OF PORTION 131 OF PTN 131 & 132 OF PTN 132 & 133 OF PTN 133 & 134 OF PTN 134 & 135 OF PTN 135 & 136 OF PTN 136 & 137 OF PTN 137 & 138 OF PTN 138 & 139 OF PTN 139 & 140 OF PTN 140 & 141 OF PTN 141 & 142 OF PTN 142 & 143 OF PTN 143 & 144 OF PTN 144 & 145 OF PTN 145 & 146 OF PTN 146 & 147 OF PTN 147 & 148 OF PTN 148 & 149 OF PTN 149 & 150 OF PTN 150

