

Collaborator No.: 3401328
Reference / Verwysing: Erf 402 Herolds Bay
Date / Datum: 08 August 2025
Enquiries / Navrae: Primrose Nako

Email: janvrolijk@jvtownplanner.co.za

Jan Vrolijk Town Planner
PO Box 710
GEORGE
6530

APPLICATION FOR PERMANENT DEPARTURE: ERF 402, HEROLDS BAY

Your application in the above regard refers.

The Senior Manager: Town Planning (Authorised Official) has, under delegated authority, 4.17.3.13 of 24 April 2025 decided:

- (a) That the application made in terms of Section 39(4) of the Western Cape Land Use Planning Act, 2014 (Act 3 of 2014) for the consent of the Administrator in terms of condition C(b) of Title Deed T30330/2023, for the relaxation of the street boundary building line on Erf 402, Herolds Bay from 5 metres to 1.885 metres to accommodate the existing covered stoep, **BE APPROVED**.
- (b) That the application for Permanent Departure in terms of Section 15 (2)(b) of the Land Use Planning Bylaw for George Municipality, 2023 for the relaxation of the street boundary building line from 4.0m to 1.885m to accommodate the existing covered stoep on Erf 402, Herolds Bay;

BE APPROVED in terms of Section 60 of said Bylaw for the following reasons:

REASONS

1. This proposal will not detract from the residential character of the area.
2. The proposal will not have an adverse impact on the character of the area or the streetscape.
3. The proposal will not have a substantive negative impact on the rights and amenity of the affected neighbouring properties in terms of privacy, overshadowing and/or views.

Subject to the following conditions imposed of Section 66 of said Bylaw, namely:

CONDITIONS

1. That in terms of Section 18(2) of the Land Use Planning By-law for the George Municipality 2023, the approval shall lapse if not implemented within a period of two (2) years from the date it comes into operation.
2. This approval shall be taken to cover only the departure application as applied for and as indicated on the site layout plans number DJM 37-2024, drawn by DJM Draughting dated 13 November 2024 attached as

"Annexure A" which bears Council's stamp and shall not be construed as to depart from any other Council requirements or legal provision.

3. In accordance with the provisions of Section 65 of said Planning Bylaw, a contravention levy of R4 092.64 (VAT Included) is payable for the structure on submission of building plans.
4. The above approval will be considered implemented on the approval of the building plans for the as-built structure.

Notes:

- (a) Stormwater must be dispersed responsibly, and the stormwater management and retention must be addressed on the building plans.
- (b) Building plan to be submitted in terms of section 4 of the National Building Regulations and Building Standards Act, 103 of 1977, for the development.
- (c) Building plans to comply with SANS 10400, Part XA and any other applicable legislation.
- (d) Applicant to show all existing structures on site when submitting Building Plans for approval.
- (e) The property may only be used for the intended purpose once a Certificate of Occupation has been issued.
- (f) The contravention Levy was calculated as follows in accordance with the 2025/2026 tariff list:

Factor	Calculations
Floor area (directly related)	11m ²
m ² value of the Property	$\frac{\text{Total Municipal Value of property (R2 200 000)}}{\text{Total area of property (680m}^2\text{)}} = \text{R3 235,29 /m}^2$
Contravention levy: 10% (directly)	$10\% \times \text{R3 235,29 /m}^2 \times 11\text{m}^2 = \text{R3 558.82}$ Plus VAT (15%) = R533.82 Total: R 4 092.64 (VAT Included)

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Human Settlements, Planning and Development, P O Box 19, George, 6530 or Directorate: Human Settlements, Planning and Development, 5th floor, Civic Centre, York Street, George **on or before 29 August 2025** and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

Yours faithfully



C PETERSEN
SENIOR MANAGER: TOWN PLANNING

C:\scan\Erf 402 Herolds Bay (Administrators Consent & Permanent Departure Approval)Jan Vrolijk.docx

PROPERTY OF THE ARCHITECT

ALL RELEVANT DETAILS, LEVELS AND DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ERRORS RESULTING FROM MISINTERPRETATION OF THE DRAWINGS. ALL DIMENSIONS ARE GIVEN IN MILLIMETERS.

GENERAL SPECIFICATIONS •

DRAINAGE INSTALLATION
 U.S. Sanitary fittings discharging to a gully to discharge over

that guilty as per Part P of SANS 10400 (4.21).

Registered plumber & electrician must provide a certificate of compliance before occupancy certificate been issued by the Local Authority.

REVISIONS

DESCRIPTION

NO	NONE
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JH
ARCHITECTURE
CHITECTURE - SACAP - C

In association with



DAVIAN AMERICA
CAD 4133270
33 HIBUSCUS STREET
PACALTSORP

GEORGE
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 EMAIL: djmdraughting11@gmail.com
 CLIENT: MR. MARIO COERTZE

PROJECT: PROPOSED ADDITIONS ON ERF
402, PERLEMOEN STREET.

HEROLDSBAY, GEORGE.
DRAWING:
FLOOR PLANS, ELEVATIONS,
SECTIONS & SITE PLAN

DATE: _____

1:100 / 1:200 14 MAY 2025

RAWN:	CHECKED:
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DJM	JCVH
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RAWING NO.	SHEETS
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DJM 37-2024 1 of 1

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scale 1:1000

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PROPERTY OF THE ARCHITECT

ALL RELEVANT DETAILS, LEVELS AND DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ERRORS RESULTING FROM MISINTERPRETATION OF THE DRAWINGS.

GENERAL SPECIFICATIONS:

DRAINAGE INSTALLATION
Sanitary fittings discharging to a gully to that gully as per Part P of SANS 10400 4.21).
Drainage installation to comply with SANS 10400 Part P.
Drainage installations under building work must be installed in terms of Part P of SANS 10400 (4.19.4).
Drainage installers under building work must be protected in terms of Part P of SANS 10400 (4.22.2).
All existing drainage as per previous approved plan.

registered plumber & electrician must provide certificate of compliance before occupancy certificate been issued by the Local Authority.
It is to remain open as per building plan.

REVISIONS

REV	DATE	DESCRIPTION
	00/00/00	NONE



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EL: 084 393 9531
EMAIL: dmdraughtino11@gmail.com

AGENT: MR. MARIO COERTZE
(CASPER COERTZE)

PROJECT:
PROPOSED ADDITIONS ON ERF
402, PERLEMOEN STREET,
HEROLDSBAY, GEORGE.

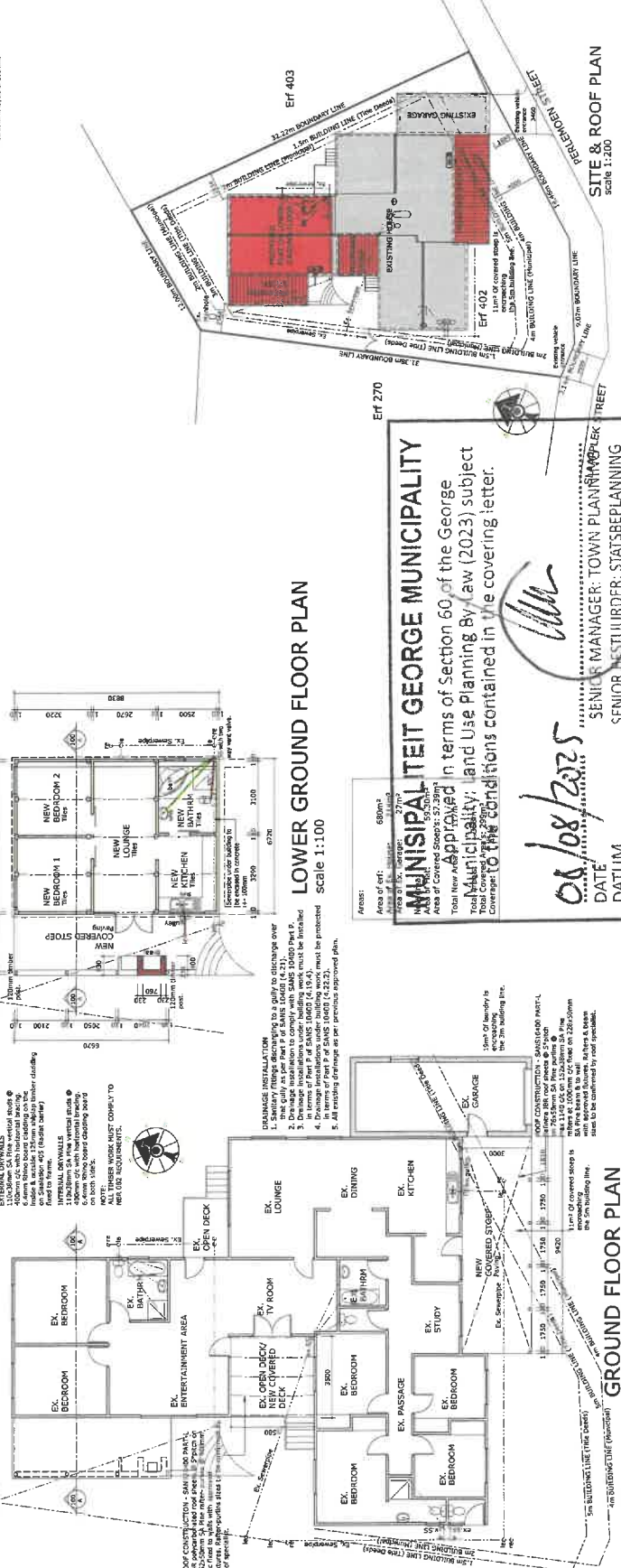
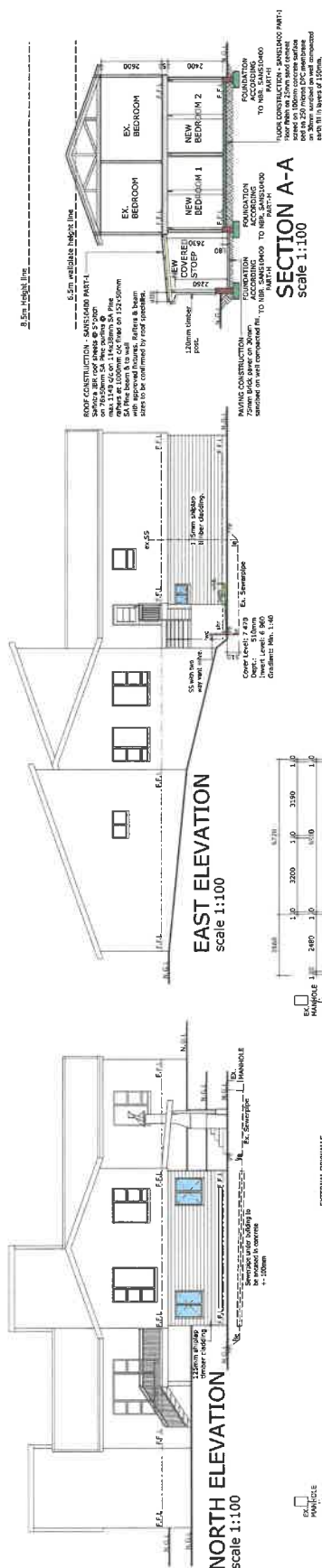
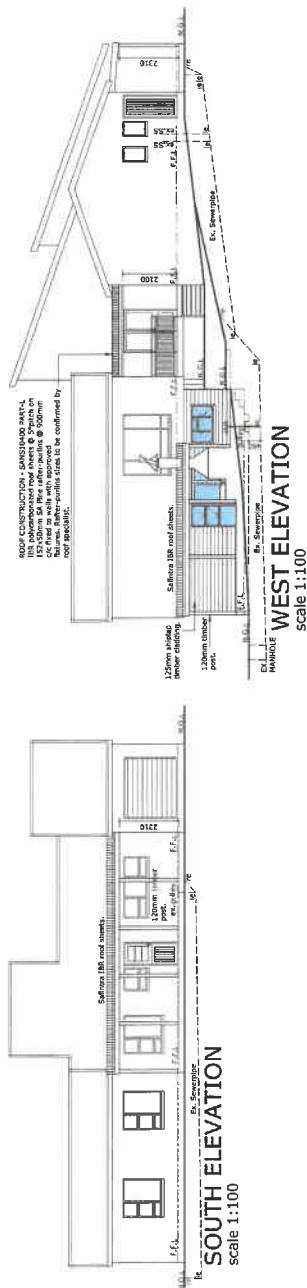
DRAWING:
FLOOR PLANS, ELEVATIONS,
SECTIONS & SITE PLAN

NAME: _____ DATE: _____

1:100 / 1:200	14 MAY 2025
DRAWN:	CHECKED:

DJM	JCVH
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DJM 37-2024



MUNICIPALITY OF GEORGE MUNICIPALITY

In terms of Section 60 of the George Municipality Land Use Planning By-law (2023) subject to the conditions contained in the covering letter.

[Signature]

SENIOR MANAGER: TOWN PLANNING & DEVELOPMENT

SENIOR ASSISTANT ENGINEER: STATISTICS & RESEARCH

TOWNSHIP CLERK

DATUM

DATE

08/08/2025

Area of Coverage: 27km²
Total New Area Approved: 59km²
Total Covered: 86km²
Uncovered: 27km²