



The Municipal Manager
P O Box 19
George
6530

Reference: Erf 1119 Wilderness

14 August 2025

Sir

APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATION AND HEIGHT INCREASE): ERF 1119 WILDERNESS

Attached hereto please find an application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the northern street boundary building line in respect of the proposed garage, as well as the increase in wall-plate height and the height to the ridge of the roof of the proposed dwelling house on Erf 1119 Wilderness.

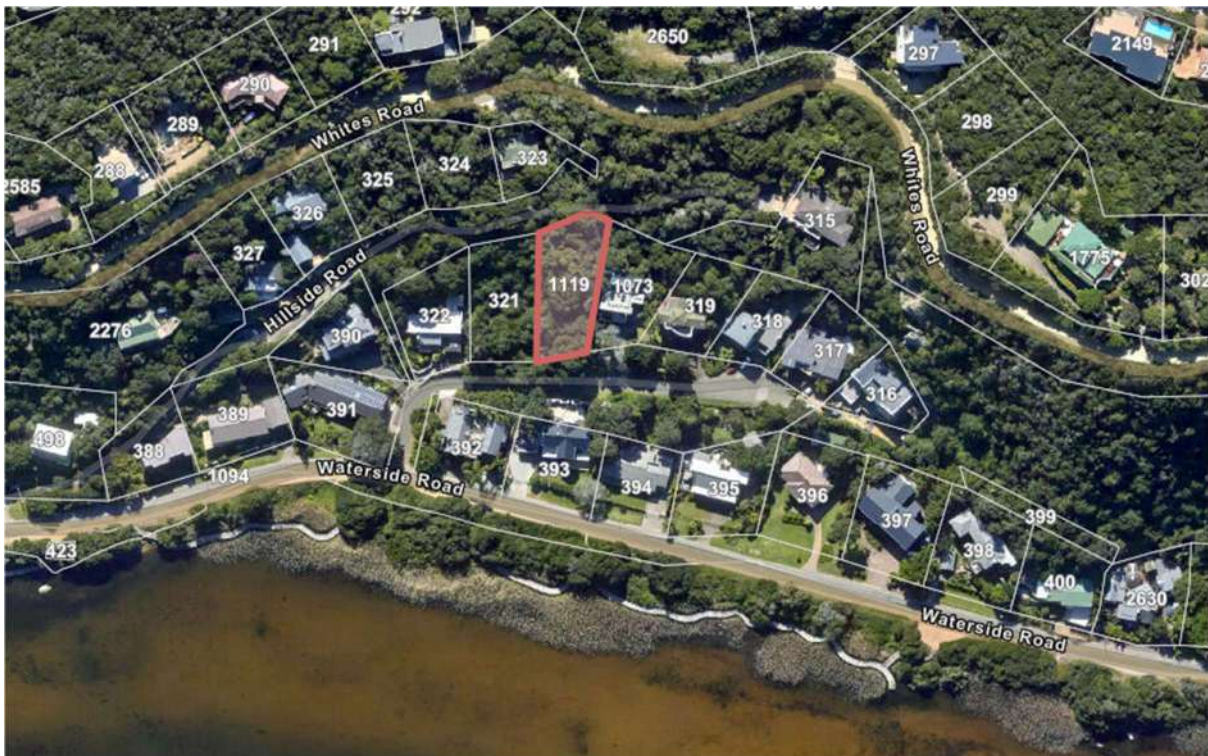
Your prompt consideration of the application will be appreciated.

Thanking you in anticipation.

Jan Vrolijk

MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURE (RELAXATION OF BUILDING LINES
AND HEIGHT INCREASE)
ERF 1119 WILDERNESS

14 August 2025



Prepared for:

Quintus Truter
9 Rooikransie Street
Herolds Bay
6541

Prepared by:

Jan Vrolijk Town Planner/Stadsbeplanner
Millwood building, C/o York- and Victoria streets,
George
P.O. Box 710, George, 6530
South-Africa
Tell: 044 873 3011
Cell: 082 464 7871
Fax: 086 510 4383
SACPLAN Registration No A/1386/2011

INDEX

1. APPLICATION

2. BACKGROUND

3. DEVELOPMENT PROPOSAL

4. PRE-APPLICATION CONSULTATION

5. GENERAL INFORMATION IN RESPECT OF ERF 1119 WILDERNESS

- 5.1 Locality
- 5.2 Existing land use
- 5.3 Extent of erf
- 5.4 Present Zoning
- 5.5 Surveyor General Diagram
- 5.6 Title Deed
- 5.7 Power of Attorney
- 5.8 Bondholder's consent
- 5.9 Conveyancer Certificate

6. DESIRABILITY OF APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATION AND HEIGHT INCREASE): ERF 1119 WILDERNESS

- 6.1 Introduction
- 6.2 Existing planning in the area
- 6.3 Impact on schools, open spaces, and other community facilities
- 6.4 Impact on streetscape
- 6.5 Impact on sunlight, view and privacy
- 6.6 Impact on property values
- 6.7 Impact on provision of parking

6.8 Impact on traffic circulation

6.9 Provision of services

6.10 Fire fighting

7. CONCLUSION

ANNEXURES

Annexure "A": Site and building plan

Annexure "B": Application form

Annexure "C": Locality plan

Annexure "D": Surveyor General Diagram

Annexure "E": Title Deed

Annexure "F": Power of Attorney

Annexure "G": Conveyancer Certificate

MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURES (RELAXATION OF BUILDING LINE
AND HEIGHT INCREASE)
ERF 1119 WILDERNESS

1. APPLICATION

- Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for a permanent departure for the relaxation of the northern street building line from 5 metres to 2.620 metres in respect of the proposed garage on Erf 1119 Wilderness.
- Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for a permanent departure from the development parameter (a) pertaining to the maximum height of a dwelling house for a pitched roof from of 8.5 metres to 12.582 metres for the eastern elevation and from 8.5 metres to 11.782 metres for the western elevation on Erf 1119 Wilderness.
- Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for a permanent departure from the development parameter (a) pertaining to the wall plate height of a dwelling house from of 6.5 metres to 10.822 metres for the eastern elevation and from 6.5 metres to 9.0 metres for the western elevation on Erf 1119 Wilderness.

The proposed site and building plan are attached hereto as **Annexure "A"**. The completed application form for the permanent departure (building line relaxation and height increase) is attached hereto as **Annexure "B"**.

2. BACKGROUND

The current owner of Erf 1119 Wilderness bought the vacant property known as Erf 1119 Wilderness in 2016. The property remained undeveloped up to date. The property owner wishes to construct a dwelling house on Erf 1119 Wilderness.

Erf 1119 Wilderness from part of the previously known Erf 320 Wilderness that was surveyed and registered between 1925 and 1930. Erf 320 Wilderness was thereafter subdivided during 1981 into 2 erven, currently known as Erf 1119 Wilderness and Erf 1073 Wilderness.

Erf 1073 Wilderness has been developed with a dwelling house and Erf 1119 Wilderness is now in the process of being developed with a dwelling house in terms of its existing zoning namely Single Residential Zone I.

3. DEVELOPMENT PROPOSAL

Erf 1119 Wilderness is 1019m² in extent and is currently vacant. Erf 1119 Wilderness has an extremely steep slope from north to south with a low point along a north to south line to the west of the eastern boundary of the erf as indicated on the site plan and development plans attached hereto as **Annexure "A"**.

As can also be seen in the aerial image below, the properties in Hillside Road are all classified as having a slope between 25% and 90%, which is more than the allowable 1:4 (25%) slope.



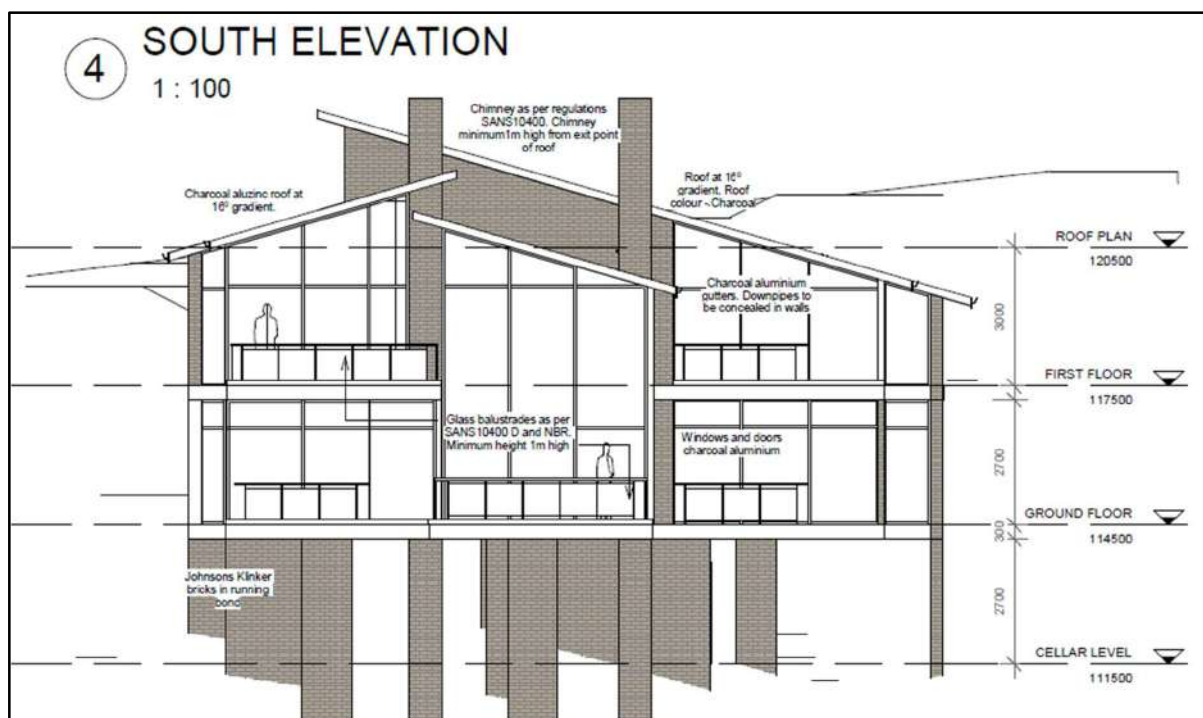
This low point and the extreme slope have an impact on the development and design of a dwelling house. Notwithstanding the extreme slope the design took all the development parameters for a dwelling house in terms of the George Integrated Zoning Scheme Bylaw, 2023 into consideration with the design of the dwelling house for Erf 1119 Wilderness and only requires minimum departures from the development parameters for a dwelling house.

With that said, most of the properties have been developed successfully. Erf 1119 Wilderness and the eastern adjacent Erf 321 Wilderness are some of the last remaining vacant properties in the nearby vicinity.

The proposed dwelling house was designed to be sensitive to the existing environment, natural vegetation and steep slope. Another barrier that had to be overcome was the existing stormwater channel on Erf 1119 Wilderness and therefore the proposed house is situated to the north and will gain access from Hillside Road. Access from Crescent Road is not possible due to the stormwater channel and rocks adjacent to the Crescent Road reserve, as can be seen in the photos below.

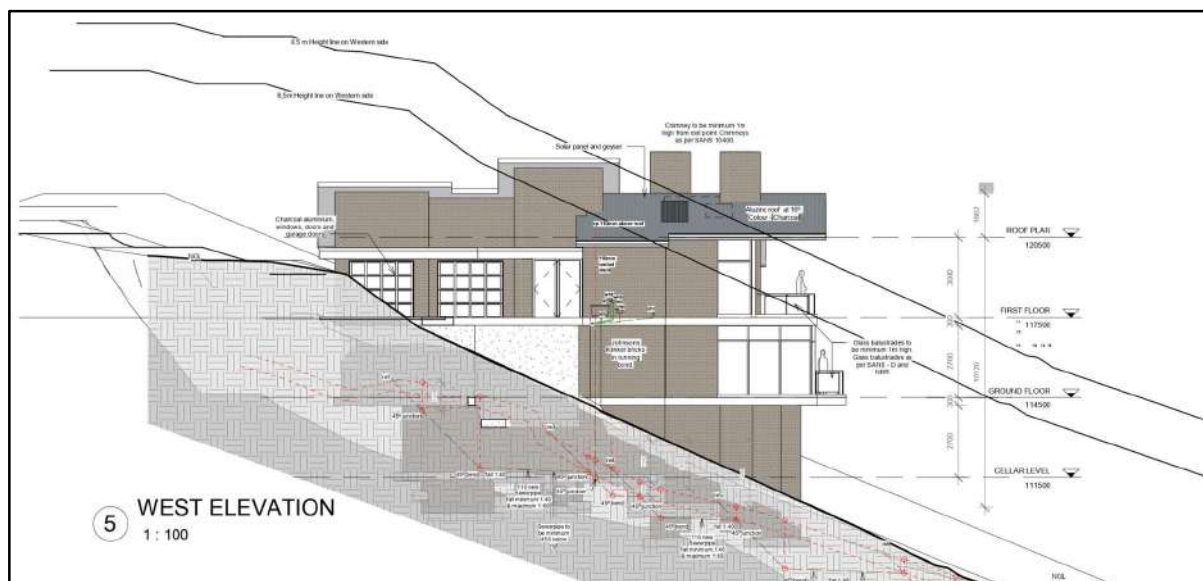
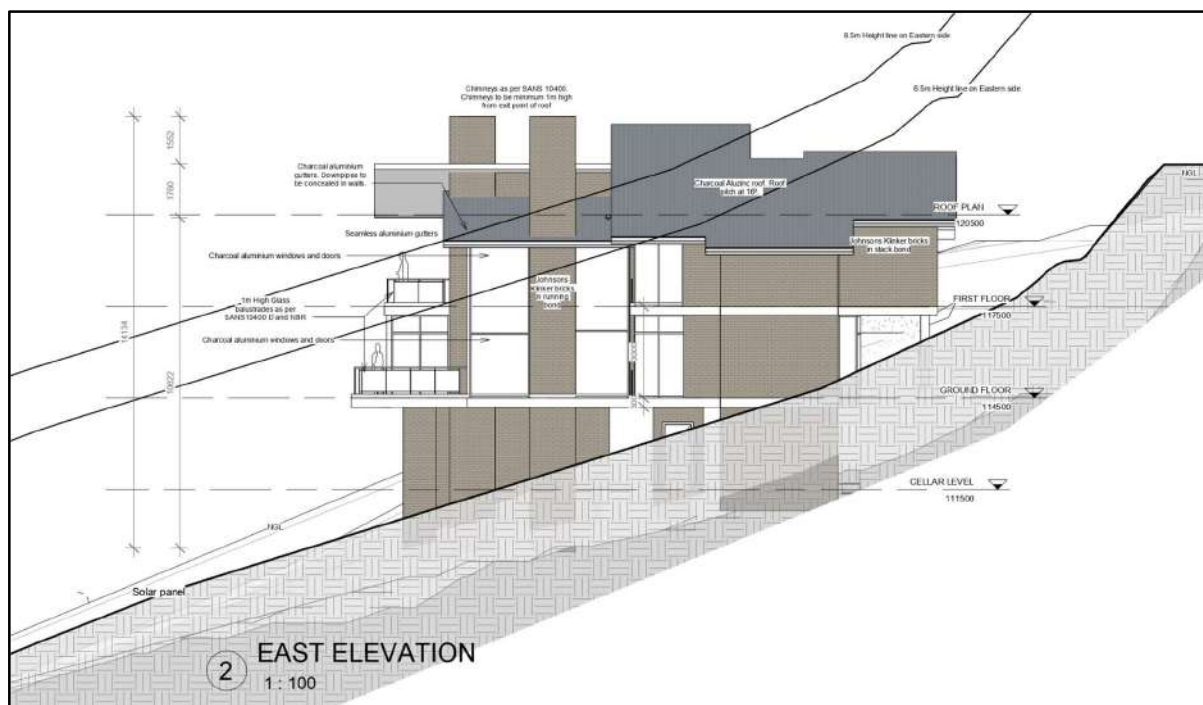


The steep slope of the Erf 1119 Wilderness, from north to south and the low point referred to, will create voids underneath the well-designed dwelling house. These voids are unpreventable due to the slope and the dwelling house will be on columns designed by engineers. This design creates the opportunity for natural vegetation to return after the construction of the dwelling house. The southern elevation indicated the columns; however it should be noted that the dwelling house situated to the north and the dwelling house will hardly be visible from Crescent Road due to the slope, dense vegetation and rocky environment.



The application is for departures from the development parameters for a dwelling house form the maximum height of a pitched roof and the wall plate height. Due to the slope of the property, a section of the structure, the covered patio leading from the main bedroom, exceed the wall plate height and maximum height as seen only from the south.

The encroachments have been measured along the north to south low point of the erf, thus the worst possible situation on the erf. The encroachment is far less than as seen from the west and the east as indicated on the eastern and western elevation below as these sections of the proposed dwelling house are located on a higher level.



The proposed dwelling house will comprise of 3 bedrooms, 3 bathrooms, a study, open plan kitchen, dining room, lounge and braai-room. The open stoep and covered balcony is a very important aspect of the proposed dwelling house because that will be the only outdoor areas accessible on the property. The remaining slope in a southerly direction will remain in its current

state with natural vegetation. The picture below indicates the dense vegetation on Erf 1119 Wilderness, which will remain intact, with the dwelling house on Erf 1073 Wilderness in the forefront.



It is proposed that the dwelling house gains vehicular access from Hillside Road. Hillside Road is a narrow-paved street that only carries the traffic of the dwelling units situated along Hillside Road. The access from Hillside Road made it possible to provide on-site parking for the proposed dwelling house in terms of the George Integrated Zoning Scheme, 2023. Two garages will be provided with an adequate hardened surface driveway for maneuverability to exit Erf 1119 Wilderness without reversing onto Hillside Road.

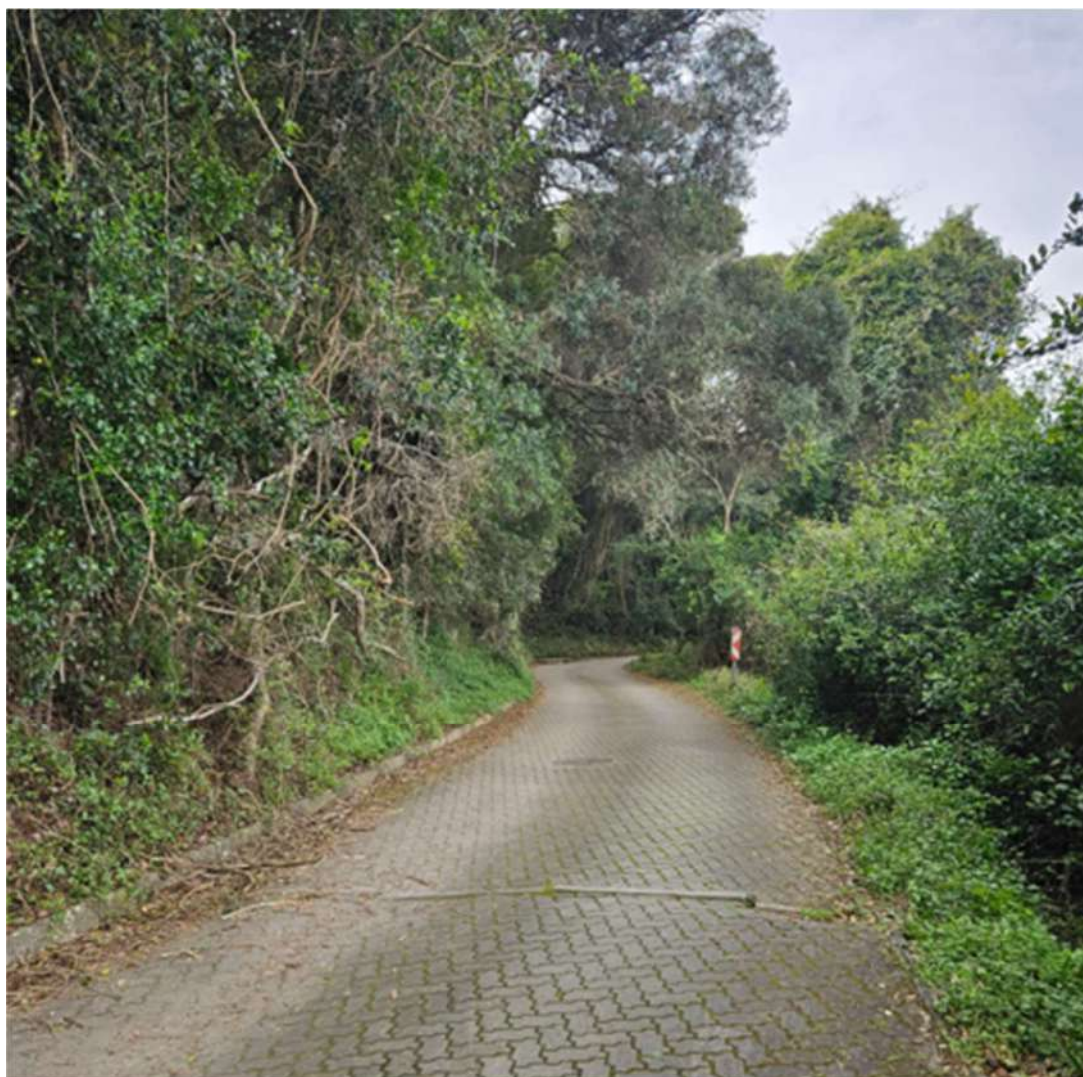
The George Integrated Zoning Scheme, 2023 state in terms of development parameter (e) Garages, carports and outbuildings the following:

“(iv) Notwithstanding subparagraphs (ii) and (iii), a garage or carport may be erected within the street boundary building line if, in the opinion of the Municipality, compliance with the

street boundary building line is not practical due to steep slopes of the ground between the road and the property concerned. The Municipality must determine the street boundary building line in such a case.”

The process of how the Municipality will determine if the street boundary building line may be relaxed for a garage is unclear and therefore an application for departure (building line relaxation) in terms of Section 15(2)(b) of the Land Use Planning Bylaw, 2023 is submitted for consideration.

The following photo indicates Hillside Road and its surrounding area in the vicinity of Erf 1119 Wilderness. The area is characterized by dense natural vegetation and steep slopes.



The photo below indicates the existing house on Erf 1073 Wilderness viewed from Hillside Road, which is located east of Erf 1119 Wilderness. With the sensible design and placement of the proposed dwelling house it will have a minimal impact on the environment and will hardly be visible. The required OSCAE permit application will be followed after the land use planning application.



The following site and building plan, which is attached hereto as **Annexure “A”**, indicates the contours, the elevations of the proposed dwelling house and 3D views of the dwelling house. From the northern elevation it is clear that the terrain is extremely uneven, and the position of the house was chosen almost in a ditch, which is adjacent to the only level part of Erf 1119 Wilderness, to provide vehicular access and parking on site as per the requirements of the George Integrated Zoning Scheme, 2023.



The purpose of this application is to obtain approval for the permanent departures, to enable the owner to erect a primary dwelling house on Erf 1119 Wilderness.

4. PRE-APPLICATION CONSULTATION

A pre-application consultation was not requested as the proposal entails departure applications (building line relaxation and height departure). This is in line with the e-mailed directive in this regard to various consultants by the Municipal Town Planners, which was issued by e-mail dated 10 May 2022.

5. GENERAL INFORMATION REGARDING ERF 1119 WILDERNESS

5.1 Locality

Erf 1119 Wilderness is located in central Wilderness east of the CBD of Wilderness. Wilderness is located approximately 20km east of George. The locality of the property is indicated on the locality plan which is attached hereto as **Annexure "C"**.

5.2 Existing land use

The application property is currently vacant.

5.3 Extent

Erf 1119 Wilderness is 1 019m² in extent.

5.4 Present zoning

In terms of the George Integrated Zoning Scheme By-Law, 2023, the zoning of Erf 1119 Wilderness is Single Residential Zone I.

5.5 Surveyor General Diagram

A copy of the Surveyor General Diagram of Erf 1119 Wilderness is located is attached hereto as **Annexure “D”**.

5.6 Title Deed

Erf 1119 Wilderness is registered in the name of Quintus Truter . A copy of Title Deed of the property, Title Deed No. T18436/2018, is attached hereto as **Annexure “E”**.

5.7 Power of Attorney

A Power of Attorney, whereby Jan Vrolijk Town Planner / Stadsbeplanner is appointed by Quintus Truter, the registered owner of Erf 1119 Wilderness, to prepare the application referred to in point 1 of this motivation report and to sign all relevant documents is attached hereto as **Annexure “F”**.

5.8 Bondholders' Consent

Erf 1119 Wilderness is not encumbered by a bond.

5.9 Conveyancer Certificate

A Conveyancer Certificate in respect of Erf 1119 Wilderness is attached hereto as **Annexure “G”**. The Conveyancer Certificate confirms that there are no conditions in the Title Deed of the application property which restrict the existing structures and proposed uses on the property.

6. DESIRABILITY OF APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE AND HEIGHT INCREASE) ON ERF 1119 WILDERNESS

6.1 Introduction

Specific issues which must be addressed in the motivation of applications are highlighted in the Land Use Planning By-Law for George Municipality, 2023. These issues are, however, aimed at

more complex applications and are not applicable to lesser applications, such as permanent departures for relaxation of building line and height departure.

This application will therefore be motivated with reference to the following aspects:

- *Compatibility of the proposal with the existing planning and land uses of the surrounding area.*
- *The impact that the proposal will have on the environment.*
- *The impact that the proposal will have on traffic and parking in the surrounding area.*
- *The impact that the proposal will have on surrounding facilities such as schools, open spaces and other community facilities, should the application result in an increase in the population of the area concerned.*
- *The impact that the proposal will have on the existing character of the surrounding area and the right of the inhabitants of the area in respect of property values, privacy, view, sunlight, et cetera.*
- *Provision of essential services.*

It will be indicated in the following paragraphs that the proposal can be regarded as being desirable as far as the mentioned aspects are concerned.

6.2 Existing planning in the area

The area of Wilderness where the application erf is located has a single residential land use character with a mix of older dwelling houses and dwellings with a modern architectural style. The proposed dwelling house with a modern architectural style will fit into the character of the area.

The steep slopes prevalent in this part of Wilderness make building line and height departures common in this area. The proposed dwelling house maintains the prescribed building lines, except for the street boundary building line for a motor vehicle garage, which might be a determination by the Municipality in terms of development parameter (e)(iv) of a dwelling house. The proposed street building line relaxation will not have any impact on the surrounding neighbours, nor will it be visible from the street, because Erf 1119 Wilderness is located below

the level of Hillside Road. This departure will assist the property to comply with the parking provisions of the George Integrated Zoning Scheme Bylaw, 2023.

The proposed height departure for the roof structure over the covered patio, leading from the main bedroom is only seen from the eastern and western elevations. This insignificant increase in the wall plate and maximum roof height cannot have a negative impact on the adjacent neighbours. Due to the slope and natural vegetation, these departures will not be visible with the naked eye, nor will it negatively impact the surrounding neighbours or area.

The permanent departures, as proposed in this application, will therefore not establish an undesirable precedent, and can be accommodated within the existing planning of the area.

6.3 Impact on schools, open spaces and other community facilities

The permanent departures proposed in this application will not result in an increase in the number of permanent inhabitants. As such, the proposal will not have an impact on schools and community facilities in the area. Ample open space is available in the close proximity of the erf and the proposal will thus also have no impact on open spaces. This aspect is therefore not relevant to this application.

6.4 Impact on the streetscape

The relaxation of the street boundary building line along the Hillside Road street boundary of the erf, will not have a negative impact on the streetscape, because Erf 1119 Wilderness is located lower than Hillside Road level.

The proposed minimal height departures will not have any impact on the streetscape, due to the steep slopes and dense natural vegetation, the structure will hardly be visible from the streetscape.

The permanent departures as proposed in this application will, therefore, not have a negative impact on the streetscape in the vicinity of the application property.

6.5 Impact on sunlight, view and privacy

The departure for the street building line relaxation will have no effect whatsoever on sunlight, view or privacy of any adjacent erf.

The only properties that could be affected by the increased wall plate height and ridge of the roof height increase will be the adjacent properties towards the east and west of Erf 1119 Wilderness. Erf 1073 Wilderness, east of Erf 1119 Wilderness will have no negative impact on the increase in height, as their existing house is positioned more towards the southern part of the erf and also gains access from the road below, Crescent Road. Erf 321 Wilderness, west of Erf 1119 Wilderness is still undeveloped, however no negative impact can be foreseen for the slight height increase.

The permanent departures as proposed in this application can thus have no negative impact on the sunlight, view or privacy in respect of the mentioned adjacent erven.

6.6 Impact on property values

As indicated in the previous paragraphs, the proposed dwelling house in respect of which the permanent departures are required, do not have a negative impact on any of the surrounding properties. The outside finishes of the dwelling house will be of a decent quality and have a modern architectural style. The proposal will add value to the utilization of the erf and represents a substantial capital investment by the owner.

The value of surrounding properties can, therefore, not be negatively impacted upon by the permanent departure as proposed in this application.

6.7 Impact on provision of parking

The parking requirements applicable to different land uses are set out in table format in Section 42 of the George Integrated Zoning Scheme By-law, 2023.

As indicated on the site and building plans attached hereto as **Annexure “A”**, it will be possible to provide the required number of parking bays within the boundaries of the erf. The departures applied for will have no effect on these parking bays. A dwelling house should supply at least two parking bays and the proposed dwelling house on Erf 1119 Wilderness will be able to comply with this requirement by proposing 2 motor vehicle garages.

The provision of on-site parking will therefore not be negatively impacted upon by the granting the permanent departures as proposed.

6.8 Impact of traffic circulation

Erf 1119 Wilderness has two street frontages. The northern boundary of Erf 1119 Wilderness is located adjacent to Hillside Road and the southern boundary is located adjacent to Crescent Road. Both roads only provide access to single residential properties located along these roads. Crescent is a dead-end street that carries limited traffic, and Hillside Road has a very narrow steep connection to Whites Road. Hillside Road is also exclusively used by the residential properties adjacent to it.

It is clear that the departures cannot have any negative impact on traffic circulation in either Hillside Road or Crescent Road.

6.9 Provision of services

Erf 1119 Wilderness has access to municipal services and should be able to connect to the services available in the area. The proposal is for a dwelling house, which is in line with the zoning of the property, being Single Residential Zone I. Thus, the permanent departures as proposed will not have any negative impact on existing services or the provision of services in the area concerned.

6.10 Firefighting

The firefighting requirements stipulated in the fire-regulations will not be negatively impacted upon as the application erf will still be fully accessible for fire-fighting purposes.

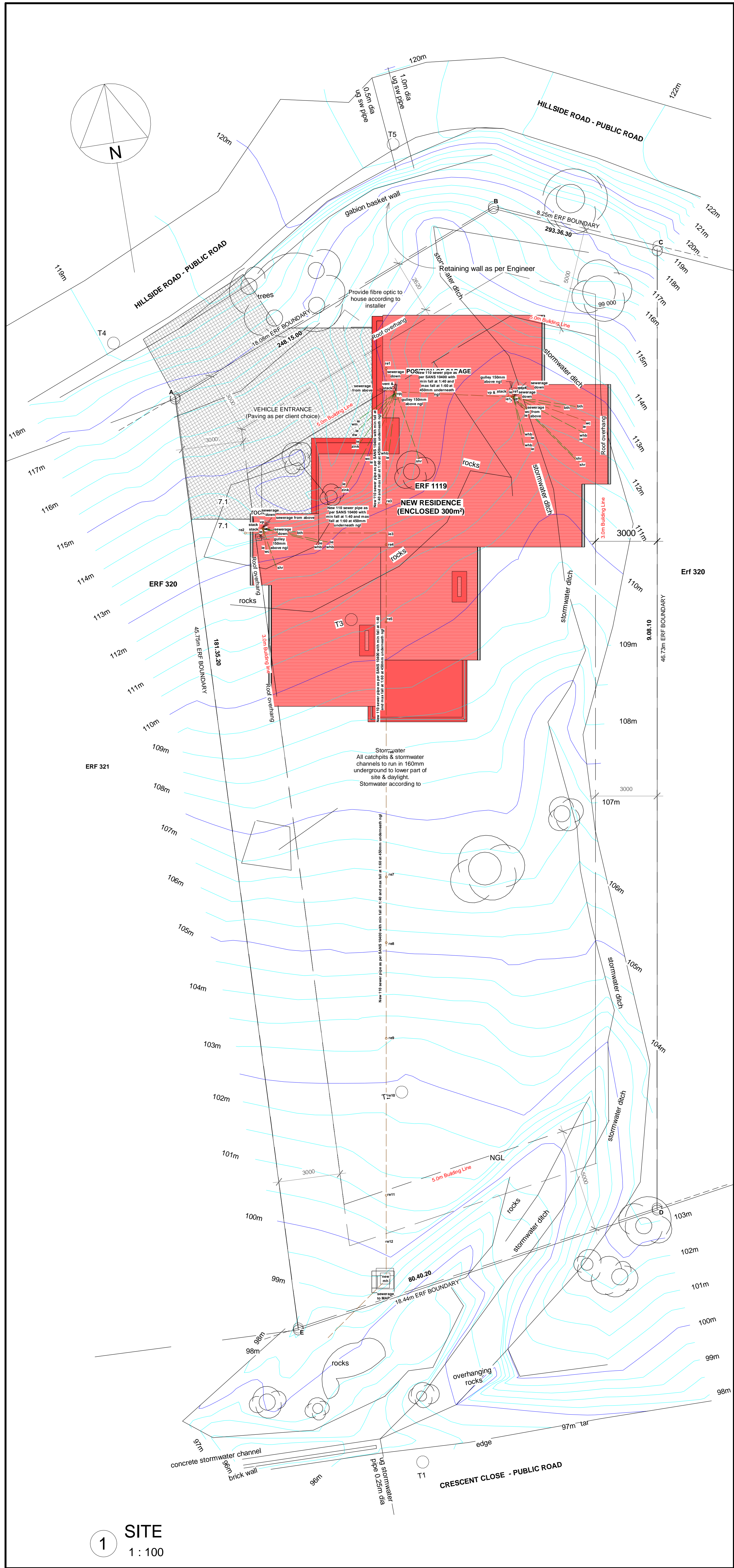
7. CONCLUSION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for permanent departure for the relaxation of the northern street building line in respect of the proposed garage, as well as the increase in wall-plate and the height to the ridge of the roof of the proposed dwelling house on Erf 1119 Wilderness.

The proposal will not have a negative impact on the environment, development, public facilities, traffic circulation or Municipal services in the surrounding area.

The application can therefore be considered desirable and is submitted for consideration in terms of the relevant stipulations of the George Municipality: Land Use Planning By-Law, 2023.

ANNEXURE "A" - SITE PLAN AND BUILDING PLAN



GENERAL NOTES TO ELEVATIONS

FOUNDATIONS

1.1 Concrete foundations to Engineer design and specifications

FLOORS

2.1 270mm Concrete floor to Engineer design and specifications, plus 30mm screed before tiling
2.2 Approved tile finish and screed to fall
2.3 Approved tile finish to client's choice
2.4 Approved paving to Duttons Cove Village Home Owners Association (DCVHOA) Architectural Guidelines and Specifications

WALLS

3.1 Internal walls to be smooth plastered, skimmed and painted. Internal colour per client's choice.
3.2 External walls to be Johnsons Brick Blue Klinker. All mortar between bricks to be smooth and even with brick exterior
3.3 All Concrete work visible on the outside to be plastered with smooth wood trowel. Brickwork and plasterwork as shown on Elevation plans
3.4 Stepped approved DPC to all cavity walls. Leave a vertical joint open after every 4th joint as weepholes.
3.5 Doors and Windows as per Door/ Window Schedule
3.6 External walls paint colour to be approved by Duttons Cove Village Home Owners Association before painting

CEILING

4.1 9mm Plaster ceilings on galvanised Main & Cross-T system, fully skimmed to a smooth finish
4.2 130mm Glasswool/ Isotherm insulation in ceilings to comply with the requirements of SANS 10400
4.3 9mm Nutec Ceilingboard to be installed above Trusses and below battens

ROOFS

5.1 Roof tiles to be Taurus Profile of Coverlad, colour - Farmhouse Kalahari. Roof tiles on 38x38 battens on timber roof trusses. All to engineer design and specifications
5.2 Pre-manufactured open roof trusses according to engineer specifications. Roof to have no overhang
5.3 Seamless aluminum gutters, colour - Charcoal
5.4 Galvanised roof flashing to manufacturers details and specifications
5.5 Concrete roofs to have screed with fall towards fallouts system.
5.6 Concrete roofs to be waterproofed with Derbigum with UV stable polymer modified bitumen waterproofing according to manufacturers details and specifications

RETAINING WALLS

6.1 All Retaining Walls to be waterproofed with Torch-on waterproofing Derbigum with UV stable polymer modified bitumen waterproofing according to manufacturers details and specifications
6.2 Installation of Architectural drain system behind all Retaining Walls underneath ground as per engineer specifications

WINDOWS & DOORS

7.1 All windows and aluminum doors colour - Charcoal. See Window/ Door Schedule

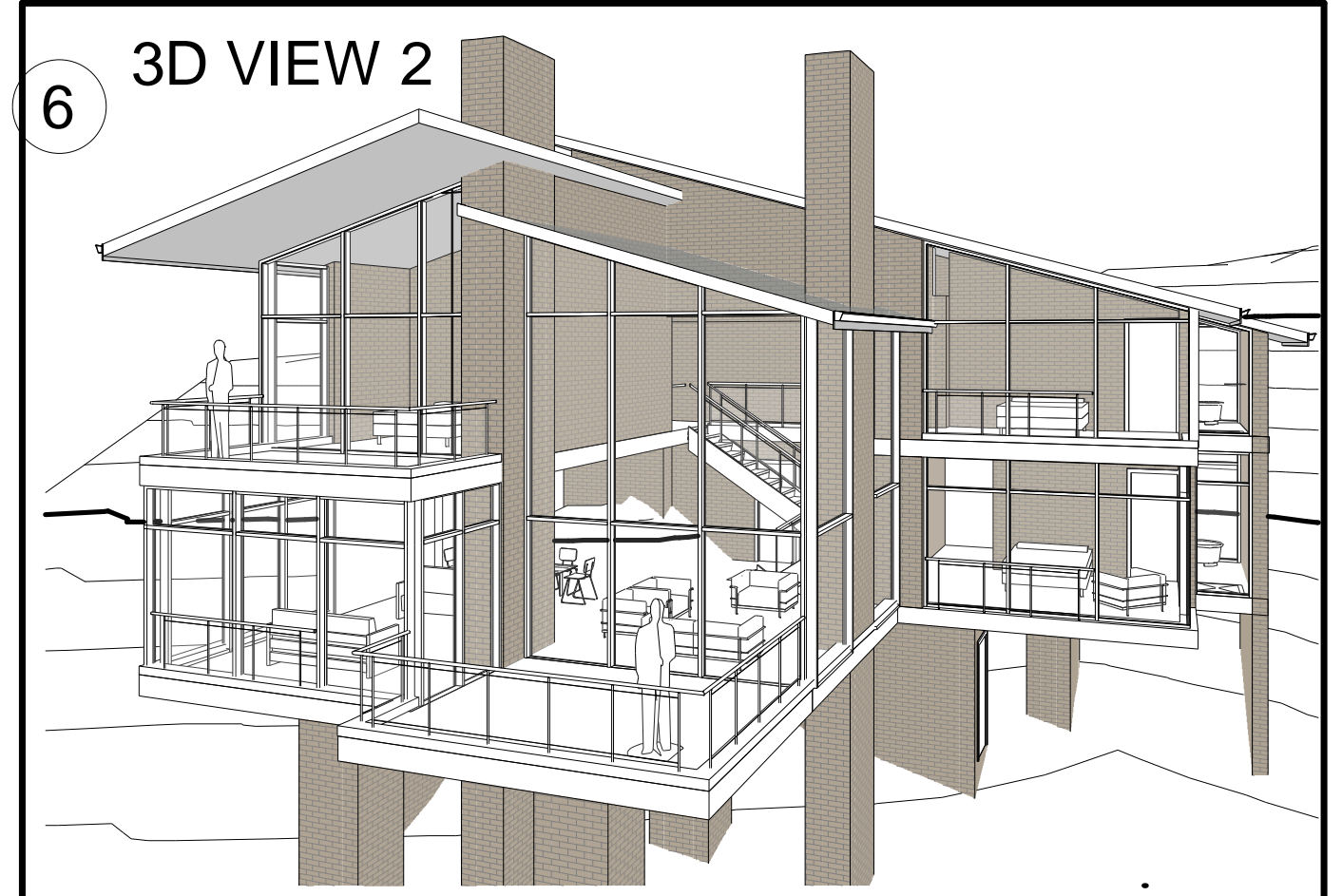
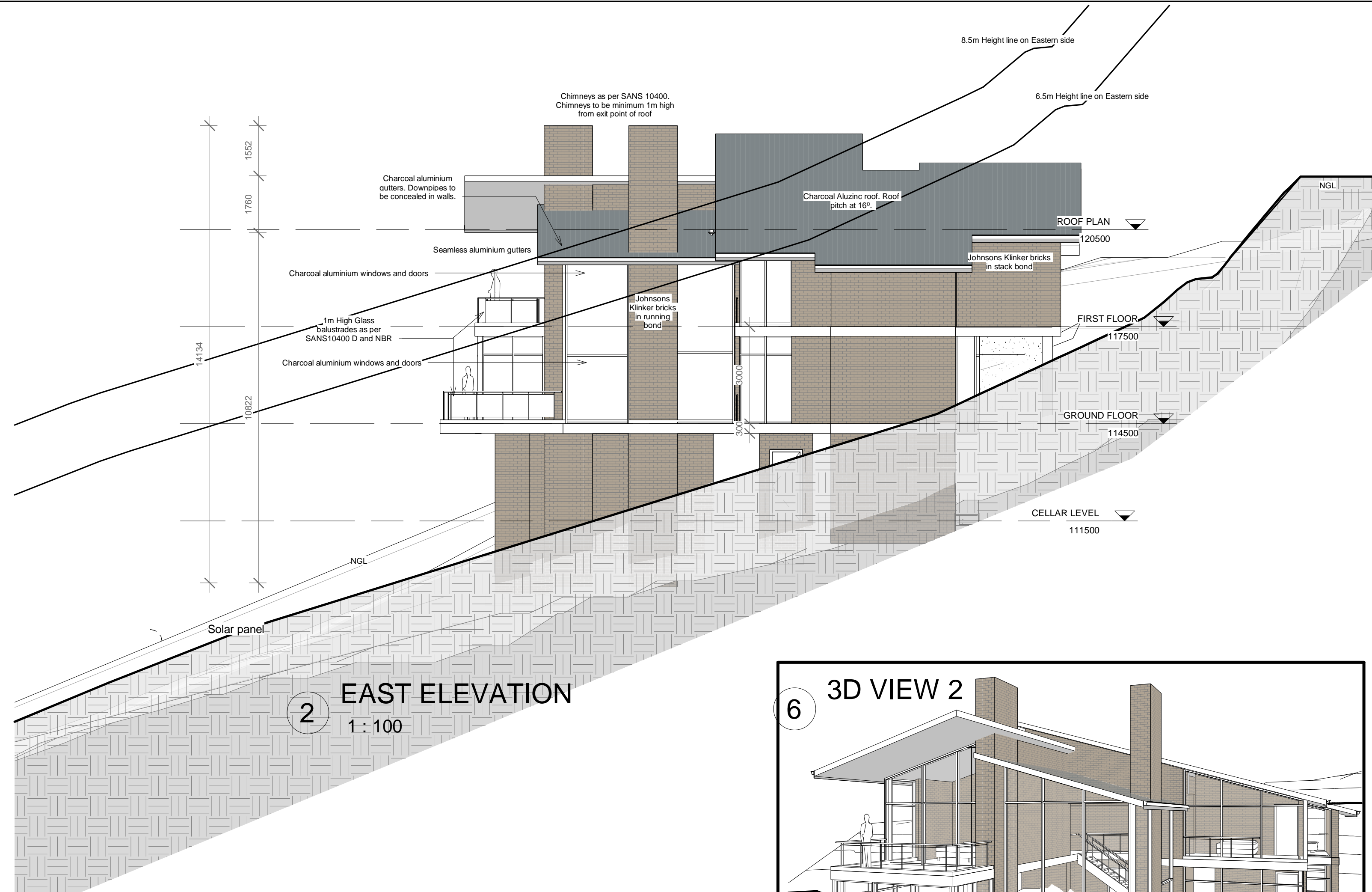
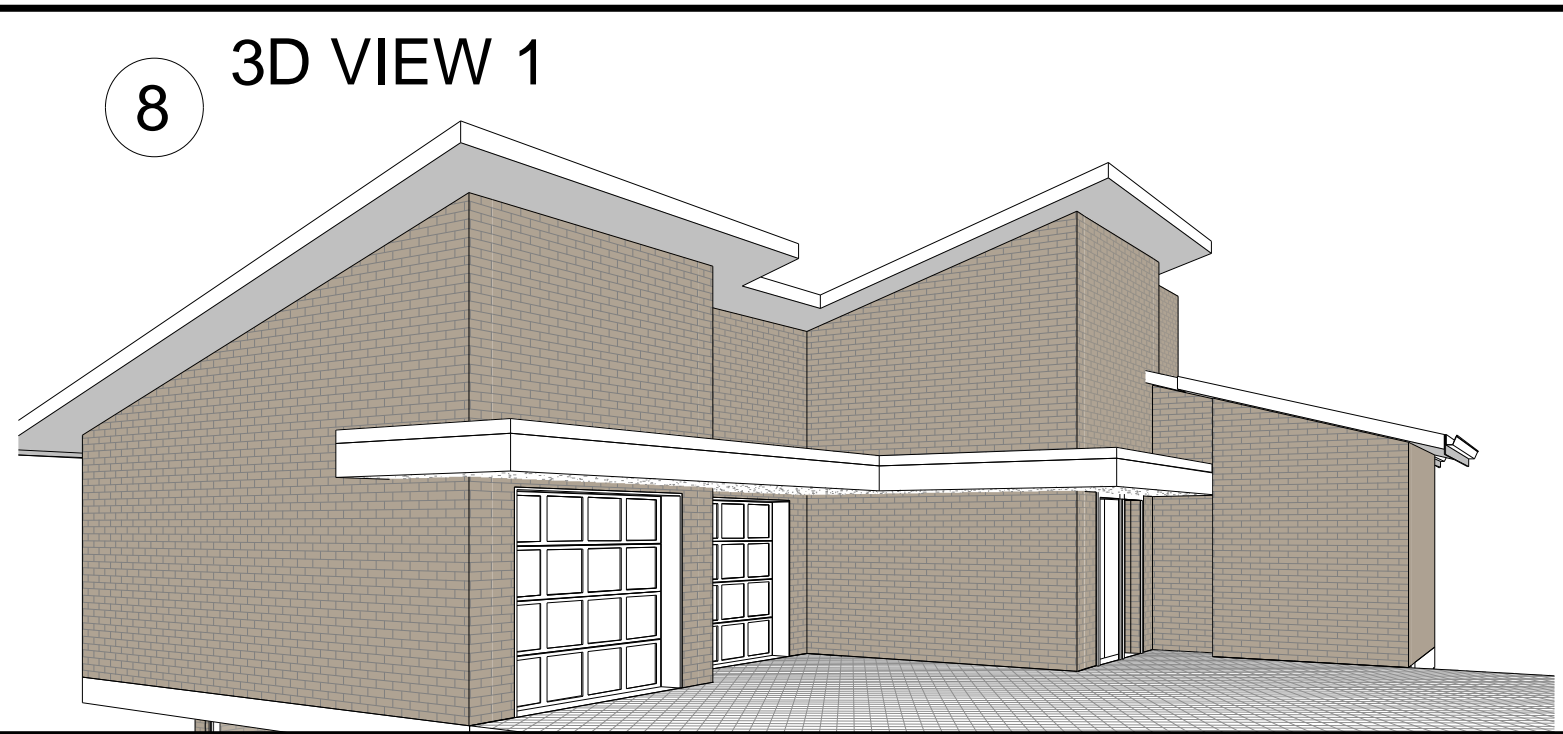
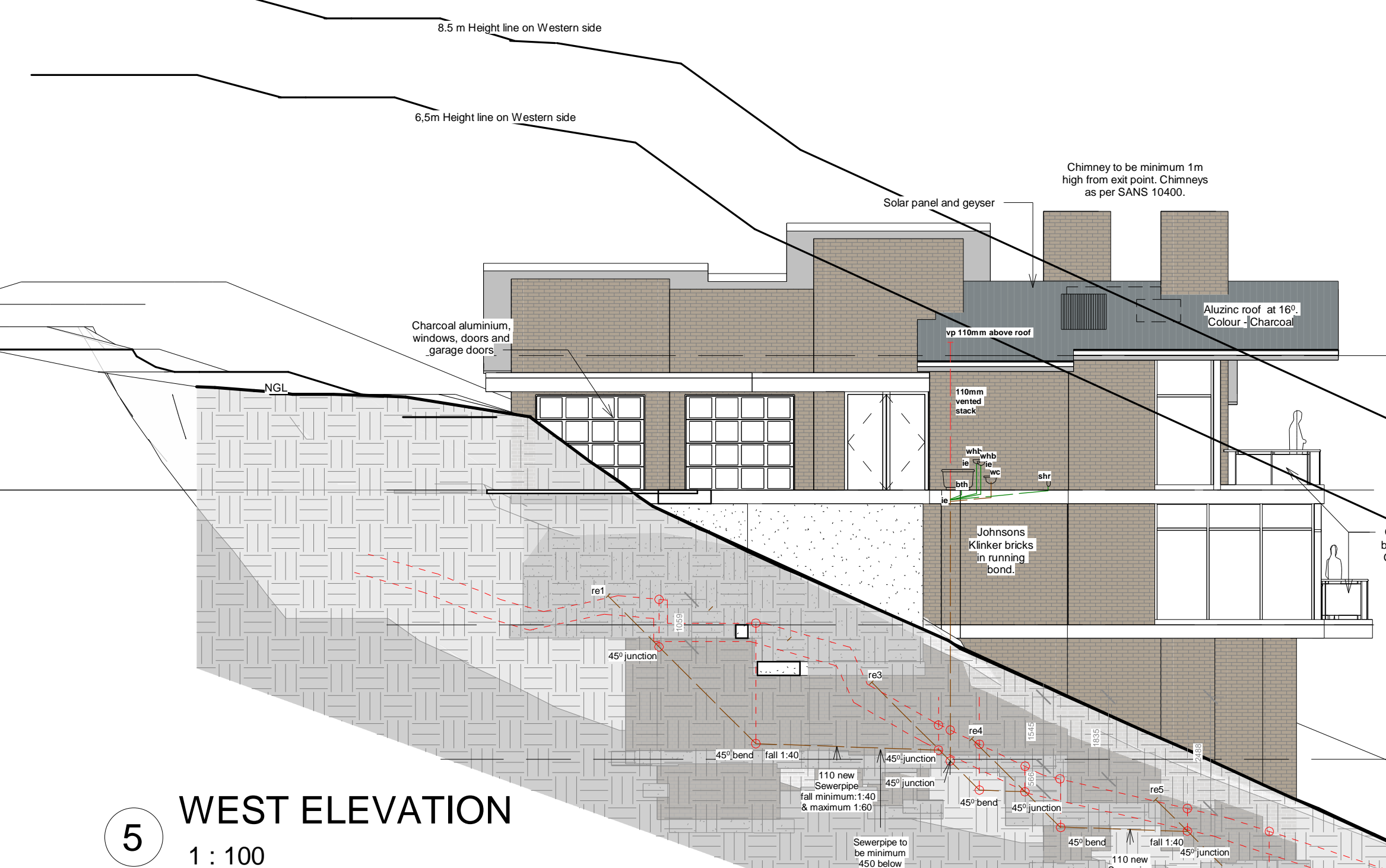
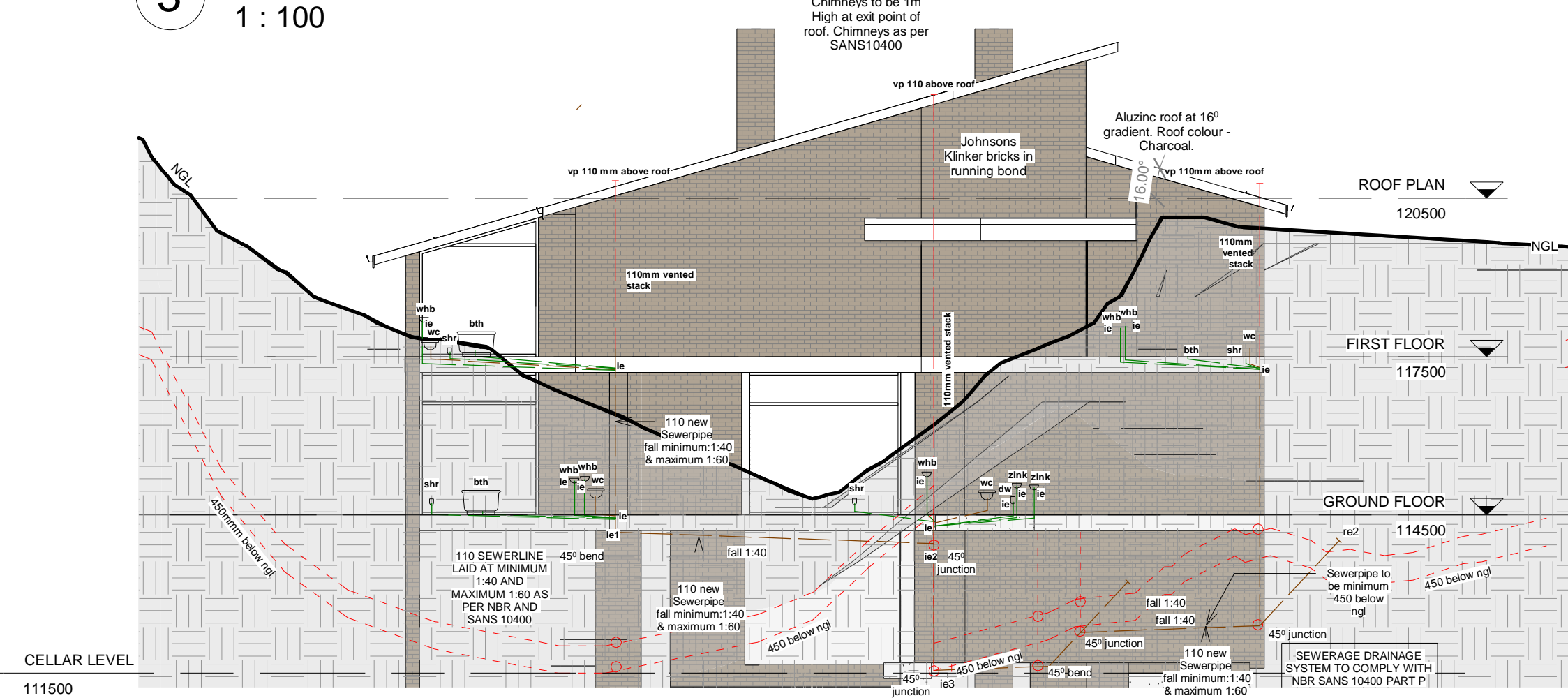
GARAGE DOORS

8.1 Garage doors to be Charcoal aluminum with glass as per Window & Door Schedule

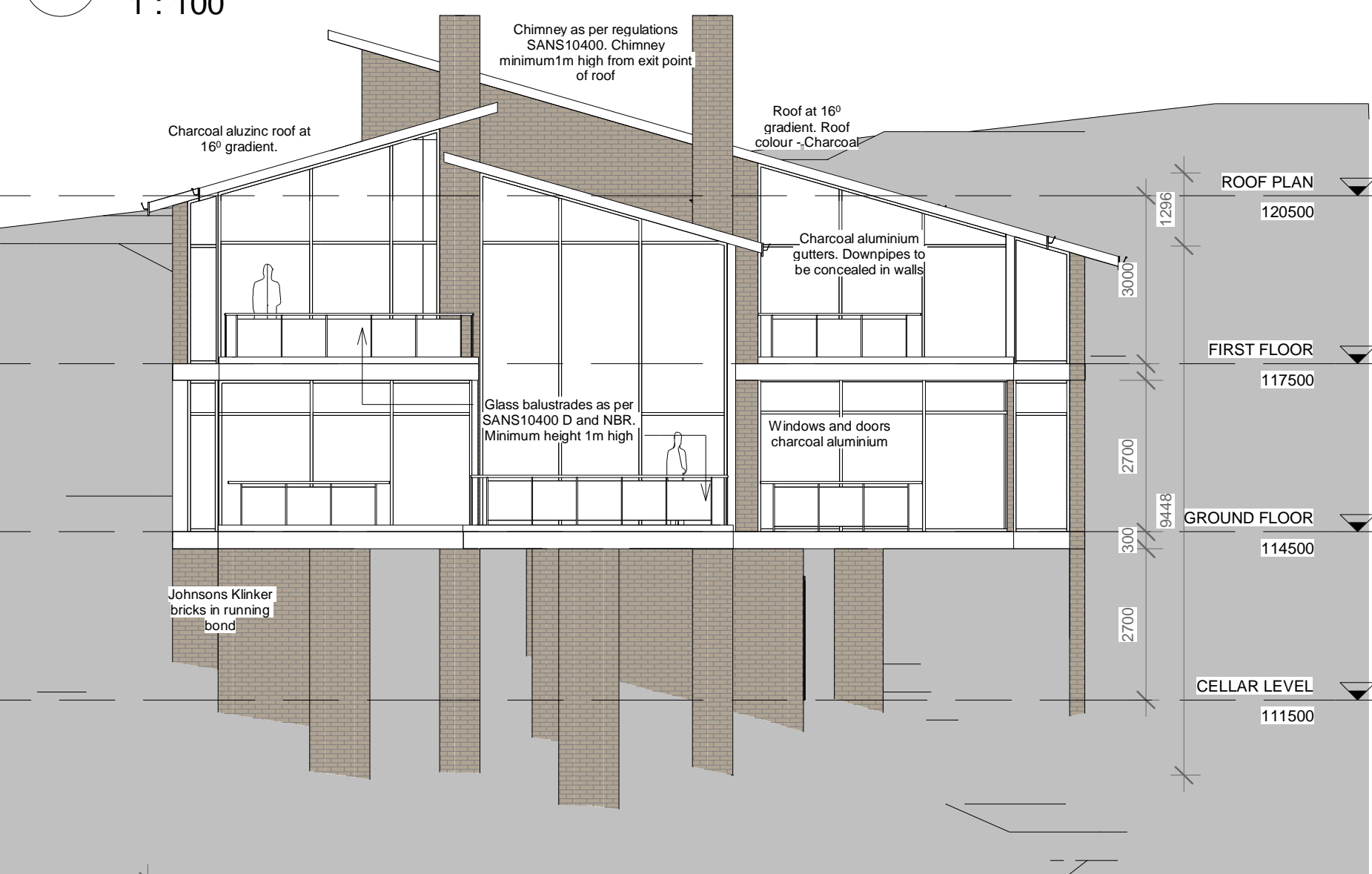
GENERAL

9.1 Paving as per DCVHOA Architectural Guidelines Specifications
9.2 When in doubt - ask

3 NORTH ELEVATION
1 : 100



4 SOUTH ELEVATION
1 : 100



OWNER'S SIGNATURES:

Salmon de Kock
Quintus Truter

General Notes

All drawings and measurements must be checked and verified before ordering material or before any building takes place. Differences must be brought to the attention of the designer immediately. All work according to National Building Regulations and local authority rules. All building, electrical and plumbing to comply with SANS C-400 Regulations. The copyright on all drawings and designs are reserved. This drawing is to be read in conjunction with all relevant consultants drawings, details and specifications. Only the latest signed and approved drawings to be used. Never scale from this drawing.

quintustruter@gmail.com	
STOREY	AREA
GROUND FLOOR	156m²
FIRST FLOOR	111m²
GARAGE (INCLUDED)	38m²
TOTAL	267m²
BALCONIES ENCLOSED	10m²
COVERED ENTRANCE	9m²
TOTAL AREA	286m²
OPEN BALCONY	18m²
ENTRANCE PAVING ROAD	102m²
TOTAL HARD LANDSCAPING	406m²
ERF SIZE	1019
TOTAL COVERAGE ON STAND	160m²
TOTAL COVERAGE (INCLUDING BALCONIES)	16,2%

SAS ARCHITECTURE
COMMODITY FIRMINESS DELIGHT
Salmon de Kock Senior Architectural Technologist 086 285 1848
SACAP Reg. nr PSAT 24750417 salmon@sasarchitecture.co.za

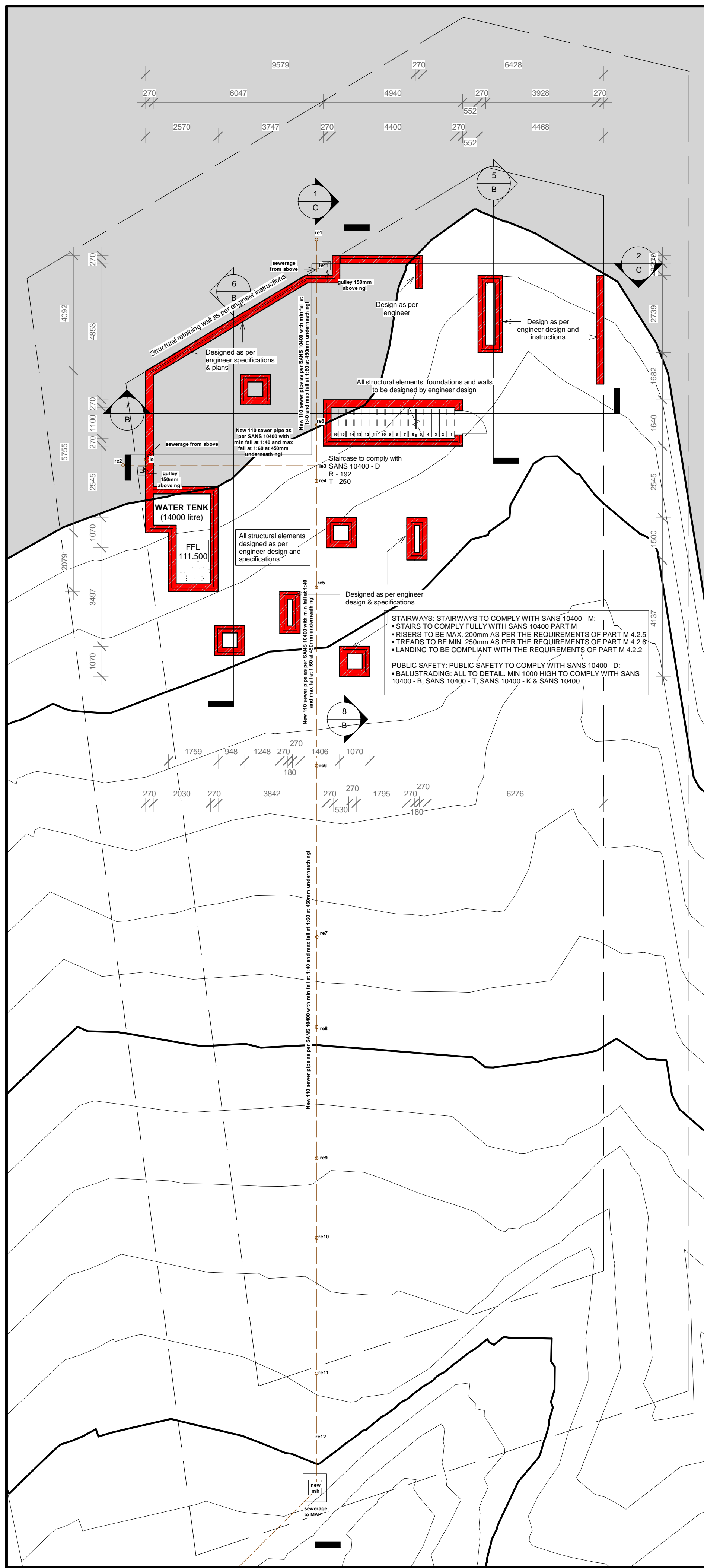
ERF 1119, WILDERNESS, CRESCENT CLOSE

New residence for Owner on Erf 1119, in the Township of Wilderness

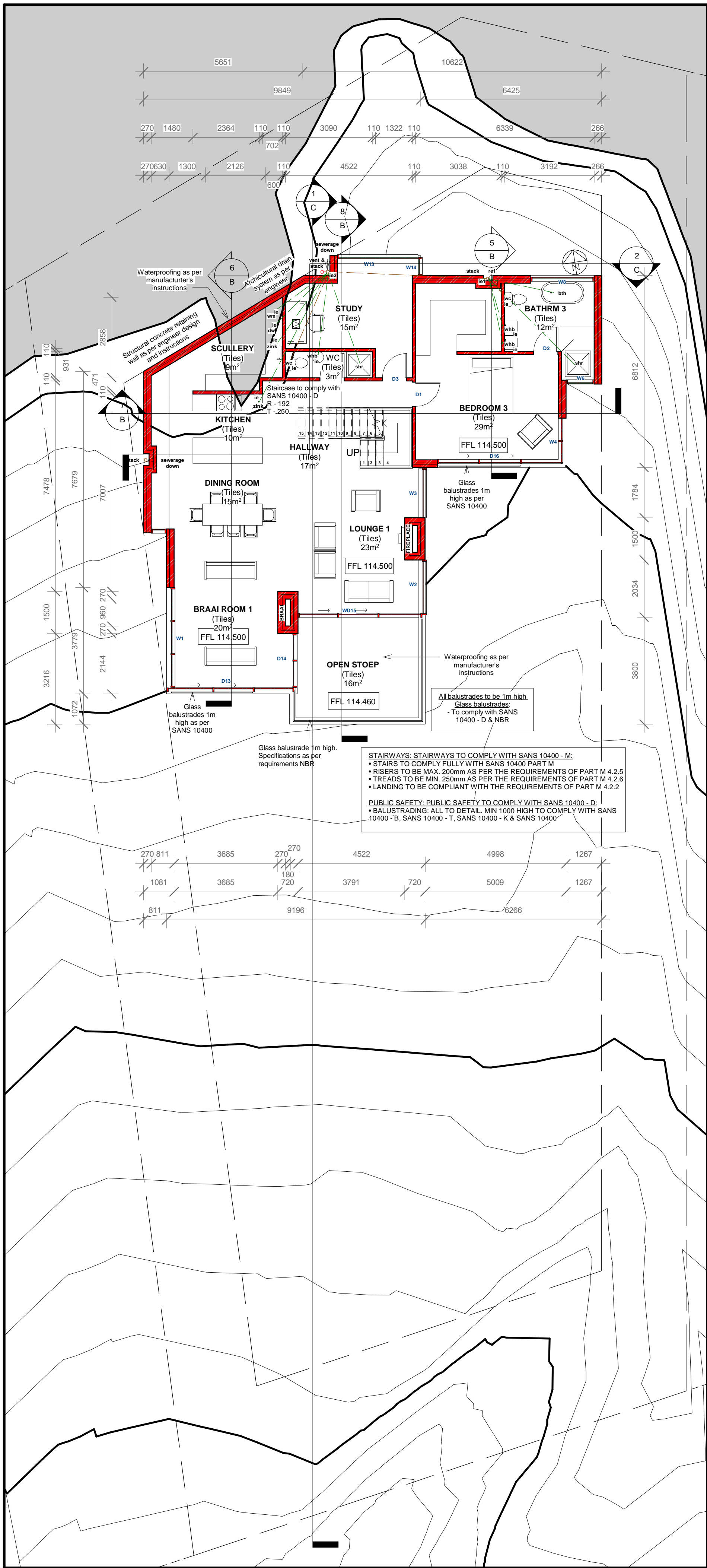
NEW RESIDENCE FOR OWNER ON STAND 1119, WILDERNESS

SITE PLAN & ELEVATIONS

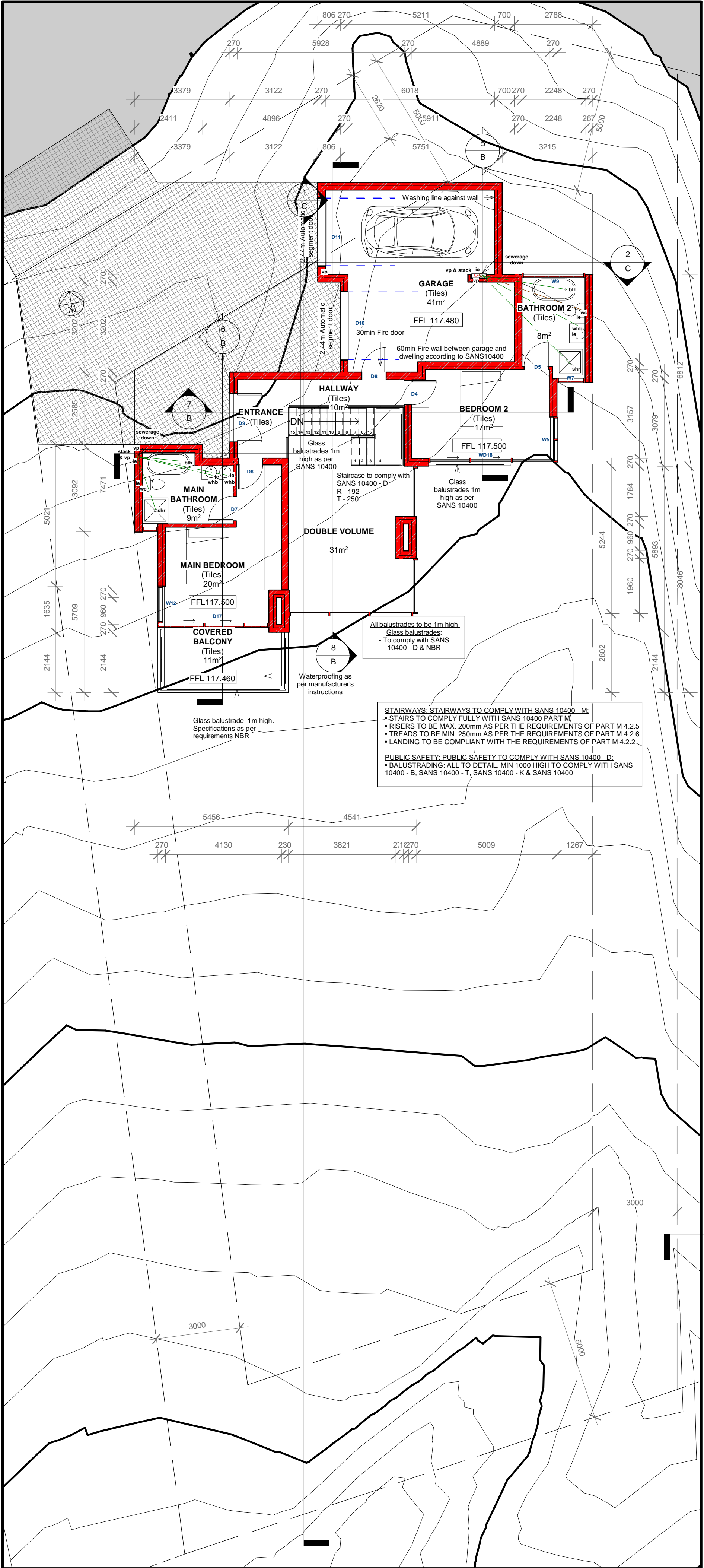
Project number	1
Date	15.05.2025
Drawn by	Quintus Truter
Checked by	Salmon de Kock
A	
Scale	1 : 100



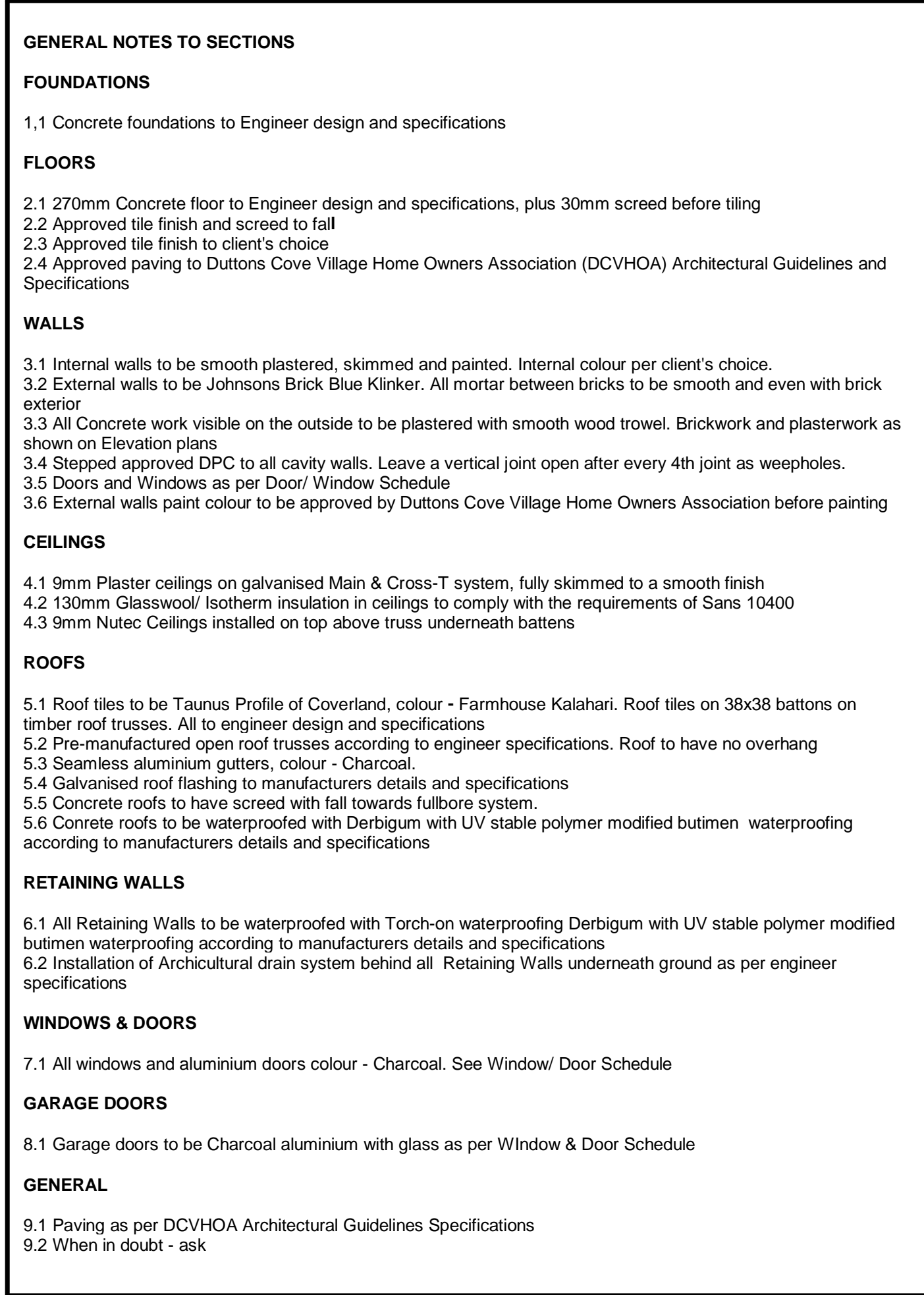
10 CELLAR LEVEL
1: 100



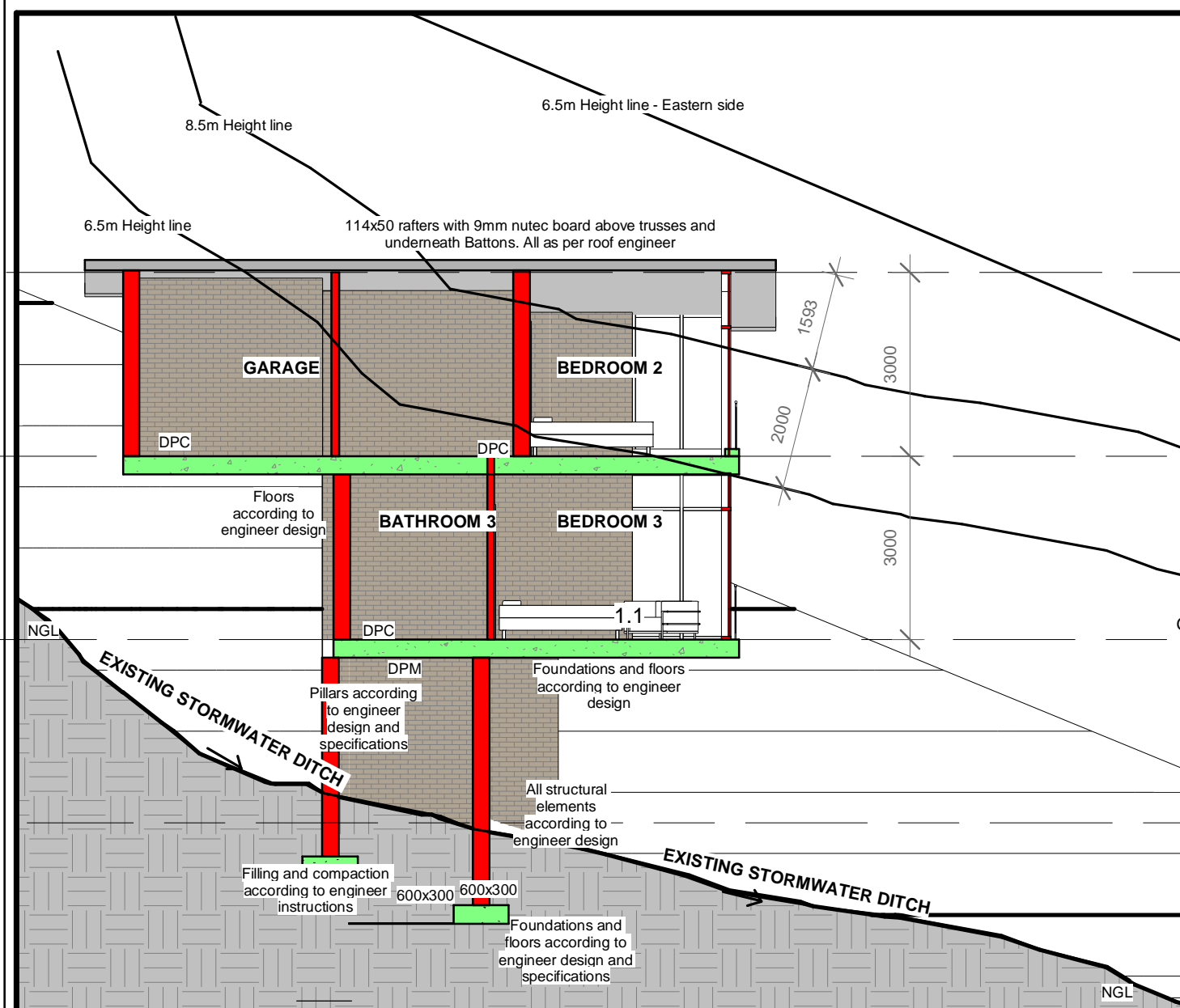
1 GROUND FLOOR
1: 100



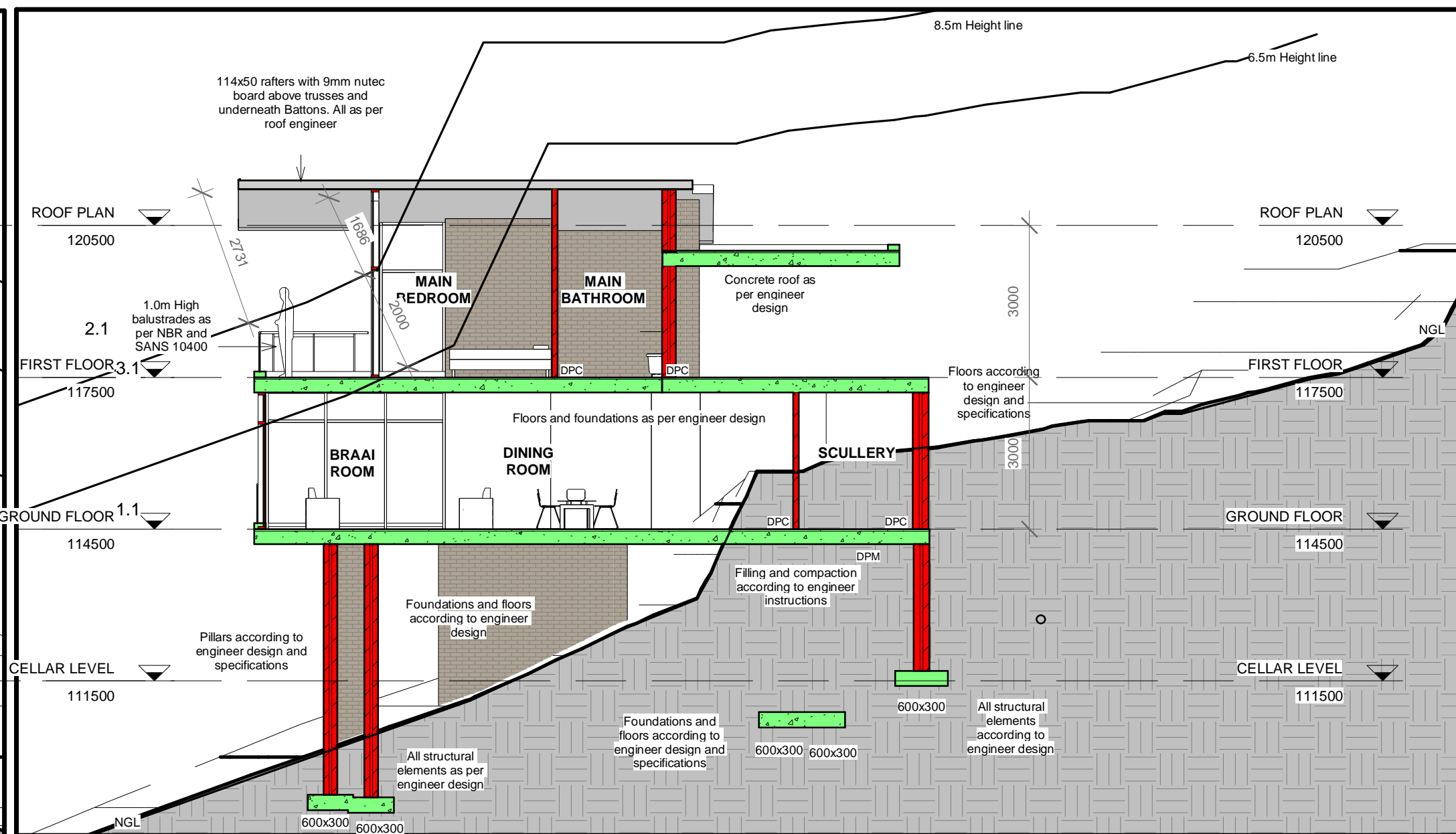
2 FIRST FLOOR
1: 100



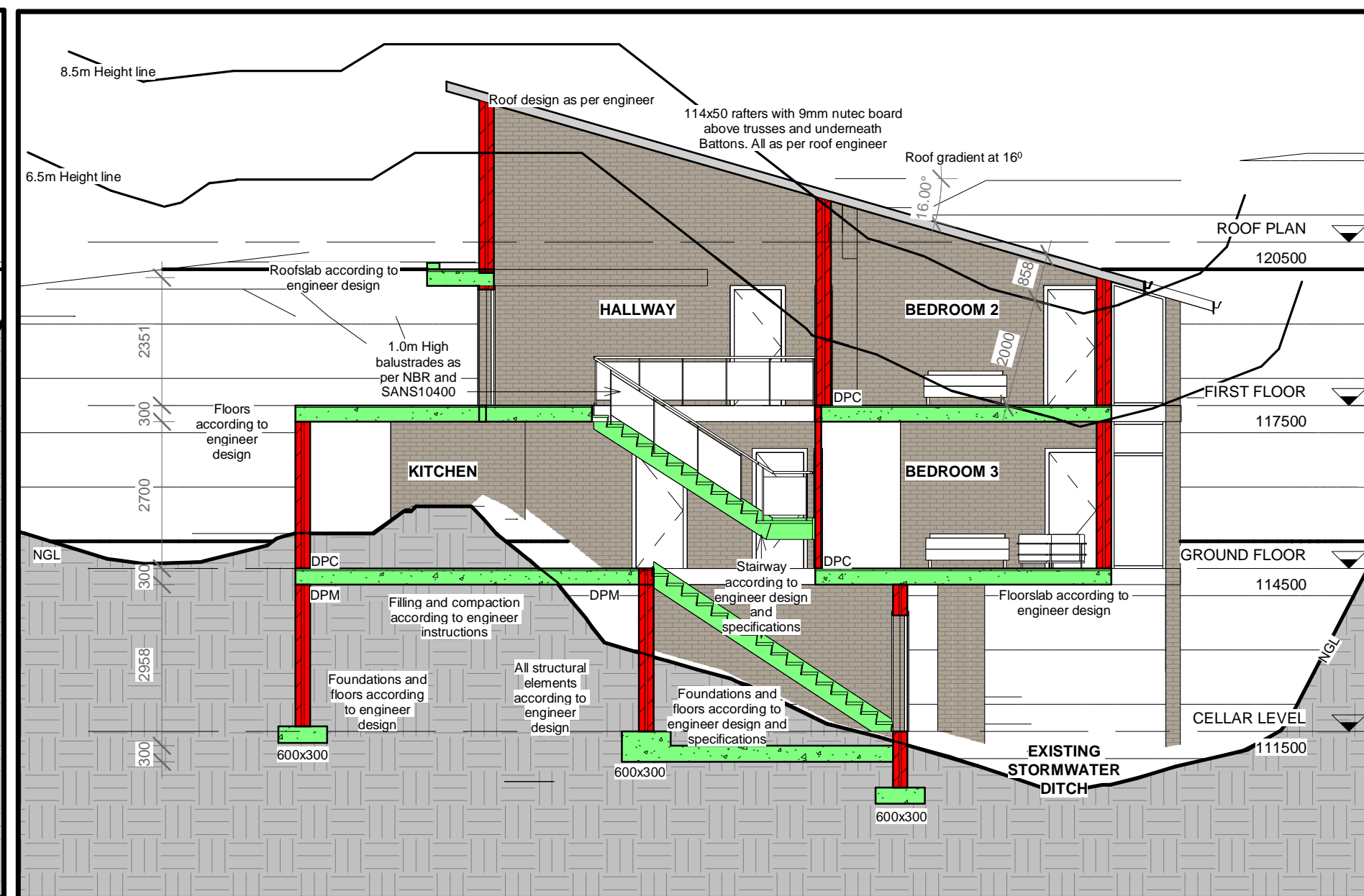
3 ROOF PLAN
1: 100



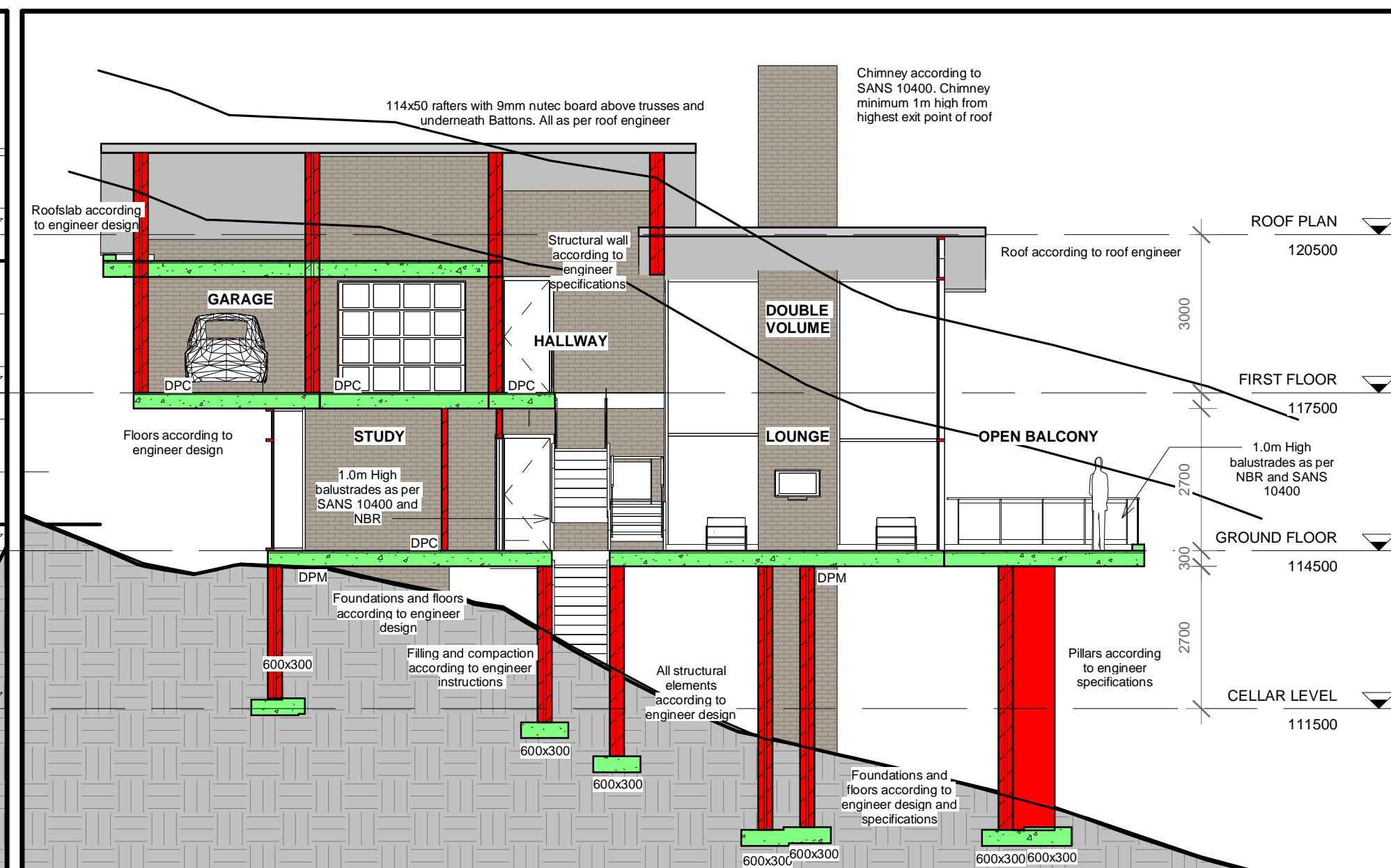
5 SECTION C1
1: 100



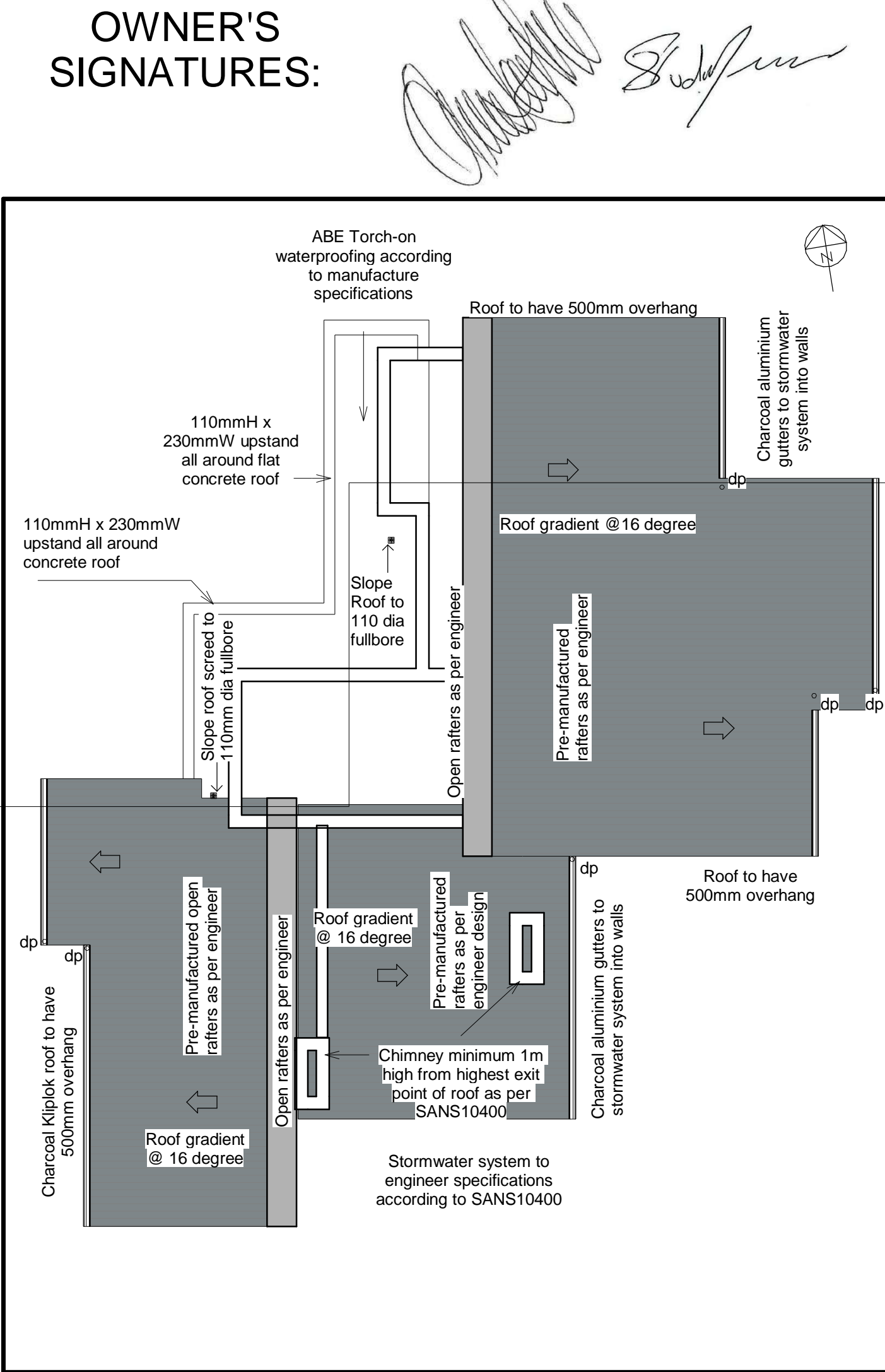
6 SECTION C2
1: 100



7 SECTION C3
1: 100



8 SECTION C4
1: 100



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quintustruter@gmail.com

NOTES TO OWNER AND CONTRACTOR

No work to commence prior to approval of the drawings by the Local Authority. No deviations from the approved plans are allowed and the architectural professional must be informed of any changes. The contractor must check all levels and dimensions prior to commencement of any work. Any discrepancies must be reported to the Architectural Professional. Do not scale the drawings. If in doubt - ask. All plumbing and electrical work to be carried out by registered persons and on completion must provide a certificate of completion and compliance. The owner is responsible for scale testing. The site must be identified, verified and the building must be set out by a registered land surveyor. All finishing products (window frames, roof tiles, tiles, cornices etc.) must be approved by the Owner prior to ordering and installation. All products must comply with SABS standards. The copyright on all drawings and designs are reserved. This drawing is to be read in conjunction with all relevant consultants drawings, details and specifications. Only the latest signed and approved drawings to be used. Never scale from this drawing.

Lighting and ventilation

Required lux levels as per SANS 10114-1. All rooms must have sufficient cross ventilation. Ventilation opening must be at least 5% of area of room any mechanical ventilation must be done by a mechanical engineer. No opening closer than 1m to any structural obstruction on air conditioners is not a source of natural air.

Drainage

All Plumbing material and sanitation fixtures must be SABS approved. Plumbers must be registered. The sewer layout must comply with NBR. All sanitary appliances to be supplied with antic suction traps and or ventilated according to NBR requirements. 1 Es at all bends, connections and changes of gradient with marked covers on ground level. Sufficient access panels to be installed in all shafts over 1Es. All sanitary pipes to be accessible. Pool discharges must not lead to the municipal sewer system, but must discharge on to its own site or into the street storm water drain. Geyser as per SABS 10254. All sewer pipes to be in ducts, covered with fiber cement slats. 50% of warm water supply must be from alternative source other than electricity. All warm water pipes must be insulated.

Storm water disposal

Provide a 1m (min) paving around the dwelling if no gutters and downpipes are installed. Storm water management by means of sloping paving. Provide 110 PVC storm water pipes in the boundary walls at min 3m intervals on NCL.

Energy usage in buildings

Volume of hot water supply to be calculated 50% hot water supply not to be from electricity. Solar water heating must comply with SANS 1307, 10106, 10254 and SANS 10252.1. All hot water pipes must be insulated (R Value = 1). Energy usage to comply with SANS 204. House must be designed to face north. Floors must be insulated underneath underfloor heating. Fermentation must be 15% of the area of the house or fermentation calculations must be done (double glazing?). Roof must be insulated to comply.



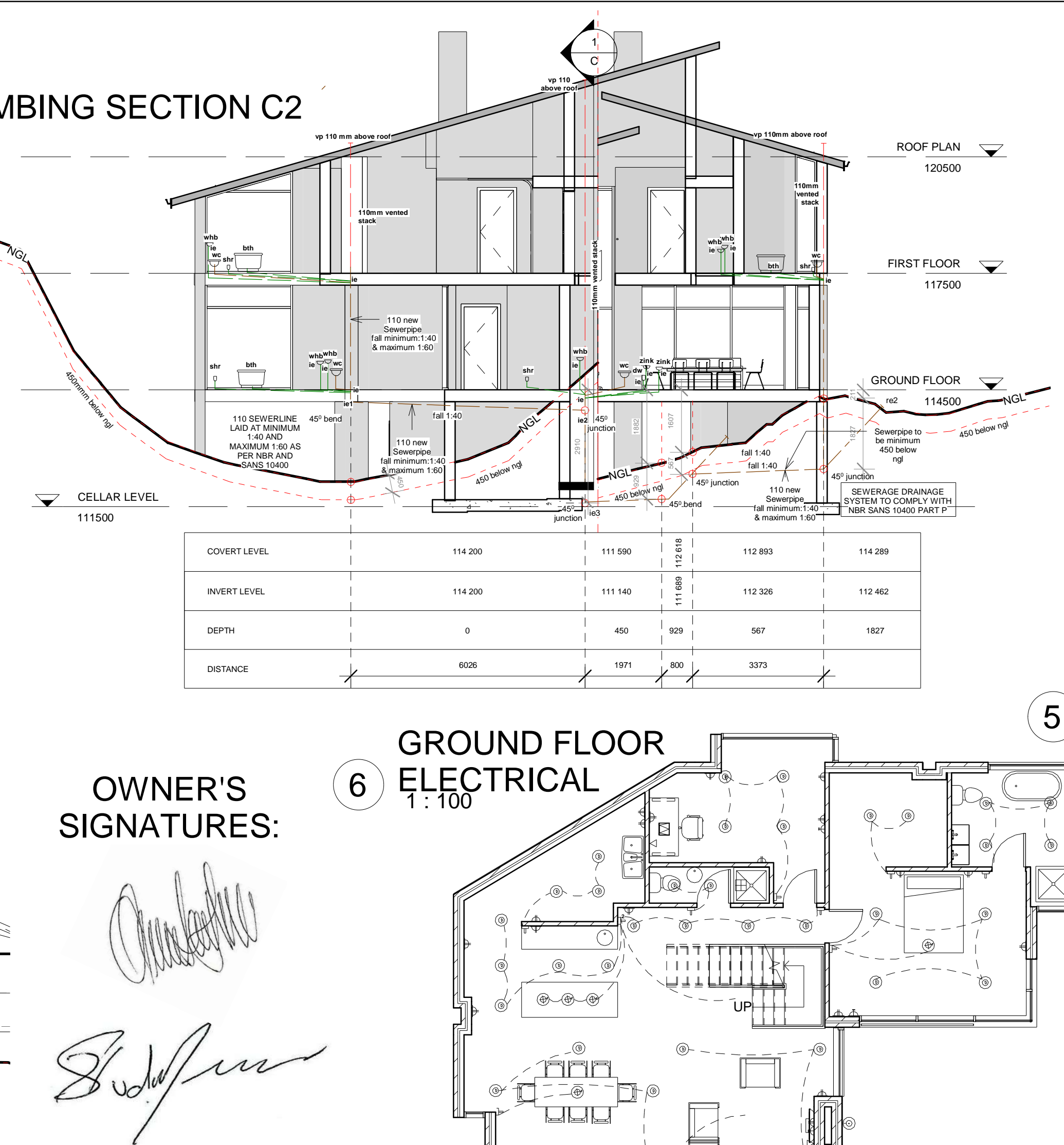
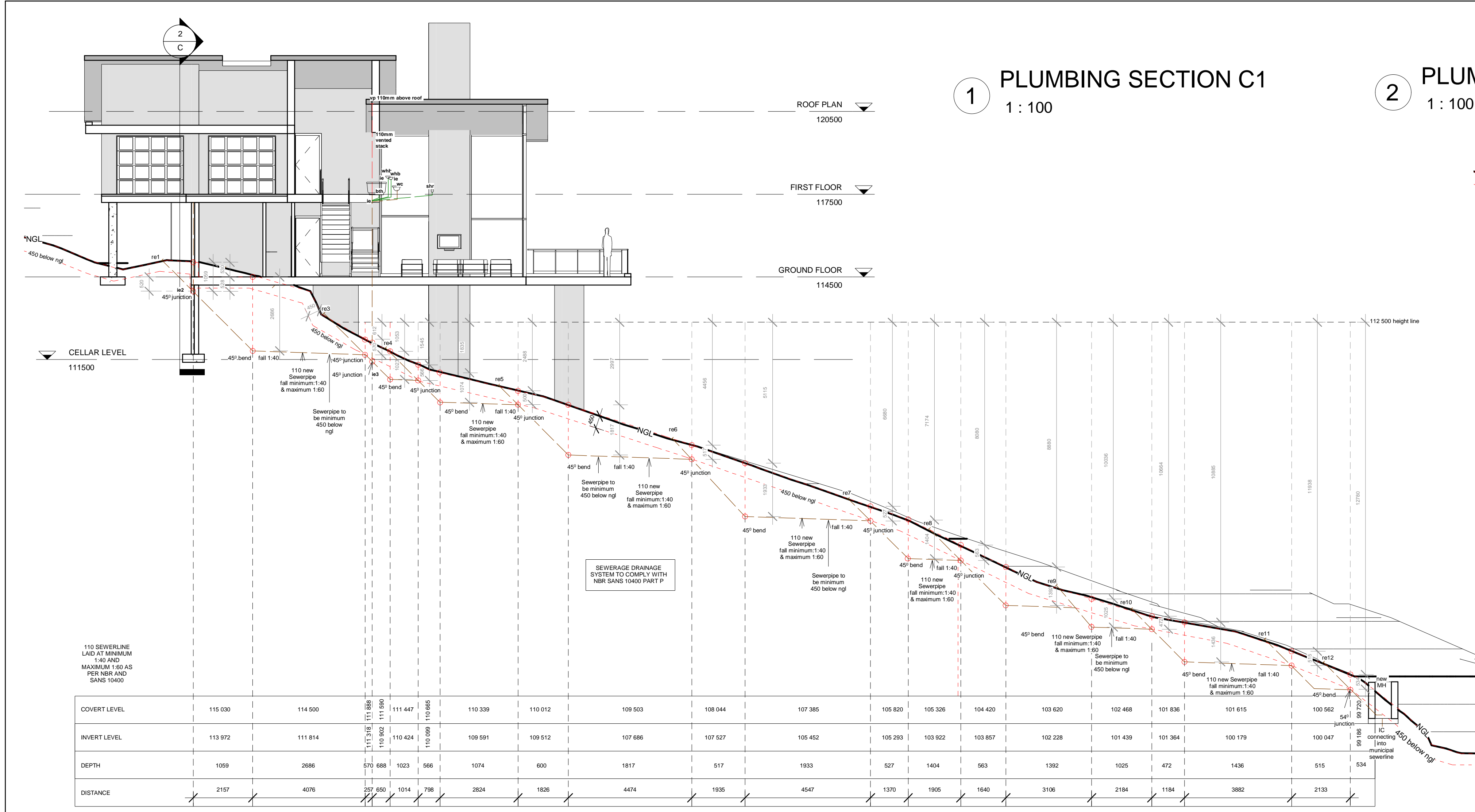
ERF 1119, WILDERNESS, CRESCENT CLOSE

New residence for Owner on Erf 1119 in the Township of Wilderness

NEW RESIDENCE FOR OWNER ON STAND 1119, WILDERNESS

FLOOR PLANS, ROOF PLAN & SECTIONS

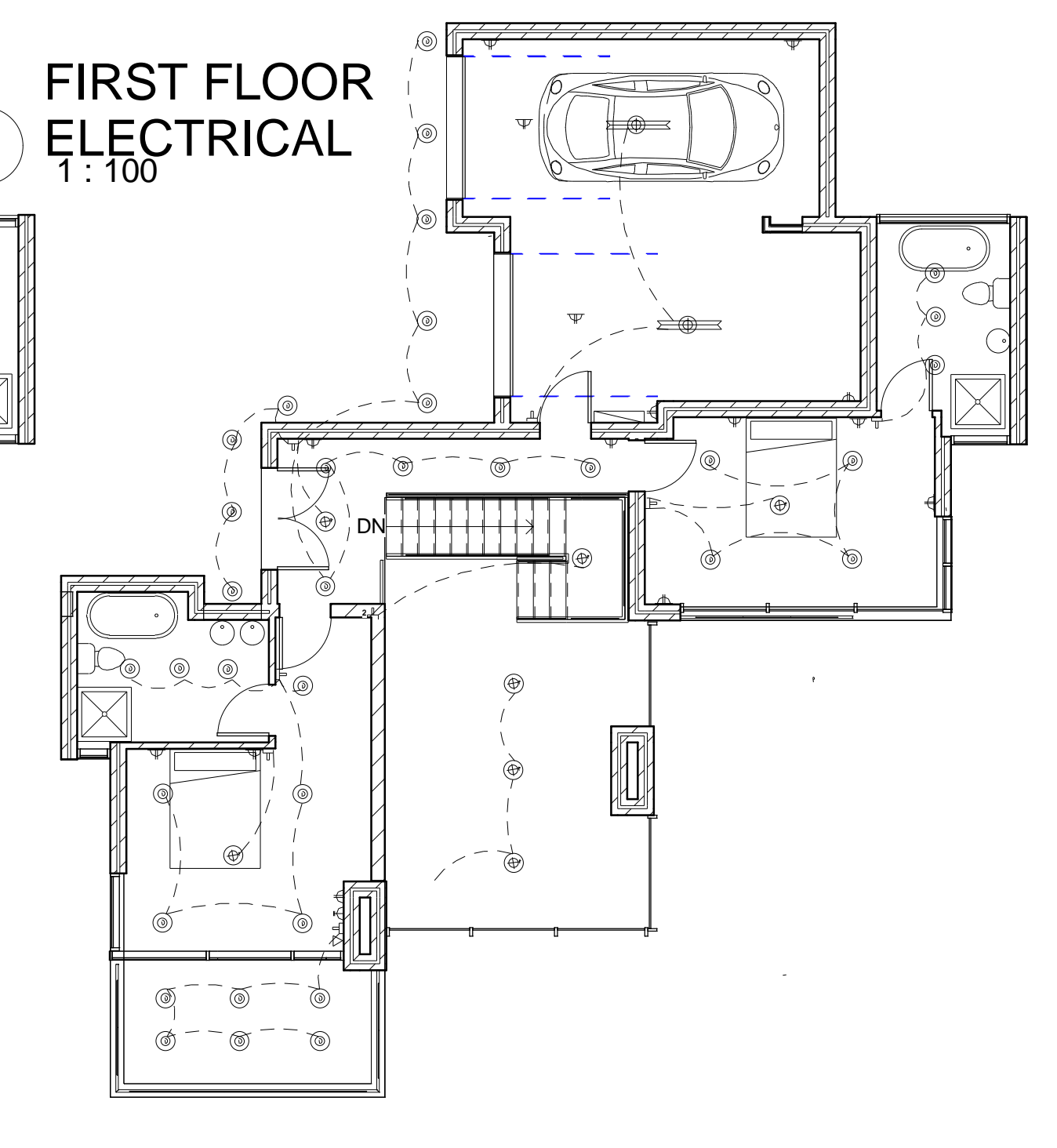
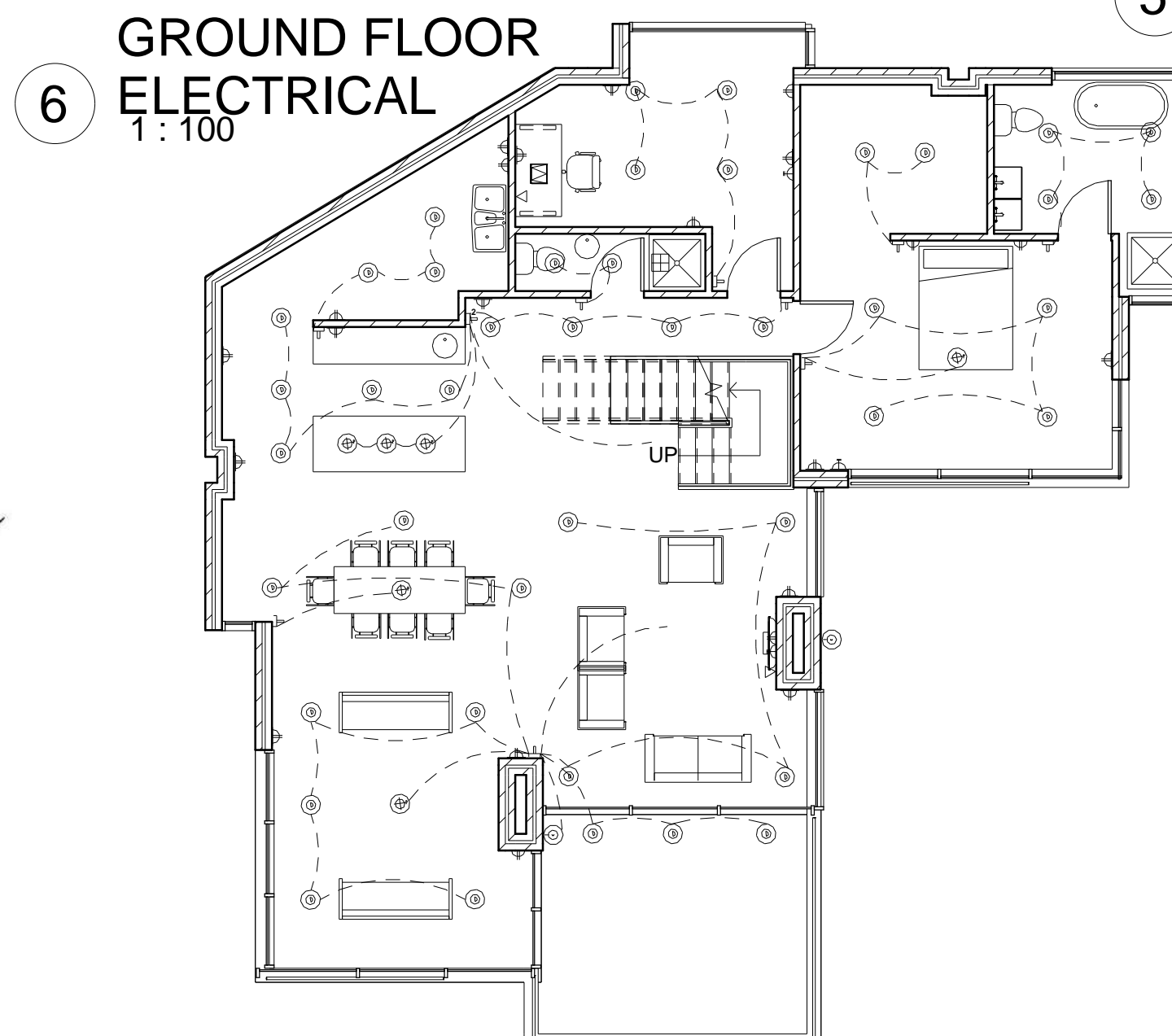
Project number	1
Date	15.05.2025
Drawn by	Quintus Truter
Checked by	Salmon de Kock
Scale	1 : 100



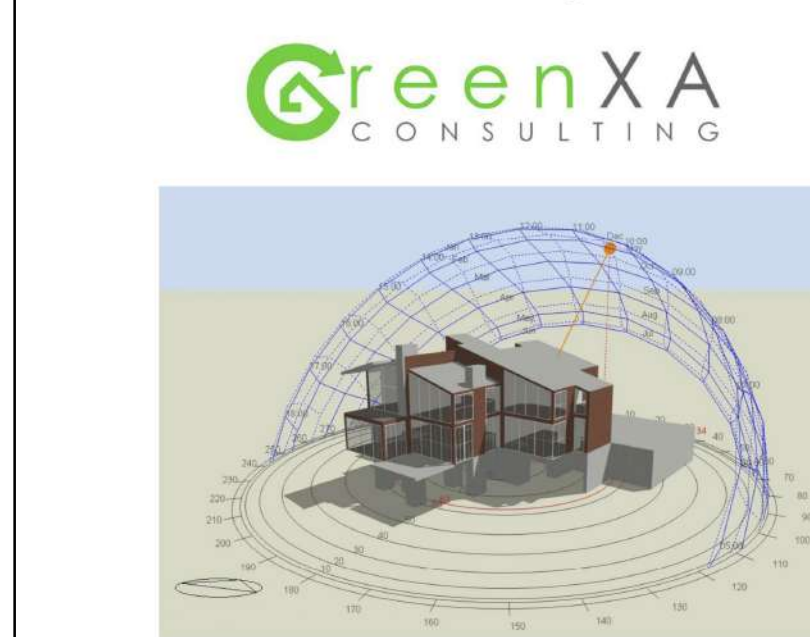
ELECTRICAL KEY	
	Down lighters
	Extractor fan connected to light switch
	Pendant light point (exact height to be determined on site)
	Waterfite down lighters
	Waterfite light armature point
	Fluorescent armature with prismatic diffuser
	Waterfite light armature point 2100mm high vertically mounted against wall
	150/200 Kwikot hot water cylinder
	Main electrical distribution board
	Single 15 Amp wall plug 300mm above FFL
	30 Amp single phase stove connection with isolator against wall 1100mm above FFL
	Double 15 Amp wall plug 300mm above FFL (1100mm above FFL in kitchen)
	Waterproof double 15 Amp wall plug 300mm above FFL (1100mm above FFL in kitchen)
	Telephone / data point mounted 300mm above FFL (1100mm above where necessary)
	TV Point
	Single light switch wall mounted 1100mm above FFL
	Two way light switch wall mounted 1100mm above FFL
	Point for remote controlled electricity operated garage door

OWNER'S SIGNATURES:

[Signature]
[Signature]



ERF 1119
SANS 10400-XA:2021
Rational Design



Prepared for: SAC Architecture
Prepared by: GreenXA Consulting
Address: ERF 1119, Crescent Close, Wilderness

SANS 10400 Part SA Compliance Report
ERF 1119

2. Site Properties

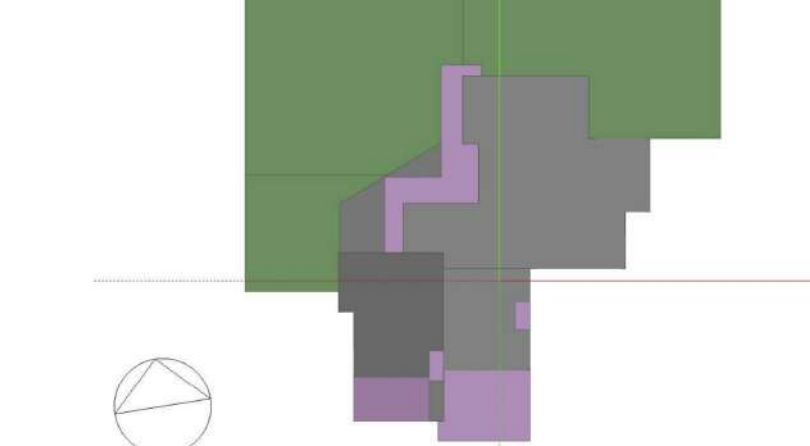
2.1 Site Location

The site is ERF 1119, located on Crescent Drive, Wilderness, 3399's and 2758's. This site is within energy zone 4 (Low/Low).



2.2 Site Orientation

The site orientation, shown below, is used for the actual building.



SANS 10400 Part SA Compliance Report
ERF 1119

1. Introduction

1.1 Simulation Software

The software used for this work is DesignBuilder Version 4.7.0.2.2. Distributor has been certified by Agreement South Africa for energy modeling of buildings.



1.2 Compliance Route

The report complies with SANS 10400-XA:2021. Energy modeling in Building 1119 is based on the rational design methodology to comply with compliance route, as per clause 4.2 of SANS 10400-XA:2021.

1.3 Methodology

The overall energy consumption and maximum energy demand of the actual building is calculated on the basis of the energy required to maintain a set temperature range, in order to facilitate the comparison. The building is modeled as being an air-conditioned space, with a controlled temperature range of 19.2°C.

The following energy calculation applies for building type 11 - 80 kWh/m².

Maximum energy demand (as per SANS 10400-XA:2021 Table 2) - 54 VA/m².

If the value for the actual building are below these energy values, the building is deemed to be compliant.

1.4 Building Description

The project is a new building in Wilderness, classified as category '114 - Dwelling house' as per the National Building Regulations Part A.

Source heat breakdown

Space Breakdown	Area (m²)
Occupied Area	2837
Garage	41.6
Total	2878.6

SANS 10400 Part SA Compliance Report
ERF 1119

2.1 Weather Data

The weather data used for the actual building analysis is ASHRAE 1 HVAC Data file for George Airport weather station number 48303.

Property	Value
Latitude (°)	-33.58
Longitude (°)	22.58

3. Building Envelope

3.1 Building Geometry

The building footprint and area are as per the architect's drawings.

3.2 Building Construction Properties

The actual building construction entered into the simulation software are as per the architect's drawings, and are shown in the following table.

Building Construction	Analysis (m²/m)	Reference
Roof	0.00	Annexure A1
Walls	0.00	Annexure A2
Floors	0.00	Annexure A2
Ground floor	0.00	Annexure A2

3.3 Glazing Properties

The glazing properties of the actual building are shown in the following table, with further details provided in Annexure B.

Property	Actual Building - Single Glazed
Description of glazing system	6mm clear single glazing
U-value (W/m²K)	5.84
SHGC	0.85

3.4 Shading Devices

No internal or external shading devices are used in model of the actual building.

SANS 10400 Part SA Compliance Report
ERF 1119

4. Internal Loads

4.1 Occupancy

The design occupancy is in accordance with SANS 10400-XA:2021, which is 2 persons per bedroom. This equates to a total of 6 people and an average of 0.02 people/m² for the affected area. The average inside heat gain is 15 W per person, as per Annex A of SANS 10400-XA:2021.

4.2 Lighting

As per SANS 10400-XA:2021 Table 12, the lighting heat gain is 4 W/m².

4.3 Equipment

As per SANS 10400-XA:2021 Table 8.1, internal heat gains from appliances and equipment are not applicable for occupancy category 11.

5. Ventilation

Room air is provided in accordance with the minimum rates specified in SANS 10400-XA:2021. These are the following:

- Bedrooms - 30 l/s/person
- Bathrooms/Toilets - 25 l/s/person
- Other living areas - 5 l/s/person

6. Operating Schedules

The operating schedules for the internal loads are set in accordance with SANS 10400-XA:2021. The operating schedule for the HVAC system and ventilation are set as the occupancy schedule to maintain the set temperature range during occupied hours.

7. Domestic Hot Water

The domestic hot water supply is to comply with the requirements of SANS 10400-XA:2021 section 8.1. At least 80% of the annual average domestic hot water must be provided by means other than electrical resistance heating.

8. Simulation Results

8.1 Maximum Energy Consumption

The maximum energy consumption for the actual building is shown in the table below. The energy intensity (maximum energy demand per square meter) of the actual building is lower than the maximum (54 VA/m²).

Month	Lighting (kWh/m²)	Heating - Electricity (kWh/m²)	Cooling - Electricity (kWh/m²)	Total (kWh/m²)
January	12.54	0.00	430.03	442.57
February	12.54	0.00	397.21	412.75
March	12.54	0.00	301.86	314.40
April	12.54	0.00	89.40	101.94
May	12.54	0.00	16.47	29.01
June	12.54	0.00	16.47	29.01
July	12.54	0.00	17.74	30.28
August	12.54	0.00	26.37	38.91
September	12.54	0.00	29.28	41.82
October	12.54	0.00	71.18	83.72
November	12.54	0.00	214.67	227.21
December	12.54	0.00	411.74	424.28
TOTAL	12.54	0.00	1433.53	1446.07

8.2 Demand Intensity

The peak monthly energy demand for the actual building is shown in the table below. The demand intensity (maximum energy demand per square meter) of the actual building is lower than the maximum (54 VA/m²).

Month	Peak Monthly Intensity (VA/m²)
January	5.21
February	4.71
March	5.61
April	5.85
May	5.25
June	5.80
July	5.85
August	5.85
September	5.85
October	5.85
November	5.85
December	5.85
TOTAL	5.85

SANS 10400 Part SA Compliance Report
ERF 1119

8.3 Compliance

Both the maximum energy consumption and the demand intensity are below the maximum allowed levels, and thus the building complies with SANS 10400-XA:2021.

9. Design Constraints

In order to obtain SANS 10400-XA:2021 compliance, all construction specifications listed within this rational design have to be adhered to. In the event that an alternative material is selected for construction, it must comply with having a minimum U-value or maximum U-value of that listed in the table in Sections 3.2 and 3.3 respectively. The responsibility lies with the owner to ensure GreenXA Consulting of any deviations to the design. These changes will have to be assessed for compliance.

Annexure A - Building Envelope Inputs

Annexure A1: Wall Construction

Actual Building - 280mm Internal Reinforced Concrete wall

Property	Value
U-Value (W/m²K)	0.340
R-Value (m²K/W)	2.941
U-Value (W/m²K)	0.340
R-Value (m²K/W)	2.941

Annexure A2: Roof Construction

Actual Building - Pitched Roof with exposed trusses

Property	Value
U-Value (W/m²K)	0.340
R-Value (m²K/W)	2.941
U-Value (W/m²K)	0.340
R-Value (m²K/W)	2.941

Annexure A3: Floor Construction

Actual Building - 110mm concrete slab

Property	Value
U-Value (W/m²K)	0.340
R-Value (m²K/W)	2.941
U-Value (W/m²K)	0.340
R-Value (m²K/W)	2.941

Annexure A4: Glazing Properties

Actual Building - Single Glazing

Property	Value
U-Value (W/m²K)	5.84
SHGC	0.85
U-Value (W/m²K)	5.84
SHGC	0.85

SANS 10400 Part SA Compliance Report
ERF 1119

Annexure A5: Internal Partitioned Ceiling wall

Actual Building - 280mm Internal Partitioned Ceiling wall

Property	Value
U-Value (W/m²K)	0.340
R-Value (m²K/W)	2.941
U-Value (W/m²K)	0.340
R-Value (m²K/W)	2.941

Annexure A6: Roof Construction

Actual Building - Pitched Roof with exposed trusses

Property	Value
U-Value (W/m²K)	0.340
R-Value (m²K/W)	2.941
U-Value (W/m²K)	0.340
R-Value (m²K/W)	2.941

Annexure A7: Floor Construction

Actual Building - 110mm concrete slab

Property	Value
U-Value (W/m²K)	0.340
R-Value (m²K/W)	2.941
U-Value (W/m²K)	0.340
R-Value (m²K/W)	2.941

Annexure A8: Glazing Properties

Actual Building - Single Glazing

Property	Value
U-Value (W/m²K)	5.84
SHGC	0.85
U-Value (W/m²K)	5.84
SHGC	0.85

SANS 10400 Part SA Compliance Report
ERF 1119

Annexure A9: Internal Partitioned Ceiling wall

Actual Building - 280mm Internal Partitioned Ceiling wall

Property	Value
U-Value (W/m²K)	0.340
R-Value (m²K/W)	2.941
U-Value (W/m²K)	0.340
R-Value (m²K/W)	2.941

Annexure A10: Roof Construction

Actual Building - Pitched Roof with exposed trusses

Property	Value
U-Value (W/m²K)	0.340
R-Value (m²K/W)	2.941
U-Value (W/m²K)	0.340
R-Value (m²K/W)	2.941

Annexure A11: Floor Construction

Actual Building - 110mm concrete slab

Property	Value
U-Value (W/m²K)	0.340
R-Value (m²K/W)	2.941
U-Value (W/m²K)	0.340
R-Value (m²K/W)	2.941

Annexure A12: Glazing Properties

Actual Building - Single Glazing

Property	Value
U-Value (W/m²K)	5.84
SHGC	0.85
U-Value (W/m²K)	5.84
SHGC	0.85

General Notes

All drawings and measurements must be checked and verified before ordering material or before any building takes place. Differences must be brought to the attention of the designer immediately, all work according to National Building Regulations and local authority rules. All building, electrical and plumbing to comply with SANS 400 Regulations. The copyright on all drawings and designs are reserved. This drawing is to be read in conjunction with all relevant consultants drawings, details and specifications, only the latest signed and approved drawings to be used. Never scale from this drawing.

quintustruter@gmail.com

Notes

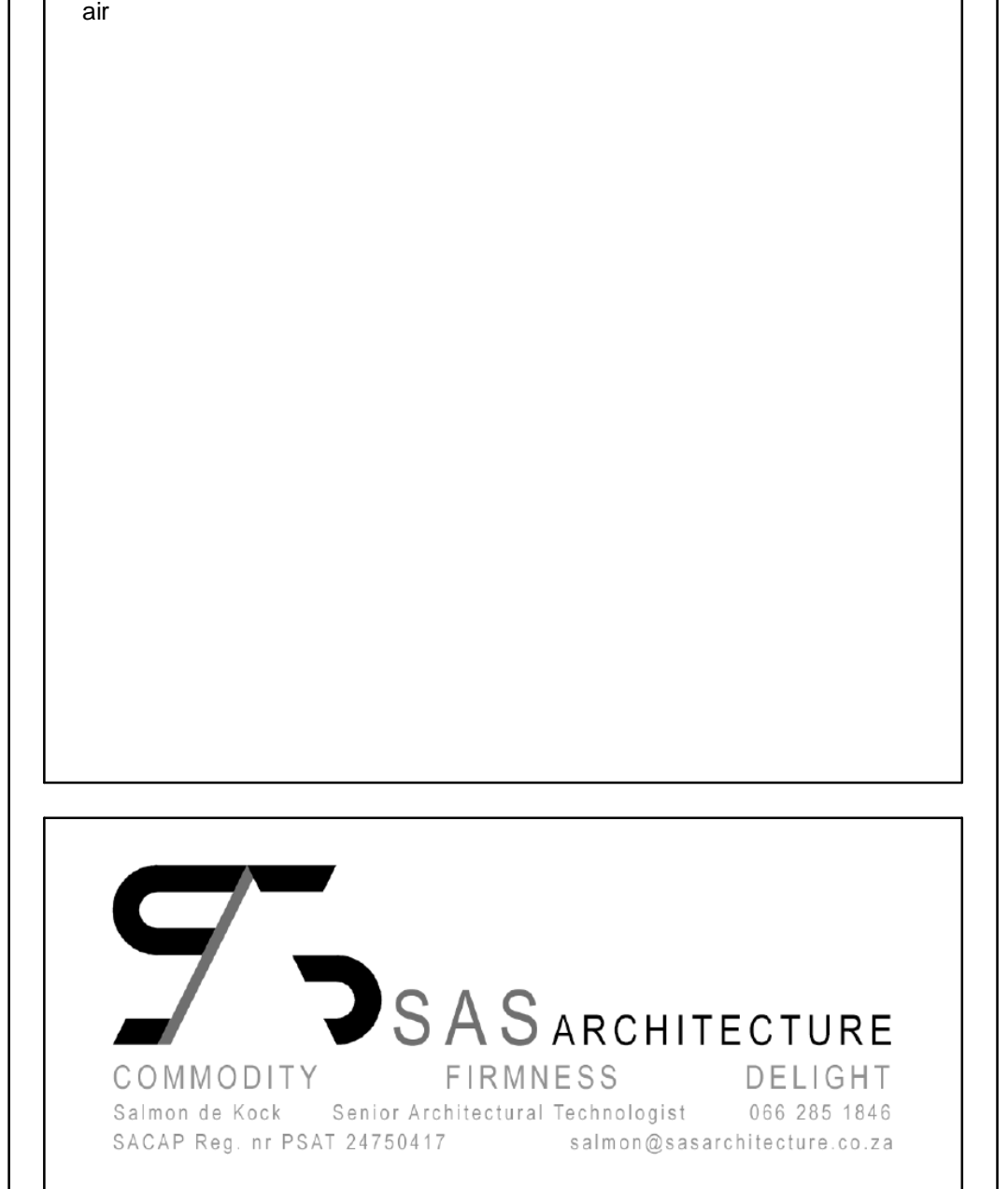
Part N: Glazing
Glass thickness in frames:
0 to 0.75m² = 3mm glass
0.75 to 1.5m² = 4mm glass
1.5 to 2.1m² glass
2.1 to 3.2m² glass

Provide clearly marked safety glass in all doors and side lights. In windows lower than 500mm from the U.F.F.L and larger than 1m2. Clearly marked safety glass directly above a bath and at a shower cubicle 1.8m above pitch line at a staircase, glass balustrade and glass used around a pool.

Provide markings on all sliding doors (transparent doors)

Weather sealing is important!

Part O: Lighting and ventilation
Required lux levels as per SANS 1114-1
All rooms must have sufficient cross ventilation
Ventilation opening must be at least 5% of area of room any mechanical ventilation must be done by a mechanical engineer. No opening closer than 1m to any structural obstruction. An air conditioner is not a source of natural air



Erf 1119, WILDERNESS, CRESCENT CLOSE

New residence for Owner on Erf 1119 in the Township of George, Wilderness

NEW RESIDENCE FOR OWNER ON STAND 1119, WILDERNESS

WD SCHEDULE, XA CALCULATIONS & ELECTRICAL LAYOUT	
Project number	1
Date	15.05.2025
Drawn by	Quintus Truter
Checked by	Salmon de Kock
Scale	1 : 100

WINDOW & DOOR SCHEDULE	D1, D2, D3, D4, D5, D6, D7	D8	D9	D10, D11	D13, D16	D14	W1	WD15	WD18	W3	W2	W4	W5	W6	W7	W8	W9	W10	W11	W12	W13	W14
TYPE	900x2700 Hardwood interior frame and door	900x2700 Hardwood interior fire door and frame	1800x2800 Hardwood exterior double frontdoor and frame	2400x2100 Aluzinc garage door	4400x2800 Aluminium and glass sliding door	2150x2800 Aluminium and glass sliding door	3800x2800 Aluminium	Aluminium	Aluminium	1750x2500 Aluminium	2050x2500 Aluminium	1750x2800 Aluminium	1750x2000 Aluminium	1000x2800 Aluminium	1000x2800 Aluminium	2200x2800 Aluminium	2200 wide Aluminium	540x2800 Aluminium	540 wide Aluminium	1400x3050 Aluminium	3000x2800 Aluminium	750x2800 Aluminium
AMOUNT	7	1	1	2	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
FRAME	Hardwood 55x80 hardwood doorframe	Hardwood 55x80 hardwood doorframe	Hardwood 55x80 hardwood door frame	Charcoal epoxy aluminium	Black epoxy aluminium sliding door	Black epoxy aluminium sliding door	Black epoxy aluminium window	Black epoxy aluminium sliding door and fixed panels	Black aluminium epoxy sliding door and fixed panels	Black epoxy aluminium fixed panels	Black epoxy aluminium fixed panels	Black epoxy aluminium fixed panels	Black epoxy aluminium fixed panels	Black epoxy aluminium fixed panels	Black epoxy aluminium fixed panels	Black epoxy aluminium fixed panels	Black epoxy aluminium fixed panels	Black epoxy aluminium fixed panels	Black epoxy aluminium fixed panels	Black epoxy aluminium fixed panels	Black epoxy aluminium fixed panels	Black epoxy aluminium fixed panels
GLAZING	none	none	none	none	6mm Clear Single Glazing, U Value 5.84 W/m²K, SHGC 0.85	6mm Clear Single Glazing, U Value 5.84 W/m²K, SHGC 0.85	6mm Clear Single Glazing, U Value 5.84 W/m²K, SHGC 0.85	6mm Clear Single Glazing, U Value 5.84 W/m²K, SHGC 0.85	6mm Clear Single Glazing, U Value 5.84 W/m²K, SHGC 0.85	6mm Clear Single Glazing, U Value 5.84 W/m²K, SHGC 0.85	6mm Clear Single Glazing, U Value 5.84 W/m²K, SHGC 0.85	6mm Clear Single Glazing, U Value 5.84 W/m²K, SHGC 0.85	6mm Clear Single Glazing, U Value 5.84 W/m²K, SHGC 0.85	6mm Clear Single Glazing, U Value 5.84 W/m²K, SHGC 0.85	6mm Clear Single Glazing, U Value 5.84 W/m²K, SHGC 0.85	6mm Clear Single Glazing, U Value 5.84 W/m²K, SHGC 0.85	6mm Clear Single Glazing, U Value 5.84 W/m²K, SHGC 0.85	6mm Clear Single Glazing, U Value 5.84 W/m²K, SHGC 0.85	6mm Clear Single Glazing, U Value 5.84 W/m²K, SHGC 0.85	6mm Clear Single Glazing, U Value 5.84 W/m²K, SHGC 0.85	6mm Clear Single Glazing, U Value 5.84 W/m²K, SHGC 0.85	6mm Clear Single Glazing, U Value 5.84 W/m²K, SHGC 0.85

ANNEXURE "B" - APPLICATION FORM



PLANNING AND DEVELOPMENT
APPLICATION FORM FOR CONSENT USE FOR A SECOND
DWELLING/ADDITIONAL DWELLING AND/OR DEPARTURE

(Please complete the form in full for consideration - tick appropriate boxes with X)

BUILDING LINE RELAXATION	X
--------------------------	---

SECOND DWELLING	
-----------------	--

ADDITIONAL DWELLING	
---------------------	--

PROPERTY DETAILS

ERF NUMBER	1119	EXTENSION/A REA	Wilderness
ZONING	Single Residential Zone I		
EXISTING LAND USE	Vacant		

CORRESPONDENCE DETAILS

IS THE APPLICANT ALSO THE REGISTERED OWNER OF THE RELEVANT PROPERTY?					YES	NO
ADDRESS CORRESPONDENCE TO			OWNER	APPLICANT	POST OR E- MAIL	
COLLECT BY HAND	YES	NO	TELEPHONE NO	0824647871		

OWNER DETAILS

OWNER NAME	Quintus Truter				
STREET NAME	Hillside Road	HOUSE NUMBER	1119		
POSTAL ADDRESS	9 Rooikransie Street	SAME AS POSTAL ADDRESS	YES	NO	
EXTENSION/AREA	Herolds Bay	CODE	6541		
ID NUMBER	7211205204080	E-MAIL ADDRESS	quintustruter@gmail.com		
TELEPHONE NO	N/A	CELL NO	076 508 2953		

APPLICANT DETAILS (strike through if registered owner is also the applicant)

NAME	Jan Vrolijk Town Planner / Stadsbeplanner				
STREET NAME	Victoria Street	HOUSE NUMBER	-		
POSTAL ADDRESS	P O Box 710	SAME AS POSTAL ADDRESS	YES	NO	
EXTENSION/AREA	George CBD	CODE	6530		
TEL / CELL NO	082 464 7871	E-MAIL ADDRESS	janvrolijk@jvtownplanner.co.za		

PROFESSIONAL CAPACITY	Town Planner	SACPLAN NO	A/1386/2011
-----------------------	--------------	------------	-------------

BOND HOLDERS DETAILS (Only applicable if property is encumbered by a bond)

IS THE PROPERTY ENCUMBERED BY A BOND?	YES	NO
NAME OF BOND HOLDER	N/A	

TITLE DEED DETAILS

TITLE DEED NO.	T18436/2018	
ARE THERE RESTRICTIONS IN THE TITLE DEED WHICH IMPACT THE APPLICATION? (If yes, describe restrictions below)	YES	NO
N/A		


APPLICATION DETAILS

DESCRIPTION OF BUILDING LINE RELAXATION (STREET / LATERAL / REAR BUILDING LINE)	FROM M	TO M	DETAILS
Street boundary building line	5.0	2.620	Proposed garage
Is an application for an increase in coverage being applied for? (Indicate increase under details)	YES	NO	
Is an application for a 2 nd dwelling /additional dwelling being applied for? (indicate size under details)	YES	NO	

HOA/ ADJACENT OWNERS DETAILS (Consent letters as well as site plans to be signed by adjacent owners)

ERF NO	ADDRESS	NAME	CONSENT LETTER ATTACHED
To be advertised			

I hereby acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.

APPLICANT'S SIGNATURE		DATE	14 August 2025
-----------------------	---	------	----------------

FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:

Locality Plan		Building Plan/ Site Plan on A3/ A4		SG Diagram/ General Plan		Title Deed
Power of Attorney		Motivation		Neighbours Consent / Comment		HOA Consent
Bond Holder Consent		Proof of Payment		Conveyance Certificate		Other (Specify)

ANNEXURE "C" - LOCALITY PLAN

Erf 1119 Wilderness - Locality plan



0 0.05 0.1 0.2 km

Date: 4/14/2025 7:48 AM

Scale: 1:2,215



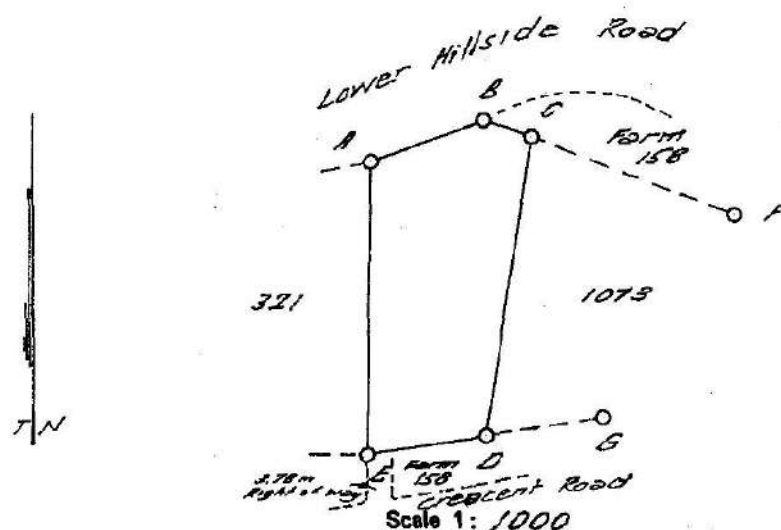
Disclaimer
George Municipality makes no warranties as to the correctness of the information supplied.
Persons relying on this information do so entirely at their own risk.

George Municipality will not be liable for any claims whatsoever, whether for damages or otherwise,
which may arise as a result of inaccuracies in the information supplied.

ANNEXURE “D” – SURVEYOR GENERAL DIAGRAM

SIDES Metres	ANGLES OF DIRECTION	CO-ORDINATES		S.G. No.
		Y	System 20 23° X	
	Constant	±0.00	+3700 000.00	1934/81
AB 18.19	249 13 20	A +38 083.25	+62 460.83	
BC 7.94	291 09 30	B +38 066.25	+62 054.38	Approved <i>[Signature]</i> Surveyor-General
CD 47.18	8 57 00	C +38 058.84	+62 457.25	
DE 18.37	80 44 30	D +38 065.18	+62 503.86	1981-06-8
EA 45.99	181 19 10	E +38 084.31	+62 506.81	
CF 33.17	291 09 30	F +38 027.91	+62 469.22	
DG 18.37	260 44 30	G +38 048.06	+62 500.90	
(229) Krysno 32 Δ		+33 944.40	+63 411.29	
(231) Krysno 34 Δ		+37 341.14	+62 089.46	

Description of Beacons
ABCDE are iron standards
18



The figure
represents

ABCDE

1019 square metres

of land, being

ERF 1119 (a portion of Erf 320) WILDERNESS

situate in the Local Area of Wilderness

Administrative District of George

Province of Cape of Good Hope.

Surveyed in February 1981
by me.

[Signature]
Land Surveyor

This diagram is annexed to
Deed of Transfer
No. T.13144/1984
dated
i.f.o.

Registrar of Deeds

The original diagram
No. A 3540/1929 annexed to
Transfer/Grant
No. 1930 14 641

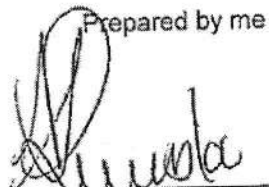
File No. S/8692
S.R. No. E 645/81
Comp. B1-800/242 (1766)

ANNEXURE “E” - TITLE DEED

VIR ENDOSSEMENTE KYK BLADSY X
FOR ENDORSEMENTS SEE PAGE _____

Sharon Prinsloo Attorneys
3 Varing Street
Windsor Park
Block G4
George
6529

Prepared by me


CONVEYANCER
SHARON PRINSLOO

Eps endorsement		Office fee
	Amount	
Purchase price/Value	R 630 000.00	R 815.00
Mortgage capital Amount		
Reason for exemption	Exempt i.t.o. Cat. section Act	

T000018436 / 2018

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

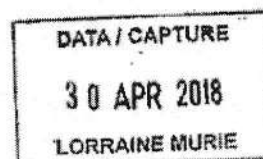
JANINE FOUCHE

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him by

SIMON HENDRIK GREYLING
Identity Number 721120 5204 08 0
Unmarried



which said Power of Attorney was signed at SEDGEFIELD on 28 March 2018



And the appearer declared that his said principal had, on 13 February 2018, truly and legally sold by Private Treaty, and that he, the said Appearer, in his capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

QUINTUS LANS
Identity Number 800813 5098 08 0
Unmarried

his Heirs, Executors, Administrators or Assigns, in full and free property

ERF 1119 WILDERNESS, IN THE MUNICIPALITY AND DIVISION OF
GEORGE, PROVINCE OF THE WESTERN CAPE

IN EXTENT 1019 (ONE THOUSAND AND NINETEEN) Square metres

FIRST TRANSFERRED by Deed of Transfer Number T13144/1984 with
Diagram Number 1934/81 relating thereto and held by Deed of Transfer
Number T68194/2016

A. **SUBJECT** to the conditions referred to in Deed of Transfer Number
T68194/2016.

B. **SUBJECT FURTHER** to the following special conditions contained in the
said Deed of Transfer Number T641/1930 imposed by The Wilderness
(1921) Limited for the benefit of all the purchasers and their successors in
title of portion of the property held by the said Company by Deed of
Transfer Number T2059/1923 and to the benefit of the Company itself and
its successors in title to the remainder of the property so held, namely :

"2. No trade or business of any description may be carried on, on this Lot
without the written permission of the Seller first had and obtained.

3. All buildings erected on this Lot shall be built of brick, stone or
concrete and the ground plan showing the relation of the position of
such buildings to the boundaries of the said Lot, as well as the
elevation plans of such buildings shall be submitted to the Seller for its
approval in writing before any buildings are commenced.

4. All walls, fences or hedges or like structures abutting upon any road or pathway shall be of a type approved of by the Seller. The Seller shall not be liable to contribute to the cost of any party or dividing fence, or wall, not to the cost or repair thereof, but it may call upon the Purchaser to enclose the said Lot. This provision eliminating any contribution by the Seller to the cost or repair of any party or dividing fence or wall shall not extend to any adjoining Lot which the Seller may sell or dispose of subsequent to the date hereof, and the Purchaser of such Lot adjoining the Lot hereby sold shall in respects be subject to the laws governing contributions to such party or dividing fences or walls. The purchaser agrees to observe the uniformity in respect of fencing line for all fences that may abut on to any road, pathway, open space or property of the Seller and to maintain all boundary fences of the said Lot in good order and repair. No purchaser shall be entitled to erect any corrugated iron fence or screen upon his Lot without the leave of the Seller.
5. The Seller retains the right and power to enforce the observation of proper sanitation and cleanliness upon this Lot as well as the right to construct, use and maintain across this Lot any pipe line for water leading, sewerage or drainage. The Purchaser binds himself to conform all such regulations as the Seller may hereafter prescribe in regard to matters of public health and sanitation, and the use of all roads, paths, open spaces and the remainder of the Seller's estate at the Wilderness.
6. Seller retains ownership and control of all roads, streets, paths, avenues, lanes, open spaces or reserves shown on the plan of the estate, as well as the right in its discretion to alter, close, deviate, or otherwise deal with any such roads, streets, paths, avenues, lanes, open spaces or reserves.
7. The purchaser of any lot having a frontage on either "The Park" or any other open space or reserve, shall be obliged to plant, and maintain at a suitable height, such live hedge, and/or such trees or shrubs as shall be prescribed by the Seller to screen suitably any premises situate on the Lot.

8. The purchaser agrees to be bound not to clear or destroy the trees and bush on the said Lot without first consulting the Seller, the intention being that it is desirable in the general interest that the scenery shall not be marred by excessive or undue clearing of the bush and trees and especially is it the Seller's intention to avoid cutting of any lines or squares or angles which will show marked patterns on the scenic effect of the Wilderness, but it is not the Seller's intention to interfere unreasonably with the Purchaser's full use and enjoyment of the said Lot and agrees that the frontage of any premises other than domestic should have a clear and uninterrupted view."

The terms "Seller" and "Purchaser" in the aforementioned conditions shall mean "The Wilderness (1921) Limited" and the Transferee under the said Deed of Transfer Number T641/1930, respectively, and shall be deemed to include the successors in title of the Seller to the remainder of "The Freehold Land now called Wilderness Estate (Lot 497, Lot H) Barbiers Kraal" and of "The Park", part of the said Wilderness Estate in the Division of George, and the heirs, executors, administrators or assigns of the said Transferee.

- C. **SUBJECT FURTHER** as contained in Deed of Transfer Number T13144/1984 to the conditions newly imposed by the Administrator of the Cape Province in terms of Section 9 of Ordinance Number 33 of 1934 when approving the subdivision of the property of which portion is hereby transferred, which conditions read as follows, namely :

- (a) The owner of this erf shall without compensation, be obliged to allow gas mains, electricity-, telephone- and television cables and/or wires and main and/or other waterpipes and the sewage and drainage including stormwater of any other erf or erven to be conveyed across this erf, and surface installations such as mini-substations, meter kiosks and service pillars to be installed thereon if deemed necessary by the local authority in such manner and position as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time for the purpose of constructing, altering, removing or inspecting any works connected with the above.

(b) The owner of this erf shall be obliged, without compensation, to receive such material or permit such excavation of the erf, as may be required to allow use of the full width of the street and provide a safe and proper slope to its bank owing to difference between the levels of the street as finally constructed and the erf, unless he elects to build retaining walls to the satisfaction of and within a period to be determined by the local authority.

D. **SUBJECT FURTHER** to the servitude referred to in the Endorsement dated 7 January 1972 on the said Deed of Transfer Number T641/1930, which Endorsement reads as follows :-

"Registration of Servitude

The within described land is subject to a servitude with regards to apportionment of water in terms of an Order of the Water Court (Water Court District Cape), dated 26 May 1971, as will more full appear on reference to the copy of the said Order Annexed to Servitude 15/1972".

A

P

AS

WHEREFORE the said Appearer, renouncing all rights and title which the said

SIMON HENDRIK GREYLING, Unmarried

heretofore had to the premises, did in consequence also acknowledge him to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

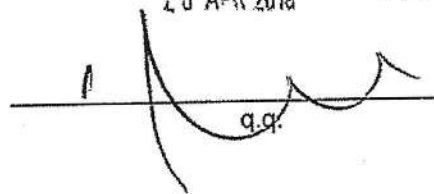
QUINTUS LANS, Unmarried

his Heirs, Executors, Administrators or Assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R630 000,00 (SIX HUNDRED AND THIRTY THOUSAND RAND) .

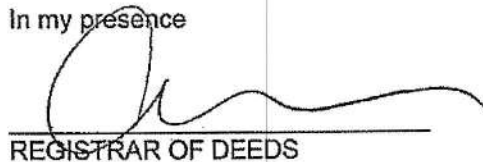
IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on

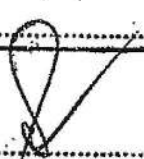
26 APR 2018 2018


q.q.

In my presence


REGISTRAR OF DEEDS

Page 7

DE NAAM VAN DIE	THE NAME OF THE
<i>Quintus</i>	<i>haus</i>
IS VERANDER NA	HAS BEEN CHANGED TO
<i>Quintus</i>	<i>Pontes</i>
BO000006911/2025	
2025-02-19	REGISTRATEUR/REGISTRAR

ANNEXURE "F" - POWER OF ATTORNEY

POWER OF ATTORNEY

I, the undersigned

Quintus Truter

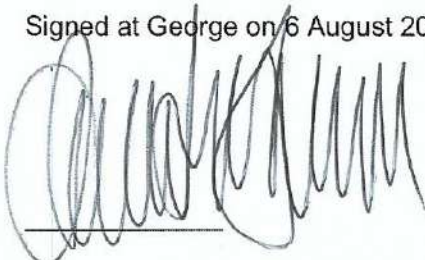
the registered owner of

Erf 1119 Wilderness

do hereby appoint Jan Vrolijk Town Planner/Stadsbeplanner to prepare, sign and submit the following applications to the George Municipality:

- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for a permanent departure for the relaxation of the northern street building line from 5 metres to 2.620 metres in respect of the proposed garage on Erf 1119 Wilderness.
- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for a permanent departure from the development parameter (a) pertaining to the maximum height of a dwelling house for a pitched roof from of 8.5 metres to 12.582 metres for the eastern elevation and from 8.5 metres to 11.782 metres for the western elevation on Erf 1119 Wilderness.
- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for a permanent departure from the development parameter (a) pertaining to the wall plate height of a dwelling house from of 6.5 metres to 10.822 metres for the eastern elevation and from 6.5 metres to 9.0 metres for the western elevation on Erf 1119 Wilderness.

Signed at George on 6 August 2025

A handwritten signature in dark ink, appearing to be 'Quintus Truter', written over a horizontal line.

Quintus Truter

ANNEXURE "G" - CONVEYANCER CERTIFICATE

CONVEYANCER'S CERTIFICATE

IN TERMS OF SECTION 38(1)(n) OF THE GEORGE MUNICIPALITY: LAND USE PLANNING BY LAW, 2023

ERF 1119 WILDERNESS

APPLICATION DETAILS

- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for a permanent departure for the relaxation of the northern street building line from 5 metres to 2.620 metres in respect of the proposed garage on Erf 1119 Wilderness.
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- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for a permanent departure from the development parameter (a) pertaining to the wall plate height of a dwelling house from of 6.5 metres to 10.822 metres for the eastern elevation and from 6.5 metres to 9.0 metres for the western elevation on Erf 1119 Wilderness.

APPLICATION DATE

August 2025

I, the undersigned

ANDALEEN CHIMES a duly qualified and admitted Conveyancer, practicing at A Chimes & Van Wyk Attorneys, Cathedral Street, George do hereby certify as follows:

1. I have perused the following title Deed/s and conducted a search behind the pivot of the said title deed/s at the Deeds Office, Cape Town:

T18436/2018 (current Title Deed)

in respect of:

**ERF 1119 WILDERNESS
IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE**

IN EXTENT: 1 019 (ONE ZERO ONE NINE) SQUARE METRES

HELD BY DEED OF TRANSFER NUMBER T18436/2018

REGISTERED in the name of

QUINTUS TRUTER

2. I have appraised myself with the details of the abovementioned Land Development Application.
3. The abovementioned Title Deed contains no conditions restricting the contemplated Land Use as proposed in terms of the abovementioned Land Development Application.
4. There is no bond registered over the property.

SIGNED at GEORGE on 5 August 2025

A handwritten signature in black ink, appearing to read 'Q. Truter', is written over a horizontal line.

CONVEYANCER