



The Municipal Manager
P O Box 19
George
6530

Reference: Erf 129 Hoekwil

20 August 2025

Sir

APPLICATION FOR PERMANENT DEPARTURES: ERF 129 HOEKWIL

Attached hereto, please find an application in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for permanent departures in respect of the following on Erf 129 Hoekwil:

- the stipulation in development parameter (a) applicable to a “second dwelling” in the George Integrated Zoning Scheme, 2023 which determines that *“The total floor space of a second dwelling unit may not exceed 175m², which includes the floor space of all ancillary buildings”* to accommodate the existing second dwelling of 276.30m².
- the relaxation of the following building lines:
 - the Church Street street boundary building line from 30.0 metres to:
 - 20.004 metres to accommodate the dwelling house.
 - 12.392 metres to accommodate the second dwelling.
 - 10.057 metres to accommodate the double garage, and
 - 1,141 metres to accommodate the shade-cloth carport.
 - the south-eastern side boundary building line from 30.0 metres to:

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CELL: 082 464 7871 PO Box 710 George 6530
OFFICE: Millwood Building corner of York and Victoria Street, George
SACPLAN REG No. A/1386/2010

- 22.438 metres to accommodate the second dwelling unit.
 - 11.992 metres to accommodate the double garage, and
 - to a distance varying from 21.461 metres to 22.623 metres to accommodate the Wendy-house.
- the northwestern side boundary building line from 30 metres to 28.917 metres to accommodate the shade-cloth carport.

Your prompt consideration of the application will be appreciated.

Thanking you in anticipation.

A handwritten signature in cursive script, appearing to read 'J. Vrolijk', written in a light grey or blue ink.

Jan Vrolijk

MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURES (RELAXATION OF TOTAL FLOOR
SPACE AND BUILDING LINES)
ERF 129 HOEKWIL

20 August 2025



Prepared for:

Dimaya CC
129 Church Street
Hoekwil.

Prepared by:

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SACPLAN Registration No A/1386/2011

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MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURES
(RELAXATION OF TOTAL FLOOR SPACE AND BUILDING LINES)
ERF 129 HOEKWIL

1. APPLICATION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for permanent departures in respect of the following on Erf 129 Hoekwil:

- the stipulation in development parameter (a) applicable to a “second dwelling” in the George Integrated Zoning Scheme, 2023 which determines that *“The total floor space of a second dwelling unit may not exceed 175m², which includes the floor space of all ancillary buildings”* to accommodate the existing second dwelling of 276.30m².
- the relaxation of the following building lines:
 - ⇒ the Church Street street boundary building line from 30.0 metres to:
 - 20.004 metres to accommodate the dwelling house.
 - 12.392 metres to accommodate the second dwelling.
 - 10.057 metres to accommodate the double garage, and
 - 1,141 metres to accommodate the shade-cloth carport.
 - ⇒ the south-eastern side boundary building line from 30.0 metres to:
 - 22.438 metres to accommodate the second dwelling unit.
 - 11.992 metres to accommodate the double garage, and
 - to a distance varying from 21.461 metres to 22.623 metres to accommodate the Wendy-house.

- ⇒ the northwestern side boundary building line from 30 metres to 28.917 metres to accommodate the shade-cloth carport.

The proposed site plan is attached hereto as **Annexure “A”** and the “as built” plans of the main dwelling house, second dwelling, double garage, wendy-house and the covered carport are attached hereto as **Annexure “B”**. The completed application form for the proposed permanent departures application is attached hereto as **Annexure “C”**.

2. DEVELOPMENT PROPOSAL

Erf 129 Hoekwil had initially been developed with a dwelling house, situated in the southern corner of the application erf and a Wendy-house, situated east of the dwelling house. A double garage was subsequently erected to the south of this dwelling house.

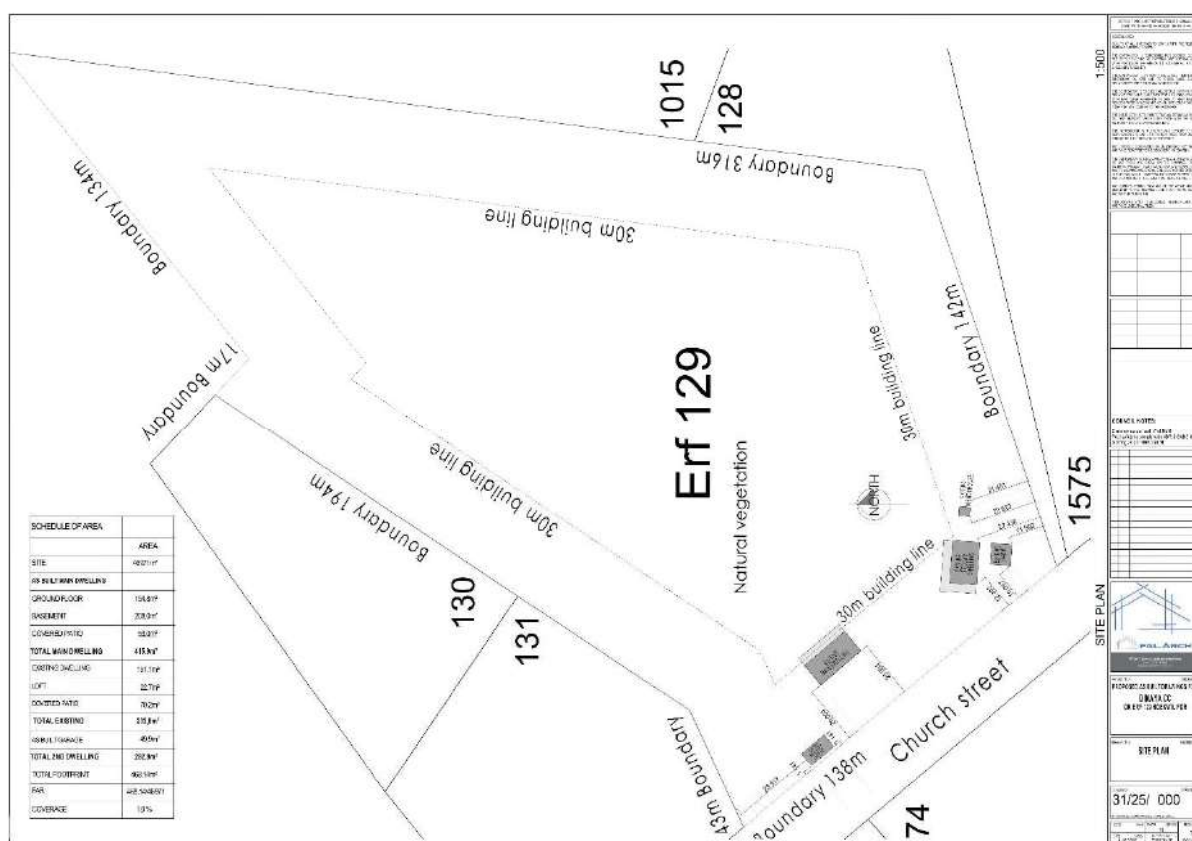
Recently, another dwelling house and shade-cloth carport were erected to the north-west of the first dwelling house. As far as could be ascertained, all the improvements mentioned were done without authorisation.

The initial dwelling house, with an extent of 131.10m², consists of 4 bedrooms, 3 bathrooms, an open plan kitchen / dining room / lounge and a scullery, with a covered lean-to patio of 79.21m² on the northern and western sides. The total extent of this dwelling house, therefore, is 210.31m². The extent of the Wendy-house is 16m², and that of the double garage, 49.99m². Both the Wendy-house, which is used as a habitable non-interleading room with the second dwelling unit, and double garage are ancillary to this dwelling house.

The new double storey dwelling house consists of a bedroom, bathroom, a studio, a tv room, storeroom, and a covered patio on the ground floor, with 2 bedrooms, 2 bathrooms, as well as an open plan kitchen / dining room / lounge, scullery and covered patio on the first floor. The total extent of this dwelling house is 415.90m².

The application erf is zoned Agricultural Zone II. The primary right in this zone is “*smallholding*”. In terms of the land use description of “*smallholding*”, a “*dwelling house*” is allowed. A “*second dwelling unit*” is included in the land use description of a dwelling house.

The main dwelling house, shade-cloth carport, second dwelling unit and double garage all transgress the 30 metres street boundary building line. The second dwelling unit, double garage and Wendy-house also transgress the 30 metres south-eastern side boundary building line. The following site plan indicates the site layout of the buildings on the application erf. The extent to which the building lines are exceeded is also indicated on the plan. A copy of the proposed site plan is attached hereto as **Annexure “A”**.



Application is, therefore, made for permanent departures from the total floor space and building lines stipulated in the George Integrated Zoning Scheme By-Law, 2023, to accommodate the existing buildings mentioned. No new buildings, or changes in the use of existing buildings, are envisaged because of this application.

The purpose of this application is therefore, to obtain approval for the permanent departures to enable the submission of building plans in respect of the existing development on the application erf.

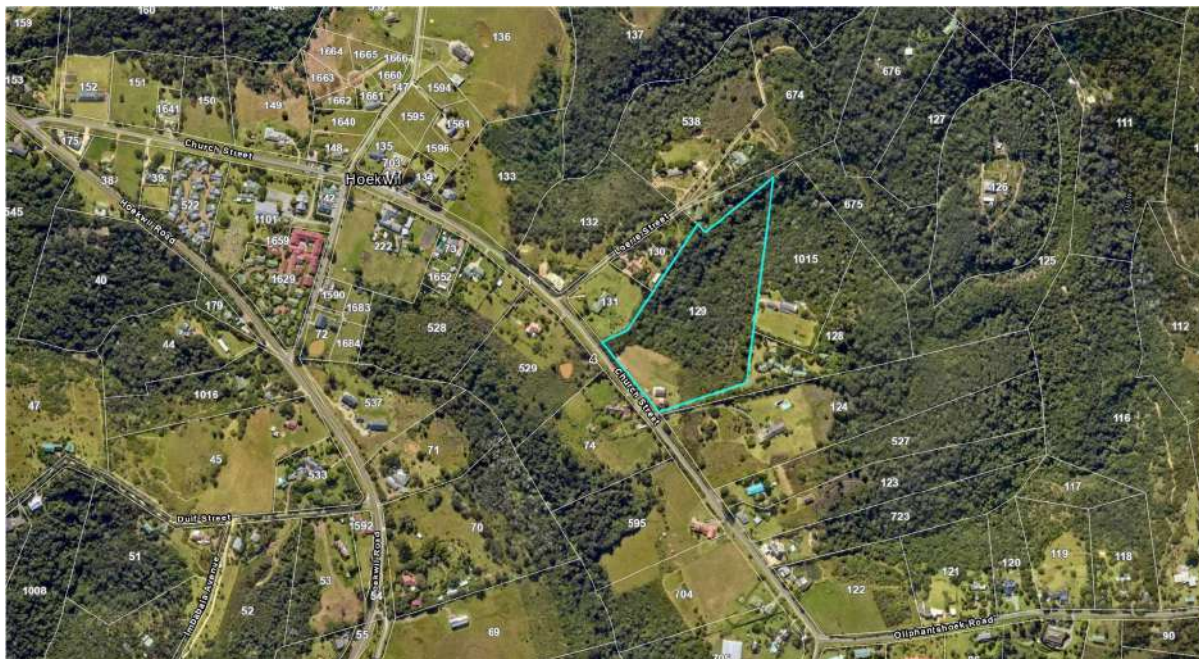
3. PRE-APPLICATION CONSULTATION

A pre-application consultation was not requested as the proposal entails permanent departures for the deviation from the maximum extent of a second dwelling and the relaxation of certain building lines, to accommodate the existing improvements on the erf. This is in line with the e-mailed directive in this regard to various consultants by the Municipal Town Planners, which was issued by e-mail dated 10 May 2022.

4. GENERAL INFORMATION REGARDING ERF 129 HOEKWIL

4.1 Locality

As indicated on the following aerial photo, Erf 129 Hoekwil is situated adjacent to and north-east of Church Street, east of the Hoekwil settlement.



The locality of the erf is indicated on the locality plan which is attached hereto as **Annexure “D”**.

4.2 Existing land use

The application erf is currently developed with a dwelling house, second dwelling and ancillary buildings and is used for rural residential and home occupation (Pilates classes) purposes.

4.3 Extent

Erf 129 Hoekwil is 4,6971 hectares in extent.

4.4 Present zoning

In terms of the George Integrated Zoning Scheme By-Law, 2023, the zoning of Erf 129 Hoekwil is Agricultural Zone II. The primary land use allowed in this use zone is “*Smallholding*”. The development parameters applicable to specific land uses are set out in Schedule 2: “*Land Use Description and Development Parameters*” in the mentioned By-Law.

In terms of the land use description of “*smallholding*”, a “*dwelling house*” is allowed. A “*second dwelling unit*” is included in the land use description of a dwelling house. The development parameters of a second dwelling unit inter alia, stipulates that the total floor space of a second dwelling unit may not exceed 175m, which includes the floor space of all ancillary buildings.

As indicated on the “as built” plans of the second dwelling, double garage and Wendy-house on Erf 129 Hoekwil, a copy of which is attached hereto as **Annexure “B”**, the total floor area of the second dwelling unit is 210.31m², the double garage is 49.99m² and the Wendy-house is 16m². The total area of the second dwelling unit, including the ancillary buildings, therefore, is 276.30m², which is 101.30m² more than the maximum area of 175m² allowed, in the development parameters of a “second dwelling” in the George Integrated Zoning Scheme By-law, 2023.

Except for exceeding the total floor space, the second dwelling unit conforms with all the development parameters applicable to a second dwelling, a stipulated in the George Integrated Zoning Scheme By-Law, 2023.

In terms of the development parameters applicable to “*smallholding*” in the George Integrated Zoning Scheme By-Law, 2023, the building lines applicable are determined by the extent of the erf. The application erf is 4,6971 hectares in extent. A building line of 30 metres from any boundary is, therefore, applicable. As indicated on the site plan, the main dwelling house, shade-cloth carport, second dwelling and the double garage all transgress the street building line along the Church Street boundary of the erf. The second dwelling unit, double garage and the Wendy-house also transgress the south-eastern side boundary building line.

Except for the extent of the second dwelling unit and the building lines, the buildings on the application erf conform with all the development parameters applicable to a smallholding, as stipulated in the George Integrated Zoning Scheme By-Law, 2023.

4.5 Surveyor General Diagram

The Surveyor General Diagram of Erf 129 Hoekwil is attached hereto as **Annexure “E”**.

4.6 Title Deed

Erf 129 Hoekwil is registered in the name of Dimaya CC Registration Number CK90/01280/23. A copy of the Title Deed of the erf is attached hereto as **Annexure “F”**.

4.7 Power of Attorney

A certificate issued by the Commissioner of Companies & Intellectual Property Commission on 20 May 2024 certifying the names of the Members of Dimaya CC Registration Number CK90/01280/23, the registered owner of Erf 129 Hoekwil, is attached hereto as **Annexure “G”**.

A Power of Attorney, whereby Jan Vrolijk Town Planner / Stadsbeplanner is appointed by Leslie William Lange (Authorised Trustee of Die Hentina Trust IT4054/94) and Scherrentina Kruger, the only two members of Dimaya CC Registration Number CK90/01280/23, the registered owner of Erf 129 Hoekwil, to prepare the application referred to in point 1 of this motivation report and to sign all relevant documents, is attached hereto as **Annexure “H”**.

A Resolution passed by the Trustees of Die Hentina Trust IT4054/94 whereby Leslie William Lange is appointed to act on behalf of the Die Hentina Trust: IT4054/94 is attached hereto as **Annexure “I”**.

4.8 Bondholder's Consent

Erf 129 Hoekwil is not encumbered by a bond.

4.9 Conveyancer Certificate

A Conveyancer Certificate in respect of Erf 129 Hoekwil is attached hereto as **Annexure “J”**. The Conveyancer Certificate confirms that there are no conditions in the Title Deed of the application erf which restrict the development of the erf as proposed in this application.

5. DESIRABILITY OF THE APPLICATION FOR PERMANENT DEPARTURES (RELAXATION OF TOTAL FLOOR SPACE OF A SECOND DWELLING AND BUILDING LINES) IN RESPECT OF ERF 129 HOEKWIL

5.1 Introduction

Specific issues which must be addressed in the motivation of applications are highlighted in the Land Use Planning By-Law for George Municipality, 2023. These issues are, however, aimed at more complex applications and are not applicable to lesser applications, such as permanent departures in respect of relaxation of total floor space or building line relaxations.

This application will therefore be motivated with reference to the following aspects:

- *Compatibility of the proposal with the existing planning and land uses of the surrounding area.*
- *The impact that the proposal will have on the environment.*
- *The impact that the proposal will have on traffic and parking in the surrounding area.*

- *The impact that the proposal will have on surrounding facilities such as schools, open spaces and other community facilities, should the application result in an increase in the population of the area concerned.*
- *The impact that the proposal will have on the existing character of the surrounding area and the right of the inhabitants of the area in respect of erf values, privacy, view, sunlight, et cetera.*
- *Provision of essential services.*

5.2 Existing planning in the area

The application erf is situated to the east of the current Hoekwil settlement. It is also situated to the north-east of the area included in the urban edge of Hoekwil, as indicated on Map 18 of the George Spatial Development Framework, 2023.

The erf is situated in an area characterized by and zoned to accommodate smallholdings and is currently used as such. The objective of the use zone “*Agricultural Zone II*” is stated as follows in the Use Zone Table of the George Integrated Zoning Scheme By-Law, 2023:

“The objective of this zone is to accommodate extensive residential properties, which may be used for small-scale agriculture or natural areas for people who seek a rural lifestyle. Such properties are often found close to towns and villages, and new smallholding areas should only be permitted within an acknowledged, demarcated urban area.”

The following aerial photo shows that, except for the buildings on Erf 74 Hoekwil south-west of the application erf, which is situated on the opposite side of Church Street, there are no residential buildings on adjacent erven close to the application erf.



Permanent departure: Relaxation of the total floor space:

The objective of the use zone Agricultural Zone II states that the objective of the use zone is to “*accommodate extensive residential properties*”. The stipulation of the maximum extent of a second dwelling in the George Integrated Zoning Scheme By-Law, 2023 does, however, not differentiate between, for instance, the size of the land unit, or between urban and rural areas. In this regard, it must be considered that the impact (both physical and visual) of a second dwelling of 276.30m² in extent in the rural area where the application erf (farm) of 6,3627ha is situated, is much less than it would be in an urban area, on a much smaller residential erf.

Due to the extent of the application erf, the length of the street frontage, the distance between the second dwelling unit and the main dwelling house and the shrubs along the street boundary, the second dwelling unit is not viewed as a part of the dwelling house, but rather as a separate development. In comparison with the extent of the other residential buildings in the vicinity and keeping the objective of accommodating “*extensive residential properties*” in mind, the bulk of the second dwelling unit on the application erf is not out of scale. The lean-to covered patio, which adds to the total area of the second dwelling unit, enhances the ambience of the second dwelling. The discrepancy between the actual size of the dwelling unit and the size stipulated in

the George Integrated Zoning Scheme By-Law, 2023, is not discernible and does not have a negative impact on the rural surroundings.

It is therefore, concluded that the transgression in the total floor space of the second dwelling unit does not have a negative impact on the planning or development in the surrounding area.

Relaxation of building lines:

In terms of the George Integrated Zoning Scheme By-Law, 2023 the building lines applicable to Agricultural Zone II properties are determined by the extent of the erf. The application erf is 4,6971 hectares in extent. The building line applicable to any boundary of the application erf is 30 metres, as the application erf is larger than 4 hectares. In this regard it is interesting to note that, should the erf have been zoned Agriculture Zone I, the building line would have been 10 metres, in which case an application for the relaxation of the building lines would not have been necessary. The reason for this anomaly is unknown, especially in view of the objective of the use zone "Agricultural Zone II" as stated earlier.

Smallholdings are intended to be located in close proximity to urban development, where building lines are usually smaller than in agricultural areas. The application erf (smallholding) is, as stated in the objective of "*smallholdings*", situated close to a village, as it is situated to the north-east of the area included in the urban edge of Hoekwil, as indicated on Map 18 of the George Spatial Development Framework, 2023.

As indicated on the previous aerial photo, a large proportion of the application erf is covered by natural forest. Erf 129 Hoekwil also has a steep slope from south to north, resulting in the only relatively flat portion being located on the south-western side of the erf, adjacent to Church Street, with the largest building platform in the southern corner of the erf, within the street and south-eastern boundary building lines. In view of the above, the smaller building lines proposed in this application are appropriate, as smaller building lines result in the development remaining outside the natural forest area. Locating the existing development within the flatter and already cleared area along Church Street, has the following advantages:

- The natural forest area remains intact.

- The effect on the natural surroundings of the extensive cutting and filling required to construct buildings and vehicular access is reduced.
- Saving on construction cost.

The following photo, which was taken from the covered patio north of the second dwelling, shows levelled portion of lawn north of the second dwelling, with the steep fall northwards of the area covered by natural forest.



The following photo, which was taken from east to west towards the second dwelling, shows the cross-fall on the southern side of the erf, near the Church Street boundary, which is located on the left of the photo.



The following photo, which was taken from east to west towards the dwelling house, shows the cross-fall in the vicinity of the dwelling house.



The following photo, which was taken from north to south, upwards towards the dwelling house, gives an indication of the slope north of the dwelling house.



The existing dwelling house, second dwelling, double garage, shade-cloth carport and Wendy-house all transgress the building lines as indicated on the site plan, attached hereto as **Annexure "A"**.

It is also clear from the aerial photo that there are no other homesteads or buildings on adjacent properties which are located near to the buildings on the application erf. The relaxation of the building lines proposed in this application will, therefore, not have a negative impact on the planning or development in the surrounding area. The existing buildings have formed part of the ambience of the area for a considerable period and as far as could be ascertained, no objections against the locality of the buildings have been lodged. As no extensions to the buildings are proposed in this application, the proposal will have no changing effect on the surrounding area.

The permanent departures as proposed in this application, will therefore, not establish an undesirable precedent and can be accommodated within the existing planning of the area concerned.

5.3 Impact on schools, open spaces and other community facilities

This application entails the relaxation of the total floor space of the second dwelling and the relaxation of the street and south-eastern side boundary building lines on Erf 129 Hoekwil in respect of the dwelling house, second dwelling, double garage and Wendy-house.

The proposed relaxations will not result in an increase in the number of inhabitants on the erf beyond that which is accommodated in the zoning of the erf. As such, the permanent departures as applied for, will not have an impact on schools, open spaces and other community facilities in the area. This aspect is, therefore, not relevant to this application.

5.4 Impact on sunlight, view and privacy

The aerial photo in point 5.2 of this report indicates that there are no dwelling houses adjacent to the application erf of which the sunlight, view and privacy could be affected by the proposal.

Erf 74 Hoekwil is situated south of the application erf, but on the opposite side of Church Street. The photo in point 5.5 of this motivation report, which was taken from the southern boundary of the road reserve of Church Street, opposite the dwelling house on Erf 74 Hoekwil, clearly shows that, due to the width of the road reserve and the vegetation on the street boundary of the application erf, the extent of the second dwelling and the relaxation of the building lines, as proposed in this application will have no impact on the sunlight, view or privacy of the development on Erf 74 Hoekwil, and therefore, on any of the adjacent properties.

5.5 Impact on streetscape

The following photos show the street elevation of the dwelling house and the second dwelling.



Due to the vegetation along the street boundary of the application erf, very little of the dwelling house and second dwelling are visible from the street. The shade-net carport is not visible behind the vegetation on the street boundary and the Wendy-house is situated to the east of the second dwelling unit and is not directly visible from the street.

Due to the slope of the application erf only the ground floor of the double storey dwelling house is visible from the street, which, together with the mentioned vegetation, “softens” the impact of the dwelling house and, therefore, of the relaxation of the street boundary building line in respect of the dwelling house, on the streetscape.

As the second dwelling unit and the double garage are not situated parallel the street boundary, the 2 buildings are situated at varying distances from the street boundary, which also reduces the visual impact that the relaxation of the building line might have had on the streetscape.

The proposed departure from the maximum floor area of the second dwelling, as well as the proposed relaxation of the building lines, therefore, have no negative impact on the streetscape.

5.6 Impact on erf values

The following photos show the north elevation of the dwelling house and the second dwelling, respectively.





As indicated in the previous points, the structures in respect of which the permanent departures are required, do not have a negative impact on any of the surrounding properties. The architectural design and finish of the dwelling house and the second dwelling are of a high quality and fit in with that of the surrounding area. The shade-net carport and Wendy-house are hardly visible from the adjacent street. The development represents a substantial capital investment by the owner.

The value of surrounding properties can, therefore, not be negatively impacted upon by the permanent departures as proposed in this application.

5.7 Impact on the provision of parking

The parking requirements applicable to different land uses are set out in a table in Section 42 of the George Integrated Zoning Scheme By-Law, 2023. Two parking bays per dwelling house and 1 parking bay in respect of the second dwelling are required to be provided on-site.

As indicated on the proposed site plan attached hereto as **Annexure "A"**, a shade-cloth carport, accommodating 3 vehicles, is provided south-west of the dwelling house and a double garage is located south of the second dwelling unit. The number of parking bays provided therefore, conforms with the parking requirement. The following photos shows the carport and double garage, respectively.



The departures as proposed in this application have no impact on the provision of parking on the application erf and do not result in the required number of parking bays not being provided.

5.8 Impact on traffic circulation

As indicated on the proposed site plan, attached hereto as **Annexure “A”**, the buildings involved in this application are located “behind” the street boundary. The photos in point 5.5 of this motivation report also shows the vegetation along the street boundary fence.

The existing access from Church Street will remain and no new access points are required. There is good visibility into the main road from the existing access point. The permanent departures as proposed in this application will therefore not have a negative impact on the sight distance in the main road at the access point.

5.9 Provision of services

The required infrastructure for the development has been provided by the landowner at his costs. The proposal will thus not result in infrastructure costs to any external parties. The proposal will thus not place any burden on the municipal budget for the provision services infrastructure.

Should any extension of the existing municipal infrastructure be required in future because of this application all costs because of such extension will be for the account of the owner, subject to the conditions of the municipality.

5.10 Fire fighting

The fire-fighting requirements stipulated in the fire-regulations will not be negatively impacted upon as the application erf will still be fully accessible for fire-fighting purposes.

6. CONCLUSION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for permanent departures in respect of the stipulation in development parameter (a) applicable to a “*second dwelling*” in the George Integrated Zoning Scheme, 2023 which determines the maximum extent of a second dwelling, to accommodate the existing

second dwelling on Erf 129 Hoekwil, as well as for the relaxation of the street and south-eastern boundary building lines on Erf 129 Hoekwil to accommodate the existing buildings on the erf.

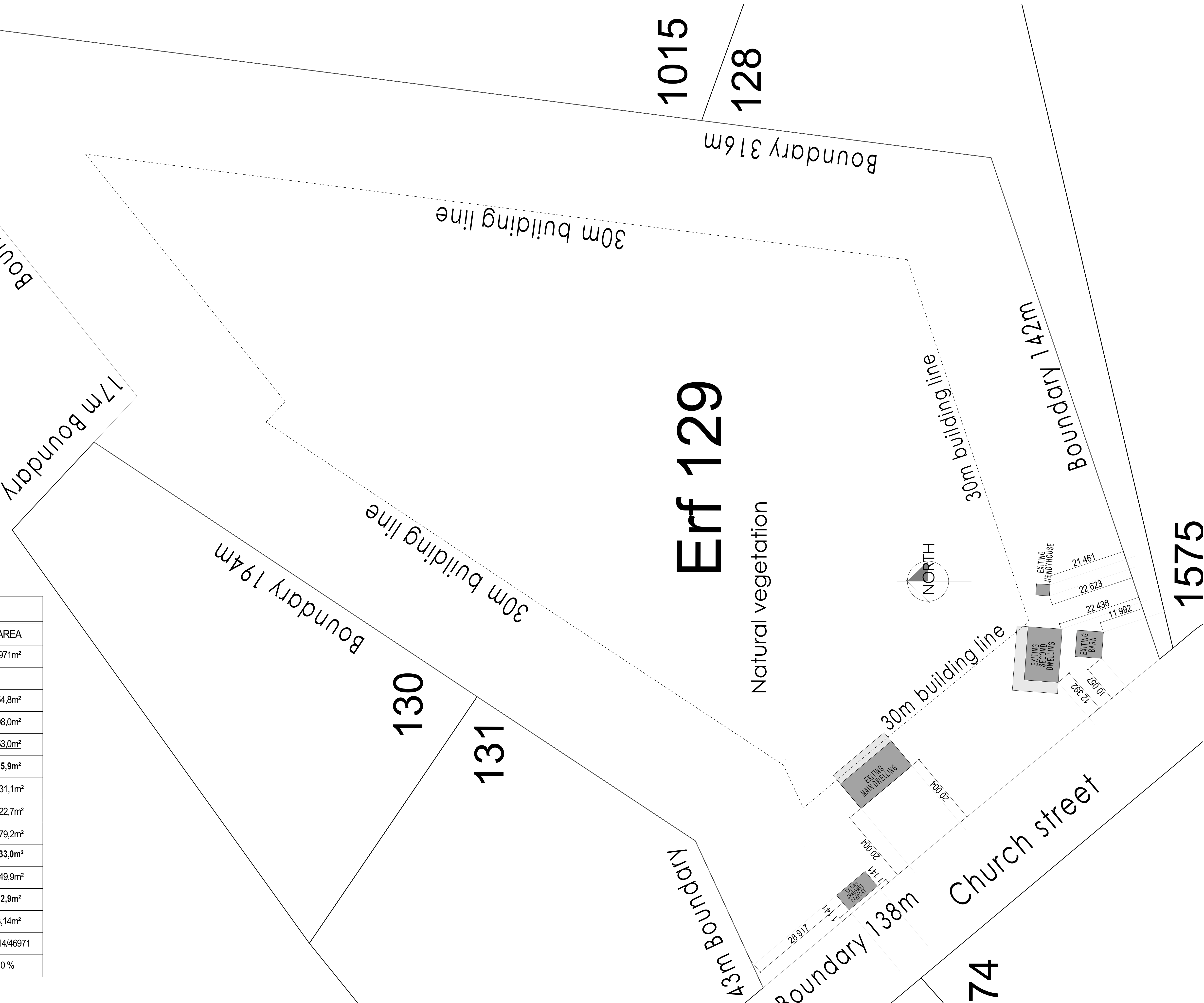
As indicated in this report the proposed application for permanent departures in respect of the application erf is compatible with all existing planning documents, spatial plans, legislation and policy documents applicable to the application.

The proposal will not have a negative impact on the environment, development, public facilities, traffic circulation or Municipal services in the surrounding area.

The application can therefore be considered desirable and is submitted for consideration in terms of the relevant stipulations of the Land Use Planning By-Law for the George Municipality, 2023.

ANNEXURE "A" - PROPOSED SITE PLAN AND BUILDING PLANS

SCHEDULE OF AREA	
	AREA
SITE	46971m²
AS BUILT MAIN DWELLING	
GROUND FLOOR	154,8m²
BASEMENT	208,0m²
COVERED PATIO	<u>53,0m²</u>
TOTAL MAIN DWELLING	415,9m²
EXISTING DWELLING	131,1m²
LOFT	22,7m²
COVERED PATIO	79,2m²
TOTAL EXISTING	233,0m²
AS BUILT GARAGE	49,9m²
TOTAL 2ND DWELLING	282,9m²
TOTAL FOOTPRINT	468,14m²
FAR	468,14/46971
COVERAGE	1,0 %



COPIRIGHT AND RIGHT OF REPRODUCTION OF THIS DRAWING OR ANY PART THEREOF IS RESERVED BY THE DESIGNERS

GENERAL NOTES

QUALITY OF MATERIALS TO COMPLY WITH THE RELEVANT SABS AND BS SPECIFICATION

THE CONTRACTOR IS RESPONSIBLE FOR CORRECT SETTING OUT OF THE BUILDING, ALL EXTERNAL AND INTERNAL WALLS TO BE SET OUT TO BOUNDARIES, BUILDING LINES SERVICES ETC.

THE CONTRACTOR IS TO VERIFY ALL LEVELS, HEIGHTS AND DIMENSIONS ON SITE AND TO CHECK SAME AGAINST THE DRAWING

THE CONTRACTOR IS TO CHECK ALL DETAILS SHOWN ON THIS DRAWING FOR COMPLIANCE WITH GOOD BUILDING PRACTICE WITH PARTICULAR REFERENCE TO SPECIAL REQUIREMENTS AND TO REPORT ANY DISCREPANCIES TO SITE CONDITIONS AND TO REPORT ANY COMMENT TO THE DESIGNERS

THE CONTRACTOR IS TO ENSURE THAT ALL DETAILS AS SHOWN ON THIS DRAWING COMPLY WITH THE LOCAL AUTHORITY BYE-LAWS AND REGULATIONS

THE CONTRACTOR IS TO LOCATE AND IDENTIFY EXISTING SERVICES ON SITE AND TO PROTECT THESE FROM DAMAGE

ANY DISCREPANCIES OR OMISSIONS OF ANY NATURE ARE TO BE REPORTED TO THE DESIGNERS IMMEDIATELY

THE CONTRACTOR IS TO BUILD IN APPROVED DDOS WHETHER OR NOT THESE ARE SHOWN ON THE DRAWINGS, TO ALL EXTERIOR WALLS AT EACH FLOOR, BENCH OR PARAPET LEVEL AND TO ALL WINDOWS, DOORS, GRILLES OR OTHER OPENINGS

EVERY WALL AND WINDOW IS TO BE USED AT LEAST ONCE

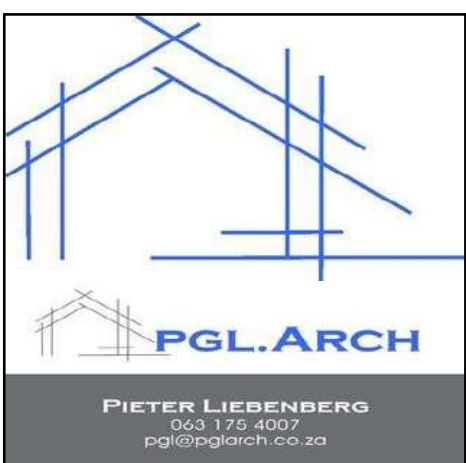
ALL WALLS AND WINDOWS ARE TO BE USED AT LEAST ONCE

ANY QUERIES ARISING FROM ANY OF THE ABOVE MUST BE REPORTED TO THE DESIGNERS FOR CLARIFICATION BEFORE ANY WORK BEGINS

THIS DRAWING IS NOT TO BE SCALED. FIGURED DIMENSIONS ARE TO BE USED AT ALL TIMES

COUNCIL NOTES:

Chimney as per part 'V' of NBR
Pool safety to comply with NBR & SABS 1390
Glazing as per NBR part 'N'

[illegible]

PROJECT TITLE	PROJEKTITEL
PROPOSED AS BUILT DRAWINGS FOR DIMAYA CC ON ERF 129 HOEKWIL FOR	

DRAWING TITLE

SITE PLAN

DRAWING NO
31/25/ 000

SCALE	SKAAL	DRAWN	GETEKEN	REVISION
		PL		02
DATE	DATUM	LAST PLOT DATE		WYSIGING
AUG 2025		2025/08/18		

ANNEXURE "B" - AS BUILT PLANS

Drywalls to comply with SANS 082/ Wood SANS 10163

- Excavations for foundations must be placed in firm, natural ground. The bottom of the excavated foundation must be horizontal at all times and not less than 300mm under the level of the adjoining finished ground level.
- Foundations must be built of concrete with a compression strength of not less than 10MPa at 28 days, or must be mixed in the proportion of, according to volume, of 1 part cement, 4 parts sand and 5 parts rough aggregate.
- Foundations to be placed in expansion soil, shrinking clay or collapsing sand must be designed and built according to engineering specifications.
- Dimensions must correspond with those indicated on the working drawings unless designed by an engineer, in which case the engineer's specification will receive preference.

Floors built of 25mm cement screed on a concrete slab, must not be less than 75mm thick, with a compression strength of not less than 10MPa at 28 days, or mixed in the proportion, according to volume, of 1 part cement, 4 parts sand and 5 parts rough aggregate. The concrete slab rests on a suitable filling of material applied in well compacted layers of not more than 150mm thickness. The filling must be chemically treated to permanently control vegetation growth and insects.

An unprotected waterproof underlayment of not less than 2.5mm (250 micron GUNDLA GREEN) must be laid under the concrete slab on a surface of 50mm thick clean river sand, before casting of the slab commences.

Finished floor levels must be at least 150mm above the adjoining finished ground level

- Unless otherwise indicated, all exterior walls are 220mm thick, whilst interior walls are 110mm thick - refer to working drawings
- All brickwork under floor level must be reinforced every second course with wire brickwork. All brickwork of external walls above window height must be reinforced in this manner every third course. Brick reinforcement must also be applied to both the upper and lower surfaces of all window openings.
- SABS approved dampproof course (dpc) must be inserted under all walls on raw floor level and under all window sills.
- Compression strength requirement for masonry units and mortar must comply with the specification set out in Table 1 Part K of the National Building Regulations.

- Roof Classifications: Class A roof covering includes metal sheets and fibre cement sheets
 - Class B roof covering includes concrete tiles, clay tiles or tiles of similar materials and hatch
 - Class C roof covering includes metal roof tiles
- The class roof covering, roof pitch, specifications for rafters, tie beams, struts and bracings, battens, etc. appears on the relevant section in the working drawings, unless designed by an engineer, in which case the engineering specification must receive preference.
- WATERPROOFING - SABS approved plastic underlay's must be installed on all B-class roofs where the pitch is less than 26 degrees.
- ROOF ANCHORING consists of roof ties of 4mm thick wire not less than 600mm (for sheet covering) and not less than 300mm (for concrete, cement or slate tile roof covering) deeply embedded in positions that are suitable for the anchoring of any wooden truss, rafter or beam to any applicable wall.
- Roof eaves are connected to each other with gannals or 10mm bolts with washers and 75mm wire nails. If required, the supplier of the roof trusses must provide a certificate to the satisfaction of the Local Authority.
- FLASHING of suitable material shall be used where a roof abuts against a wall, or around any projection through a roof covering and at any other place where it is deemed necessary by the Local Authority
- GUTTERS - 75x100mm rainwater gutters with 75mm diameter discharge pipes must be used. If no gutters and downpipes are fitted to the roof, strip paving of at least 100mm wide must be laid around the structure concerned.
- If specified, fibre cement vergeboards and fascias of suitable width and thickness must be fixed to roof truss apexes and batten ends.

- Ceilings are supplied according to contract.
- Gypsum board (RHINOBOARD) and or knotty pine ceilings are to be installed on 38x38mm sa pine brandering with center to center spacing of not more than 450mm, fixed to the brandering with 38mm ceiling nails (gypsum board) and 45mm wire nail pins (knotty pine) with center to center spacing of not more than 150mm
- Brandering to be secured to tie beams or rafters with 75mm wire nails.

All glazing must comply with SABS specification 0400

Glazed openings of windows for the purpose of natural light in habitable rooms shall not be less than 10% or 0.2 square meter, whichever is the greater, of the floor surface area of the room they serve.

The total surface area of an opening, door or glazed opening window which is provided for natural ventilation, must be not less than 5% or 0.2 square meter, whichever is the greater of the floor surface area of the room it serves.

SAFETY GLASS - 6mm thick shattered proof must be fitted in all glass doors and glass sliding doors and must be marked for visibility.

Panels less than 300mm of the finished floor surface that are not guarded by a barrier must be 6mm thick safety glass.

All windows on the first and subsequent floors must be fitted with 6mm thick safety glass and burglar bars.

If designed in that manner, glass serving as stair railings and balustrades must be of 6mm thick safety glass

Glass used in bath screens and shower cubicles must be of 6mm thick safety glass.

Bath and toilet windows must be fitted with rippled, adored or obscured glass.

NOMINAL THICKNESS OF GLASS - The nominal thickness of ordinary clear floated glass in proportion to the surface of the glass pane concerned must be as follows : 0 - 75 square meter : 3mm thick; 0.75 - 1.50 square meters : 4mm thick; greater than 1.50 square meter : 6mm thick

- An inspection eye (ie) must be inserted at all bends, connections and gradient changes, in site drains, whilst a cleaning / rodding eye (ce / re) must be inserted at the inlet or highest point, at all direction changes of more than 45 degrees, within 1500mm from the connection of branch drain, sewer, tank or septic tank, and not less than every 25 meters, where applicable.
- Every cleaning eye must be provided with a permanent access which is covered at natural or finished ground level with an adequate and suitably marked removable device.
- Not less than one gully (g) must be provided in the open air for every site drain at its lowest point. A fresh water tap which maintains the sewer's water level must be provided over the gully.
- All hand wash basins (wb), baths (b), showers (sh), sinks (s), and washtroughs (wt) must be provided with suitable traps and water seals. Shower traps must be of brass.
- Anti-vac traps must be provided on all sanitary fixtures on the second and subsequent levels of buildings.
- Sewer and soil pipes (sp), unless otherwise indicated on the working drawings, must be laid in a straight line between any point where a change of direction or slope occurs, and must be laid at a nominal slope of not less than 1:50
- Sewer pipes must be covered or not by less than 300mm thick soil, while foundations of buildings that cross a sewer line which runs under the building, must be steel reinforced.
- Sewer lines running under buildings must be encased in 100mm concrete and may not change direction or slope under the building.
- Site and branch sewer pipes must be laid not less than 900mm from any structural member of a building, and where the distance is less than 900mm, it must be laid at foundation level or be encased in 100mm thick concrete.
- All wastepipes (wp) must be of a diameter of 50mm.
- Every site sewer must be provided with at least one gully at its lowest point of which the overflow height must not be less than 150mm above the surrounding finished ground level and not less than 50mm above any permanent paving surrounding it.
- HOT WATER SYSTEMS must comply with SANS 10254

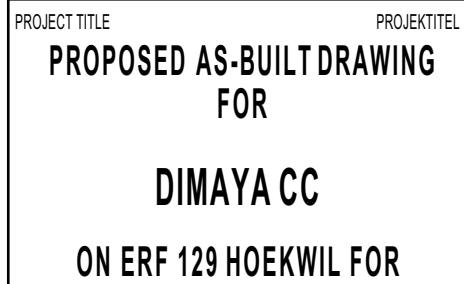
The measurement of any step or staircase should be suitable for the proposed application thereof.
Stairs should be protected against fire by the specifications contained in Regulation M1 and Part F of the National Building Regulations.
The maximum height of any riser should not exceed 250mm, whilst the minimum width of any tread shall not be less than 250mm.
If the risers are not of solid construction, the tread of each riser shall overlap the other with not less than 25mm.
The headroom at any point of a step shall not be less than 2 100mm, whilst the width of any step measured at any enclosing wall or balustrade shall not be less than 750mm.

As a general rule, all steps and balconies must be provided with railings or balustrades not less than 1 000mm in height and constructed in such a manner that openings in the railing shall not exceed 100mm

- Safeguarding of changes in level, ramps and driveways, and access to swimming pools must comply with Part D of SANS 10400, whilst the construction of fences and self closing doors securing swimming pools must comply with SABS 0400 and 1390
- Floor finishing, electrical points/ lighting and other electrical fixtures, sanitary fixtures, kitchen and other cupboards and finishing in general must be done according to contract to the satisfaction of the client



Chimney as per part 'V' of NBR
Pool safety to comply with NBR & SABS 1390
Glazing as per NBR part 'N'

[illegible]

DRAWING TITLE	TEKENINGITITEL
<p>SK SECOND DWELLING PLAN</p>	

DRAWING NO	TEKENING NR
34/25/	002

D:\11. 2025\KIRCHGER TNA\SECOND DWELLING\KIRCHGER HOUSE 2025-03-24.pln

SCALE 1:100	SKAAL 1:50	DRAWN PL	GETEKEN	REVISION
DATE AUG 2025	DATUM	LAST PLOT DATE 2025/08/18		WYSIGING

ANNEXURE "C" - APPLICATION FORM



Application Form for Application(s) Submitted in terms of the Land Use Planning By-Law for George Municipality

NOTE: Please complete this form by using: Font: Calibri; Size: 11

PART A: APPLICANT DETAILS

First name(s)	Johannes George		
Surname	Vrolijk		
SACPLAN Reg No. (if applicable)	A/1386/2010		
Company name (if applicable)	Jan Vrolijk Town Planner / Stadsbeplanner		
Postal Address	P.O. Box 710		
	George	Postal Code	6530
Email	janvrolijk@jvtownplanner.co.za		
Tel	044 873 3011	Fax	086 510 4383
		Cell	082 464 7871

PART B: REGISTERED OWNER(S) DETAILS (if different from applicant)

Registered owner	Dimaya CC, Registration Number CK90/01280/23		
Address	27 Church Street		
	Hoekwil	Postal code	6538
E-mail	leswlange@gmail.com		
Tel	N/a	Fax	N/a
		Cell	082 389 2768

PART C: PROPERTY DETAILS (in accordance with Title Deed)

Property Description [Erf / Erven / Portion(s) and	Erf 129 Hoekwil
---	-----------------

Farm number(s), allotment area.]											
Physical Address	27 Church Street, Hoekwil										
GPS Coordinates					Town/City		George				
Current Zoning	Agricultural Zone II			Extent	4,6971 hectares			Are there existing buildings?		Y	N
Current Land Use	Rural residential										
Title Deed number & date	T20299/90										
Any restrictive conditions prohibiting application?	Y	N	If Yes, list condition number(s).								
Are the restrictive conditions in favour of a third party(ies)?	Y	N	If Yes, list the party(ies).								
Is the property encumbered by a bond?	Y	N	If Yes, list Bondholder(s)?								
Has the Municipality already decided on the application(s)?	Y	N	If yes, list reference number(s)?								
Any existing unauthorized buildings and/or land use on the subject property(ies)?					Y	N	If yes, is this application to legalize the building / land use?			Y	N
Are there any pending court case / order relating to the subject property(ies)?					Y	N	Are there any land claim(s) registered on the subject property(ies)?			Y	N
PART D: PRE-APPLICATION CONSULTATION											
Has there been any pre-application consultation?			Y	N	If Yes, please complete the information below and attach the minutes.						
Official's name	N/a			Reference number	N/a			Date of consultation	N/a		

PART E: LAND USE APPLICATIONS IN TERMS OF SECTION 15 OF THE LAND USE PLANNING BY-LAW FOR GEORGE MUNICIPALITY & APPLICATION FEES PAYABLE

***Application fees that are paid to the Municipality are non-refundable and proof of payment of the application fees must accompany the application.**

BANKING DETAILS

Name: **George Municipality**
Bank: **First National Bank (FNB)**
Branch no.: **210554**
Account no.: **62869623150**
Type: **Public Sector Cheque Account**
Swift Code: **FIRNZAJJ**
VAT Registration Nr: **4630193664**
E-MAIL: **msbrits@george.gov.za**
***Payment reference:** Erven ____, George/Wilderness/Hoekwil...

PART F: DETAILS OF PROPOSAL

Brief description of proposed development / intent of application:

An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for permanent departures in respect of the following on Erf 129 Hoekwil:

- **the stipulation in development parameter (a) applicable to a “second dwelling” in the George Integrated Zoning Scheme, 2023 which determines that “The total floor space of a second dwelling unit may not exceed 175m², which includes the floor space of all ancillary buildings” to accommodate the existing second dwelling of 276.30m².**
- **the relaxation of the following building lines:**
 - **the Church Street street boundary building line from 30.0 metres to:**
 - ❖ **20.004 metres to accommodate the dwelling house.**
 - ❖ **12.392 metres to accommodate the second dwelling.**
 - ❖ **10.057 metres to accommodate the double garage, and**
 - ❖ **1,141 metres to accommodate the shade-cloth carport.**
 - **the south-eastern side boundary building line from 30.0 metres to:**
 - ❖ **22.438 metres to accommodate the second dwelling unit.**
 - ❖ **11.992 metres to accommodate the double garage, and**
 - ❖ **to a distance varying from 21.461 metres to 22.623 metres to accommodate the Wendy-house.**
 - **the northwestern side boundary building line from 30 metres to 28.917 metres to accommodate the shade-cloth carport.**

PART G: ATTACHMENTS & SUPPORTING INFORMATION FOR LAND USE PLANNING APPLICATIONS

Please complete the following checklist and attach all the information relevant to the proposal. Failure to submit all information required will result in the application being deemed incomplete.

Is the following compulsory information attached?

Y	N	Completed application form	Y	N	Pre-application Checklist (where applicable)
Y	N	Power of Attorney / Owner's consent if applicant is not owner	Y	N	Bondholder's consent
Y	N	Motivation report / letter	Y	N	Proof of payment of fees
Y	N	Full copy of the Title Deed	Y	N	S.G. noting sheet extract / Erf diagram / General Plan
Y	N	Locality Plan	Y	N	Site layout plan

Minimum and additional requirements:

Y	N	N/A	Conveyancer's Certificate	Y	N	N/A	Land Use Plan / Zoning plan
Y	N	N/A	Proposed Subdivision Plan (including street names and numbers)	Y	N	N/A	Phasing Plan
Y	N	N/A	Consolidation Plan	Y	N	N/A	Copy of original approval letter (if applicable)
Y	N	N/A	Site Development Plan	Y	N	N/A	Landscaping / Tree Plan
Y	N	N/A	Abutting owner's consent	Y	N	N/A	Home Owners' Association consent
Y	N	N/A	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) (strikethrough irrelevant)	Y	N	N/A	1:50 / 1:100 Flood line determination (plan / report)
Y	N	N/A	Services Report or indication of all municipal services / registered servitudes	Y	N	N/A	Required number of documentation copies
Y	N	N/A	Any additional documents or information required as listed in the pre-application consultation form / minutes	Y	N	N/A	Other (specify)

PART H: AUTHORISATION(S) IN TERMS OF OTHER LEGISLATION

Y	N/A	National Heritage Resources Act, 1999 (Act 25 of 1999)	Y	N/A	Specific Environmental Management Act(s) (SEMA) (e.g. Environmental Conservation Act, 1989 (Act 73 of 1989), National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004), National Environmental Integrated Coastal Management Act, 2008 (Act 24 of 2008), National Environmental Management: Waste Act, 2008 (Act 59 of 2008), National Water Act, 1998 (Act 36 of 1998) (strikethrough irrelevant)
Y	N/A	National Environmental Management Act, 1998 (Act 107 of 1998)			
Y	N/A	Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)			
Y	N/A	Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)(SPLUMA)			
Y	N/A	Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations			
Y	N/A	Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)	Y	N/A	Other (specify)
Y	N	If required, has application for EIA / HIA / TIA / TIS / MHIA approval been made? If yes, attach documents / plans / proof of submission etc. N/A			
Y	N	If required, do you want to follow an integrated application procedure in terms of section 44(1) of the Land-Use Planning By-law for George Municipality?			

SECTION I: DECLARATION

I hereby wish to confirm the following:

1. That the information contained in this application form and accompanying documentation is complete and correct.
2. The Municipality has not already decided on the application.
3. I'm aware that it is an offense in terms of section 86(1)(d) to supply particulars, information or answers in an application, knowing it to be false, incorrect or misleading or not believing them to be correct.
4. I am properly authorized to make this application on behalf of the owner and (where applicable) copies of such full relevant Powers of Attorney/Consent are attached hereto.
5. I have been appointed to submit this application on behalf of the owner and it is accepted that correspondence from and notifications by the Municipality in terms of the by-law will be sent only to me as the authorised agent and the owner will regularly consult with the agent in this regard (where applicable).
6. That this submission includes all necessary land use planning applications required to enable the development proposed herein.
7. I confirm that the relevant title deed(s) have been read and that there are no restrictive title deed restrictions, which impact on this application, or alternatively an application for removal/amendment/suspension forms part of this submission.
8. I am aware of the status of the existing bulk services and infrastructure in the subject area and that I am liable for any possible development charges which may be payable as a result of the proposed development.
9. I acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.

Applicant's signature:



Date:

20 August 2025

Full name:

Johannes George Vrolijk

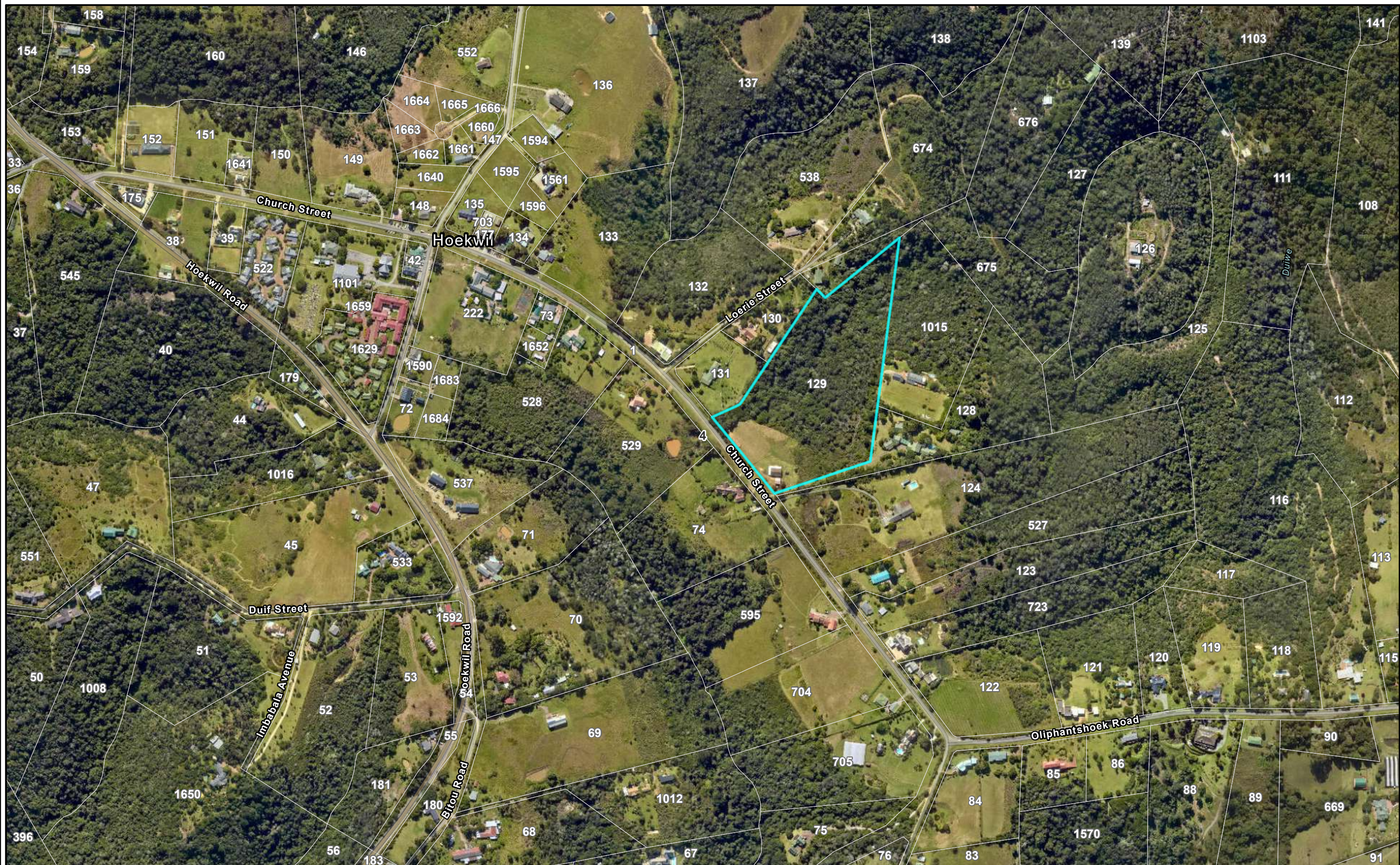
Professional capacity:

Professional Town Planner

SACPLAN Reg. Nr:

A/1386/2010

ANNEXURE "D" - LOCALITY PLAN



0 0.15 0.3 0.6 km

Date: 5/19/2025 2:14 PM

Scale: 1:5,771



Disclaimer
George Municipality makes no warranties as to the correctness of the information supplied.
Persons relying on this information do so entirely at their own risk.

George Municipality will not be liable for any claims whatsoever, whether for damages or otherwise,
which may arise as a result of inaccuracies in the information supplied.

ANNEXURE “E” – SURVEYOR GENERAL DIAGRAM

ONDERVERDELINGSKAART, ART. 24 (b), WET Nr. 9 VAN 1927.

Afgetrek van Plan 1789LD

	SYE Kaapse Voet	RIGTINGS- HOEKE
AB	1002.10	7. 21. 40
BC	447.97	71. 29. 30
CD	439.38	140. 02. 00
DE	137.74	245. 16. 40
EF	222.75	213. 28. 30
FG	391.77	213. 37. 20
GH	53.59	313. 02. 40
HA	425.33	231. 07. 10

Nr. 5063/61

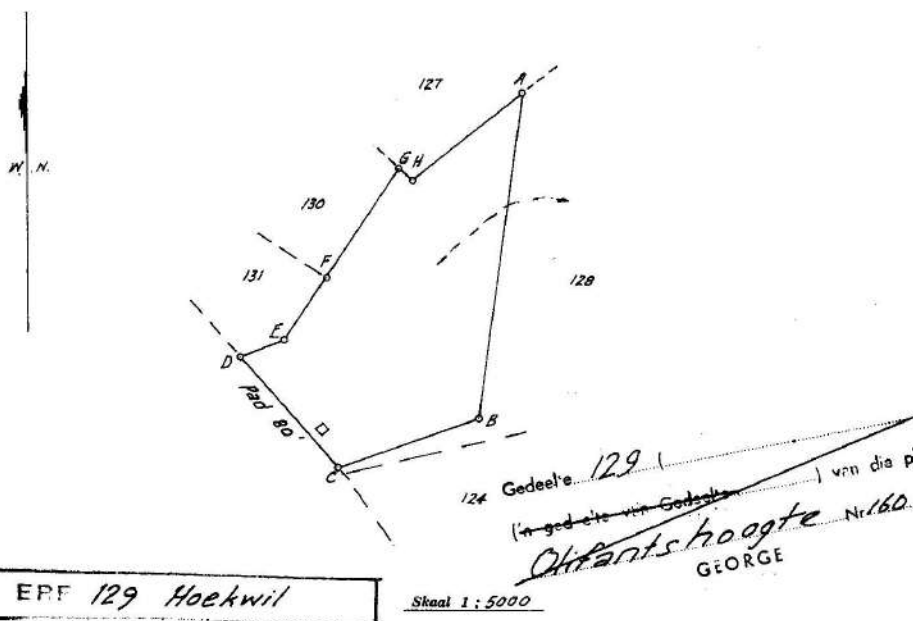
Goedgekeur.

Alderman Heuvel
Landmeter-Generaal.
29.6.1961

Beskrywing van Bakens:

ABCDEFGH

$\frac{3}{4}$ " Ysterpen



Die figuur ABCDEFGH

stel voor 5.4838 Morge

Gedeelte 129

grond synde

van die plaas

OLIFANTSHOOGTE

geleë in die Afdeling George, Provinsie Kaap die Goeie Hoop.

Opgemeet in Julie 1956 — Desember 1959 deur my

R. J. Barry
Landmeter.

B

Hierdie kaart is geheg aan

T/A 11482/65

Die oorspronklike kaart is
Nr. 6009/60 geheg aan

L.G. Lëer Nr. S/4924
Meetstukke Nr. E. 1091/60
Alg. Plan 1789LD
Gradevel BL-8CC
BL-8CD

S
C

Registrateur van Aktes

B & S.P.C.T.-A7122

129
160/129

ANNEXURE “F” - TITLE DEED

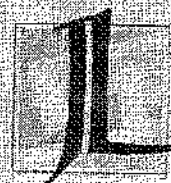
'A3'

DEED OF TRANSFER NO. T20299/1990

DIMAYA CC
ERF 129 HOEKWIL

PROKUREURS/ATTORNEYS
BOEDELBEREDEERders/
ADMINISTRATORS OF ESTATES


Stadco Building (First floor)
126 York Street/Yorkstraat 126
[Posbus/PO Box 9088]
Docex 9
GEORGE 6530
Tel: 044-8730278
Fax: 044-8840683



ENDOSSEMENT IN TERME VAN ARTIKEL 34(2) VAN DIE GEORGE
MUNISIPALITEIT SE VERORDENING OP MUNISIPALE
GRONDGEBRUIKBEPLANNING
ENDORSEMENT IN TERMS OF SECTION 34(2) OF THE GEORGE
MUNICIPALITY BY-LAW ON MUNICIPAL LAND USE PLANNING

Voorwaardes hierin is
Conditions E. (b) herein are
gewysig / opgeskort / opgehef kragtens Kennisgewing Nr.
altered / suspended / removed in terms of Notice No. 54291
gedateer in Provinsiale Koerant Nr.
dated 02/12/2016 In Provincial Gazette No. 7708
onderworpe aan voorwaardes daarin gemeld
subject to conditions mentioned therein

Aktekantoor, Kaapstad
Deeds Registry, Cape Town
Datum
Dated 10 APR 2017


Registrateur van Aktes
Registrar of Deeds

And the said Appearer declared that on the 19th DECEMBER 1989 his Principal as aforesaid sold the following property to the undermentioned transferee:

and that he in his capacity aforesaid did, by these presents, cede and transfer, in full and free property, to and on behalf of

DIMAYA CC

No. CK90/01280/23

- WHITE GROUP -

its Assigns

ERF 129 HOEKWIL in the Area of the Local Council of Hoekwil, Division of George;

IN EXTENT : 4,6971 (Four Comma Six Nine Seven One) Hectares;

FIRST TRANSFERRED by Deed of Transfer No. 11482/1965 with Diagram No. 5063/61 relating thereto and HELD BY Deed of Transfer No. 149591/1983.

- A. SUBJECT to such conditions which are referred to in Deed of Transfer No. 11482/1965.
- B. SUBJECT FURTHER to the terms of the endorsement dated 16 March 1956 on Deed of Transfer No. 5973/1952, dated 23 April 1952, which endorsement reads as follows :-

"Kragtens Not. Akte Nr. 134/56 gedateer 30.11.55 is die Restant van Olifants Hoek Forest Reserve : Groot 994,2999 hektaar hieronder gehou onderhewig aan die volgende voorwaardes :-

- (a) Sulke regte van opdam stoor en waterleiding soos in die gesegde Not. Akte uiteengesit.
- (b) 'n Reg van pyplyn aangedui deur die letters A gekromde blou lyn b op serwituut Kaart 8673/54.

(c) Die reg van gebruik, hernuwing en instandhouding van gesegde installasies.

(d) Die reg van toegang tot voornoemde installasies.

Watter voorwaardes opgelê is ten gunste van Gedeelte 22 (n Gedeelte van Gedeelte 21) van die plaas Klein Kranz, gehou onder T 19388/54 soos meer breedvoerig sal blyk met verwysing na gesegde Not. Akte, n afskrif waarvan hieraan geheg is."

C. ALSO SUBJECT to the terms of an endorsement dated 16th March 1956 on Deed of Transfer No. 5973 dated 23 April 1952, which endorsement reads as follows :-

"Registrasie van Serwituut :

Kragtens Notariële Akte Nr 136/1956 ged. 6.9.55 is die restant van Olifants Hoek Forest Reserve : groot 994,2999 hektaar onder Para 1 hierin gehou, onderhewig aan n Serwituut reg van weg 7,56 meter wyd soos aangedui deur die letters Gy (oostelike grens) yH (noordelike grens) op Kaart nr. 4939/53 ten gunste van gedeelte 20 (ged. van Perseel D) van die plaas Klein Kranz gehou onder T 3585/56, onderhewig aan sekere voorwaardes soos meer volledig sal blyk met verwysing na gesegde Notariële Akte, n afskrif waarvan hieraan geheg is."

D. SUBJECT FURTHER to the following uniform conditions contained in Certificate of Uniform Title No. 20225/1963 dated 9 December 1963, imposed by the Minister when approving the issue of the said Certificate of Uniform Title, namely :-

(i) Behoudend die bepalings van die Wet op die Ontginning van Voorbehouden Mineralen, 1926, en van die Wet op Edelgesteentes, 1927, soos gewysig, word alle regte op alle minerale, mineraal produkte, mineraalolies, steenkool, onedele of edele metale of edelgesteentes op of onder die grond ten gunste van die Republiek van Suid-Afrika voorbehou (ten opsigte waarvan Sertifikaat van Minerale Regte Nr. 28 gedateer 9 Desember 1963 uitgereik is).

(ii) Die reg om grond te neem en materiaal te verkry en te verwyder vir die bou en herstel van openbare paaie.

E. ALSO SUBJECT to the following conditions contained in Deed of Transfer No. 11499 dated 7 May 1965, imposed by the Administrator of the Cape Province in terms of Section 196 of Ordinance No. 15 of 1952, as amended, when approving the subdivision of the farm Olifantshoogte, which conditions may be amended or relaxed by him namely :-

- (a) Dit mag net vir woon- en landboudoeleindes gebruik word.
- (b) Geen geboue uitgesonderd een woning vir gebruik deur 'n enkele familie, tesame met die buitegeboue wat gewoonlik nodig is om in verband daarmee gebruik te word, mag op hierdie grond opgerig word nie.

✓

Wherefore the Appearer, renouncing all the Right and Title which the said
TRANSFEROR

heretofore had to the premises, did, in consequence also acknowledge the said TRANSFEROR
to be entirely dispossessed of, and disentitled to, the same; and that, by virtue of these Presents, the said
CLOSE CORPORATION

its ~~Hereditary Administrator or Assigns~~, now is and henceforth shall be entitled thereto, conformably
to local custom, The State, however, reserving its rights, and finally acknowledging the said TRANSFEROR
to be satisfactorily paid or secured the whole of the purchase money
amounting to the sum of R100 000,00 (ONE HUNDRED THOUSAND RAND).

In witness whereof, I, the said Registrar of Deeds, together with the Appearer, q.q., have subscribed to
these Presents and have caused the Seal of Office to be affixed thereto.

Thus done and executed, at the Office of the Registrar of Deeds

at CAPE TOWN
on 10th April 1990.

In my presence,

Registrar of Deeds.

q.q.

1. Transfer Duty Receipt No. _____ Issued
OR Exemption Certificate* _____
at _____
on _____ for
R _____

2. Rates Clearance Certificate issued by
(i) _____
valid till _____
(ii) _____
valid till _____

Checked: 1. _____
2. _____

*Delete which is not applicable.

If necessary, insert a Registration Clause, etc., approved by the Registrar.

ANNEXURE “G” – CLOSED CORPORATION REGISTRATION CERTIFICATE

**Certificate issued by the Commissioner of Companies & Intellectual
Property Commission on Monday, May 20, 2024 at 15:39**



Disclosure Certificate: Companies and Close Corporations

Registration Number: 1990 / 001280 / 23
Enterprise Name: DIMAYA

ENTERPRISE INFORMATION

Registration Number 1990 / 001280 / 23
Enterprise Name DIMAYA
Registration Date 18/01/1990
Business Start Date 18/01/1990
Enterprise Type Close Corporation
Enterprise Status In Business
Compliance Notice Status NONE
Financial Year End February
TAX Number 9012879269

Addresses	<u>POSTAL ADDRESS</u>	<u>ADDRESS OF REGISTERED OFFICE</u>
	27 CHURCH STREET HOEKWIL HOEKWIL WESTERN CAPE 6538	27 CHURCH STREET HOEKWIL HOEKWIL WESTERN CAPE 6538

ACTIVE MEMBERS / DIRECTORS

Surname and First Names	Type	ID Number / Date of Birth	Contrib. (R)	Interest (%)	Appoint. Date	Address
KRUGER, SCHERRENTINA	Member	1982-08-17	10.00	50.00	28/10/2021	Postal: 27 CHURH STREET, HOEKWIL, WESTERN CAPE, 6538 Residential: 27 CHURH STREET, HOEKWIL, WESTERN CAPE, 6538
LANGE, LESLIE WILLIAM TRUSTEE OF: HENTINA TRUST: IT 4054/94	InterVivos Trust	5605225015081	10.00	50.00	28/10/2021	Postal: 27 CHURCH STREET, HOEKWIL, WESTERN CAPE, 6538 Residential: 27 CHURCH STREET, HOEKWIL, WESTERN CAPE, 6538

AUDITOR DETAILS

Auditor Name	Type	Status	Appointment Date	Resignation Date	Email Address
GRIESEL VAN HEERDEN AND DE BEER	ACC	Name Change	1990-01-18		
Profession Number:					
JGM THERON	ACC	Resign	2014-01-16		
Profession Number: 2824					
GRIESEL VAN HEERDEN AND DE BEER	ACC	Resign	1990-01-18		
Profession Number: 0000					



**Certificate issued by the Commissioner of Companies & Intellectual
Property Commission on Monday, May 20, 2024 at 15:39**



Disclosure Certificate: Companies and Close Corporations

Registration Number: 1990 / 001280 / 23

Enterprise Name: DIMAYA

DANHAUSER INC ACC Current ACTIVE

Profession Number: 900643

CHANGE SUMMARY

18/01/1990 Registered Address Change on 18/01/1990.
PLOT 199
WATERVAL
PRETORIA
0120
0120

11/03/2014 Postal Address Change on 11/03/2014.
P O BOX 910600
PYRAMID
0120

11/03/2014 Accounting Officer Change on 11/03/2014.
Change Record
Name: = GRIESEL VAN HEERDEN AND DE BEER
Status: = Resign

01/01/2016 Status changed to Unknown.
No Valid SMS or Email Address for enterprise B1990001280

25/02/2019 Annual Return completed on 25/02/2019.
Company / Close Corporation AR Filing - Web Services : Ref No. : 5166093360

20/04/2020 Annual Return completed on 20/04/2020.
Company / Close Corporation AR Filing - Web Services : Ref No. : 5245003023

19/11/2021 Registered Address Change on 19/11/2021.
129 CHURCH STREET HOEKWIL WILDERNIS GAUTENG6538

19/11/2021 Registered Address Change on 19/11/2021.
27 CHURCH STREET HOEKWIL HOEKWIL WESTERN CAPE6538

28/10/2021 Principle Business Change on 28/10/2021.
8

28/10/2021 Member Change on 28/10/2021.
Add Record
Surname/Instit : = ANGE
First Names : = LESLIE WILLIAM
Status : = Active

10/11/2021 Member Change on 10/11/2021.
Change Record
Surname/Instit : = LANGE
First Names : = LESLIE WILLIAM
Status : = Active

06/01/2022 Member Change on 06/01/2022.
Change Record
Surname/Instit : = KRUGER
First Names : = SCHERRENTINA
Status : = Active

06/01/2022 Member Change on 06/01/2022.
Change Record
Surname/Instit : = KRUGER
First Names : = JACOBUS GERRIT
Status : = Active

06/01/2022 Status changed to Unknown.
No Valid SMS or Email Address for enterprise B1990001280

Physical Address

the dti Campus - Block F
77 Meintjies Street
Sunnyside 0001

Postal Address: Companies

P O Box 429
Pretoria
0001

Docex: 256

Web: www.cipc.co.za

Contact Centre: 086 100 2472 (CIPC)

Contact Centre (International): +27 12 394 9573



**Certificate issued by the Commissioner of Companies & Intellectual
Property Commission on Monday, May 20, 2024 at 15:39**



Disclosure Certificate: Companies and Close Corporations

Registration Number: **1990 / 001280 / 23**

Enterprise Name: **DIMAYA**

06/01/2023 Status changed to Unknown.
No Valid SMS or Email Address for enterprise B1990001280

01/02/2023 Annual Return completed on 01/02/2023.
Company / Close Corporation AR Filing - Web Services : Ref No. : 5379750164

09/01/2024 Status changed to Unknown.
No Valid SMS or Email Address for enterprise B1990001280

20/05/2024 Principle Business Change on 20/05/2024.
8

20/05/2024 Member Change on 20/05/2024.
Change Record
Surname/Instit : = KRUGER
First Names : = SCHERRENTINA
Status : = Active

18/01/1990 Member Change on 18/01/1990.

11/03/2014 Registered Address Change on 11/03/2014.
PLOT 199
WATERVAL
PRETORIA
0120

11/03/2014 Accounting Officer Change on 11/03/2014.
Add Record
Name: = JGM THERON
Status: = Current

13/01/2015 Annual Return completed on 13/01/2015.
Company / Close Corporation AR Filing - Web Services : Ref No. : 523608638

22/04/2017 Status changed to Annual Return In De-registration on 22/04/2017.
Annual Return Non Compliance - In Process of Deregistration Last Payment for AR Year/Month is 2015/1.

02/03/2018 Status changed to Cancellation of Annual Return De-registration Process on 02/03/2018.
Company / Close Corporation AR Filing - Web Services : Ref No. : 5106672144

01/01/2020 Status changed to Unknown.
No Valid SMS or Email Address for enterprise B1990001280

28/10/2021 Member Change on 28/10/2021.
Change Record
Surname/Instit : = VAN NIEKERK
First Names : = IZAK JOHANNES
Status : = Resigned

28/10/2021 Member Change on 28/10/2021.
Add Record
Surname/Instit : = KRUGER
First Names : = SCHERRENTINA
Status : = Active

07/12/2021 Accounting Officer Change on 07/12/2021.
Add Record
Name : = DANHAUSER INC
Status : = Current

04/03/2022 Annual Return completed on 04/03/2022.
Company / Close Corporation AR Filing - Web Services : Ref No. : 5361744388

23/01/2024 Annual Return completed on 23/01/2024.
Company / Close Corporation AR Filing - Web Services : Ref No. : 5401568538

18/01/1990 Postal Address Change on 18/01/1990.

Physical Address

the dti Campus - Block F
77 Meintjies Street
Sunnyside 0001

Postal Address: Companies

P O Box 429
Pretoria
0001

Docex: 256

Web: www.cipc.co.za

Contact Centre: 086 100 2472 (CIPC)

Contact Centre (International): +27 12 394 9573



**Certificate issued by the Commissioner of Companies & Intellectual
Property Commission on Monday, May 20, 2024 at 15:39**



Disclosure Certificate: Companies and Close Corporations

Registration Number: **1990 / 001280 / 23**

Enterprise Name: **DIMAYA**

P O BOX 910600
PYRAMID

0120
18/01/1990 Registration of CC/CO on 18/01/1990.

23/12/2013 Annual Return completed on 23/12/2013.
Company / Close Corporation AR Filing - Web Services : Ref No. : 53967790

11/03/2014 Accounting Officer Change on 11/03/2014.
Add Record
Name: = GRIESEL VAN HEERDEN AND DE BEER
Status: = Resign

11/03/2014 Member Change on 11/03/2014.
Change Record
Surname: = VAN NIEKERK
First Names: = IZAK JOHANNES
Status: = Active

23/01/2015 Status changed to Unknown.
No Valid SMS or Email Address for enterprise B1990001280

02/01/2017 Status changed to Unknown.
No Valid SMS or Email Address for enterprise B1990001280

02/01/2018 Status changed to Unknown.
No Valid SMS or Email Address for enterprise B1990001280

02/01/2019 Status changed to Unknown.
No Valid SMS or Email Address for enterprise B1990001280

13/01/2021 Status changed to Unknown.
No Valid SMS or Email Address for enterprise B1990001280

06/02/2021 Annual Return completed on 06/02/2021.
Company / Close Corporation AR Filing - Web Services : Ref No. : 5340846046

28/10/2021 Member Change on 28/10/2021.
Add Record
Surname/Instit : = KRUGER
First Names : = JACOBUS GERRIT
Status : = Active

07/12/2021 Postal Address Change on 07/12/2021.
27 CHURCH STREET
HOEKWIL
HOEKWIL
WESTERN CAPE
6538

07/12/2021 Registered Address Change on 07/12/2021.
27 CHURCH STREET
HOEKWIL
HOEKWIL
WESTERN CAPE
6538

07/12/2021 Accounting Officer Change on 07/12/2021.
Change Record
Name : = JGM THERON
Status : = Resign

06/01/2022 Principle Business Change on 06/01/2022.
8

06/01/2022 Member Change on 06/01/2022.

Physical Address

the dti Campus - Block F
77 Meintjies Street
Sunnyside 0001

Postal Address: Companies

P O Box 429
Pretoria
0001

Docex: 256

Web: www.cipc.co.za

Contact Centre: 086 100 2472 (CIPC)

Contact Centre (International): +27 12 394 9573





Disclosure Certificate: Companies and Close Corporations

Registration Number: 1990 / 001280 / 23
Enterprise Name: DIMAYA

20/05/2024 Change Record
Member Surname/Instit : = LANGE
Change on 20/05/2024.
First Names : = LESLIE WILLIAM
Status : = Active

Change Record
Surname/Instit : = KRUGER
First Names : = JACOBUS GERRIT
Status : = Resigned



ANNEXURE “H” - POWER OF ATTORNEY

POWER OF ATTORNEY

We, the undersigned

Leslie William Lange (Authorized Trustee of Die Hentina Trust IT4054/94) and Scherrentina Kruger

in our capacity as the members of

Dimaya CC Registration Number CK90/01280/23

the registered owner of

Erf 129 Hoekwil

do hereby appoint Jan Vrolijk Town Planner/Stadsbeplanner to prepare, sign and submit the following applications to the George Municipality:

An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for permanent departures in respect of the following on Erf 129 Hoekwil:

- the stipulation in development parameter (a) applicable to a “second dwelling” in the George Integrated Zoning Scheme, 2023 which determines that *“The total floor space of a second dwelling unit may not exceed 175m², which includes the floor space of all ancillary buildings”* to accommodate the existing second dwelling of 276.30m².
- the relaxation of the following building lines:
 - the Church Street street boundary building line from 30.0 metres to:
 - 20.004 metres to accommodate the dwelling house.
 - 12.392 metres to accommodate the second dwelling.
 - 10.057 metres to accommodate the double garage, and
 - 1,141 metres to accommodate the shade-cloth carport.

- the south-eastern side boundary building line from 30.0 metres to:
 - 22.438 metres to accommodate the second dwelling unit.
 - 11.992 metres to accommodate the double garage, and
 - to a distance varying from 21.461 metres to 22.623 metres to accommodate the Wendy-house.
- the northwestern side boundary building line from 30 metres to 28.917 metres to accommodate the shade-cloth carport.

Signed at Hoekwil on 19 August 2025

Leslie William Lange



Scherrentina Kruger



RESOLUTION PASSED BY THE TRUSTEES OF




DIE HENTINA TRUST (“the Trust”)

RESOLVED THAT

- 1 50% of the shares of **DIMAYA cc (“the cc”)** with registration number 1990/001280/23, are held by the Hentina Trust.
- 2 **LESLIE WILLIAM LANGE** with ID 5605225015081, in his capacity as a Trustee of the Trust, is appointed as a member of the cc, and is hereby authorised to execute the necessary Power of Attorney to act on behalf of the Trust for the cc.

CERTIFIED A TRUE COPY

SIGNED BY THE TRUSTEES:

	Hoekwil	19 August 2025
LESLIE WILLIAM LANGE	_____ PLACE	_____ DATE
	Hoekwil	19 August 2025
DELFINA CANDIDA LANGE	_____ PLACE	_____ DATE
	Sandton	19 August 025
DESMOND RICHARD LANGE	_____ PLACE	_____ DATE

Department:
Justice and Constitutional Development
REPUBLIC OF SOUTH AFRICA

MASTER OF THE HIGH COURT: PRETORIA

MAGTIGINGSBRIEF
LETTERS OF AUTHORITY

Ingevolge artikel 6(1) van die Wet op Beheer oor Trustgoed, 1988 (Wet 57 van 1988)/
In terms of section 6(1) of the Trust Property Control Act, 1988 (Act 57 of 1988)

No: **IT 4053/94**

Hiermee word gesertifiseer dat /

This is to certify that **LESLIE WILLIAM LANGE – 560522 5015 008**

DELFINA CANDIDA LANGE – 590131 0070 085

DESMOND RICHARD LANGE – 670428 5028 081

gemagtig word om op te tree as trustee(s) van die /

is/are hereby authorized to act as trustee(s) of the **HENTINA**

Trust /
Trust.

GEGEE onder my hand te
GIVEN under my hand at

op hede die
this

dag van
day of

ASST. MEESTER VAN DIE HOOGGEREGSHOF
ASST. MASTER OF THE HIGH COURT

J246A/*AN



ANNEXURE "I" - CONVEYANCER CERTIFICATE

CONVEYANCER'S CERTIFICATE

IN TERMS OF SECTION 38(1)(n) OF THE GEORGE MUNICIPALITY: LAND USE PLANNING BY LAW, 2023

ERF 129 HOEKWIL

APPLICATION DETAILS

An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for permanent departures in respect of the following on Erf 129 Hoekwil:

- *the stipulation in development parameter (a) applicable to a “second dwelling” in the George Integrated Zoning Scheme, 2023 which determines that “The total floor space of a second dwelling unit may not exceed 175m², which includes the floor space of all ancillary buildings” to accommodate the existing second dwelling of 276.30m².*
- *the relaxation of the following building lines:*
 - *the Church Street street boundary building line from 30.0 metres to:*
 - *20.004 metres to accommodate the dwelling house.*
 - *12.392 metres to accommodate the second dwelling.*
 - *10.057 metres to accommodate the double garage, and*
 - *1,141 metres to accommodate the shade-cloth carport.*
 - *the south-eastern side boundary building line from 30.0 metres to:*
 - *22.438 metres to accommodate the second dwelling unit.*
 - *11.992 metres to accommodate the double garage, and*
 - *to a distance varying from 21.461 metres to 22.623 metres to accommodate the Wendy-house.*
 - *the northwestern side boundary building line from 30 metres to 28.917 metres to accommodate the shade-cloth carport.*

APPLICATION DATE

August 2025

I, the undersigned

ANDALEEN CHIMES a duly qualified and admitted Conveyancer, practicing at A Chimes & Van Wyk Attorneys, Cathedral Street, George do hereby certify as follows:

1. I have perused the following title Deed/s and conducted a search behind the pivot of the said title deed/s at the Deeds Office, Cape Town:

T20299/90 (current Title Deed)

in respect of:

**ERF 129 HOEKWIL
IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE**

IN EXTENT: 4,6971 (FOUR COMMA SIX NINE SEVEN ONE) HECTARES

HELD BY DEED OF TRANSFER NUMBER T20299/90

REGISTERED in the name of

DIMAYA CC REGISTRATION NUMBER CK90/01280/23

2. I have appraised myself with the details of the abovementioned Land Development Application.
3. The abovementioned Title Deed contains no conditions restricting the contemplated Land Use in terms of the abovementioned Land Development Application.
4. There is no bond registered over the property.

SIGNED at GEORGE on 15 August 2025



CONVEYANCER