



TOWN PLANNING

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DEVELOPMENT MANAGEMENT CONSULTING

PROPOSED PERMANENT DEPARTURES FOR MADELYN KÖHLER

ERF 2045

NUM NUM CRESCENT, CONSTANTIA KLOOF, WILDERNESS
GEORGE MUNICIPALITY & DIVISION



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Aerial images:

<https://gis.elsenburg.com/apps/cfm/#>
<https://gis.george.gov.za/portal/apps/webappviewer/index.html?id=0283eccf869641e0a4362cb099290fca>
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PROPOSED PERMANENT DEPARTURES

**ERF 2045, NUM NUM CRESCENT,
CONSTANTIA KLOOF, WILDERNESS
GEORGE MUNICIPALITY & DIVISION**

1. BACKGROUND INFORMATION

Erf 2045 Wilderness is a developed, Single Residential Zone I-property located in Constantia Kloof, a residential area of Wilderness. This property is located in the eastern section of Constantia Kloof, abutting a large green belt (public open space – Open Space Zone I) to the east and overlooking the Touw River and the Indian Ocean to the south. The development known as Constantia Kloof was originally approved by the former Provincial Administration of the Western Cape (PAWC), now the Western Cape Government, in 1996 (**Annexure 1**). Building plans for the dwelling house on the property were approved in 2003 whereafter construction took place.

Since the approval of these plans, minor additions and alterations have been made to the house by both previous and the current owner, part of maintenance and improvement expected for residential properties, resulting in minor deviations from the approved plan. Firstly, it is important to note that at the time of the 2003 approval, the property was subject to a 2.0m building line restriction for the side and rear boundary (see the former Section 7 zoning scheme regulations for Wilderness for the exact wording of the building line parameter). Due to the proposed changes in the use of certain rooms, a building line relaxation is now also required. The previous owners also enclosed the level below the dwelling house, effectively creating a third ‘storey’ when viewed on plans and when present within the southern side of the property. This is not in accordance with the conditions relevant to properties in Constantia Kloof.

In addition to the above the original property owner encroached into the abutting public open space (Portion of Remainder Farm 158) with a retaining wall, fence and a grassed area. The fence is to be moved to the correct position; grass removed within the public open space and landscaped with locally indigenous vegetation. In time, the retaining wall will no longer be visible. The position of the swimming pool complies with the provisions of the zoning by-law. The plans included with this land use application indicates this correction.

2. PROPERTY DETAILS

The table below includes relevant information regarding Erf 2045 Wilderness.

Property Description:	Erf 2045 Wilderness
Physical Address:	2045 Num Num Crescent, Constantia Kloof
Owners:	Madelyn Köhler
Title Deed No:	T26881/2023 (Annexure 3)
Bond Holder:	Yes (Annexure 4)
Extent of the property:	1077m ²
Zoning of the property	Single Residential Zone I (dwelling house)
General plan	8139/1995 (Annexure 5)

The attached conveyancer's certificate (**Annexure 6**) confirms that the title deed includes no restrictions regarding the proposed permanent departures.

DMC Town Planning was appointed to address the land use requirements for this land use application. The power of attorney attached as **Annexure 2** to this report.

3. APPLICATION

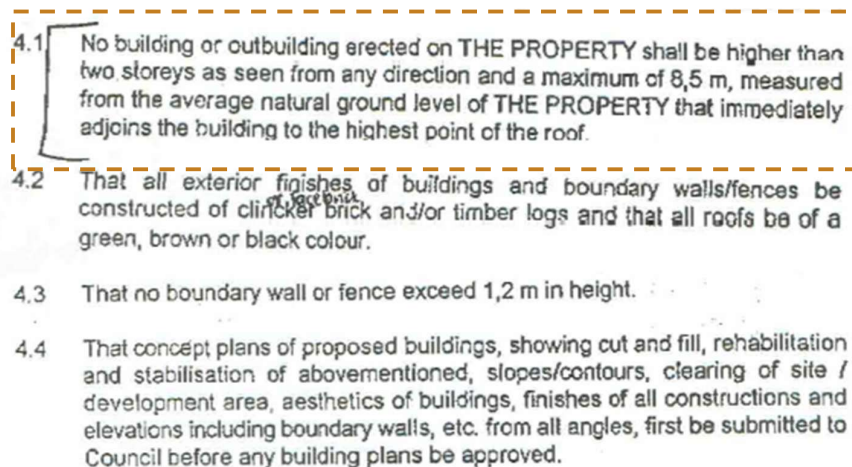
This land use application for Erf 2045 Wilderness entails the following:

- **Permanent Departure** in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-law (2023) to allow the following:
 - for a dwelling house not higher than 8.5m but a section under the house enclosed for a storage basement creating a third level / storey (condition 4.1 of the Constantia Kloof conditions - letter dated 25 November 1996);
 - relaxation of the northern side boundary building line from 3.0m to 2.3m for the change in use of the sewing room to a bathroom (ground floor).
 - relaxation of the northern side boundary building line from 3.0m to 2.0m for the creation of a new patio (first floor);
 - relaxation of the northern side boundary building line from 3.0m to 2.3m for the change in use of the study to a bedroom (first floor);
 - relaxation of the northern side boundary building line from 3.0m to 0.0m for an existing braai and 1.0m for existing stairs.

4. CONSTANTIA KLOOF

As per the letter dated 25 November 1996 (**Annexure 1**) the former Wilderness Municipality conveyed four critical conditions of approval applicable to these residential properties, namely (right):

Section 7(3) of the George Integrated Zoning Scheme By-law should be noted (below):

- 
- 4.1 No building or outbuilding erected on THE PROPERTY shall be higher than two storeys as seen from any direction and a maximum of 8,5 m, measured from the average natural ground level of THE PROPERTY that immediately adjoins the building to the highest point of the roof.
 - 4.2 That all exterior finishes of buildings and boundary walls/fences be constructed of clinker brick and/or timber logs and that all roofs be of a green, brown or black colour.
 - 4.3 That no boundary wall or fence exceed 1,2 m in height.
 - 4.4 That concept plans of proposed buildings, showing cut and fill, rehabilitation and stabilisation of abovementioned, slopes/contours, clearing of site / development area, aesthetics of buildings, finishes of all constructions and elevations including boundary walls, etc. from all angles, first be submitted to Council before any building plans be approved.

TRANSITION TO NEW USE ZONES AND SAVINGS

7. (1) Upon the date of commencement of this By-law, land that is zoned in terms of the previous zoning schemes is translated or reclassified to one of the use zones referred to in section 5.
- (2) The Zoning Transition Table, in Schedule 4 summarises the translation or reclassification of the use zones used in the previous zoning regulations to the use zones used in this By-law.
- (3) Despite the translation or reclassification of the use zones used in the previous zoning scheme to the use zones used in this By-law—
 - (a) any condition of approval or validity period that is applicable to a land unit in terms of the previous zoning scheme immediately before the coming into effect of this By-law, remains applicable and insofar as it determines development parameters that are different from the development parameters applicable in terms of this By-law, it is not to be considered an offence but a lawful non-conforming use;

The original conditions of approval for Constantia Kloof are applicable development parameters. Condition 4.1 is the subject of this land use application to be discussed in the paragraphs to follow.

5. LOCALITY, ZONING, & CHARACTER OF THE PROPERTY

Erf 2045 Wilderness is located in Constantia Kloof as mentioned earlier. The property overlooks the Touw River and Indian Ocean to the south and east. The property borders a green belt (public open space) to the east. A locality plan is attached hereto as **Annexure 7**.

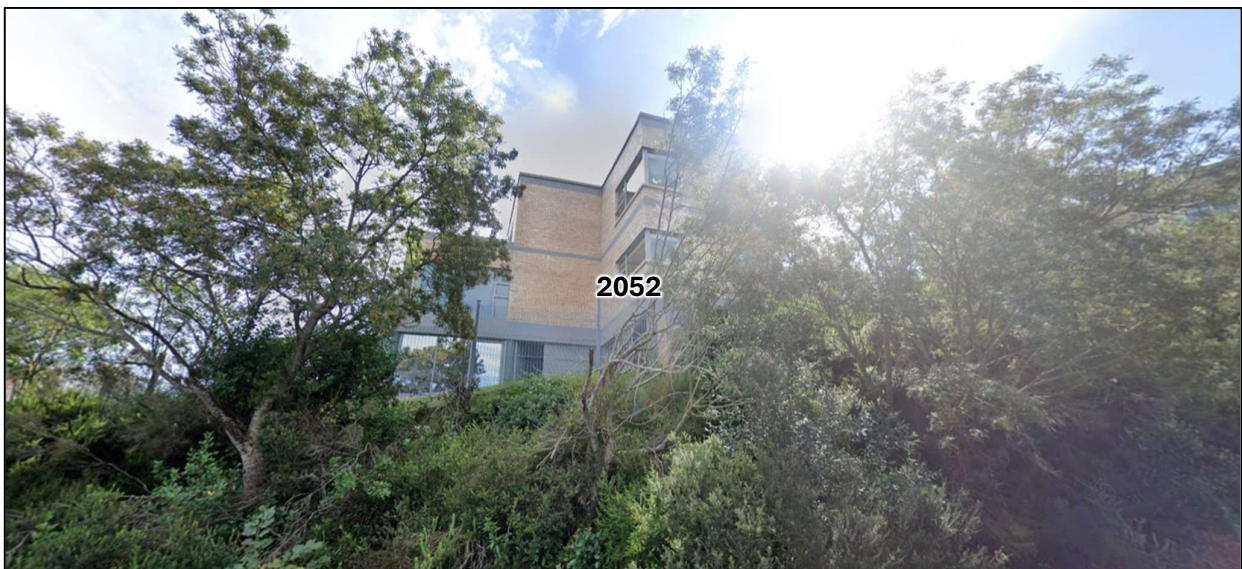
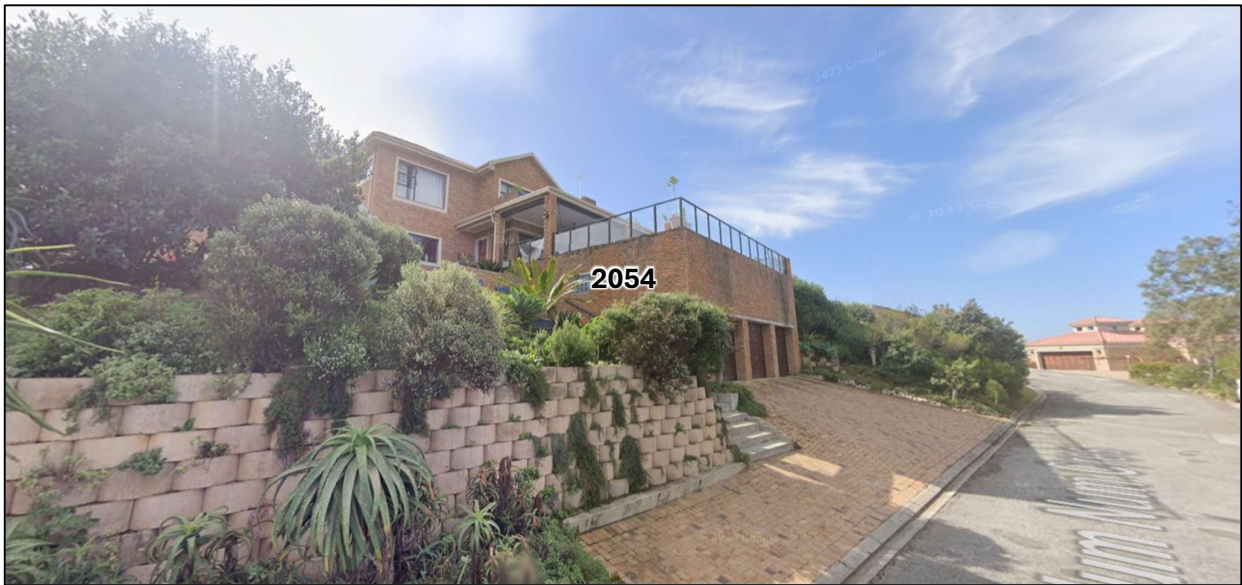
The zoning of the subject property will remain Single Residential Zone I, following this land use application. The use of the property will also not change and will remain residential.

The area is characterised by steep slopes throughout. Erf 2045 Wilderness slopes downward steeply from north to south. From the northern side boundary to the southern side boundary the difference in height is $\pm 9.0\text{m}$. The image on the following page shows the slope and aerial view of Erf 2045 Wilderness.





Dwelling houses in Constantia Kloof are commonly characterised by a mix of architectural styles, sizes, and exterior finishes. The images to follow show that dwelling houses with three 'levels' are quite common. Topography plays a significant role.

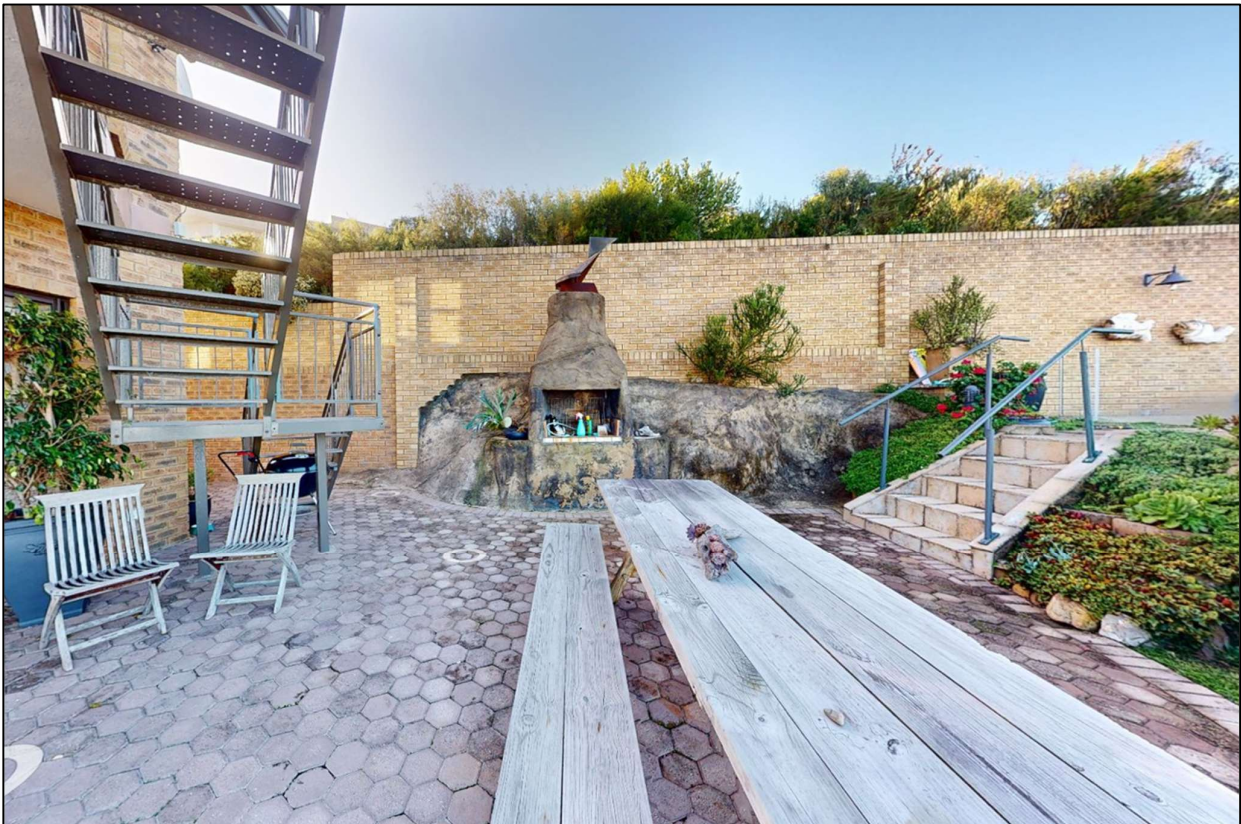


6. DEVELOPMENT PROPOSAL

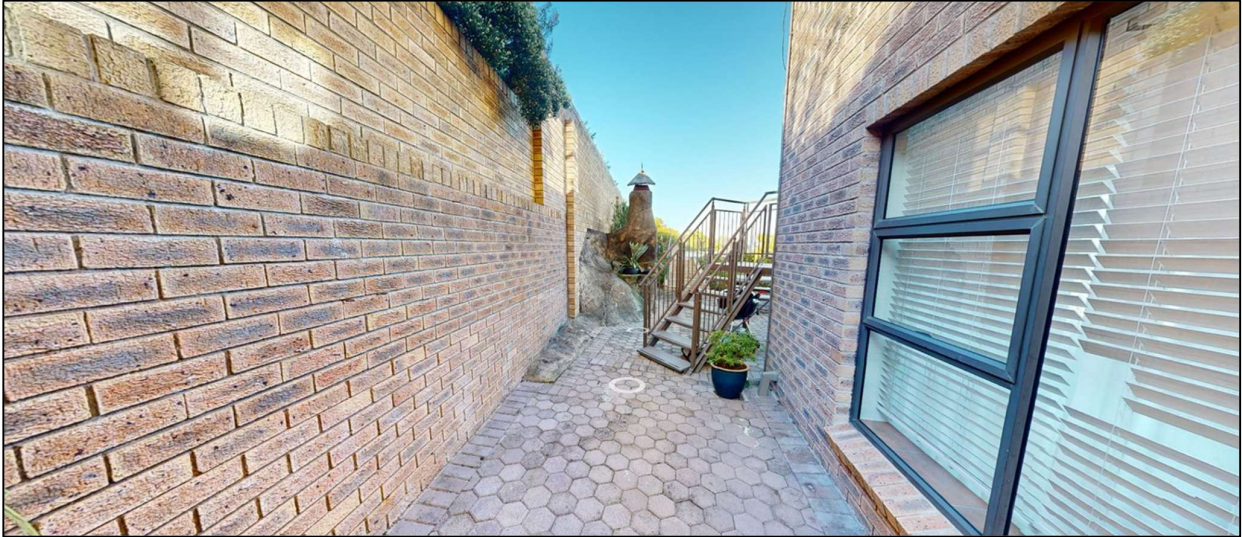
When the building plans for the existing dwelling house was approved in 2003, the side building lines for the property were 2.0m and the house was built compliant to these building lines as detailed in the applicable zoning by-law of that time. Since then, zoning regulations have changed, and the property now has 3.0m side building lines. With the change in use of some of the northern rooms of the house as proposed and the addition of a patio in the place of a section of roof, under the new parameters, the necessary building line relaxations are required. The approved building plans are attached hereto as **Annexure 8** and the proposed and as built plans as **Annexure 9**.

The existing sewing room on the ground floor will become a bathroom and the existing study on the first floor will become a bedroom. It is also proposed to create a small patio on the first floor above the existing laundry. For this patio a section of roof is to be removed. The structure is already 2.0m from the northern side boundary at its closest point where the additions and alterations are proposed. The relaxation of the northern side building line from 3.0m to 2.0m is now required.

Previous owners also constructed a braai in the garden abutting the northern boundary. See photo below. A relaxation is needed for this structure.

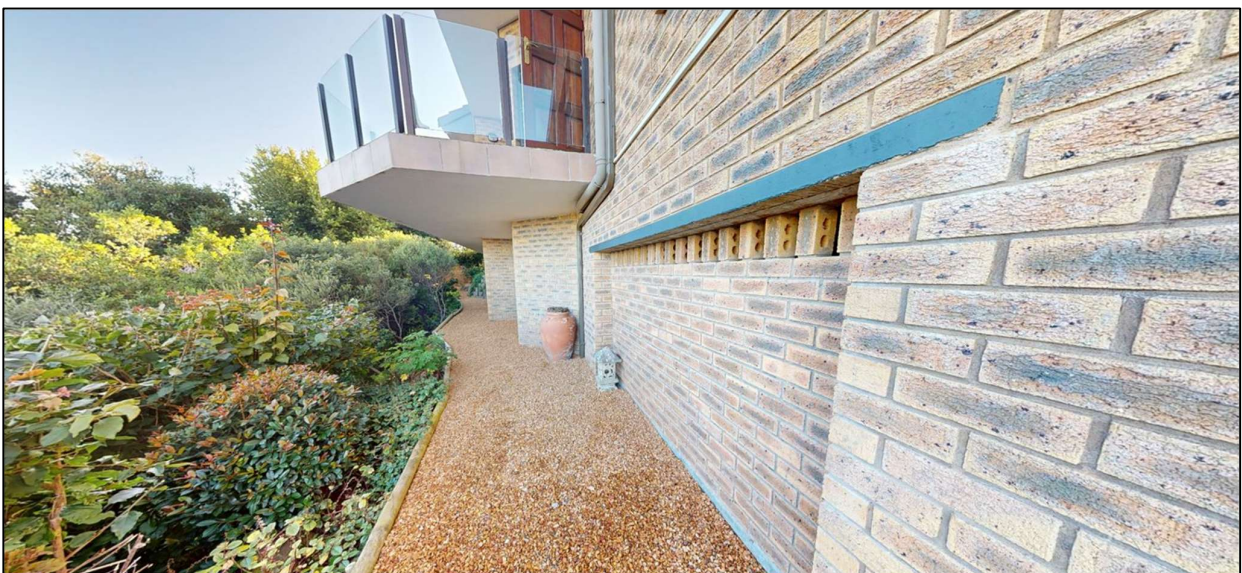


The approved building plan also indicates stairs leading from the garden to the first floor. These stairs were changed around and is now 1.0m from the northern boundary where the original stairs were about 2.5m from this boundary. Therefore, a relaxation for the stairs is also included with this land use application. The photo above shows these stairs on the left as well as the photo to follow.



As the footprint of the house is not proposed to change, nor the height, no negative impact is expected on the surrounding properties. The northern abutting property, Erf 2044, is still vacant and cannot be impacted by the change in use of rooms inside the existing structure or the addition of a small patio ($\pm 4\text{m}^2$). The braai and stairs also have no impact on the neighbouring property.

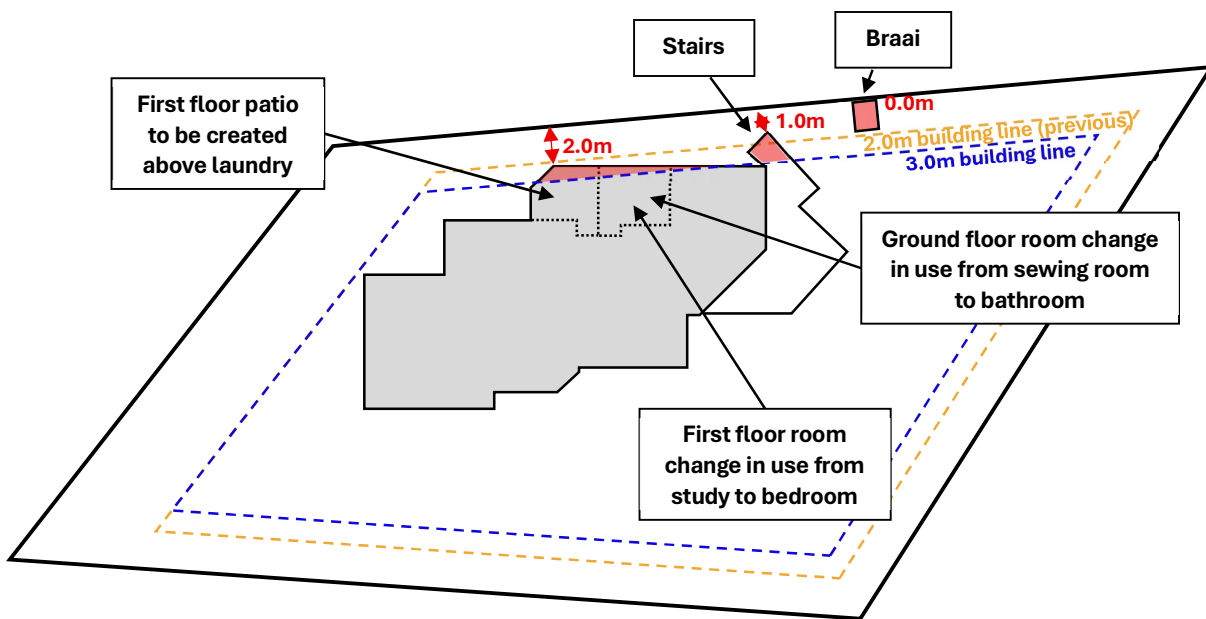
As stated earlier, the previous owners also made other minor changes to the house from what was approved in 2003. They enclosed the space under the house to create a storage basement which has essentially created a third storey for the house. Condition 4.1 of the Constantia Kloof approval states that no building shall be higher than two storeys and a maximum of 8.5m in height. As seen in the images in the previous section, the steep slopes of the area have inevitably caused several houses in Num Num Street, and the greater Constantia Kloof, to present as structures with three levels (or rather $2\frac{1}{2}$ levels), even though they are compliant to the 8.5m height restriction. In this case, the 'additional' level or storey is used solely for storage purposes and the necessary departure in this regard is also required. See photo below.



The basement has a floor-to-ceiling height of only 1.9m in most areas, with a small section reaching up to 2.55m. As such, it does not meet the minimum height requirements for habitable spaces under national building regulations and will therefore be used solely for storage purposes.

The approved building plans showed a space beneath the dwelling house on the southern side. When it was enclosed to create a basement storage area, is unknown. It is however not visible from the general public areas. If it was not for the additions and alterations addressed by the current property owner, this additional level would not have been addressed.

The image below shows the area where additions and alterations to the existing structure is proposed and where the building line relaxation is required.



6.1. FURTHER CONSIDERATIONS

6.1.1 MUNICIPAL ENGINEERING SERVICES & ACCESS

The municipal engineering services available to this property will continue to be used as present.

6.1.2 PUBLIC INTEREST

The public interest in this land use application is limited, as it pertains to an existing house on a residential property and no new development is proposed. The application involves only minor changes and additions within the already developed footprint of the house. No neighbour is overshadowed or overlooked as the position and height of the house is not proposed to change and the steep slopes favour higher lying (northern) properties. The vacant neighbour (2044) to the north has ample space on the property, within their building lines, to build a house with a full view to the south that is unaffected by the proposed 4m² patio that will face their direction.

The 8.5m height parameter is complied with and nearly 20m of dense vegetation and 4m height difference separates the basement on Erf 2045 Wilderness from the house on Erf 2046 Wilderness making the 'third' storey not visible from any neighbouring properties.



It is not expected that the proposed permanent departures will have any negative impacts on surrounding properties. The proposal for Erf 2045 Wilderness will have no resulting physical changes.

6.1.3 ENVIRONMENTAL CONSIDERATIONS

The proposed application for Erf 2045 Wilderness will not have any environmental impact as no new development is proposed.

7. NEED & DESIRABILITY

Need and desirability is the balancing of various factors.

Need

Need depends on the nature of a development proposal and is based on the principle of sustainability. This report has shown that the proposed changes does not negatively affect the character of the area, the natural environment, neighbouring properties, or visual impacts. The owner intends to authorise the existing features of the house, created by previous owners, and make minor additions and alterations to the house for their own liveability.

Desirability

Desirability from a planning perspective, is defined as the degree of acceptability of a proposed development on a property. The relevant factors include the physical characteristics of the property, existing planning in the area, character of the area, the locality and accessibility of the property as well as the provision of services.

Physical characteristics of the property

The physical characteristics of this property will not be affected by this land use application.

Existing planning in the area

This land use application is not found to be in conflict with the George Municipal Spatial Development Framework (GMSDF) or the Wilderness Lakes Hoekwil Local Spatial Development Framework (WLH LSDF).

Character of the area

Erf 2045, Wilderness is in an urban area characterised by dense natural vegetation and steep slopes. The proposal supports and compliments what is found in the area as discussed in various paragraphs above. No impact on the natural environment is expected as the application is for existing features, an addition to the first floor and internal changes.

Provision of services

Municipal engineering services provided to the property will continue to be used as present.

Economic impact

This proposal will have no economic impact.

Direct impact on surrounding properties

No neighbour is overshadowed or overlooked. See previous paragraphs for detail discussion on impacts on surrounding properties.

It is our view that the need and desirability of the permanent departures proposed for Erf 2045 Wilderness, showed no negative impacts.

8. LEGISLATION & POLICIES

The criteria for the consideration of land use applications as per the Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013) (SLPUMA), the Western Cape Land Use Planning Act, (Act 3 of 2014) (LUPA) and the George Municipality: By-law on Municipal Land Use Planning (2023) builds on each other. SLPUMA introduced legislative and procedural changes to the management of land use planning in South Africa. The Western Cape Province followed with LUPA and thereafter George Municipality with the Municipal Land Use Planning By-law (2023). What is relevant to this land use application is discussed in the paragraphs to follow.

8.1 SPATIAL PLANNING & LAND USE MANAGEMENT ACT, 2013 (SPLUMA)

Section 7 of this Act sets out the five development principles that are applicable to spatial planning, land development and land use management and section 42 of SPLUMA then refers to the factors that must be considered by a municipal tribunal when considering a land use planning application, which include but are not limited to:

- Five SPLUMA development principles;
- Public interest;
- Constitutional transformation;
- Respective rights and obligations of all those affected;
- State and impact of engineering services, social infrastructure and open space requirements;
- Compliance with environmental legislation.

Relevant aspects not addressed in the earlier paragraphs of this land use report, are addressed below:

8.1.1. FIVE DEVELOPMENT PRINCIPLES

The five development principles of SPLUMA, namely spatial justice, spatial sustainability, efficiency, spatial resilience, and good administration are not all directly relevant to this land use application.

Spatial justice as described in Section 7(a) of SPLUMA is not fully relevant to this land use application.

Spatial sustainability as described in Section 7(b) of SPLUMA is relevant as follows:

- The proposed application holds no expected negative environmental impact.
- The effective and equitable functioning of land markets is not negatively affected by this application.
- No negative impacts are expected on surrounding properties.

Efficiency as described in Section 7(c) of SPLUMA is not fully relevant to this application.

Spatial resilience as described in Section 7(d) of SPLUMA is not fully relevant to this land use application.

Good Administration as described in Section 7(e) of SPLUMA indicates the responsibilities of all involved in any land use matter.

The paragraphs above show that the land use application for Erf 2045 Wilderness supports the relevant development principles of SPLUMA.

8.2 WESTERN CAPE LAND USE PLANNING ACT, 2014 (LUPA)

LUPA requires that local municipalities consider the following when deciding on land use applications:

- Applicable spatial development frameworks;
- Applicable structure plans;
- Land use planning principles referred to in Chapter VI (Section 59) which is an expansion of the five development principles of SPLUMA;
- Desirability of the proposed land use; and
- Guidelines that may be issued by the Provincial Minister regarding the desirability of proposed land use.

The land use planning principles expands on the five development principles of SPLUMA and desirability which is discussed in foregoing paragraphs. Section 19(1) and (2) of LUPA refers to **consistency** and **compliance** of a land use proposal regarding spatial development frameworks or structure plans.

19. (1) If a spatial development framework or structure plan specifically provides for the utilisation or development of land as proposed in a land use application or land development application, the proposed utilisation or development is regarded as complying with that spatial development framework or structure plan.

19. (2) If a spatial development framework or structure plan does not specifically provide for the utilisation or development of land as proposed in a land use application or a land development application, but the proposed utilisation or development is not in conflict with the purpose of the relevant designation in the spatial development framework or structure plan, the utilisation or development is regarded as being consistent with that spatial development framework or structure plan.

19. (3) If the proposed utilisation or development of land in a land use application or a land development application does not comply with and is not consistent with the relevant designation for the utilisation of land in an applicable spatial development framework or structure plan, the proposed utilisation or development deviates from that spatial development framework or structure plan.

Considering the aim of this land use application for Erf 2045 Wilderness, no conflict was found with the George Municipal Spatial Development Framework (GMSDF).

8.3 GEORGE MUNICIPALITY: LAND USE PLANNING BY-LAW, 2023

The general criteria for the consideration of applications in terms of this By-law are included in Section 65 which, inter alia, includes:

- Desirability of the proposed utilisation of land;
- Impact of the proposed development on municipal engineering services;
- Integrated development plan, including the municipal spatial development framework, the applicable local spatial development framework and/or local structure plans;
- Relevant municipal policies;
- Western Cape Provincial Spatial Development Framework;
- Section 42 of SPLUMA (public interest, constitutionality);

- Land use planning principles transposed from LUPA; and
- Provisions of the applicable zoning scheme.

The above is addressed elsewhere in this land use report as relevant.

8.4 GEORGE INTEGRATED ZONING SCHEME BY-LAW, 2023 (GIZS)

Erf 2045 Wilderness is zoned Single Residential Zone I (dwelling house) in terms of the George Integrated Zoning Scheme By-law (GIZS) (2017) as stated earlier. The zoning of the property will not change. As discussed in Paragraph 1 of this report, Section 7(3) of the George Integrated Zoning Scheme By-law should be noted:

TRANSITION TO NEW USE ZONES AND SAVINGS

7. (1) Upon the date of commencement of this By-law, land that is zoned in terms of the previous zoning schemes is translated or reclassified to one of the use zones referred to in section 5.
- (2) The Zoning Transition Table, in Schedule 4 summarises the translation or reclassification of the use zones used in the previous zoning regulations to the use zones used in this By-law.
- (3) Despite the translation or reclassification of the use zones used in the previous zoning scheme to the use zones used in this By-law—
 - (a) any condition of approval or validity period that is applicable to a land unit in terms of the previous zoning scheme immediately before the coming into effect of this By-law, remains applicable and insofar as it determines development parameters that are different from the development parameters applicable in terms of this By-law, it is not to be considered an offence but a lawful non-conforming use;

The original conditions of approval for Constantia Kloof are applicable as development parameters, with Condition 4.1 being the focus of this land use application.

In terms of height, the dwelling on Erf 2045 Wilderness complies with the 8.5m restriction when measured from the average natural ground level (NGL) immediately adjoining the building to the highest point of the roof. However, the enclosure of the space beneath the house by previous owners has resulted in the appearance of a 'third storey', though uninhabitable, which places the structure in conflict with Condition 4.1 of the original approval. As a result, a permanent departure from this condition is required.

In terms of building lines, the relaxation required is purely due to changing regulations over the years. No new development is proposed. The addition of a patio on the first floor above the existing laundry and the change of use in two rooms in the house warrant that a relaxation from the 'new' building line (3.0m in lieu of 2.0m) is applied for. The footprint of the house will not change.

All other, relevant development parameters will be complied with.

8.5 GEORGE MUNICIPAL SPATIAL DEVELOPMENT FRAMEWORK (GMSDF) (2023)

Erf 2045 Wilderness is not addressed specifically in the GMSDF. The GMSDF does however encourage appropriate development within the urban edge. The GMSDF offers the following guideline for Wilderness:

Wilderness is one of the most popular tourist and residential destinations along the Garden Route, based on its unique terrestrial, aquatic and marine assets, outstanding rural and townscape qualities, and recreational amenity value. Threats to the area include the subdivision of smallholdings, expansion of poorly located and serviced informal areas, and insensitive building development.

The nature of this application and the need for the departures on Erf 2045 Wilderness is not insensitive. The GMSDF further refers its user to the Wilderness Lakes Hoekwil Local Spatial Development Framework (WLH LSDF) (2015). This land use application and the nature thereof is found to be consistent with the GMSDF (2023) as required in terms of Section 19 of the Land Use Planning Act, 2014 (LUPA).

8.6 WILDERNESS-LAKES-HOEKWIL LOCAL SPATIAL DEVELOPMENT FRAMEWORK (LSSDF) (2015)

Wilderness is demarcated as an urban area in the WLH LSDF and the subject property is located within the urban edge of Wilderness. Specific conditions of approval as per Constantia Kloof are not addressed in the WLH LSDF.

The WLH LSDF does however elaborate on the importance of the natural environment and landscape character of the greater Wilderness. The application for departures as described in this report does not negatively impact the character of Wilderness as no new development is proposed and the structure is in line with the existing character of the area.

This application for Erf 2045 Wilderness is found to not be in conflict with the WLH LSDF (2015).

9. CONCLUDING

From this motivation report, it is our opinion that the proposed departures on Erf 2045 Wilderness are consistent with the overall spatial objectives for the area and that the proposal may therefore be supported. No conflict was identified with any relevant consideration.



MARLIZE DE BRUYN Pr. Pln

JUNE 2025

WILDERNIS • WILDERNESS

MUNISIPALITEIT MUNICIPALITY

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Verw/Ref 14/7/2/63

COPY
BUILDING CONTROL OFFICER

Navrae
Enquiries

D. VILJOEN

25 November 1996

Messrs Lawrence Nissen & Associates
(att. J. Kingwill)
P.O. Box 662
HOWARD PLACE
7450

Registered Mail

Sir

CONDITIONS: DEVELOPMENT: FARM 158

CONSTANTIA KLOOF

1. The attached letter from the PAWC and discussions with mr Chris Rabie, Chief Planner of PAWC, and officials of the Council held on 20 November 1996, refer.
2. It has been confirmed by mr Rabie that the conditions as originally laid down by the PAWC and Council in connection with the exterior finishes of the buildings and structures, height of boundary walls and height of houses, are applicable on all 129 erven in the total development.
3. The PAWC also confirmed that the owners of the erven already transferred must be informed of this by means of an addendum to their Deed of Sale, of the conditions as stated in paragraphs 4.1 - 4.4 of this letter.
4. All new transfers must also have the following clauses in their Deeds of Sale:
 - 4.1 No building or outbuilding erected on THE PROPERTY shall be higher than two storeys as seen from any direction and a maximum of 8,5 m, measured from the average natural ground level of THE PROPERTY that immediately adjoins the building to the highest point of the roof.
 - 4.2 That all exterior finishes of buildings and boundary walls/fences be constructed of clinker brick and/or timber logs and that all roofs be of a green, brown or black colour.

- 4.3 That no boundary wall or fence exceed 1,2 m in height.
- 4.4 That concept plans of proposed buildings, showing cut and fill, rehabilitation and stabilisation of abovementioned, slopes/contours, clearing of site / development area, aesthetics of buildings, finishes of all constructions and elevations including boundary walls, etc. from all angles, first be submitted to Council before any building plans be approved.
5. This letter stating the conditions must be forwarded to the conveyancer to put these conditions into the Deeds of Sale and addendums of already transferred erven.
6. Messrs D. Barker and C. Rabie from the PAWC could be contacted for any further information.

Yours faithfully

SECRETARY
C. SDR. DV. HOUTWME

* Boulyne : sye + agter : 2 m of helfte van hoogte van gebou

Straat : 5 meter

* Sensitiewe Kusgebied peemit vir enige Grondwerke.

INLEWERINGSBEWYS VAN 'N GEREGISTREERDE STUK - CERTIFICATE OF POSTING A REGISTERED ARTICLE



Soos volg geadresseer: Addressed as follows:

Geregistreeerde stuk
Registered article no.

Kantoor van Terposbesorging

Aanneembeampte
Accepting Officer

RF 110 213 949 ZA



Office of posting

201042.0 (P1/42)

Geen vergoeding
No compensation
(100/45007698 - 9)

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Postkantoor

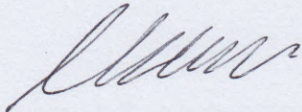


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Postkantoor

POWER OF ATTORNEY

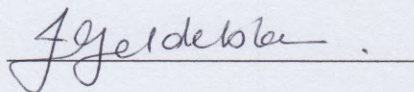
I, **Madelyn Köhler** (711113 0091 083), the registered owner of Erf 2045 Wilderness, George Municipality and Division, Western Cape Province, hereby instruct Marlize de Bruyn and Denise Janse van Rensburg of *DMC Town Planning* to submit a land use application in terms of Section 15(2) of the Land Use Planning By-law.

Signed at Wilderness on 9 July 2025.



M Köhler

Witness




ERF 2045 WILDERNESS

-6-

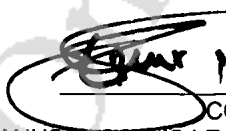
1. On page 4 of the deed of transfer - under the Buildings condition - amend "a" to read as "A" as in the old title.

B. MATISO 1231



Honey & Partners Inc.
Honey Chambers
Northridge Mall
Kenneth Kaunda Road
Bloemfontein
9301

Prepared by me




CONVEYANCER
STEPHANUS JACOBUS LE ROUX (LPCM -
57340)

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price		
Reason for exemption	Category Exemption	Exemption i to. Sec/Reg..... Act/Proc.....

DATA / CAPTURE

13 JUL 2023

AM

VERBIND		MORTGAGED	
VIR FOR R 			
B	000014327 / 2023		
07 JUL 2023		 REGISTRAR	

T 000026881 / 2023

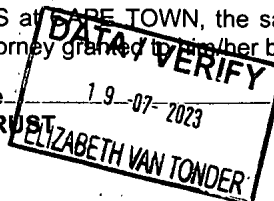
DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

ANTON LUTHER POSTHUMUS (LPCM No. 80715)

appeared before me, REGISTRAR OF DEEDS at WILDERNESS TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to me/her by

The Trustees for the time being of the
JANSSEN VAN RENSBURG FAMILIETRUST
Registration Number IT751/2006



which said Power of Attorney was signed at WILDERNESS on 17 MAY 2023

And the appearer declared that his/her said principal had, on 20 April 2023, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

MADELYN KÖHLER

Identity Number [REDACTED]

Unmarried

her Heirs, Executors, Administrators or Assigns, in full and free property

ERF 2045 WILDERNESS,
IN THE MUNICIPALITY AND DIVISION OF GEORGE,
PROVINCE OF THE WESTERN CAPE

IN EXTENT 1077 (ONE THOUSAND AND SEVENTY SEVEN) Square metres

FIRST TRANSFERRED by Deed of Transfer Number T82899/1996 with
General Plan Number 8139/1995 relating thereto and held by Deed of Transfer
Number T30801/2017

- A. **SUBJECT** to the conditions referred to in Deed of Transfer Number T2059/1923. ^
- B. **SUBJECT FURTHER** to the terms of the servitude referred to in an endorsement on Deed of Transfer Number T4632/1905 to the effect that certain water and other rights have been ceded in favour of the land transferred by Deeds of Transfer Numbers T2955/1907 and T2956/1907. ^
- C. **SUBJECT FURTHER** to the following conditions contained in said Deed of Transfer Number T2059/1923, namely:- ^

"Special Conditions

Wilderness Estate

George Freeholds Vol. 12 No. 7-13 March 1852. ^

General Plan W71 ^

Remaining extent (259,8037 hectares). Without prejudice to existing vested rights (if any) of the public or of any persons whomsoever the Liquidator of the Wilderness Estate Company Limited, in so far as the said Company may be entitled so to do imposed the following special conditions. ^

ROADS.

All public roads and all roads shown on the original diagram and/or General Plan W71 shall, unless and until closed or altered by competent authority remain free and open as heretofore. ^

The owner of the remaining extent shall not be under obligation to maintain such roads. ^



AB

RECOGNISED ROAD.

In this term is included:-

A certain private road, not shown on either the original diagram or the General Plan W71, constructed by the Wilderness Estate Company Limited and called "Whites Road", branching off the public road to The Wilderness at the spot called "Standers House" on the "Lot B of the Wilderness" transferred to the Kerkeraad of the Dutch Reformed Church by Transfer Number 14200 dated 6th October 1920 and crossing part of that land and eventually crossing part of the remaining extent, shall remain free and open for the use of owners as hereinafter defined. So long as this road be not taken over by a local or provincial authority, and be not proclaimed a public road and as such be maintained by a local or provincial authority, the said road shall remain open for use of owners as hereinafter defined, but the owner of the remaining extent shall have the right to control the said road and to limit the use of such road to such classes of vehicles or traffic as it may think fit. The owners of the Lots "d" and "dd" shall contribute one-half of the cost of maintenance and repair thereof, but in such maintenance and repair shall not be included relaying or re-grading or deviation of any portion thereof. ^

RECOGNISED PATHS.

In this term are included: ^

- (1) A path leading from Lots "d" and "dd" across the remaining extent to the Kaaimans River and to the top of the Hill on the remaining extent, overlooking the Kaaimans River, and what is known as the "Map of Africa". ^
- (2) A path leading from Lots "d" and "dd" across the remaining extent direct to the Beach. ^

The Recognised Paths shall (subject to the provisions hereinafter contained) remain free and open for the use of owners as hereinafter defined, provided always that the use of these Recognised Paths shall not constitute a servitude for camping or picknicking and further that the owner of the Remaining extent shall be at liberty at any time to deviate the whole or any part of these parts or to close the same upon providing other roads or paths giving facilities of access of substantially equal degree. ^

In respect of the portion of the Road shown on the General Plan W71 and included in the Diagram of Transfer Number 9087, 22 September 1921, the owners of: ^

- (1) Lots "a", "b", "d", "dd", Block E lots 1, 2 and 3. ^
- (2) The Park. ^
- (3) The Remaining Extent. ^
- (4) Any portions hereafter transferred therefrom ^

Shall make no claim in respect of above portion of the road included in the Diagram of Transfer Number 9087 – 22 September 1921 and no objection shall be raised by such owners to the closing and cancellation of the said portion of such road should the owner of the land described in the said Transfer hereafter take any steps to have the same closed or cancelled according to law. ^

Nothing hereinbefore contained shall be taken as preventing the owner of the

AB

Remaining Extent from passing transfer of further portions of the Wilderness Estate subject to similar conditions with or without modification in regard to such future transfers. ^

BUILDINGS.

It shall be a condition in respect of all portions which may be hereafter laid out as lots and transferred from the present Remaining Extent that all dwelling houses erected on any such portions shall be built of brick, stone, or concrete, provided that this shall not apply to what are known as "Sand Plots" being the Lots comprised in Blocks "A", "B", "C", "D" as shown on the General Plan W71, nor to such further plots as the owner of the Remaining Extent may lay out on land similar Blocks "A", "B", "C", "D". ^

WATER.

The owner of the Remaining Extent shall allow the owner of Lots "d" and "dd" access to the Kaaimans River and other sources of water for the purposes of drawing a reasonable supply of water therefrom, whether by pipes or otherwise, provided that this shall not interfere with the present and future rights, if any, of other parties entitled" ^

- D. **ENTITLED** to benefits under the terms of the servitude referred to in the endorsement dated 24th February 1928 on said Deed of Transfer Number T2059/1923, namely:- ^

"By deed of transfer No. 1613 dd 24 February 1928 The Wilderness (1921) Limited as owner of the remaining extent of the property set out under Para. 2 hereof reserves to itself the right to construct and maintain a road over Lots 28 and 29 Block E of the Wilderness Estate and shown on the diagrams annexed to deed of transfer 14199 dd. 6th October 1920, as will more fully appear on reference to the said Deed of Transfer." ^

- E. **ENTITLED FURTHER** to the benefits under the terms of the servitude referred to in the endorsement dated 23rd April 1928 on the said Deed of Transfer Number T2059/1923, namely:- ^

"By notarial deed dated 10th March 1928 the owner of the remainder of Wilderness Estate held under para 2 of this deed and its successors is granted the right to construct, maintain and use in perpetuity a road not exceeding 16 feet in width over the property (Lot 27 Block E) held under transfer No. 638 dd 30th January 1928 and shown on the diagrams thereof, as will more fully appear on reference to the copy annexed hereto." ^

- F. **ENTITLED FURTHER** to benefits under the terms of the servitude referred to in the endorsement dated 11th July 1929 on the said Deed of Transfer Number T2059/1923, namely:- ^

"By Notarial Deed dd 22 May 1929 the conditions in favour of the land contained in transfer 9209, September 1925 relating to paths building and water, etc. have been cancelled and certain other conditions imposed as will more fully appear on reference to the copy annexed hereto." ^

- G. ENTITLED FURTHER** to benefits under the terms of the servitude referred to in the endorsement dated 7th April 1932 on the said Deed of Transfer Number T2059/1923, namely:- ^

"By Deed of Transfer No. 1999 dd 7.4.1932 certain road, more fully described in the diagram No. 498/1932 attached thereto, has been reserved to the owners of the remaining extent of the freehold land now called the Wilderness Estate held under para. 2 hereof, subject to conditions as will more fully appear on reference to the said Deed of Transfer." ^

- H. ENTITLED FURTHER** to benefits under the terms of the servitude referred to in the endorsement dated 9th June 1932 on the said Deed of Transfer Number T2059/1923, namely:- ^

"By Deed of Transfer No. 3497 dd 9.6.1932 the owner of the remainder of the property held by para. 2 hereof is entitled to construct, use, and maintain a road across that portion of the property thereby conveyed marked "pathway reserve" on the diagram thereto annexed, as will more fully appear on reference to the said deed of transfer." ^

- I. ENTITLED FURTHER** to benefits under the terms of the servitude referred to in the endorsement dated 31st June 1940 on the said Deed of Transfer Number T2059/1923, namely:- ^

"By Notarial Deed No. 152/1940 dated 10.6.1940 the properties conveyed by Transfer 6029/1940 have been made subject to conditions relating to persons who may own, lease or occupy the properties, prohibition of trades or business, nature of buildings, walls, fences, etc. provisions for sanitation, water, electric light, etc. clearing or destroying bush or shrub, for the benefit of Wilderness (1921) Limited as owners of the property conveyed by Para. 2 hereof and the owners of properties which are subject to similar conditions as will more fully appear on reference to the said Notarial Deed registered this day in the Servitude Register under No. 152/1940." ^

- J. ENTITLED FURTHER** to benefits under the terms of the servitude referred to in the following endorsement dated 12th August 1947 on the said Deed of Transfer Number T2059/1923, namely:- ^

"By Deed of Trf. No. 15345 dated 12.8.1947 the ppty thereby transferred is subject to the following conditions: that no hotel or boarding house shall be established thereon, but such expression shall not include the construction and letting of service flats with necessary outbuildings and appurtenances in favour of portion of ppty held hereunder." ^

- K. SUBJECT FURTHER** to the terms of the servitude referred to in the endorsement dated 25th February 1952 on the said Deed of Transfer Number T2059/1923, namely:- ^

"By Not. Deed No. 61/52 dated 15.5.51 the owner of the remainder held under para 2 hereof has granted to the owners of the properties held by Trfs. 4691/47, 15345/47, 20653/49 and 19389/50 the unimpeded access of light, air and view of the servitude area on the said remainder as indicated in red on the extract from General Plan W71 annexed to said Not. Deed (more fully described therein) subject to conditions as will more fully appear on reference to the said Not. Deed, a copy of which is annexed hereto." ^

- L. **ENTITLED FURTHER** to benefits under the terms of the servitude referred to in the following endorsement dated 23rd December 1949 on the said Deed of Transfer Number T2059/1923, namely:-

"By Deed of Trf. No. 20653 dated 23 Dec. 1949 the ppty thereby conveyed is subject to the following conditions: that no hotel or boarding house shall be established thereon, but such expression shall not include the construction and letting of service flats with necessary outbuildings and appurtenances in favour of portion of ppty held hereunder. As will more fully appear on Reference to said trfr."

- M. **ENTITLED FURTHER** to the benefits under the terms of the servitude referred to in the endorsement dated 18th November 1958 on the said Deed of Transfer Number T2059/1923, namely:-

"By Notarial Deed No. 705/1958 dated 21st May 1958.

- (1) A condition prohibiting the establishing of hotels and boarding houses on Lots 15 and 16, Block F, Wilderness held by T20653/1949, Lot 15, Block G, and Lot 5, Block F, Wilderness held by T15345/1947 the remainder of Wilderness Extension Township 1G and Lots 88 and 85, Wilderness Extension Township site 1G held by T4691/1947 has been cancelled. (The said condition being referred to in endorsements dated 12/8/1947 and 23/12/1949 on this Deed.) ^
- (2) Conditions b to f hereinafter set out are imposed against Lts 15 and 16, Block F, Wilderness held by Transfer 20653 dated 23/12/1949 and the remaining extent of Wilderness Extension Township 1G (excluding the figure abcd marked on diagram A501/1931 annexed to Certificate of Consolidated Title No. 4126/32) held by T4691/1947:- ^
 - (b) No trade business of any description may be carried out on the Lot without the written permission of the Company first had and obtained. ^
 - (c) All buildings erected on the Lot shall be built of brick, stone or concrete, and the ground plan showing the relation of the position of such buildings to the boundaries of the Lot, as well as the elevation plans of such buildings shall be submitted to the Company for its approval in writing before any buildings are commenced. ^
 - (d) All walls, fences or hedges or like structures abutting upon any road or pathway shall be of a type approved of by the Company. The Company shall not be liable to contribute to the cost of any party for dividing fence or wall, nor to the costs of repair thereof, but it may call upon the said Grant to enclose the said Lot. The said Grant agrees to observe uniformity in respect of fencing line for all fences that may abut on to any road, pathway, open space, or property of the Company and to maintain all boundary fences of the said Lot in good repair and order. No corrugated iron fence or screen shall be erected on the lot without the leave of the Company. ^

- (e) The said Grant shall be obliged to plant and maintain at a suitable height such life hedge and/or such trees or shrubs as shall be prescribed by the Company suitably to screen any premises situate on the Lot. ^
- (f) The said Grant agrees to be bound not to clear or destroy the trees and bush on the Lot without first consulting the Company, whose consent to such clearing or destroying shall be necessary but shall not unreasonably interfere with the said Grant's full use and enjoyment of the Lot." ^
- (3) the following condition is imposed against Lot 15, Block G of Lot H held by Deed of Transfer 15345 dated 12 August 1947; ^
- "No trade or business of any description may be carried out on the Lot without the written permission of the Company first had and obtained." ^
- (4) That area marked xCDy on the diagram A.4026/1924 annexed to Trf. 7863/1926 of Lot 5 Block F Wilderness held by T15345/1947 is subject to the conditions that the owner shall not without the permission of Wilderness (1921) (Ltd) make or suffer to stand any building, structure or thing whatsoever, including fencing. ^
- (5) That Hugh Owen Bruce Grant as owner of the following properties:
1. Certain piece of freehold land situate in the Division of George, Being Lot 15 block F, Wilderness;
Held under T20653 dated 23.12.1949. ^
 2. Certain piece of freehold land, situate as above, being Lot 16 Block F, Wilderness;
Held under T20653 dated 23.12.1949. ^
 3. Certain piece of freehold land, situate as above, being Lot 5, Block F, Wilderness;
Held under T15345 dated 12.8.1947. ^
 4. Certain piece of freehold land, situate as above, being the remaining extent of Wilderness Extension Township No. 1G. ^
 5. Certain piece of freehold land, situate as above, being Lot No. 88 a portion of Wilderness Extension Township Site No. 1G. ^
 6. Certain piece of freehold land, situate as above, being the Lot 85 a portion of Wilderness Extension Site No. 1G. ^
- Held under T4691 dated 20.3.1947. ^
- shall not sell or dispose of any of them save provided in Clause 5 of the Notarial Deed." ^



N. **SUBJECT FURTHER** by virtue of Deed of Transfer Number T10573/1978 to the following conditions imposed by the Administrator of the Province of the Cape of Good Hope in terms of Section 9 of Ordinance 33/1934 when approving of the subdivision of Remainder Farm 158 George, namely:- ^

- (a) The owner of this erf shall without compensation, be obliged to allow electricity, telephone and television cables and/or wires and ain and/or other water-pipes and the sewage and drainage, including storm-water of any other erf or erven to be conveyed across this erf, if deemed necessary by the local authority and in such manner and position as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time for purpose of constructing, altering removing or inspecting any works connected with the above. ^
- (b) The owner of this erf shall be obliged, without compensation, to receive such material or permit such excavation on the erf, as may be required to allow use of the full width of the street and provide a safe and proper slope to its bank owing to difference between the levels of the street as finally constructed and the erf, unless he elects to build retaining walls to the satisfaction of and within a period to the determined by the local authority." ^

O. **SUBJECT FURTHER** to the terms of the endorsement dated 5 March 1987 on said Deed of Transfer No. T6167/1973, which endorsement reads a follows: ^

"Restant Para 2

Kragtens Akte van Transport Nr. T9457/87 hede gedateer, is die restant van die plaas Nr. 158 groot 178,9896 Ha gehou hieronder, onderhewig aan die volgende voorwaardes opgelê deur die Administrateur i.t.v. Art 9 van Ord. 33/34 tydens die goedkeuring van onderverdeling: ^

- (a) The owner of this erf shall without compensation be obliged to allow gas mains, electricity, telephone and television cables and/or wires and main and/or other water pipes and the sewage and drainage including stormwater of any other erf or even to be conveyed across this erf, and surface installations such as mini-substations, meter kiosks and service pillars to be installed thereon if deemed necessary by local authority in such manner and position as may from time to time be reasonable required. This shall include the right of access to the erf at any reasonable time for the purpose of constructing, altering, removing or inspecting any works connected with the above." ^



AB

WHEREFORE the said Appearer, renouncing all rights and title which the said

**The Trustees for the time being of the
JANSEN VAN RENSBURG FAMILIETRUST,
Registration Number IT751/2006**

heretofore had to the premises, did in consequence also acknowledge them to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said


MADELYN KÖHLER, Unmarried

her Heirs, Executors, Administrators or Assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of [REDACTED]

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on

07 JUL 2023


q.q.

In my presence



REGISTRAR OF DEEDS

AG
1-5-b
1

Honey & Partners Inc.
Honey Chambers
Northridge Mall
Kenneth Kaunda Road
Bloemfontein
9301

Prepared by me


CONVEYANCER
STEPHANUS JACOBUS LE ROUX (LPCM
- 57340)

POWER OF ATTORNEY TO PASS TRANSFER

I, the undersigned

CHRIS JANSEN VAN RENSBURG
duly authorised hereto by a resolution of the Trustees for the time
being of the
JANSEN VAN RENSBURG FAMILIETRUST
Registration Number IT751/2006
acting in terms of Letters of Authority issued by the Master of the High
Court of South Africa Free State Division, Bloemfontein at
Bloemfontein on 10 June 2006

do hereby nominate and appoint STEPHANUS JACOBUS LE ROUX (LPCM - 57340) and/or DEON PIETER ROSSOUW (LPCM - 58572) and/or DONOVAN THEODORE MAJIEDT (LPCM - 57842) and/or FRANS JOHANNES KAPP (LPCM - 57356) and/or LARISKA BURGER (LPCM - 61016) and/or ANICHE HEINE (LPCM - 60034) and/or ANNA MARIA PETRONELLA FABER (LPCM - 19722) and/ or CARLA BATT (LPCM - 86715) and /or Anton Luther Posthumus (LPCM - 80715)

with power of substitution to be my true and lawful Attorney and Agent in my name, place and stead to appear at the Office of the REGISTRAR OF DEEDS at CAPE TOWN or any other competent official in the Republic of South Africa and then and there to act as my Attorney and Agent and to pass transfer to:

MADELYN KÖHLER
Identity Number 
Unmarried

the property described as:






✓
ERF 2045 WILDERNESS, ^
IN THE MUNICIPALITY AND DIVISION OF GEORGE, ^
PROVINCE OF THE WESTERN CAPE ^

✓
IN EXTENT 1077 (ONE THOUSAND AND SEVENTY SEVEN) Square
metres ^

HELD BY Deed of Transfer Number T30801/2017 ^

the said property having been sold by me on 20 April 2023, to the said
transferee/s for the sum of [REDACTED] ^

and further cede and transfer the said property in full and free property to the said
Transferee; to renounce all right, title and interest which the Transferor heretofore
had in and to the said property, and generally, for effecting the purposes
aforesaid, to do or cause to be done whatsoever shall be requisite, as fully and
effectually, to all intents and purposes, as the Transferor might or could do if
personally present and acting therein; hereby ratifying, allowing and confirming all
and whatsoever the said Agent/s shall lawfully do or cause to be done in the
premises by virtue of these presents.

Signed at WILDERNESS ✓ on 17 MAY 2023 ^ 8
in the presence of the undersigned witnesses.

AS WITNESSES:

1. 

2. 


CHRIS JANSEN VAN RENSBURG on
behalf of JANSEN VAN RENSBURG
FAMILIETRUST



**Transfer Duty
Declaration**

TDREP

Reference Details

Transfer Duty Reference Number: TDE0550D7A

Details

Details of Seller / Transferor / Time Share Company

Surname / Registered Name JANSEN VAN RENSBURG FAMILIETRUST
Company / CC / Trust Reg No. IT7512006

Full Name JANSEN VAN RENSBURG FAMILIETRUST
Marital Status

Details of Purchaser / Transferee

Full Name MADELYN
Date of Birth (CCYYMMDD) 1971-11-13
Passport Country ZAF
Marital Status NOT MARRIED

Surname / Registered Name KÖHLER
ID Number
Passport Number
Spouse Initials

Details of the Property

Date of Transaction/Acquisition (CCYYMMDD)

2023-04-20

Total Fair Value

R

Total Consideration

R

Calculation of Duty and Penalty / Interest

Transfer Duty Payable
on Natural Person

R

Property Description

1 ERF 2045 WILDERNESS, IN THE MUNICIPALITY AND DIVISION OF GEORGE, PROVINCE OF THE WESTERN CAPE IN EXTENT 1077 (ONE THOUSAND AND SEVENTY SEVEN) Square metres

Receipt

Receipt Details

Transfer Duty Reference Number TDE0550D7A

Receipt No.

1201057200

Receipt Amount

Declaration by Conveyancer / Attorney

I certify that this is a true copy of the transfer duty declaration / receipt / exemption certificate drawn from the SARS eFiling site, which will be retained by me for 5 years from the date of registration of transfer.

Please ensure you sign over the 2 lines of 'X's above

STEPHANUS JACOBUS LE ROUX(LPCM-5/340)

Date
(CCYYMMDD)

20230614

For enquiries go to
www.sars.gov.za or call
0800 00 SARS (7277)



GEORGE LOCAL MUNICIPALITY

CERTIFICATE IN TERMS OF SECTION 118 OF THE LOCAL GOVERNMENT: MUNICIPAL SYSTEMS ACT, 2000 (ACT NO. 32 OF 2000)
(AS PRESCRIBED IN TERMS OF SECTION 120 OF ACT NO. 32 OF 2000)

ISSUED BY GEORGE LOCAL MUNICIPALITY

In terms of section 118 of the Local Government: Municipal Systems Act, 2000 (Act No. 32 of 2000), it is hereby certified that all amounts that became due to George Local Municipality in connection with the undermentioned property situated within that municipality for municipal service fees, surcharges on fees, property rates and other municipal taxes, levies and duties during the two years preceding the date of application for this certificate, have been fully paid.

DESCRIPTION OF PROPERTY (see definition of property in section 1 of Act 32 of 2000)

21 Digit Code (or Municipal Reference Number):

MAGDALENE

Erven:

2045

Portion:

0

Extension:

WILDERNESS

Zoning:

Registration division / Administrative District:

GEORGE

Suburb:

WILDERNESS

Town:

WILDERNESS

Sectional Title unit number:

Exclusive use area and number as referred to on the registered plan:

Real right:

Scheme registration number:

Sectional Title Scheme Name:

Registered owner:

JANSEN VAN RENSBURG FAMILIETRUST

(IT751/2006)

Name and Identity/ Registration Number of all purchaser/s: MADELYN KÖHLER

This Certificate is valid until:

28/07/2023

Given under my hand at

GEORGE

on

29/05/2023

Digitally signed by George Municipality

Signee: Winnifred Kennedy

Sign date: 29/05/2023 04:23:28.240 PM

Expiration date: 09/02/2025 01:48:11 PM

MUNICIPAL MANAGER

George Local Municipality

Date issued: 29/05/2023

Authorised Officer: Winnifred Kennedy

Certificate By Conveyancer:

STEPHANUS JACOBUS LE ROUX(LPCM-5/340)

I (full name and surname) hereby certify that this is a print-out of a data message in respect of the original clearance certificate electronically issued by the George Local Municipality.

Conveyancer

Date

14/6/2023

21 Digit Code (or Municipal Reference Number): MAGDALENE

Page 1 of 1

Certificate number: 12534710

4 18

PROD DEEDS REGISTRATION SYSTEM - CAPE TOWN
PREPARED BY : DRS88362 - JONGQO UNATHI

DATE : 28238621 TIME : 88:36:34.8 PAGE : 1

TRACK NUMBER : 88887422814

BLACK-BOOKING ENQUIRY ON NAME - JANSEN VAN RENSBURG, FAMILY TRUST
ID NUMBER - 751/2886
BIRTH DATE - 0
MARITAL STATUS -
MAIDEN NAME -
TYPE OF PERSON - TRUST

PERSON HAS NO CONTRACTS/INTERDICTIONS

** PLEASE NOTE: THE INFORMATION APPEARING ON THIS PRINTOUT IS FURNISHED FOR PURPOSES OF INFORMATION ONLY.
FOR MORE DETAILED INFORMATION, PLEASE REFER TO THE REGISTERED SOURCE DOCUMENTS.

** END OF REPORT **



(5) AB

PROD DEEDS REGISTRATION SYSTEM - CAPE TOWN
PREPARED BY : DRS88362 - JONGQO UNATHI

DATE : 20230621 TIME : 08:36:47.4 PAGE : 1

TRACK NUMBER : 88887422014

PROPERTY DETAILS PRINT FOR PORTION
ERF NO
TOWNSHIP
REG DIV

0
2045
WILDERNESS
GEORGE RD

PROVINCE
PREV DESCRIPTION
DIAGRAM DEED NO
EXTENT
CLEARANCE

WESTERN CAPE
PTN OF 2005-GP8139/95
T82899/1996
1877 SQM
OUTENQUA DC

(NO) INTERDICTS

(NO) DOCUMENTS

OWNER DETAILS

FULL NAME & SHARE
JANSEN VAN RENSBURG FAMILIETRUST

PURCH DATE AMOUNT REASON O/P/A IDENTITY
20170417 751/2006

TITLE DEED
T38881/2017

MMD MICROFILM REF
0601 20170815872958

* O/P/A - 0 - MULTIPLE OWNER P - MULTIPLE PROPERTY A - MULTIPLE OWNER AND PROPERTY

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FOR MORE DETAILED INFORMATION, PLEASE REFER TO THE REGISTERED SOURCE DOCUMENTS.

*** END OF REPORT ***

IKHE E: /XARRA /IKE



Home Loans
Sales and Service Enablement

9 Lothbury Road
Auckland Park, 2092
Private Bag 72007
Cresta, 2118
South Africa

T 0860 111 007
Swift address: ABSAZAJJ
absa.co.za

04.07.2025

Private/Confidential

**MISS M KOHLER
PO BOX 399
WILDERNESS
6560**

Dear Sir / Madam

REQUEST RECEIVED FOR: PERMANENT DEPARTURE

Mortgage loan account number: [REDACTED]

Property description: ERF 2045 WILDERNESS

We refer to the above account and consent to the Permanent Departures and Relaxation of building lines over the above-mentioned property.

According to your mortgage loan agreement it is your responsibility to ensure that you have sufficient property insurance in place.

If you are insured under Absa, our insurance division's contact number is 0860 100 876.

Kindly take note that the consent letter is valid for one year only.

Yours faithfully

Property Control
Our ref: Nadine Heathcote
Tel: 011 846 5471
Email: hlpc@absa.co.za

A R E A S		MAIN FIGURE			CO-ORDINATES		
ERF NO	SQ M	SIDES METRES	DIRECTIONS		System Constante Y ±	Lo 23° 0,00	metres X ± 3 700 000,00
2006	621	AB	59,10	267 33 40	A + 39 024,77 +	62 355,32	
2007	985	BC	48,58	334 00 50	B + 38 965,72 +	62 352,81	
2008	960	CD	12,88	235 45 10	C + 38 944,43 +	62 386,48	
2009	953	DE	14,21	328 11 50	D + 38 933,78 +	62 389,23	
2010	817	EF	119,21	233 32 50	E + 38 926,29 +	62 401,31	
2011	910	FG	32,46	192 38 10	F + 38 830,40 +	62 330,48	
2012	1295	GH	27,93	223 29 30	G + 38 823,30 +	62 298,81	
2013	911	HJ	127,84	228 13 40	H + 38 804,08 +	62 278,55	
2014	1174	JK	190,19	273 42 00	J + 38 708,74 +	62 193,39	
2015	1034	KL	105,27	369 48 30	K + 38 518,95 +	62 205,66	
2016	1078	LM	12,73	15 40	L + 38 518,60 +	62 310,93	
2017	990	MN	29,68	14 23 50	M + 38 518,88 +	62 333,66	
2018	965	NP	41,23	84 36 50	N + 38 526,26 +	62 352,41	
2019	965	QR	110,93	91 41 00	P + 38 567,31 +	62 356,28	
2020	953	PQ	34,09	4 55 10	Q + 38 678,19 +	62 353,02	
2021	623	RS	33,33	36 01 00	R + 38 681,12 +	62 386,98	
2022	1551	ST	31,23	41 21 10	S + 38 700,72 +	62 413,94	
2023	1707	TU	49,08	48 37 40	T + 38 721,35 +	62 437,38	
2024	1419	UV	47,26	96 26 20	U + 38 756,43 +	62 471,70	
2025	1365	VW	39,40	71 52 10	V + 38 803,39 +	62 466,40	
2026	1071	WX	60,80	109 33 20	W + 38 840,83 +	62 478,66	
2027	985	XY	30,58	160 34 30	X + 38 898,12 +	62 458,31	
2028	885	YZ	46,44	97 04 10	Y + 38 908,29 +	62 429,47	
2029	832	ZIA	27,57	136 38 40	Z + 38 954,38 +	62 423,75	
2030	833	IAIB	18,89	186 17 00	IA + 38 973,31 +	62 403,71	
2031	919	IBIC	12,10	199 03 10	IB + 38 971,24 +	62 384,94	
2032	1014	ICID	8,26	154 35 50	IC + 38 967,26 +	62 373,04	
2033	1029	IDIE	50,30	87 33 40	ID + 38 970,83 +	62 366,04	
2034	1035	IEIF	11,53	60 28 00	IE + 39 021,08 +	62 368,18	
2035	1237	IFIG	66,52	33 22 20	IF + 39 031,12 +	62 373,87	
2036	955	IGIH	12,02	7 31 00	IG + 39 067,71 +	62 429,42	
2037	1135	IHIJ	26,19	333 58 20	IH + 39 069,28 +	62 441,34	
2038	983	IJIK	15,46	96 41 20	IJ + 39 057,79 +	62 464,87	
2039	983	IKIL	21,76	153 58 20	IK + 39 073,14 +	62 463,07	
2040	895	ILIM	18,93	197 31 00	IL + 39 082,69 +	62 443,52	
2041	842	IMIN	72,63	213 22 20	IM + 39 080,21 +	62 424,76	
2042	994	INA	17,81	240 28 00	IN + 39 040,26 +	62 364,10	
2043	1249						
2044	1360						
2045	1077						
2046	1097						
2047	1041						
2048	1044						
2049	1166						
2050	1160						
2051	1169						
2052	1051						
2053	994						
2054	875						
2055	1167						
2056	894						
2057	949						

Y = 39 000

TN

CDR

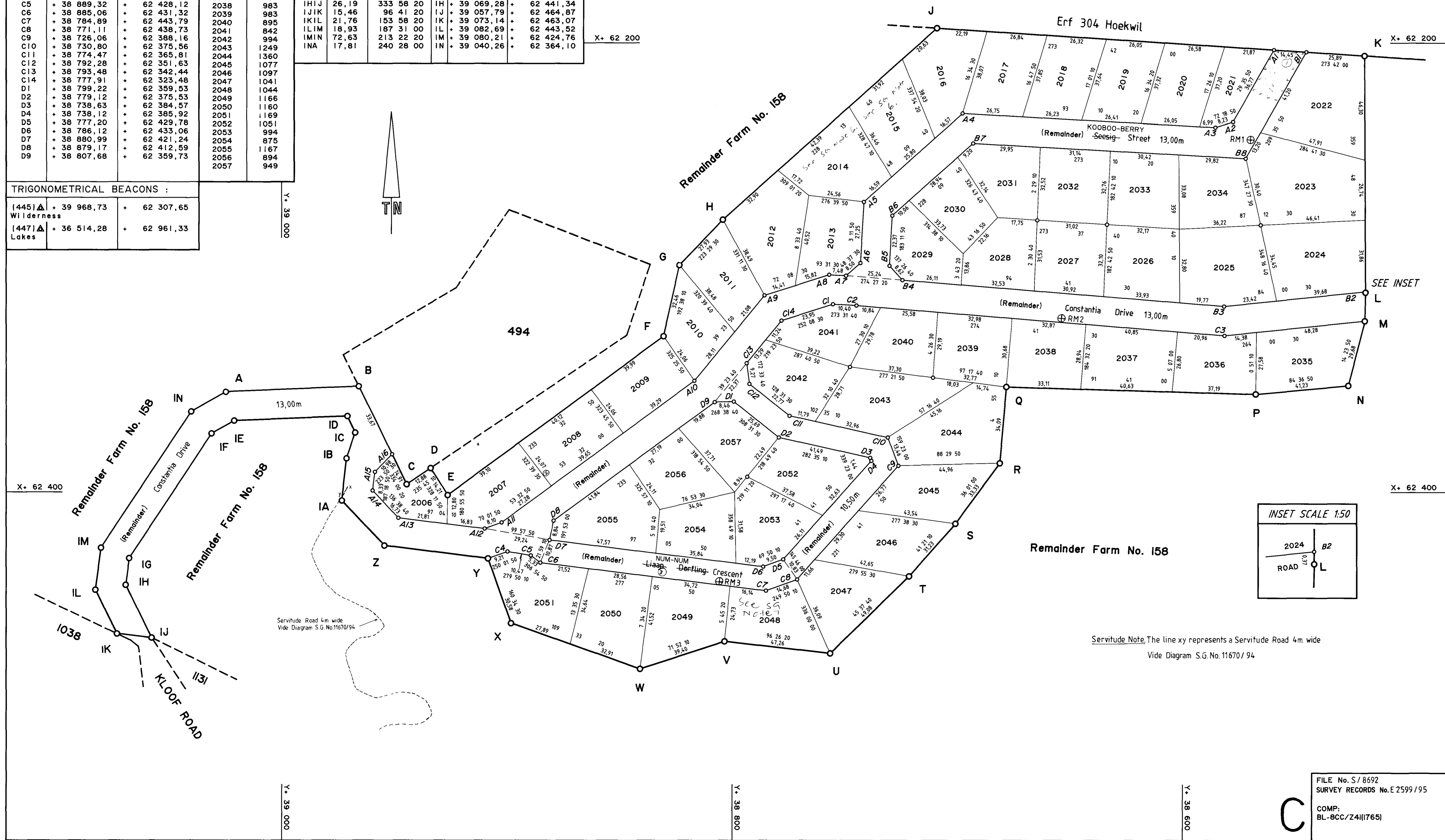
SG No. 8139/95
SHEET 1 OF 2 SHEETS
Provisionally Approved : <i>Kate</i>
for Surveyor-General
Date: 1995 . 12 . 11
Approved : <i>Phumoff</i>
for Surveyor-General
Date: 1996 - 11 - 28

Situate in the Wilderness District Council
Administrative District of George
Province of Western Cape

SCALE 1:750

This general plan was framed by me and I undertake to place the beacons of the erven in positions which correspond with the data on this plan and to submit the final general plan and the survey records pertaining thereto within the prescribed period to the Surveyor-General for approval.

G K Munns
G K Munns PLS 0429
Pr. Land Surveyor
Date . December 1994 - June 1995



ENDORSEMENTS					
NO	AMENDMENT	ADDITION	AUTHORITY	SIGN	DATE

SURVEYOR-GENERAL OFFICE NOTES

1. Erf 2006 consolidated. Now Erf 2096 Dgm No.8881/1996.
2. Bcns. replaced (Erven 2007-8) into Reg 18(2). S/8692 pgs 60-62 of E5677/1995.
3. Bcns. replaced (Erf 2049) into Reg. 18(2) S/8692 Vol.5 pg 118-119 and E2599/1995.
4. Erf 2027 BEACONS REPLACED vide E2599/1995.
5. Street names changed vide S/8692 vol 6 pg 153
6. Erven 2014 & 2015 included in consol. vide dgm 2219/2017, Erf 2412
7. Erf 2048 included in consol vide dgm 1109/2023 Erf 2592

FILE No. S / 8692
SURVEY RECORDS No. E 2599 / 95
COMP:
BL-8CC/Z4I(1765)

CONVEYANCER CERTIFICATE

I, the undersigned

SHARON PRINSLOO

In my capacity as conveyancer of George, certify, that a search was conducted in the Deeds Register, Cape Town, regarding the following property (including both current and earlier title deeds / pivot deeds / deeds of transfer:

ERF 2045 WILDERNESS

IN THE MUNICIPALITY AND DIVISION GEORGE

PROVINCE OF THE WESTERN CAPE

IN EXTENT: 1 077 (ONE THOUSAND AND SEVENTY SEVEN) Square Metres

HELD BY DEED OF TRANSFER NO. T26881/2023

1.

There are no existing restrictive conditions over the abovementioned property prohibiting the application of Permanent Departure.

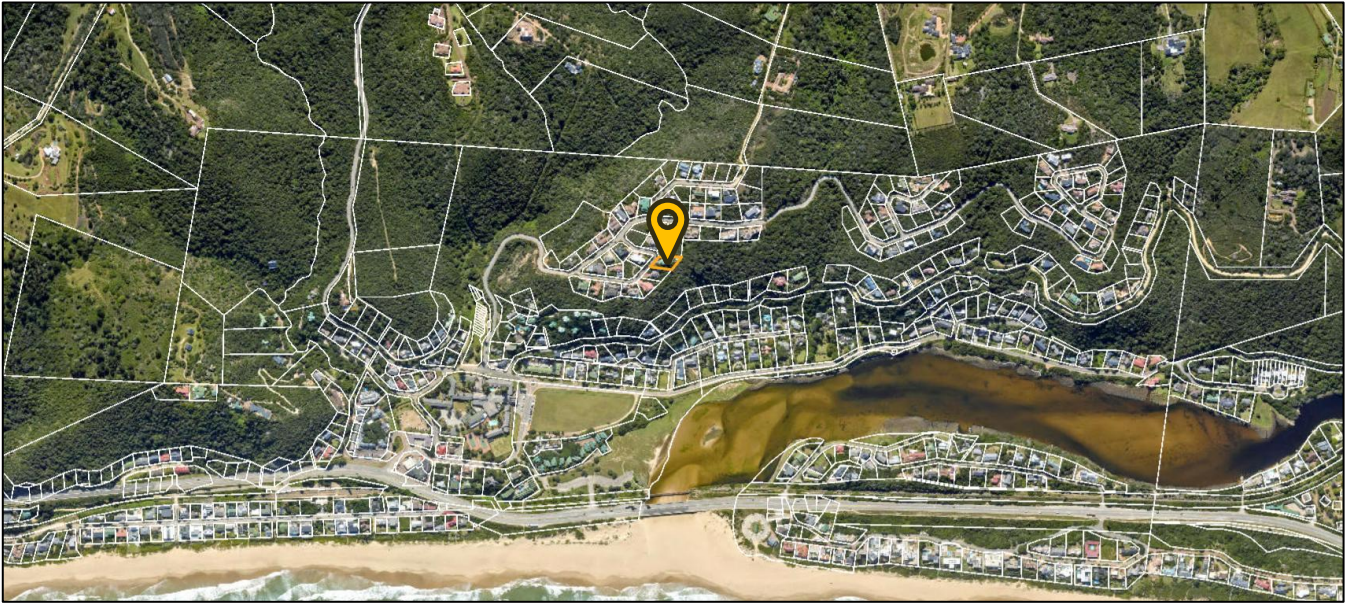
Signed at GEORGE on this 14th day of JULY 2025.

A handwritten signature in dark ink, appearing to read 'Sharon Prinsloo', is written over a horizontal line.

CONVEYANCER

LPCM NO. 85317

SHARON PRINSLOO

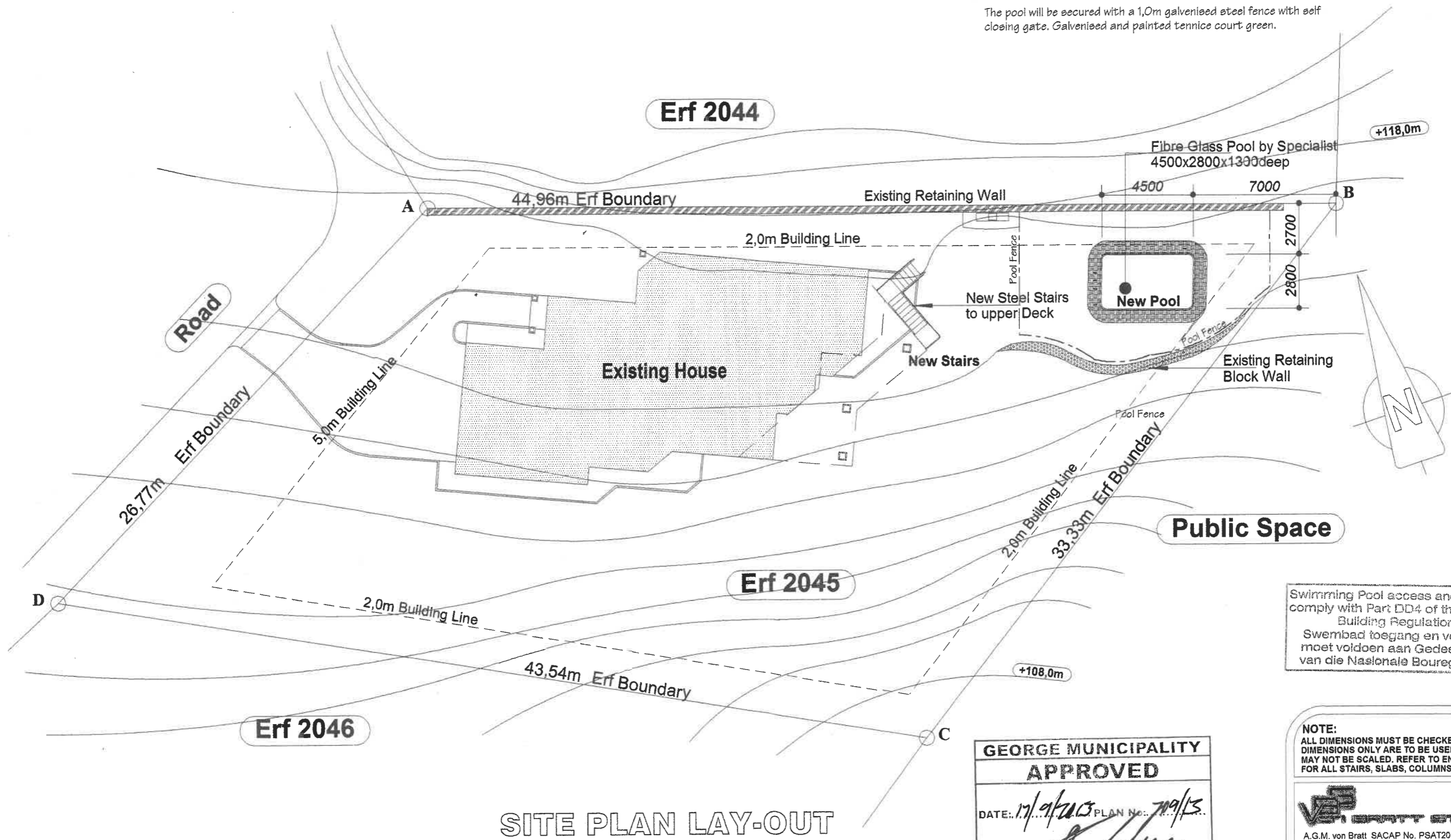


Copyright ©

ERF 2045,
NUM NUM CRESCENT, CONSTANTI KLOOF, WILDERNESS
GEORGE MUNICIPALITY & DIVISION

For scale refer to figured dimensions. Measurements always to be checked by Professional Land Surveyor.

Note:
 The new pool will be supplied and installed by pool specialist.
 Pool installation complete with safety net and clarinator pump and filters.
 The pool will be finished off with a 900mm wide paving brick surround
 and this will be laid on a 50mm sand cement base and edged with
 concrete edge finishing.
 The pool will be secured with a 1,0m galvanised steel fence with self
 closing gate. Galvanised and painted tennis court green.



SITE PLAN LAY-OUT

GEORGE MUNICIPALITY
APPROVED
 DATE: 17/9/13 PLAN No: 709/13
 Plans Examiner

Swimming Pool access and safety to
 comply with Part DD4 of the National
 Building Regulations.
 Swembad toegang en veiligheid
 moet voldoen aan Gedeelte DD4
 van die Nasionale Bouregulasies.

NOTE:
 ALL DIMENSIONS MUST BE CHECKED ON SITE FIGURED
 DIMENSIONS ONLY ARE TO BE USED. THIS DRAWING
 MAY NOT BE SCALED. REFER TO ENGINEERING DRWG
 FOR ALL STAIRS, SLABS, COLUMNS & FOUNDATIONS

VON BRATT STUDIOS
 A.G.M. von Bratt SACAP No. PSAT20543
 e-mail: andre@vonbratt.co.za
 Cell: 082 780 7988 Tel: 044 884 0034

Site Plan
 DRG No: 2
 HRH/05/2013
 DESIGN: VON BRATT

Additions to Home: **Richard Haas
 Family trust
 Erf 2045 Wilderness**

SCALE 1 : 200 26/07/2013

NOTE:
ALL STAIRS 280mm TREADS WITH
180mm RISERS, PLASTER AND TILE
TO SPEC.

No building activities may commence without
the written consent of the Wilderness (1921)
Limited as determined by the title deed of
the property.

27/3/03

Note:
All Balcony's and Steep Finished
Floor level to be 50mm below Finished
Floor level of inside floor of house

Roof: Green, Brown or Black
Brick: Meadow Rustic

NOTE:

ALL EXTERNAL WALLS 280mm CAVITY WALLS WITH BUTTERFLY
TIES, BRICKWORK TO BE KINKED INSIDE OF CAVITY

DPC TO ALL EARTH BOUND WALLS AND 250 Micron UPVC
GUNPLUS TO UNDERSIDE OF ALL FLOOR SLABS ON WELL
COMPACTED FILLING COMPACTED FILL TO 93 % Mod. AASHTO

FLOOR SLABS 85mm, CONCRETE 18 Mpa and RIB & BLOCK
SLAB TO ENGINEERS DETAIL

PREFABRICATED LINTELS ABOVE ALL DOORS & WINDOWS

ALL FOUNDATIONS TO BE STRIP FOUNDATIONS
800mm x 230mm TO ENGINEERS DETAIL AND SPEC.

GARAGE FLOOR; FLOATED GRANNO WITH 3 COATS PLASCON
ROOF PAINT THINNED WITH 50% WATER RINSE AND BRUSH
FLOOR BEFORE PAINTING

PAINT ALL INTERNAL WALLS 1 COAT MASONRY PAINT AND
2 COATS SUPER ACRYLIC PVA

ALL EXTERNAL WALLS FACE BRICK TO SPEC SEE ELEVATIONS
FOR DETAIL

ALL PAVING TO BE FULL CLINKER BRICK, HERRINGBONE
PATTERN SEE PAVING DRAWING

WINDOWS: TOP HUNG BRONZE ANODISED ALUMINIUM
WINDOWS

CEMENT PLASTER INTERNAL WALLS MIN. 15mm 1:5 CEMENT
PLASTER AND FINISHED WITH STEEL FLOAT PAINT TO SPEC

ALL SANITARY WARE WHITE APPROVED FITTINGS TO SPEC

TILE ALL FLOORS TO CLIENTS SELECTION

ALL DOORS TO CODE AS PER PLAN

KITCHEN UNITS AND BIC'S TO CLIENT SPEC

ALL CONCRETE STAIRS 280mm TREADS WITH 180mm RISERS
TO ENGINEERS DETAIL

Note:
Floor slab to be 120mm on Raft foundation
for all of Ground floor area, Columns to
Engineers detail and spec.

NOTE:
ALL DIMENSIONS MUST BE CHECKED ON SITE FIGURED
DIMENSIONS ONLY ARE TO BE USED. THIS DRAWING
MAY NOT BE SCALED. REFER TO ENGINEERING DRWG
FOR ALL STAIRS, SLABS, COLUMNS & FOUNDATIONS



**VON BRATT
STUDIOS**
PO Box 1469 - GEORGE - 6530
Tel: 044-8840034
E-mail: vonb@lantic.net

**GROUND FLOOR
PLAN**

DRG No: **A1**
EP/052002/A
DESIGN:
VON BRATT

New Home for:

Mr. & Mrs. PHILLIP
Erf 2045 Constantia Kloof Wilderness

SCALE 1 : 100

13/05/2002

**NO FINAL INSPECTION
WILL BE CARRIED OUT
AFTER 12:00 ON A FRIDAY**

Ground Floor area 119.0m²
Garage area 42.0m²
1st Floor area 129.0m²
Total Floor area 290m²

GROUND FLOOR PLAN

SUBJECT TO THE NATIONAL BUILDING
REGULATIONS.
SUBJECT TO THE HEALTH & RODENT
REGULATIONS.

In accordance with the provision of section 7(1)(a) of
the National Building Regulations Act, 1977 the
approval hereby granted expires after 12 months of
date of approval unless erection of the building is
commenced within the said period, or unless the
said period is extended in writing.

GEORGE MUNICIPALITY
DIRECTOR ADMINISTRATION

APPROVED

DATE 25/4/03 PLAN NO. 53/03

Building Control Officer

GEORGE MUNICIPALITY
HEALTH DEPARTMENT

APPROVED

DATE 22/03/03

Chief Health Inspector

APPROVED
SUBJECT TO THE FOLLOWING:
NHBRC REGISTERED BUILDER
NHBRC ENROLLMENT CERTIFICATE

31 JAN 2003

Signed:
GEORGE MUNICIPALITY

Note condition(s) of OCSA-permit
prior to issuing of occupation certificate

Signed:
Date 10/03/03

No building activities may commence without the written consent of the Wilderness (1921) Limited as determined by the title deed of the property. *Meiburg 27/3/03*

Erf 2044

NOTE:
7000lt Conservancy Tank
to Municipal spec

44,96m Erf Boundary

2.0m Building Line

+113,0m

+112,0m

+111,0m

+110,0m

+109,0m

+108,0m

+107,0m

+106,0m

+105,0m

+104,0m

+103,0m

+102,0m

+108,0m

Public Space

Erf 2045

2.0m Building Line

43,54m Erf Boundary

Erf 2046

SITE PLAN LAY-OUT

SUBJECT TO THE NATIONAL BUILDING REGULATIONS.
SUBJECT TO THE HEALTH & RODENT REGULATIONS.

In accordance with the provision of section 7(1)(a) of the National Building Regulations Act, 1977 the approval hereby granted expires after 12 months of date of approval unless erection of the building is commenced within the said period, or unless the said period is extended in writing.

NOTE:
ALL DIMENSIONS MUST BE CHECKED ON SITE FIGURED DIMENSIONS ONLY ARE TO BE USED. THIS DRAWING MAY NOT BE SCALED. REFER TO ENGINEERING DRWG FOR ALL STAIRS, SLABS, COLUMNS & FOUNDATIONS

VON BRATT STUDIOS
PO Box 1488 - GEORGE - 6530
Tel: 044-8840034
E-mail: vonb@lantic.net

SITE PLAN
DRG No: **A8**
EP/052002/A
DESIGN: *VON BRATT*

New Home for:
Mr. & Mrs. PHILLIP
Erf 2045 Constantia Kloof Wilderness

SCALE 1 : 200 13/05/2002

Note condition(s) of OCSA-permit prior to issuing of occupation certificate

[Signature]
Signed
03/03
Date

APPROVED
SUBJECT TO THE FOLLOWING:
NHBRC REGISTERED BUILDER
NHBRC ENROLLMENT CERTIFICATE
31 JAN 2003
Signed:
GEORGE MUNICIPALITY

GEORGE MUNICIPALITY
HEALTH DEPARTMENT
APPROVED *12.2.03*
DATE
[Signature]
Chief Health Inspector

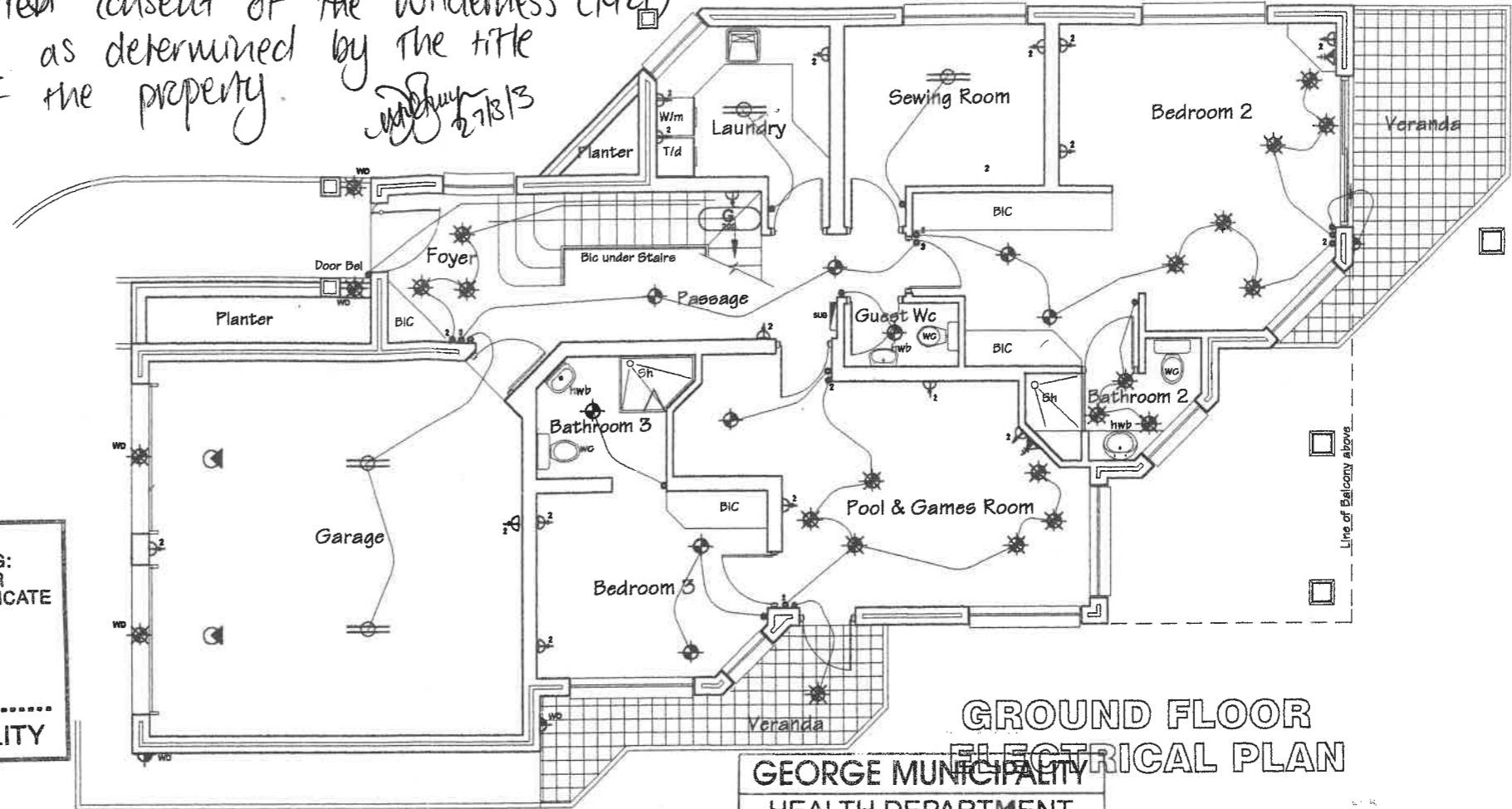
GEORGE MUNICIPALITY
DIRECTOR ADMINISTRATION
APPROVED
03/03 PLAN NO: *53/03*
[Signature]
Building Control Officer

ELECTRICAL SYMBOLS			
	Ceiling Light		Waterproof 3 Pin Plug
	12v Recess Lighting		Single Light Switch
	Fluorescent Tube Lighting		2 way Light Switch
	Wall Mounted Light		Dimmer Switch
	Waterproof Wall Light / Daylight Switched		DB - Board
	Double 3 Pin Plug		Sub Db Board
	Stove Plug / Isolator		200L/150 - 400 kpa Geyser
	Draw Box		Door Bell
	Remote Door Opener		TV Point
			Telephone Jack

No building activities may commence without the written consent of the Wilderness (1921) Limited as determined by the title deed of the property.

Roof: Green, Brown or Black
Brick: Meadow Rustic

APPROVED
SUBJECT TO THE FOLLOWING:
NHBRC REGISTERED BUILDER
NHBRC ENROLLMENT CERTIFICATE
31 JAN 2003
Signed:
GEORGE MUNICIPALITY



GROUND FLOOR ELECTRICAL PLAN

Note condition(s) of OCSA-permit prior to issuing of occupation certificate

Signed:
Date: 10/03/03

GEORGE MUNICIPALITY
HEALTH DEPARTMENT
APPROVED
DATE: 22/03/03
Chief Health Inspector
GEORGE MUNICIPALITY
DIRECTOR ADMINISTRATION
APPROVED
DATE: 24/03/03 PLAN NO: S3/03
Building Control Officer

SUBJECT TO THE NATIONAL BUILDING REGULATIONS.
SUBJECT TO THE HEALTH & RODENT REGULATIONS.

In accordance with the provision of section 7(1)(a) of the National Building Regulations Act, 1977 the approval hereby granted expires after 12 months of date of approval unless erection of the building is commenced within the said period, or unless the said period is extended in writing.

Note:

Bolard type Garden lighting 4 off positioned when landscaping is complete

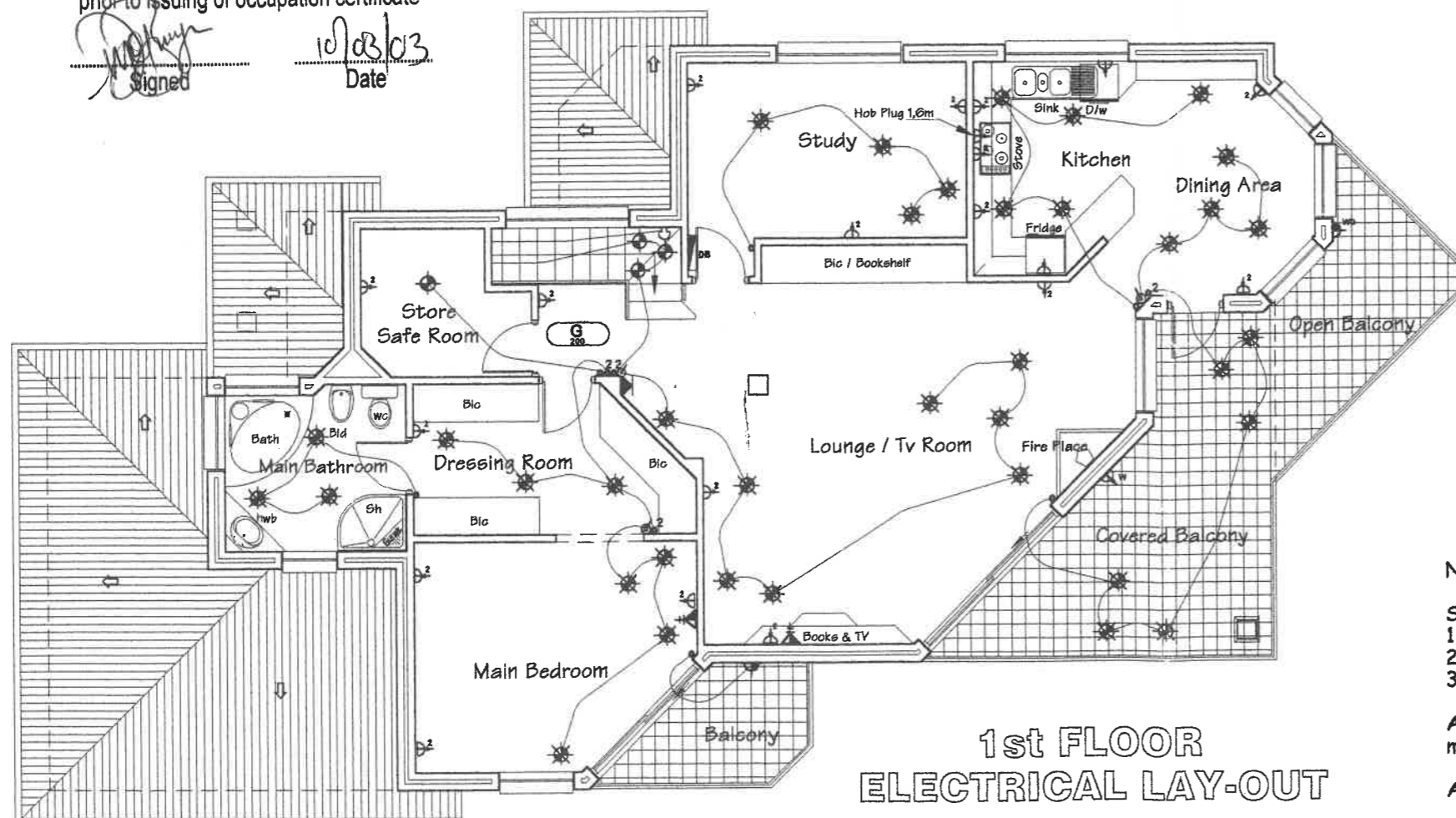
**NO FINAL INSPECTION
WILL BE CARRIED OUT
AFTER 12:00 ON A FRIDAY**

NOTE:

Separate Wall Plug Points into 3 Separate circuits:
1 for Kitchen, Laundry and Garage
2 for All other Rooms Ground Floor
3 for All Rooms Lower Ground Floor

All Daylight switched External Lights to have a manual override switch at DB Board

All Geysers to be on a LCR (Load Controled) Switch



1st FLOOR ELECTRICAL LAY-OUT

NOTE:
ALL DIMENSIONS MUST BE CHECKED ON SITE FIGURED DIMENSIONS ONLY ARE TO BE USED. THIS DRAWING MAY NOT BE SCALED. REFER TO ENGINEERING DRWG FOR ALL STAIRS, SLABS, COLUMNS & FOUNDATIONS



**VON BRATT
STUDIO'S**
PO Box 1469 - GEORGE - 6530
Tel: 044-8840034
E-mail: vonb@lantic.net

DRG No: **A6**
**ELECTRICAL
LAY-OUT**
DESIGN: **VON BRATT**

New Home for:

Mr. & Mrs. PHILLIP
Erf 2045 Constantia Kloof Wilderness

SCALE 1 : 100

13/05/2002

No building activities may commence without the written consent of The Wilderness (1921) Limited as determined by the title deed of the property.

Shack:
Meadow Rustic
Roof:
Green, Brown or Black
6/3/03

Exterior Brick Finish:

Exterior of house CRAMMIX Multy Blend Fbr with areas as noted in Stretcher Bond and Soldier Bond. With all Columns to be done in Corobrik Roan Travertine.

Ceiling +5,25m

FFL +2,75m

FFL +0,0m

DPC to all Eart Bound Walls with 250 Micron UPVC Gunplus to Underside of all Floor Slabs on well Compacted Fill, Filling Compacted to 93% Mod. AASHTO

SOUTH ELEVATION

Note condition(s) of OCSA-permit prior to issuing of occupation certificate

Signed: *[Signature]* Date: 10/03/03

GEORGE MUNICIPALITY
HEALTH DEPARTMENT
APPROVED *[Signature]* 12-20-03
DATE
Chief Health Inspector

Note:

Handrails:
Anodized Aluminium Stantions with 8mm Safety glass, No top rail. All Handrailing 1000M high From top of Slab
Windows:
Bronze Anodized Alum. Tophung Windows and Sliding Doors by Approved Supplier

Roof:

Roof Tiles Coverland Elite Groomed Harlequin Red on Prefabricated Trusses at 700c/c to engineers detail and design with 38x38mm battens spaced at tile manu. spec. Roof by specialist.
Roof Pitch 27 Deg eee spek.
Roof Overhang 600mm Typical all round.

Insolation: 405 Sialation to underside of rooftiles with approved insolation above ceilings to all areas of house

Ceilings 6,4mm Rhino Board on 45 x 45mm Treated SA PINE Battens @ 400c/c with all Joints Taped and Schimmed (no bishop stripes)

NOTE:

ALL DIMENSIONS MUST BE CHECKED ON SITE FIGURED DIMENSIONS ONLY ARE TO BE USED. THIS DRAWING MAY NOT BE SCALED. REFER TO ENGINEERING DRWG FOR ALL STAIRS, SLABS, COLUMNS & FOUNDATIONS



VON BRATT
STUDIOS
PO Box 1468 - GEORGE - 6630
Tel: 044-8840034
E-mail: vonb@lantic.net

ELEVATIONS
EAST & SOUTH

DRG No: A5
EPJ052002/A
DESIGN: *[Signature]* VON BRATT

New Home for:

Mr. & Mrs. PHILLIP
Erf 2045 Constantia Kloof Wilderness

SCALE 1 : 100

13/05/2002



EAST ELEVATION

Note:
All RW Downpipes and Plumbing/Walet Pipes to be Positioned Inside Walls

APPROVED
SUBJECT TO THE FOLLOWING:
NHBRC REGISTERED BUILDER
NHBRC ENROLMENT CERTIFICATE

31 JAN 2003

Signed:
GEORGE MUNICIPALITY

Note:

3 Coats Bituseal to all Retaining Walls below NGL. Bagging to back of Wall Before painting of Bituseal

Waterproofing to back of Retaining wall to Engineers Detail Self Draining Fill to back of Retaining Wall

SUBJECT TO THE NATIONAL BUILDING REGULATIONS.
SUBJECT TO THE HEALTH & RODENT REGULATIONS.

In accordance with the provision of section 7(1)(a) of the National Building Regulations Act, 1977 the approval hereby granted expires after 12 months of date of approval unless erection of the building is commenced within the said period, or unless the said period is extended in writing.

GEORGE MUNICIPALITY
DIRECTOR ADMINISTRATION
APPROVED
DATE 05/04/03 PLAN NO S3/03
[Signature]
Building Control Officer

NO FINAL INSPECTION
WILL BE CARRIED OUT
AFTER 12:00 ON A FRIDAY

No building activities may commence without the written consent of The Wilderness (1921) Limited as determined by the title deed of the property.

27/3/03

COOF: Green, Brown or Black.

Brick: Meadow Rustic.

6/8/03



NORTH ELEVATION

Note:
3 Coats Bituseal to all Retaining Walls below NGL. Bagging to back of Wall Before painting of Bituseal

Note condition(s) of OCSA-permit prior to issuing of occupation certificate

[Signature] 10/03/03
Signed Date

GEORGE MUNICIPALITY
HEALTH DEPARTMENT
APPROVED <i>12/2/03</i>
DATE
<i>[Signature]</i>
Chief Health Inspector

SUBJECT TO THE NATIONAL BUILDING REGULATIONS.
SUBJECT TO THE HEALTH & RODENT REGULATIONS.

In accordance with the provision of section 7(1)(a) of the National Building Regulations Act, 1977 the approval hereby granted expires after 12 months of date of approval unless erection of the building is commenced within the said period, or unless the said period is extended in writing.

GEORGE MUNICIPALITY
DIRECTOR ADMINISTRATION
APPROVED
DATE <i>5/8/03</i> PLAN NO <i>33/03</i>
<i>[Signature]</i>
Building Control Officer

NO FINAL INSPECTION
WILL BE CARRIED OUT
AFTER 12:00 ON A FRIDAY

Exterior Brick Finish:

Exterior of house CRAMMIX Multy Blend Fbx with areas as noted in Stretcher Bond and Soldier Bond. With all Columns to be done in Corobrik Roan Travertine.

Note:

Handrails:
Anodised Aluminium Stantions with 8mm Safety glass, No top rail. All Handrailing 1000M high From top of Slab
Windows:
Bronze Anodized Alum. Tophung Windows and Sliding Doors by Approved Supplier

Roof:

Roof Tiles Coverland Elite Groomed Harlequin Red on Prefabricated Trusses at 700c/c to engineers detail and design with 38x38mm battens spaced at tile manu. spec. Roof by specialist.
Roof Pitch 27 Deg see spec.
Roof Overhang 600mm Typical all round.

Insulation: 405 Sisalation to underside of roof tiles with approved insulation above ceilings to all areas of house

Ceilings 6,4mm Rhino Board on 45 x 45mm Treated SA PINE Battens @ 400c/c with all Joints Taped and Schimmed (no bishop stripes)

NOTE:

ALL DIMENSIONS MUST BE CHECKED ON SITE FIGURED DIMENSIONS ONLY ARE TO BE USED. THIS DRAWING MAY NOT BE SCALED. REFER TO ENGINEERING DRWG FOR ALL STAIRS, SLABS, COLUMNS & FOUNDATIONS



VON BRATT
STUDIOS
PO Box 1469 - GEORGE - 6530
Tel: 044-8840034
E-mail: vonb@lantic.net

ELEVATIONS
NORTH & WEST

DRG No: **A4**
EP/052002/A
DESIGN: *[Signature]* VON BRATT

New Home for:

Mr. & Mrs. PHILLIP
Erf 2045 Constantia Kloof Wilderness

SCALE 1 : 100

13/05/2002



WEST ELEVATION

Note:
All RW Downpipes and Plumbing Waist Pipes to be Positioned Inside Walls

APPROVED
SUBJECT TO THE FOLLOWING: NHBRC REGISTERED BUILDER NHBRC ENROLLMENT CERTIFICATE
31 JAN 2003
Signed:
GEORGE MUNICIPALITY

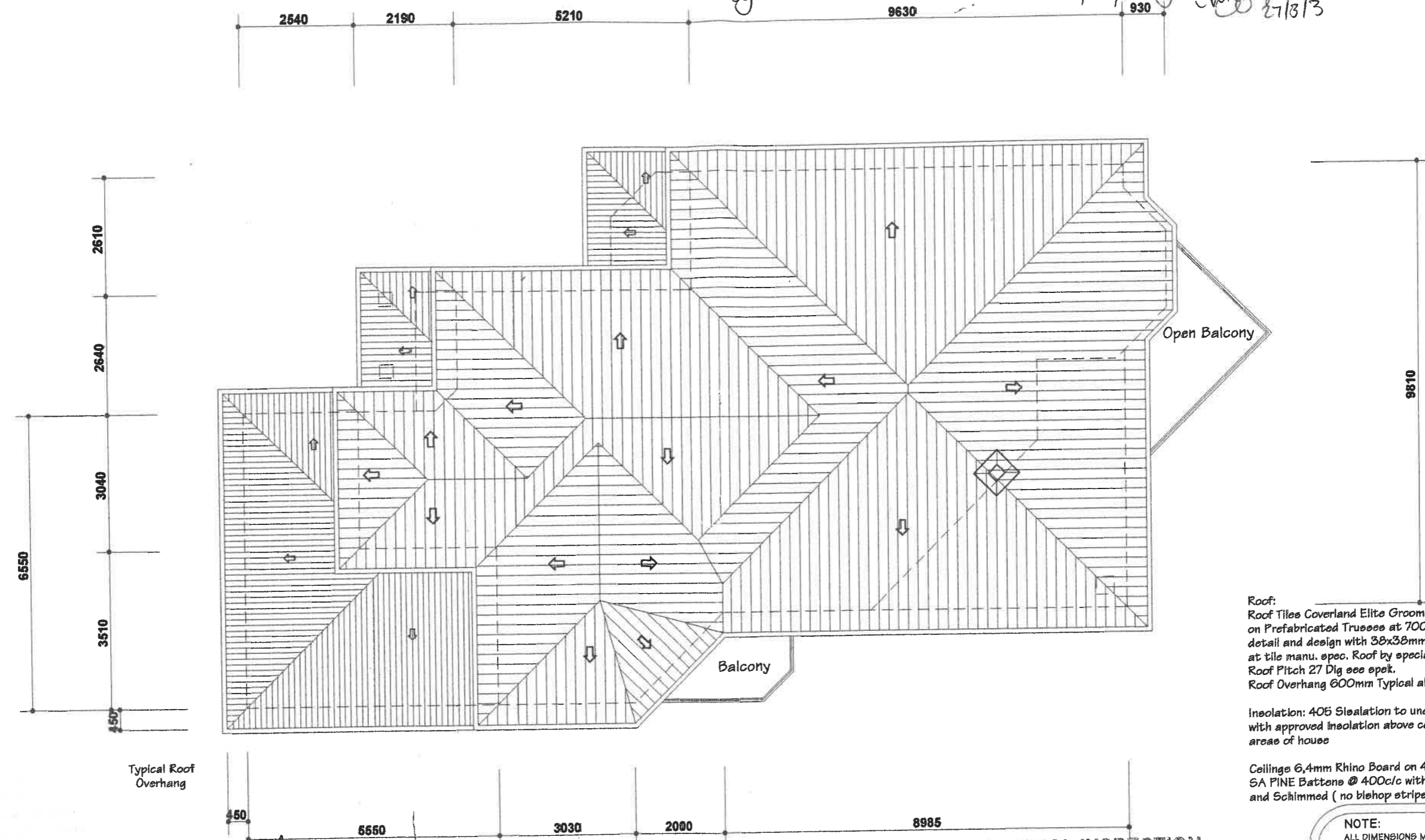
Waterproofing to back of Retaining wall to Engineers Detail Self Draining Fill to back of Retaining Wall

DPC to all Eart Bound Walls with 250 Micron UPVC Gunplue to Underside of all Floor Slabs on well Compacted Fill, Filling Compacted to 93% Mod. AASHTO

No Building activities may commence without the written consent of The Wilderness (1921) Limited as determined by the title deed of the property.

Brick: Meadow Rustic
Roof: Green, Brown or Black

W. Bratt
27/3/03



Roof:
Roof Tiles Coverland Elite Groomed Harlequin Red on Prefabricated Trusses at 700c/c to engineers detail and design with 38x38mm battens spaced at tile manu. spec. Roof by specialist.
Roof Pitch 27 Deg see spec.
Roof Overhang 600mm Typical all round.

Insulation: 405 Sealant to underside of roof tiles with approved insulation above ceilings to all areas of house

Ceilings 6.4mm Rhino Board on 45 x 45mm Treated SA PINE Battens @ 400c/c with all joints Taped and Schimmed (no bishop strips)

NOTE:
ALL DIMENSIONS MUST BE CHECKED ON SITE FIGURED DIMENSIONS ONLY ARE TO BE USED. THIS DRAWING MAY NOT BE SCALED. REFER TO ENGINEERING DRWG FOR ALL STAIRS, SLABS, COLUMNS & FOUNDATIONS

Note condition(s) of OCSA-permit prior to issuing of occupation certificate

W. Bratt
Signed
10/03/03
Date

ROOF PLAN

NO FINAL INSPECTION
WILL BE CARRIED OUT
AFTER 12:00 ON A FRIDAY

Note:
All Roofs 27° Pitch

Note:
All Guttering to be Aluminium Seamless with all Downpipes placed inside cavity walls.
Gutter Color Sand on 150 x 10mm Everite Facias

APPROVED
SUBJECT TO THE FOLLOWING:
NHBRC REGISTERED BUILDER
NHBRC ENROLMENT CERTIFICATE

31 JAN 2003

Signed:
GEORGE MUNICIPALITY

GEORGE MUNICIPALITY
HEALTH DEPARTMENT
APPROVED 12/2/03
DATE

.....
Chief Health Inspector

SUBJECT TO THE NATIONAL BUILDING REGULATIONS.
SUBJECT TO THE HEALTH & RODENT REGULATIONS.

In accordance with the provision of section 7(1)(a) of the National Building Regulations Act, 1977 the approval hereby granted expires after 12 months of date of approval unless erection of the building is commenced within the said period, or unless the said period is extended in writing.

GEORGE MUNICIPALITY
DIRECTOR ADMINISTRATION
APPROVED
DATE 5/4/03 PLAN NO: 53/03

W. Bratt
Building Control Officer

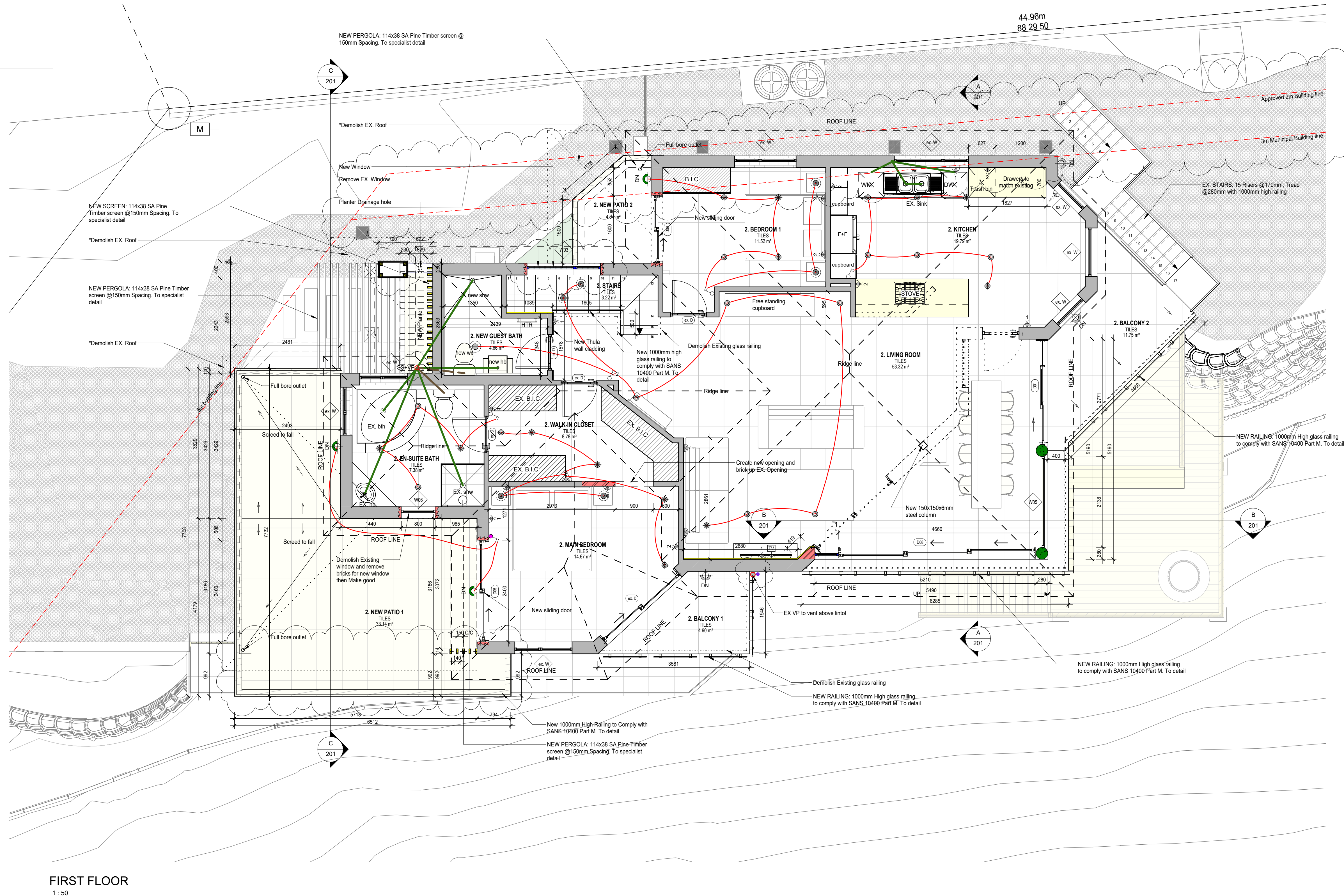
VON BRATT STUDIO'S
PO Box 1489 - GEORGE - 6530
Tel: 044-8840034
E-mail: vonb@iantic.net

DRG No: **A3**
ROOF PLAN
EP/052002/A
DESIGN:
VON BRATT

New Home for:
Mr. & Mrs. PHILLIP
Erf 2045 Constantia Kloof Wilderness

SCALE 1 : 100
13/05/2002

Stamp:



FIRST FLOOR
1 : 50

NOTE:
*Existing roof tiles to be carefully removed and demolish existing roof structure. Where demolished roof structure meets existing walls to be repaired where needed, make good to match new layout

Electrical Legend

New	Existing	New	Existing

PLAN & SERVICE LEGEND

	lrb	Long Radius Bend		Gully
	ss	Stub Stack		Stormwater Drain
	vp	Vent Pipe		Stand Pipe
	l.e	Inspection Eye		200 Litre Solar Geyser
		Sewer Lines		Soak Pit
		Waste Water		
		Cold Water Supply		
		Hot Water Supply		
bth		Stormwater Lines		
hb		Electrical cable		
shw		Solar panel		
wc		Water Meter		
r.e		Stop Cock		

CONSTRUCTION NOTES

EARTHWORKS
Remove topsoil over the building area to a depth of 150mm and temporarily store on site for later use as garden soil. Backfill to be approved clean earth at optimum moisture content in layers not exceeding 100mm for hand compaction and 150mm for mechanical compaction. To a density of at least 95% mod AASHTO. At completion of the works, dig up concrete or mortar mixing platforms, and clean the site of all surface and buried rubble. Pison the soil against the trade foundation walls and under floors with chondrite soil insecticide, complying with SANS 1165, applied according to SANS 10124. Obtain a written guarantee from the pest control contractor for 10 years for the effectiveness of the treatment, and hand over to the Client.

CONCRETE FORMWORK
Use cement to comply with SANS 50197-1, strength class 32.5n or higher. Cement must be SABS-mark bearing. Use natural crushed or blended sand for use in concrete to comply with SANS 1083. Stone for use in concrete to comply with SANS 1081. Cast concrete test cubes of size and quantity, and at intervals of 4 batches in accordance with SANS test method 5861.

MASONRY
All walls are to comply with SANS10400-K. Use clay bricks, where specified, complying with SANS 227. Use concrete bricks and blocks, where specified, complying with SANS 1215. Corobrik common or similar equivalent to be used where to receive plaster and Corobrik engineering bricks or similar equivalent below ground level in foundation walls. Wire brick reinforcement must be galvanized mild steel. Brickwork to all courses from window head to underside of wall plate. Use precast pre-stressed lintels complying with SANS 1594. Lay lintels with a bearing length of at least 200mm in 1:3 cement mortar. Prop lintels at 1.5m centres for at least seven days after masonry was completed.

WATERPROOFING
Use 0.375mm black embossed polyolefin damp proof course complying with SANS 952, type B. Lay damp proof course in unjointed lengths where possible and with full corner laps over full width of wall, level with the top of floors and not less than 150mm above finished ground level, and under copings and in parapet walls. Lay damp proof course under painted windowills and tuck in under window profiles. Use 0.25mm smooth green polyolefin membrane complying with SANS 952 type C. Lay damp proof membrane under concrete surface beds or concrete floors. Fold membrane up against the foundation walls. Lay damp proof membrane in the largest practical sizes with 200mm laps. Seal laps according to manufacturer's instructions.

ELECTRICAL INSTALLATION
Comply with all requirements of the local authority and with SANS 10142. All work must be done under supervision of a registered electrician. Chase neatly. Do not chase walls constructed of hollow blocks - locate services in the block cavities. Chase solid walls not deeper than one third of the wall thickness vertically and not more than one sixth horizontally. Avoid horizontal chasing where possible. Fill chases with class 1 or 2 mortar once the conduits are in position.

GLAZING
Glass to comply with SANS 50572. Discuss the direction of the pattern in obscure glass with the architect before cutting.

GAS INSTALLATION
Gas fire-places, stove and all gas feeds to be fitted and installed by specialist. All to comply with SANS 10087 and SANS 460.

ROOF COVERINGS
Roof to comply with SANS 10400 - L. Roof to be structural timber roofs and to be specified and inspected by Engineer at each stage.

CARPENTRY AND JOINERY
In the case of prefabricated frames, supply a certificate after erection, signed by the competent person who designed the structure, stating that the whole roof structure has been fabricated and erected to SANS 10243.

CEILING/PARTITIONING
Use gypsum partitioning board complying with SANS 266, 6.4mm thick, or as specified. Use longest lengths possible to suit room. Ensure building is enclosed before partitioning boards are fixed. Fix boards with 38mm galvanneal clout nails or 32x2.5mm diameter galvanized serrated ceiling nails at 150mm centres to partitioning structure. All joints to be covered with FibraTape. Plaster the entire ceiling with 3 - 6mm lightweight hemi-hydrate gypsum plaster. Finish plaster to a smooth polished surface. Use mineral fibre blanket insulation to comply with SANS 1381 and SANS 10400-XA.

ALUMINIUM FRAME WINDOWS AND DOORS
Glazed Aluminium alloy windows and doors to comply with SANS 1651 as specified in the window and door schedules. The supplier is responsible for confirmation of opening sizes. The manufacturer is responsible for taking height of product head above ground into account when selecting products of appropriate performance. Design wind pressure must be to SANS 10160. Protect frames against impact or scratching by wrapping with paper, plastic or covering with a light tact tape, and leave these wrappings in place until all rough trades are finished and clean down on completion. Avoid direct contact between aluminium and other metals or wet concrete by applying separating coat of bituminous paint.

SEWER
Existing sewer presumed to be according to previous approval. Not visible for inspection by Architect.

ENERGY USAGE IN BUILDING
1. Roof assemblies to receive insulation to achieve the R-value as indicated in table 7, thickness given in SANS 204 table 10. See SANS 10400-XA clause 4.4.3.8 & SANS 204 table 10. Non masonry walls will have R-values as provided. See SANS 10400-XA clause 4.4.3.1.
2. Double skin masonry with plaster inside or render outside complies. Single leaf, minimum 140mm with plaster inside and render outside complies. See SANS 10400-XA clause 4.4.3.2.
3. Other masonry walls will have R-value of 0.35. See SANS 10400-XA clause 4.4.3.3.
4. Air leakage shall not exceed 2 l/m² fenestration area @ 300 Pa wind speed and 5 l/m² revolving / swing doors. See SANS 10400-XA clause 4.4.1.1 and SANS 513 clause 4.
5. Fenestration more than 15% area to net floor area per storey complies. See SANS 10400-XA clause 4.4.1.1.
6. Fenestration up to 15% area to net floor area per storey complies. See SANS 10400-XA clause 4.4.1.1.
7. Provide 50% of hot water required by volume through non-electrical resistance sources. All exposed hot water piping to be insulated with R-value of 1. See SANS 10400-XA clause 4.1.

Copyright reserved to SAA
-All work is to be set out using a profile marked at 85mm c/c
-All dimensions as indicated on plan are to be set out on a level horizontal plane.
-All dimensions to be checked on site before work commences.
-Use figured dimensions in preference to scaled dimensions. This drawing is not to be scaled.
-All dimensions are given in millimetres.
-Quality of all materials and workmanship to comply with the relevant SABS specifications.
-All work to be carried out strictly in accordance with NBRs and local authority regulations. The contractor is to make themselves aware of these prior to commencement of work.
-Copyright over all designs and drawings shall remain the property of Liminal Architects and any provision to the contrary in terms of the copyright act no 63 of 1965 is hereby specifically excluded.
-The design on this drawing remains the property of the designer - copyright reserved Liminal Architects
-All relevant details, levels are to be checked on site prior to commencement of work.
-Any discrepancies are to be brought to the attention of the architect.
-Should any part of the drawings, specification or bills of quantities not be clearly intelligible or that the materials or articles to be used in the execution of the works be considered insufficiently described, request the architect / principal agent in writing for clarification, also in writing.
-Failing which any alterations or substitutions rendered necessary the incorrect interpretation of such drawings, specification or bills of quantities shall be at contractor's cost.
-The description of an item implies the complete supply, assembly and operation of the item, unless otherwise specified.
-The architect accepts no responsibility for errors resulting from misinterpretation of the drawings.

STATUS
MUNICIPAL SUBMISSION

CLIENT
MADELYN KOHLER

CLIENT SIGNATURE
PROPOSED RENOVATIONS

ARCHITECT
LIMINAL ARCHITECTS

CELL - 078 386 7497
EMAIL - penny@limarc.co.za
ADDRESS - 392 Waterside Rd, Wilderness, George, 6530

ARCHITECT SIGNATURE
P. J. Vorster

SACAP - PrARCH - 44016884

PROFESSIONAL ARCHITECT
PENELOPE JOY VORSTER

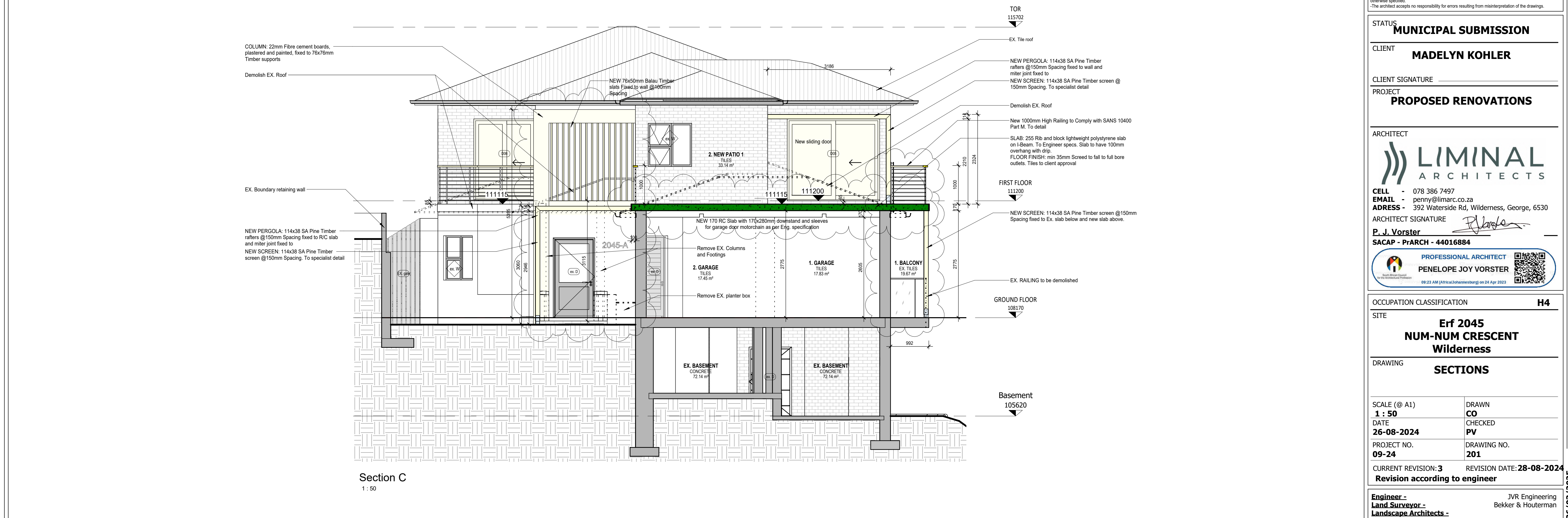
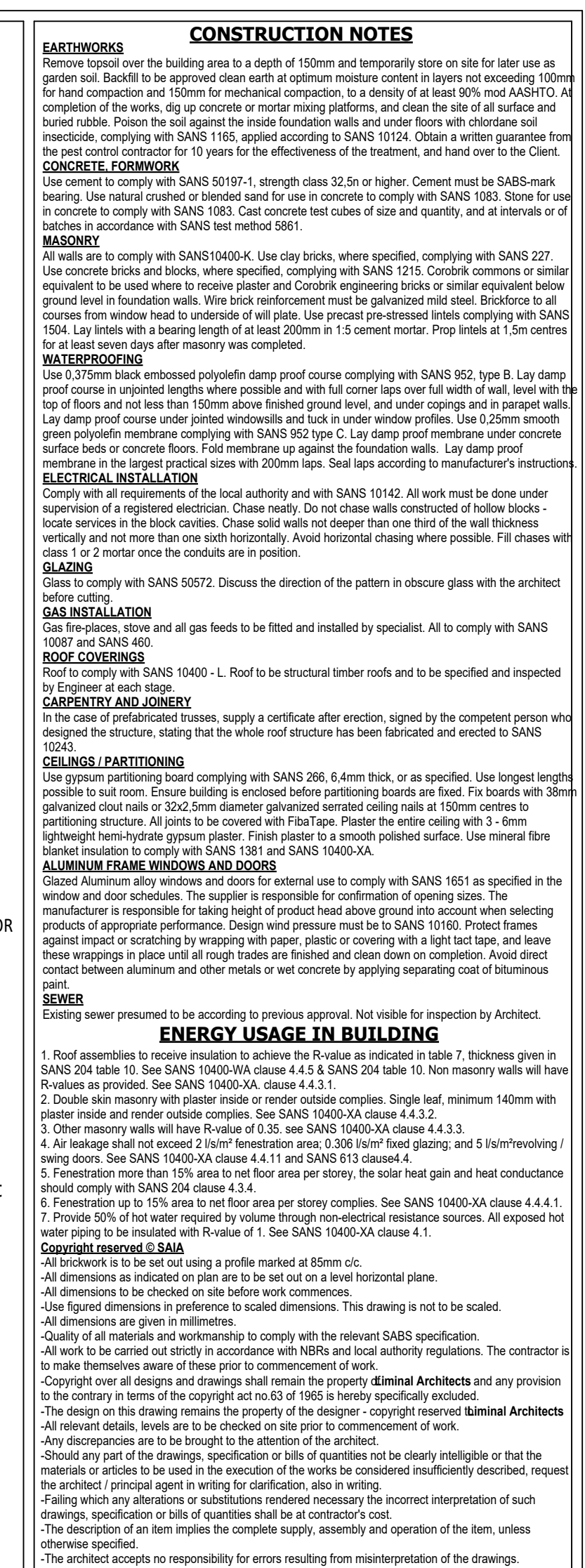
OCCUPATION CLASSIFICATION
H4

SITE
Erf 2045
NUM-NUM CRESCENT
Wilderness

DRAWING
FIRST FLOOR PLAN

SCALE (@ A1)
As indicated
DATE
26-08-2024
PROJECT NO.
09-24
CURRENT REVISION: 6
Revision according to Municipality feedback

DRAWN
CO
CHECKED
PV
DRAWING NO.
103
REVISION DATE: 26-03-2025
JVR Engineering
Bekker & Houterman

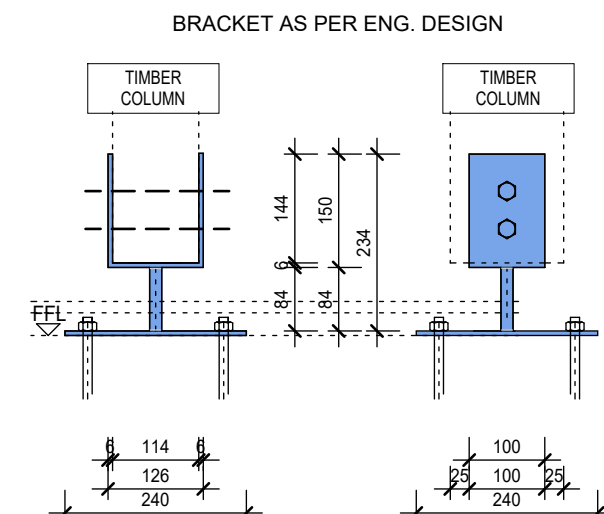


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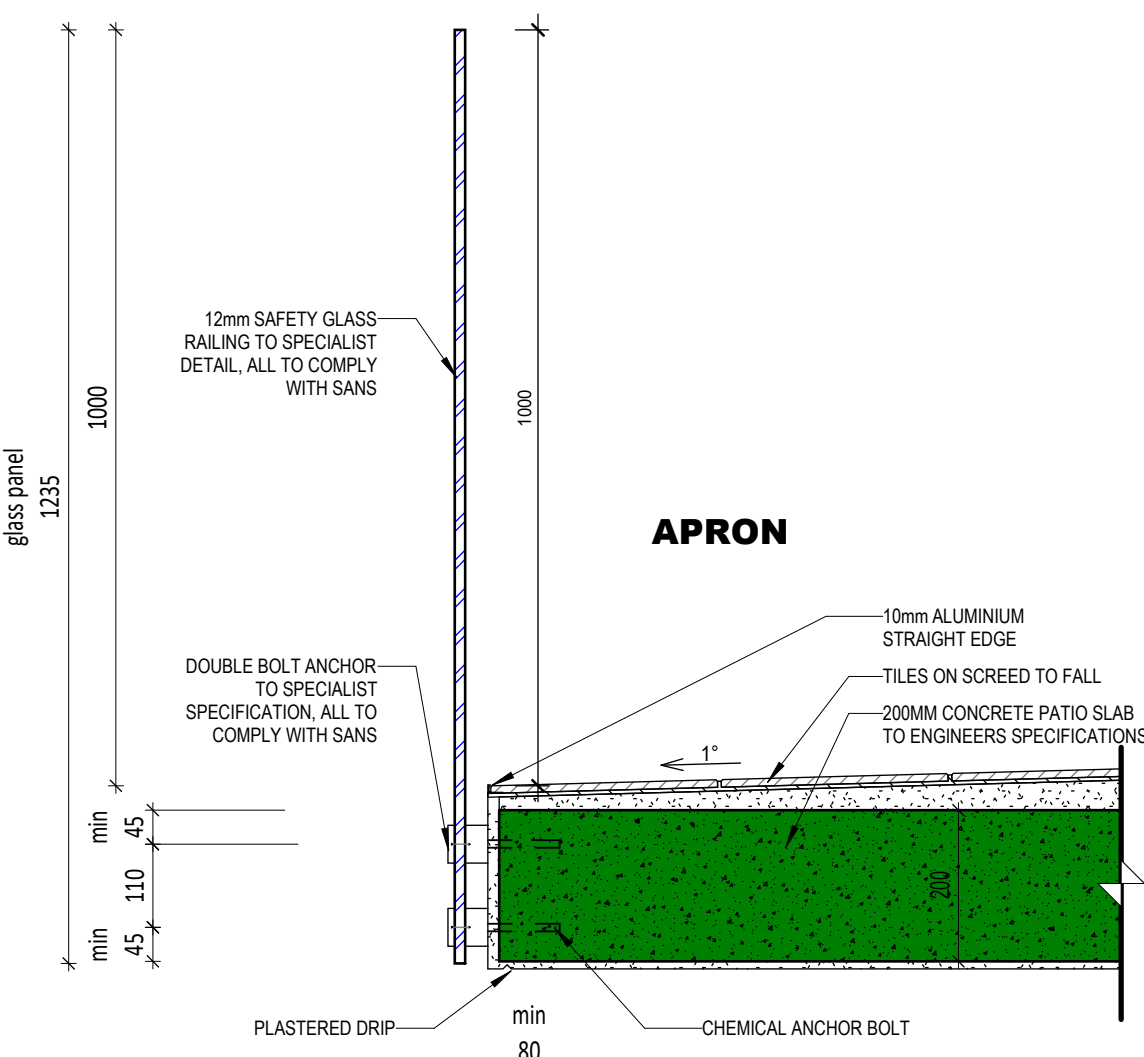
Exposed brick - Common Smooth red NFX brick - satin finish (not a travertine brick), finished with two coats of woodstone stone seal.

Interior Wall Paint: All surfaces must be clean, sound, dry and free from grease, oil or any other contaminants before any of the following products are applied. Prepare Wall & Ceiling paint surfaces and apply one coat of similar approved. All to comply with the Architect. Prepare plaster surfaces and apply one coat Merit plaster primer (UC 56) and two coats Plaster Velvago Satin non-drip Enamel, or similar approved. All to comply with S.A.B.S. requirements. No thinning is to be used.

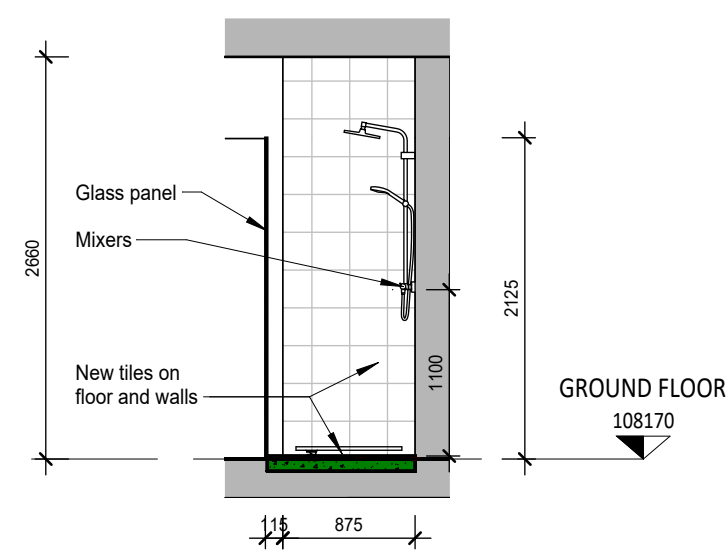
Exterior Wall Paint: All surfaces must be clean, sound, dry and free from grease, oil or any other contaminants before any of the following products are applied. Prepare Wall & Ceiling paint surfaces and apply one coat of similar Quality Paint, colour to be determined on site by the Architect. Prepare plaster surfaces and apply one coat Merit plaster primer (UC 56) and two coats Plaston Wall & all or similar approved. All to comply with S.A.B.S. requirements. No thinning is to be used.



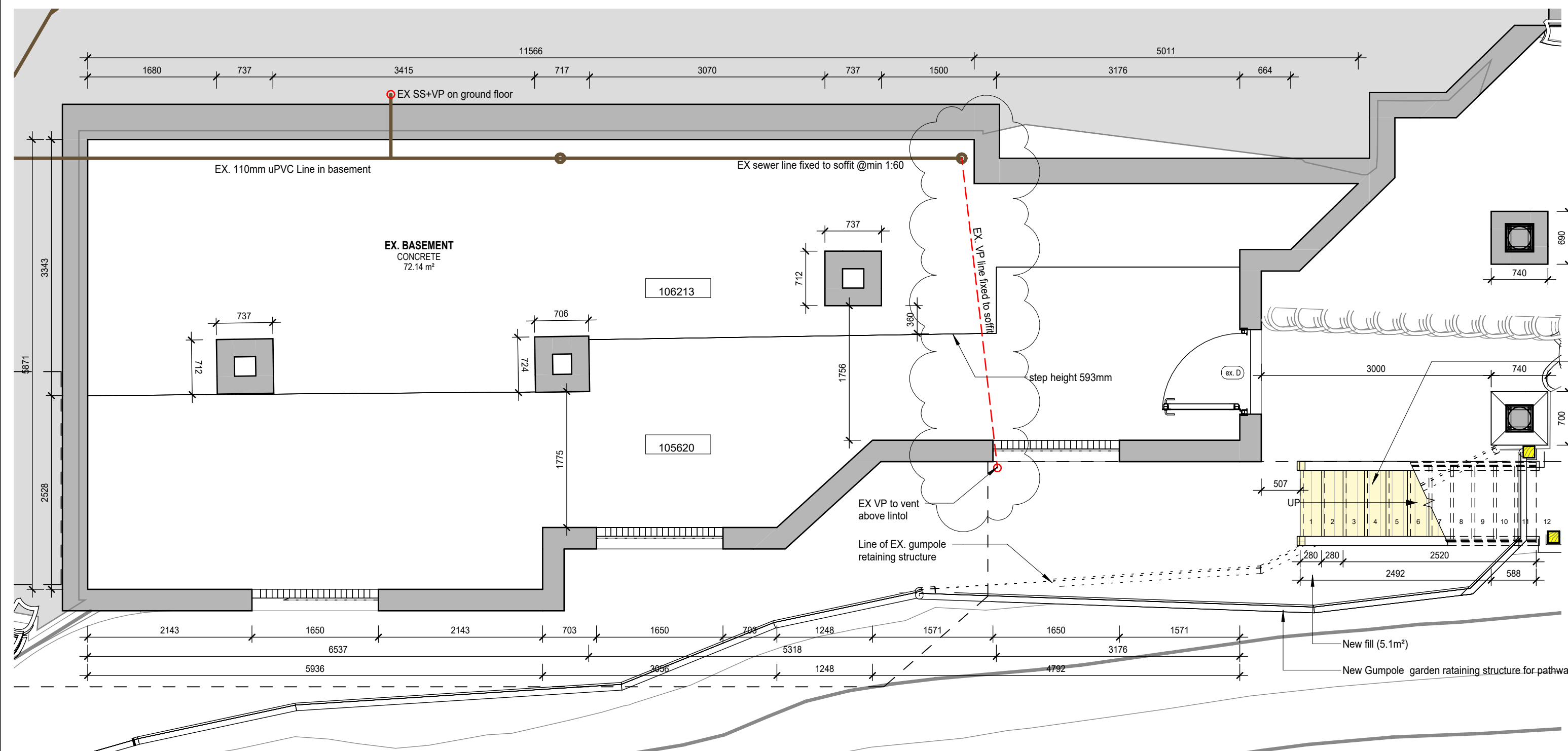
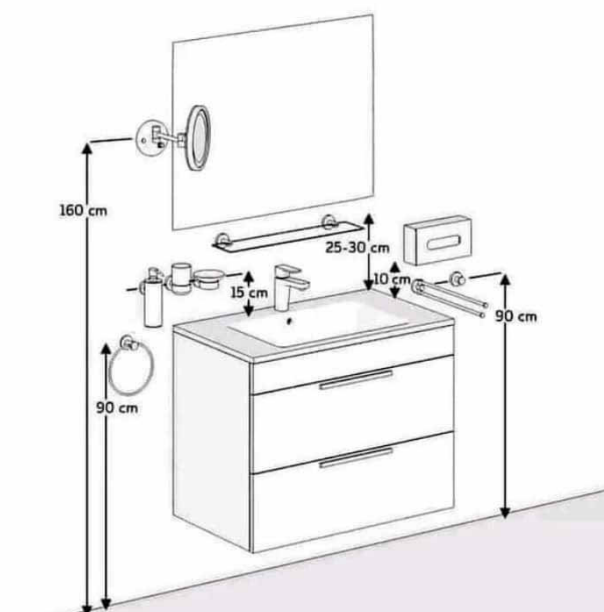
BRACKET DETAIL
1 : 10



GLASS RAILING DETAIL



SHOWER INTERNAL ELEVATION



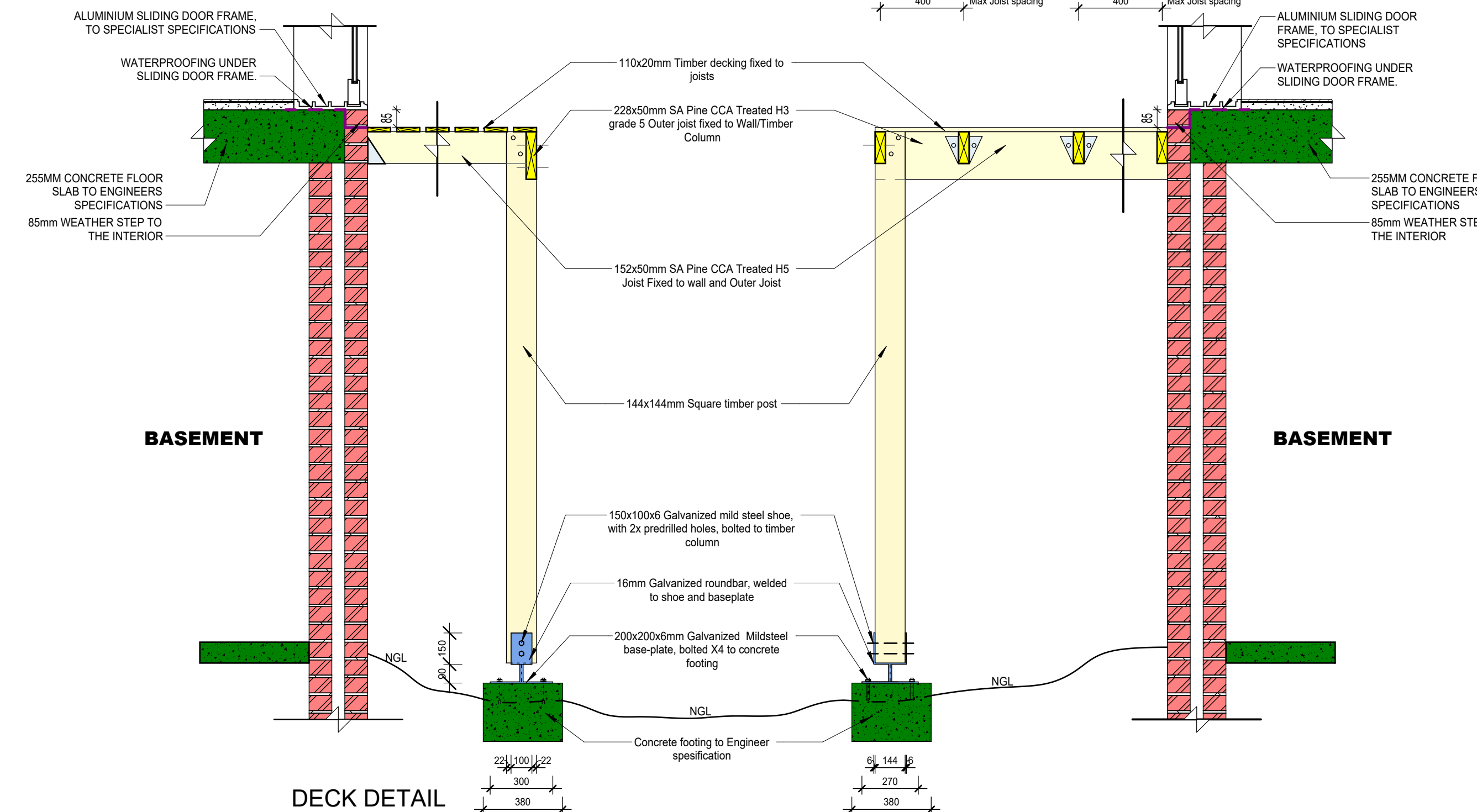
BASEMENT
1 : 50

INSIDE

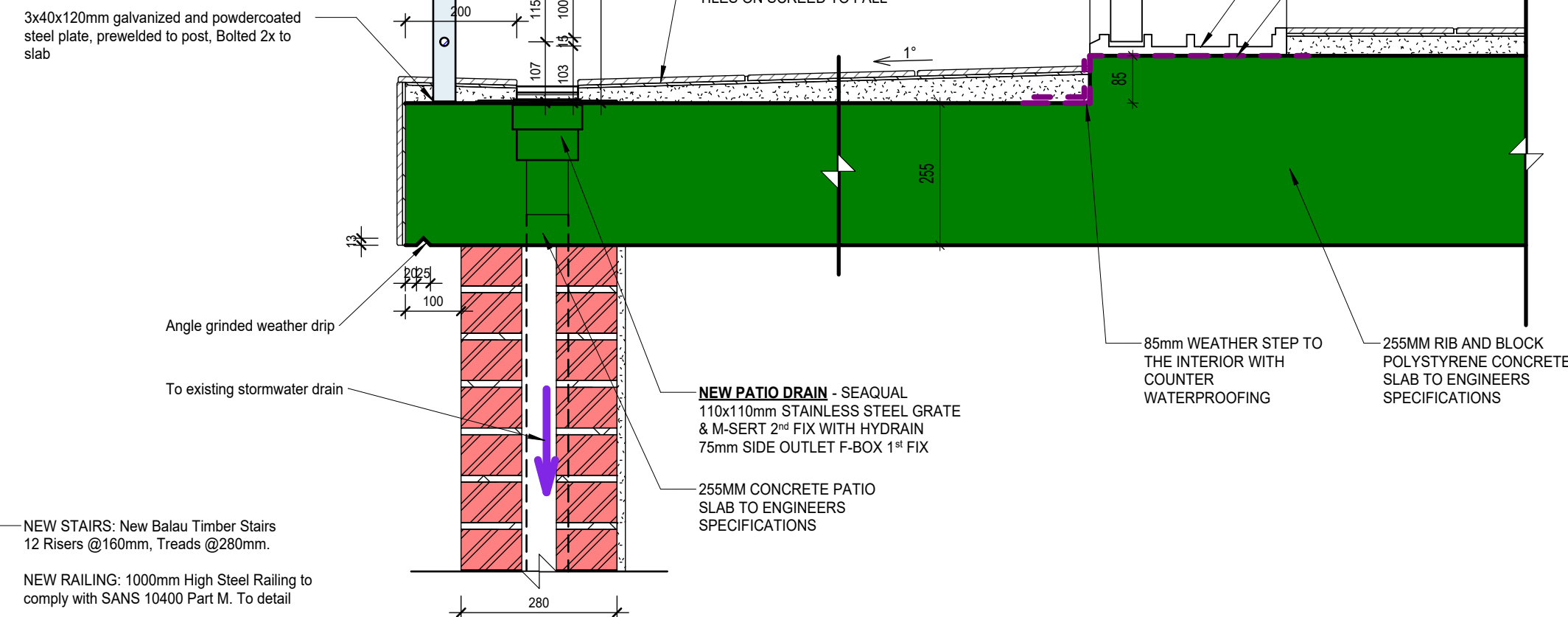
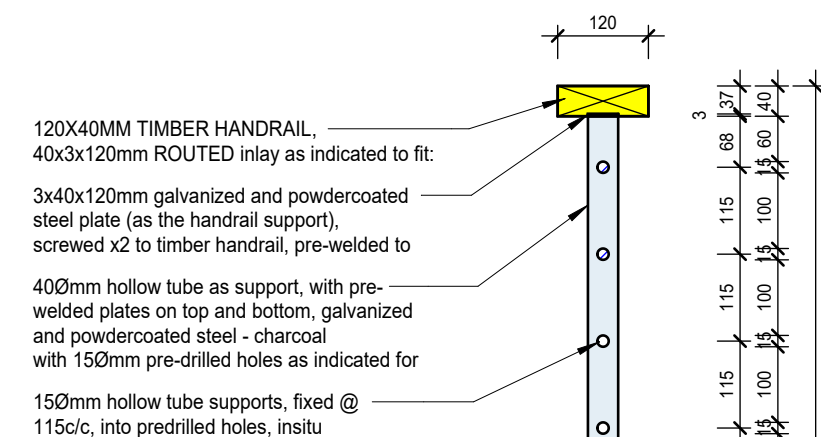
DECK

DECK

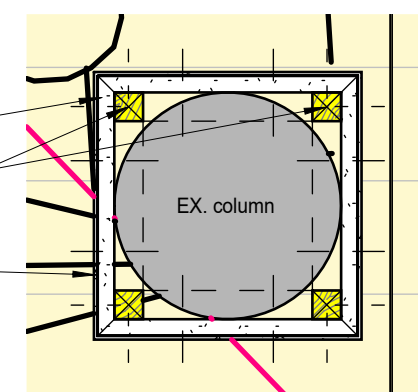
INSIDE



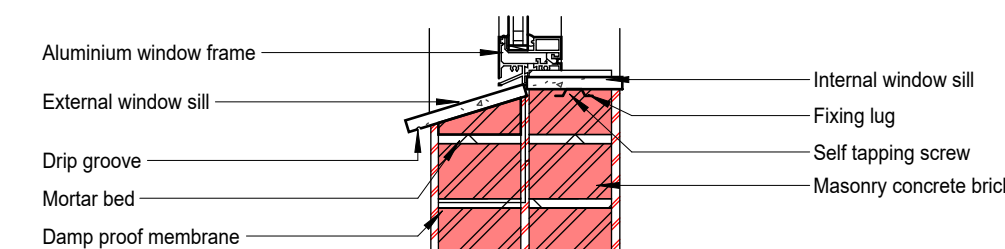
DECK DETAIL
1 : 20



PATIO DRAINAGE DETAIL



COLUMN DETAIL
1 : 10



TYPICAL WINDOW SILL DETAIL

CONSTRUCTION NOTES

[illegible]

STATUS **MUNICIPAL SUBMISSION**

CLIENT **MADELYN KOHLER**

CLIENT SIGNATURE _____
PROJECT _____

FREE-USED RENOVATIONS

ARCHITECT
 [REDACTED]

LMINAL

CELL - 078 386 7497

ADDRESS - 392 Waterside Rd, Wilderness, George, 6530
ARCHITECT SIGNATURE *DP 1-10*

P. J. Vorster
SACAP - PrARCH - 44016884

PROFESSIONAL ARCHITECT
PENELOPE JOY VORSTER

09:23 AM (Africa/Johannesburg) on 24 Apr 2023

OCCUPATION CLASSIFICATION	H4
SITE	5.62015

NUM-NUM CRESCENT

DRAWING

SCALE (@ A1)
As indicated

DRAWN
CO

DATE	CHECKED
26-08-2024	PV

PROJECT NO.	DRAWING NO.
09-24	202

Revision according to Municipality feedback

Engineer - JVR Engineering
Land Surveyor - Bekker & Houterman
Landscape Architects -

Stamp:

CONSTRUCTION NOTES

EARTHWORKS
Remove topsoil over the building area to a depth of 150mm and temporarily store on site for later use as garden soil. Backfill to be approved clean earth at optimum moisture content in layers not exceeding 100mm for hand compaction and 150mm for mechanical compaction to a density of at least 95% mod AASHTO. At completion of the works, dig up concrete or mortar mixing platforms, and clean the site of all surface and buried rubble. Pison the soil against the trade foundation walls and under floors with chondrite soil insecticide, complying with SANS 1165, applied according to SANS 10124. Obtain a written guarantee from the pest control contractor for 10 years for the effectiveness of the treatment, and hand over to the Client.

CONCRETE FORMWORK
Use cement to comply with SANS 50197-1, strength class 32,5n or higher. Cement must be SABS-mark bearing. Use natural crushed or blended sand for use in concrete to comply with SANS 1083. Stone for use in concrete to comply with SANS 1083. Cast concrete test cubes of size and quantity, and at intervals of 4 batches in accordance with SANS test method 5861.

MASONRY
All walls are to comply with SANS10400-K. Use clay bricks, where specified, complying with SANS 227. Use concrete bricks and blocks, where specified, complying with SANS 1215. Corobrik common or similar equivalent to be used where to receive plaster and Corobrik engineering bricks or similar equivalent below ground level in foundation walls. Wire brick reinforcement must be galvanized mild steel. Brickforce to all courses from window head to underside of wall plate. Use precast pre-stressed lintels complying with SANS 1594. Lay lintels with a bearing length of at least 200mm in 1:3 cement mortar. Prop lintels at 1,5m centres for at least seven days after masonry was completed.

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Use 0,375mm black embossed polyolefin damp proof course complying with SANS 952, type B. Lay damp proof course in unjointed lengths where possible and with full corner laps over full width of wall, level with the top of floors and not less than 150mm above finished ground level, and under copings and in parapet walls. Lay damp proof course under painted windowills and tuck in under window profiles. Use 0,25mm smooth green polyolefin membrane complying with SANS 952 type C. Lay damp proof membrane under concrete surface beds or concrete floors. Fold membrane up against the foundation walls. Lay damp proof membrane in the largest practical sizes with 200mm laps. Seal laps according to manufacturer's instructions.

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GLAZING
Glass to comply with SANS 50572. Discuss the direction of the pattern in obscure glass with the architect before cutting.

GAS INSTALLATION
Gas fire-places, stove and all gas feeds to be fitted and installed by specialist. All to comply with SANS 10087 and SANS 460.

ROOF COVERINGS
Roof to comply with SANS 10400 - L. Roof to be structural timber roofs and to be specified and inspected by Engineer at each stage.

CARPENTRY AND JOINERY
In the case of prefabricated trusses, supply a certificate after erection, signed by the competent person who designed the structure, stating that the whole roof structure has been fabricated and erected to SANS 10243.

CEILING / PARTITIONING
Use gypsum partitioning board complying with SANS 286, 6,4mm thick, or as specified. Use longest lengths possible to suit room. Ensure building is enclosed before partitioning boards are fixed. Fix boards with 38mm galvanized cold nail or 32x2,5mm diameter galvanized serrated ceiling nails at 150mm centres to partitioning structure. All joints to be covered with FibraTape. Plaster the entire ceiling with 3 - 6mm lightweight hemi-hydrate gypsum plaster. Finish plaster to a smooth polished surface. Use mineral fibre blanket insulation to comply with SANS 1381 and SANS 10400-XA.

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Glazed Aluminium alloy windows and doors for external use to comply with SANS 1651 as specified in the window and door schedules. The supplier is responsible for confirmation of opening sizes. The manufacturer is responsible for taking height of product head above ground into account when selecting products of appropriate performance. Design wind pressure must be to SANS 10160. Protect frames against impact or scratching by wrapping with paper, plastic or covering with a light tact tape, and leave these wrappings in place until all rough trades are finished and clean down on completion. Avoid direct contact between aluminium and other metals or wet concrete by applying separating coat of bituminous paint.

SEWER
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ENERGY USAGE IN BUILDING
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2. Double skin masonry with plaster inside or render outside complies. Single leaf, minimum 140mm with plaster inside and render outside complies. See SANS 10400-XA clause 4.4.3.2.
3. Other masonry walls will have R-value of 0.35. See SANS 10400-XA clause 4.4.3.3.
4. All leakage shall not exceed 0,1m³/m² fenestration area @ 300 Pa/m² face pressure and 5 l/m²/revolving / swing doors. See SANS 10400-XA clause 4.4.1.1 and SANS 613 clause 4.
5. Fenestration more than 15% area to net floor area per storey complies. See SANS 10400-XA clause 4.4.1.1.
6. Fenestration up to 15% area to net floor area per storey complies. See SANS 10400-XA clause 4.4.1.1.
7. Provide 50% of hot water required by volume through non-electrical resistance sources. All exposed hot water piping to be insulated with R-value of 1. See SANS 10400-XA clause 4.1.

Copyright reserved © SAA
-All trademark is to be set out using a profile marked at 85mm c/c
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-All dimensions are given in millimetres.
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-The architect accepts no responsibility for errors resulting from misinterpretation of the drawings.

STATUS
MUNICIPAL SUBMISSION

CLIENT
MADELYN KOHLER

CLIENT SIGNATURE
PROJECT
PROPOSED RENOVATIONS

ARCHITECT
LIMINAL ARCHITECTS

CELL - 078 386 7497
EMAIL - penny@limarc.co.za
ADDRESS - 392 Waterside Rd, Wilderness, George, 6530

ARCHITECT SIGNATURE
P. J. Vorster

SACAP - PrARCH - 44016884



OCCUPATION CLASSIFICATION
SITE
Erf 2045

NUM-NUM CRESCENT
Wilderness

DRAWING
ELEVATIONS

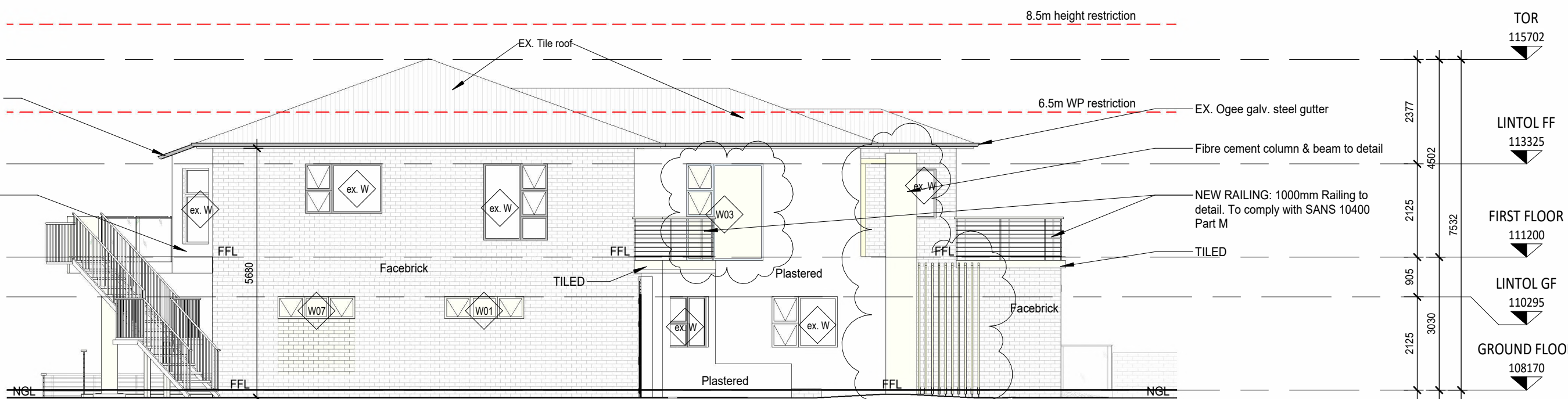
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DATE 26-08-2024	CHECKED PV
PROJECT NO. 09-24	DRAWING NO. 401

CURRENT REVISION: **2**
Revision according to **MK**

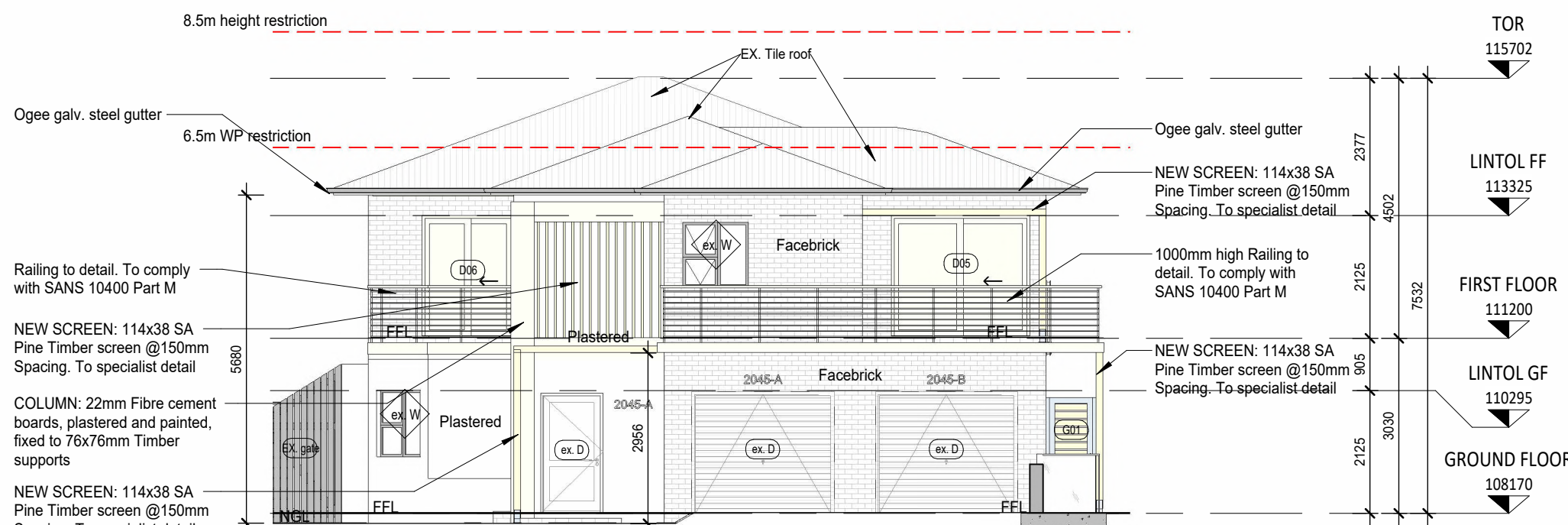
Engineer -
Land Surveyor -
Landscape Architects -

JVR Engineering
Bekker & Houterman

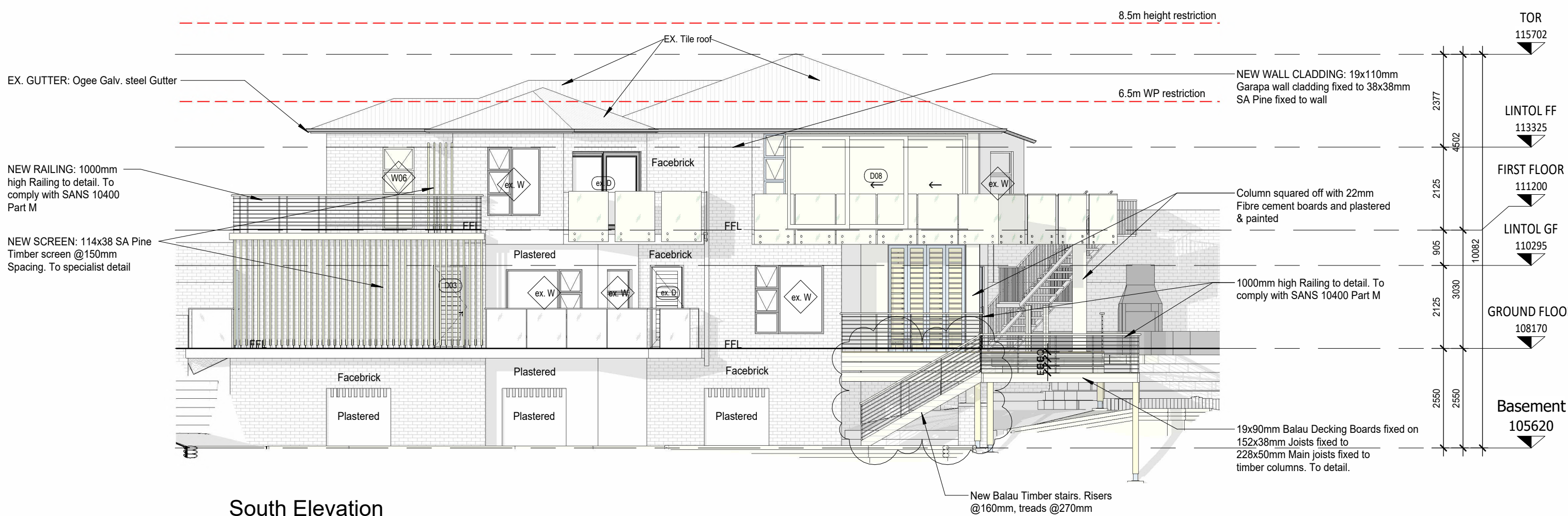
26/03/2025



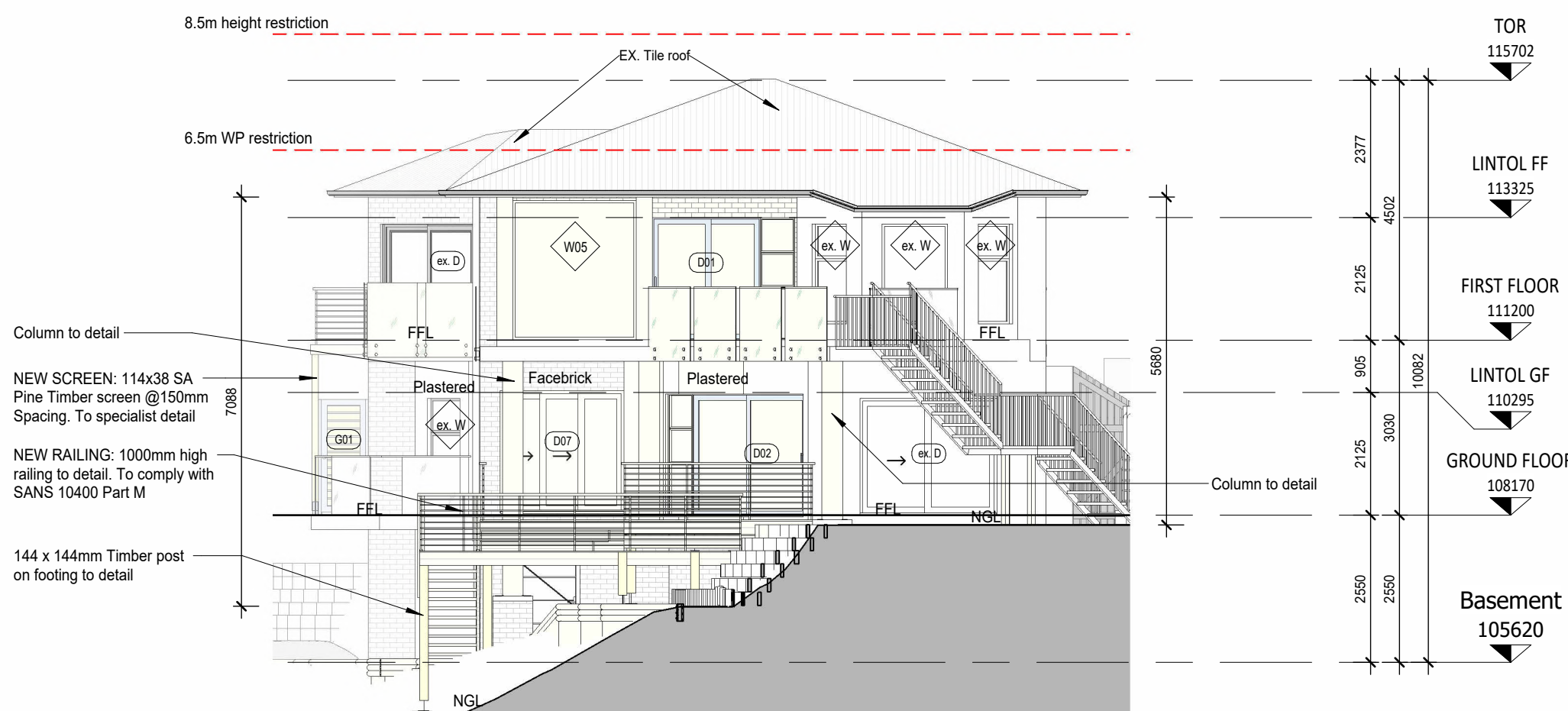
North Elevation
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West Elevation
1 : 100



South Elevation
1 : 100

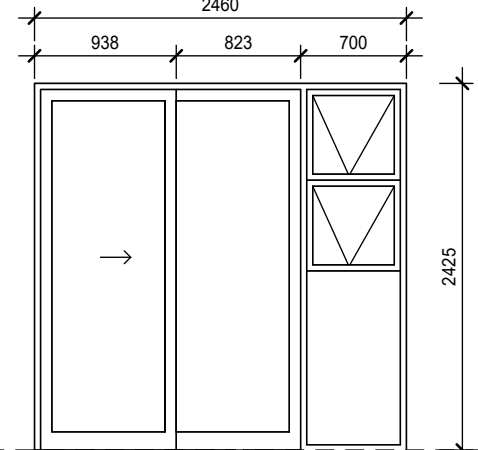
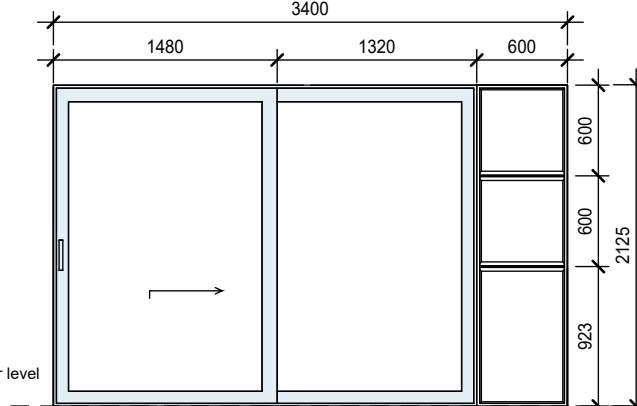
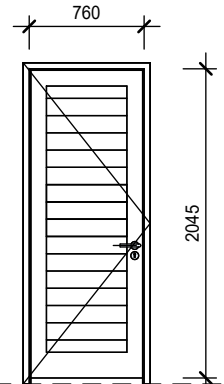
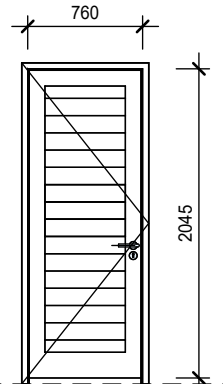
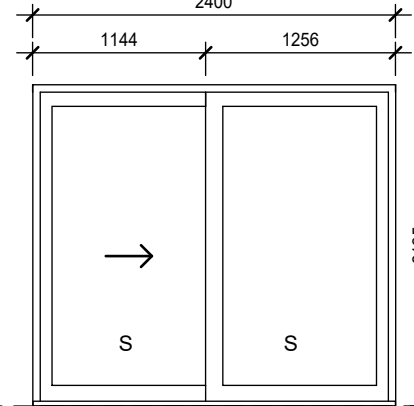
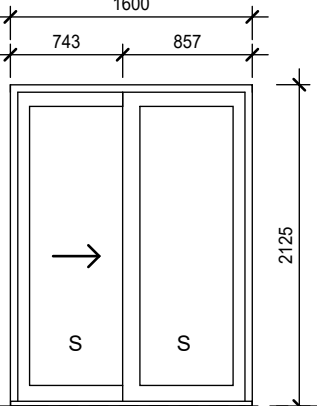
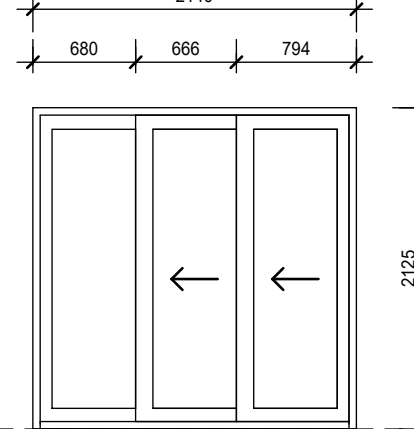


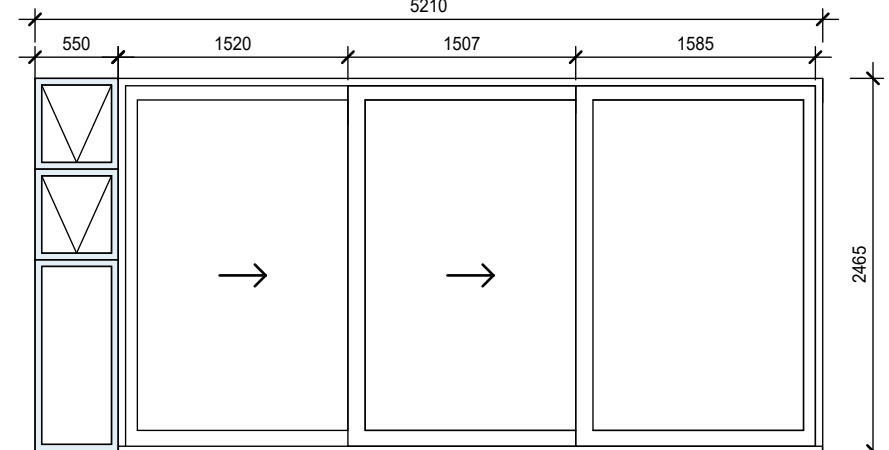
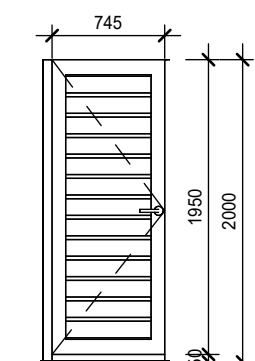
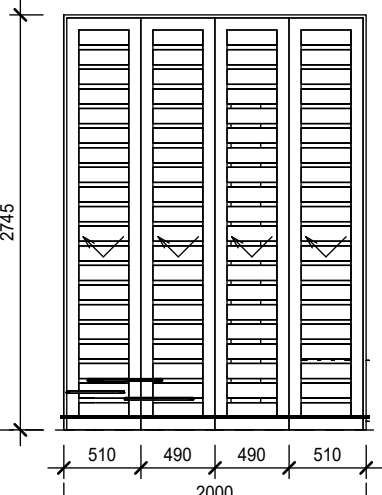
East Elevation
1 : 100

Stamp:

DOOR SCHEDULE - Contractor to check against drawings and BOQ before ordering.

Purpose made doors and windows standard ironmongery. All bathroom windows to be obscure glass. All doors exceeding (≥)1800mm in height (h) to receive Safety glass, and where marked with a 'S'.

D01 POWDER COATED ALUMINIUM UNI-DIRECTION SLIDING STACKING DOOR WITH 700 SIDE LIGHT	D02 POWDER COATED ALUMINIUM UNI-DIRECTION SLIDING STACKING DOOR WITH 700 SIDE LIGHT	D03 SOLID HARDWOOD TIMBER EXTERNAL DOOR	D04 SEMI-SOLID TIMBER INTERNAL DOOR	D05 POWDER COATED ALUMINIUM UNI-DIRECTION SLIDING STACKING DOOR	D06 POWDER COATED ALUMINIUM UNI-DIRECTION SLIDING STACKING DOOR	D07 POWDER COATED ALUMINIUM CAVITY SLIDING DOOR
						
FRONT ELEVATION	FRONT ELEVATION	FRONT ELEVATION	FRONT ELEVATION	FRONT ELEVATION	FRONT ELEVATION	FRONT ELEVATION
SIZE: 2460 x 2425mm	SIZE: 3400 x 2125mm	SIZE: 760 x 2045mm	DOOR SIZE: 760 x 2045mm	SIZE: 2400 x 2125mm	SIZE: 1600 x 2125mm	SIZE: 2140 x 2125mm
DOOR FINISH: Powder coated aluminium. Colour: Charcoal.	DOOR FINISH: Powder coated aluminium. Colour: Charcoal.	DOOR FINISH: Solid slatted hardwood timber door prepared & varnished. 1 under coat, 2 finishing coats. Allow for light sanding between coats	DOOR FINISH: Solid slatted hardwood timber door prepared & varnished. 1 under coat, 2 finishing coats. Allow for light sanding between coats	DOOR FINISH: Powder coated aluminium. Colour: Charcoal.	DOOR FINISH: Powder Coated Aluminium - Charcoal colour.	DOOR FINISH: Powder coated aluminium. Colour: Charcoal.
FRAME: PALACE Winspeco - Powder coated aluminium	FRAME: PALACE Winspeco - Powder coated aluminium	FRAME: 70x108mm hardwood Timber door frame 134x5mm rebated to take door, with 19mm dia. timber quadrant fin, and hoop iron-lead into reveals	FRAME: 70x90mm hardwood Timber door frame 134x5mm rebated to take door, with 19mm dia. timber quadrant fin, and hoop iron-lead into reveals	FRAME: PALACE Winspeco - Powder coated aluminium	FRAME: PALACE Winspeco - Powder coated aluminium	FRAME: PALACE Winspeco - Powder coated aluminium
FRAME FINISH: Powder coated aluminium - Charcoal colour.	FRAME FINISH: Powder coated aluminium - Charcoal colour.	FRAME FINISH: Prepared & varnished. 1 under coat, 2 finishing coats. Allow for light sanding between coats	FRAME FINISH: Prepared & varnished. 1 under coat, 2 finishing coats. Allow for light sanding between coats	FRAME FINISH: Powder coated aluminium - Charcoal colour.	FRAME FINISH: Powder coated aluminium - Charcoal colour.	FRAME FINISH: Powder coated aluminium - Charcoal colour.
GLAZING: 6.4mm safety glass, Clear Single Low-E. Glazing to be fixed with 45 dia. Clip-in glazing beads. Cutting of glass to be as per manufacturers details and specifications. All sizes as per dimensions.	GLAZING: 6.4mm safety glass, Clear Single Low-E. Glazing to be fixed with 45 dia. Clip-in glazing beads. Cutting of glass to be as per manufacturers details and specifications. All sizes as per dimensions.	GLAZING: N/A	GLAZING: N/A	GLAZING: 6.4mm safety glass, Clear Single Low-E. Glazing to be fixed with 45 dia. Clip-in glazing beads. Cutting of glass to be as per manufacturers details and specifications. All sizes as per dimensions.	GLAZING: 6mm safety glass, Clear Single Low-E. Glazing to be fixed with 45 dia. Clip-in glazing beads. Cutting of glass to be as per manufacturers details and specifications. All sizes as per dimensions.	GLAZING: 6.4mm safety glass, Clear Single Low-E. Glazing to be fixed with 45 dia. Clip-in glazing beads. Cutting of glass to be as per manufacturers details and specifications. All sizes as per dimensions.
IRONMONGERY: Standard, Factory-fitted ironmongery	IRONMONGERY: Standard, Factory-fitted ironmongery	IRONMONGERY: 2x Dorma CB30 Handles 1x Dorma D034S Lockset 3x Dorma DBB-SS-009 Hinges 1x Dorma DDS-SS-017 Door stop 1x brass weather strip to threshold of door	IRONMONGERY: 2x Dorma CB30 Handles 1x Dorma D034S Lockset 2x Dorma DBB-SS-009 Hinges 1x Dorma DDS-SS-017 Door stop	IRONMONGERY: Standard, Factory-fitted ironmongery	IRONMONGERY: Standard, Factory-fitted ironmongery	IRONMONGERY: Standard, Factory-fitted ironmongery
MANUFACTURE CODE: PALACE - Winspeco	MANUFACTURE CODE: PALACE - Winspeco	MANUFACTURE CODE: -TMD SKU: HS813M42	MANUFACTURE CODE: -TMD SKU: HS813M42	MANUFACTURE CODE: PALACE - Winspeco	MANUFACTURE CODE: PALACE - Winspeco	MANUFACTURE CODE: PALACE - Winspeco
QUANTITY: 1	QUANTITY: 1	QUANTITY: 1	QUANTITY: 2	QUANTITY: 1	QUANTITY: 1	QUANTITY: 1

D08 POWDER COATED ALUMINIUM UNI-DIRECTION SLIDING STACKING DOOR WITH 530 SIDE LIGHT	G01 POWDER COATED ALUMINIUM SLATTED GATE TO SPECIALIST DETAIL	G02 POWDER COATED ALUMINIUM BALAU SLATTED SCREEN TO SPECIALIST DETAIL
		
FRONT ELEVATION	FRONT ELEVATION	FRONT ELEVATION
SIZE: 4680 x 2465mm	SIZE: 800 x 1950mm	SIZE: 3000 x 2740mm
DOOR FINISH: Powder coated aluminium. Colour: Charcoal.	GATE FINISH: Balau timber boards	DOOR FINISH: Balau timber boards
FRAME: PALACE Winspeco - Powder coated aluminium	FRAME: Powder coated aluminium.	FRAME: Powder coated aluminium square tubing
FRAME FINISH: Powder coated aluminium - Charcoal colour.	FRAME FINISH: Powder coated aluminium - Charcoal colour.	FRAME FINISH: Powder coated aluminium - Charcoal colour.
GLAZING: 6.4mm safety glass, Clear Single Low-E. Glazing to be fixed with 45 dia. Clip-in glazing beads. Cutting of glass to be as per manufacturers details and specifications. All sizes as per dimensions.	GLAZING: N/A	GLAZING: N/A
IRONMONGERY: Standard, Factory-fitted ironmongery	IRONMONGERY: Standard, Factory-fitted ironmongery	IRONMONGERY:
MANUFACTURE CODE: PALACE - Winspeco	MANUFACTURE CODE:	MANUFACTURE CODE:
QUANTITY: 1	QUANTITY: 1	QUANTITY: 1

Door Schedule

Mark	Level	Width	Height
D01	FIRST FLOOR	1880	2125
D02	GROUND FLOOR	2880	2125
D03	GROUND FLOOR	860	2125
D04	GROUND FLOOR	860	2125
D05	FIRST FLOOR	2400	2125
D06	FIRST FLOOR	1600	2125
D07	FIRST FLOOR	2140	2125
D08	FIRST FLOOR	4680	2465
G01	GROUND FLOOR	865	2000
G02	GROUND FLOOR	2000	2745

Window Schedule

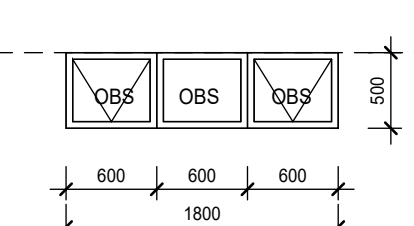
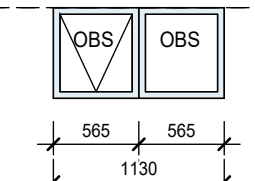
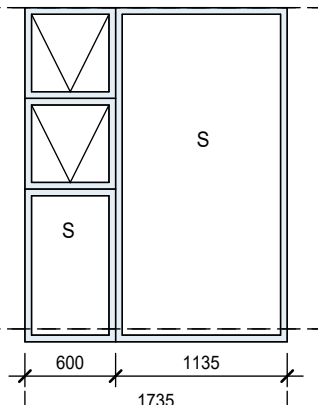
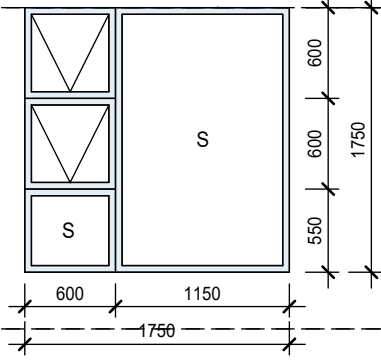
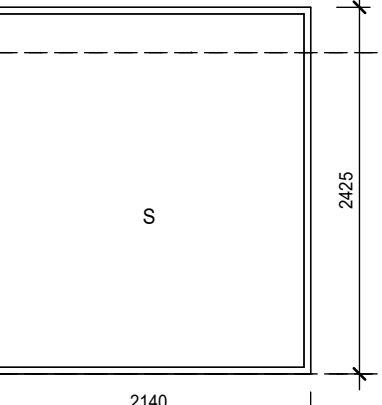
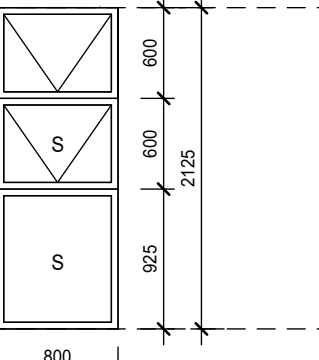
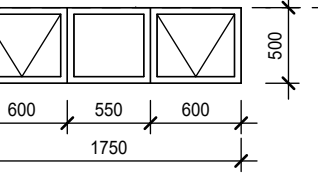
Mark	Level	Width	Height
W01	GROUND FLOOR	1800	500
W03	FIRST FLOOR	1735	2210
W05	FIRST FLOOR	2140	2425
W06	FIRST FLOOR	800	2125
W07	GROUND FLOOR	1750	500

GENERAL NOTES:

- All windows with sills lower than 1000mm above FFL to be safety glass.
- Where 'OBS' is indicated, glazing is to be obscured.
- Window sills to be precast concrete sills, similar to Modcon Window Sill - Type D060
- Sills to be painted according to Exterior Paint Finish Schedule

WINDOW SCHEDULE - Contractor to check against drawings and BOQ before ordering.

Purpose made doors and windows standard ironmongery. All bathroom windows to be obscure glass. All windows exceeding (≥)1800mm in height (h) to receive Safety glass or as marked with a "S".

W01 POWDER COATED ALUMINIUM WINDOW	W02 POWDER COATED ALUMINIUM WINDOW	W03 POWDER COATED ALUMINIUM WINDOW	W04 POWDER COATED ALUMINIUM WINDOW	W05 FIXED POWDER COATED ALUMINIUM WINDOW	W06 POWDER COATED ALUMINIUM WINDOW	W07 POWDER COATED ALUMINIUM WINDOW
						
FRONT ELEVATION	FRONT ELEVATION	FRONT ELEVATION	FRONT ELEVATION	FRONT ELEVATION	FRONT ELEVATION	FRONT ELEVATION
SIZE: 1800 x 500mm	SIZE: 1130 x 600mm	SIZE: 1735 x 2210mm	SIZE: 1750 x 1750mm	SIZE: 2140 x 2425mm	SIZE: 800 x 2125mm	SIZE: 1750 X 500mm
FRAME: Powder coated aluminium	FRAME: Powder coated aluminium	FRAME: Powder coated aluminium	FRAME: Powder coated aluminium	FRAME: Powder coated aluminium	FRAME: Powder coated aluminium	FRAME: Powder coated aluminium
COLOUR: Charcoal (powder coated)	COLOUR: Charcoal (powder coated)	COLOUR: Charcoal (powder coated)	COLOUR: Charcoal (powder coated)	COLOUR: Charcoal (powder coated)	COLOUR: Charcoal (powder coated)	COLOUR: Charcoal (powder coated)
GLAZING: 6mm Frosted glass, Single Low-E. Glazing to be fixed with 45 dia. Clip-in glazing beads. Cutting of glass to be as per manufacturers details and specifications. All sizes as per dimensions.	GLAZING: 6mm Frosted glass, Single Low-E. Glazing to be fixed with 45 dia. Clip-in glazing beads. Cutting of glass to be as per manufacturers details and specifications. All sizes as per dimensions.	GLAZING: 6.4mm glass, Clear Single Low-E. Glazing to be fixed with 45 dia. Clip-in glazing beads. Cutting of glass to be as per manufacturers details and specifications. All sizes as per dimensions.	GLAZING: 6mm safety glass, Clear Single Low-E. Glazing to be fixed with 45 dia. Clip-in glazing beads. Cutting of glass to be as per manufacturers details and specifications. All sizes as per dimensions.	GLAZING: 6mm safety glass, Clear Single Low-E. Glazing to be fixed with 45 dia. Clip-in glazing beads. Cutting of glass to be as per manufacturers details and specifications. All sizes as per dimensions.	GLAZING: 6mm safety glass, Clear Single Low-E. Glazing to be fixed with 45 dia. Clip-in glazing beads. Cutting of glass to be as per manufacturers details and specifications. All sizes as per dimensions.	GLAZING: 6mm glass, Clear Single Low-E. Glazing to be fixed with 45 dia. Clip-in glazing beads. Cutting of glass to be as per manufacturers details and specifications. All sizes as per dimensions.
IRONMONGERY: Standard, Factory-fitted ironmongery.	IRONMONGERY: Standard, Factory-fitted ironmongery.	IRONMONGERY: Standard, Factory-fitted ironmongery.	IRONMONGERY: Standard, Factory-fitted ironmongery.	IRONMONGERY: Standard, Factory-fitted ironmongery.	IRONMONGERY: Standard, Factory-fitted ironmongery.	IRONMONGERY: Standard, Factory-fitted ironmongery.
MANUFACTURE CODE: Casement 30.5 Wispeco	MANUFACTURE CODE: Casement 30.5 Wispeco	MANUFACTURE CODE: Casement 30.5 Wispeco	MANUFACTURE CODE: Casement 30.5 Wispeco	MANUFACTURE CODE: Casement 30.5 Wispeco	MANUFACTURE CODE: Casement 30.5 Wispeco	MANUFACTURE CODE: Casement 30.5 Wispeco
QUANTITY: 1	QUANTITY: 1	QUANTITY: 1	QUANTITY: 1	QUANTITY: 1	QUANTITY: 1	QUANTITY: 1

CONSTRUCTION NOTES

EARTHWORKS

Remove topsoil over the building area to a depth of 150mm and temporarily store on site for later use as garden soil. Backfill to be approved clean earth at optimum moisture content in layers not exceeding 100mm for hand compaction and 150mm for mechanical compaction to a density of at least 95% mod AASHTO. At completion of the works, dig up concrete or mortar mixing platforms, and clean the site of all surface and buried rubble. Pison the soil against the trade foundation walls and under floors with chondrite soil. This should be completed with SANS 1165, applied according to SANS 10124. Obtain a written guarantee from the pest control contractor for 10 years for the effectiveness of the treatment, and hand over to the Client.

CONCRETE FORMWORK

Use cement to comply with SANS 50197-1, strength class 32.5n or higher. Cement must be SABS-mark bearing. Use natural crushed or blended sand for use in concrete to comply with SANS 1083. Stone for use in aggregate to comply with SANS 1083. Cast concrete test cubes of size and quantity, and at intervals of 48 hours in accordance with SANS test method 5861.

MASONRY

All walls are to comply with SANS10400-K. Use clay bricks, where specified, complying with SANS 227. Use concrete bricks and blocks, where specified, complying with SANS 1215. Corobrik common or similar equivalent to be used where to receive plaster and Corobrik engineering bricks or similar equivalent below ground level in foundation walls. Wire brick reinforcement must be galvanized mild steel. Brickwork to all complies from window head to underside of wall plate. Use precast pre-stressed lintels complying with SANS 1054. Lay lintels with a bearing length of at least 200mm in 1:5 cement mortar. Prop lintels at 1.5m centres, but at least seven days after masonry was completed.

WATERPROOFING

Use 0.375mm black embossed polyolefin damp proof course complying with SANS 952, type B. Lay damp proof course in unprinted lengths where possible and with full corner laps over full width of wall, level with the top of floors and not less than 150mm above finished ground level, and under copings and in gapped walls. Lay damp proof course under jointed window sills and tuck in under window profiles. Use 0.25mm smooth green polyolefin membrane complying with SANS 952 type C. Lay damp proof membrane under concrete surface beds or concrete floors. Fold membrane up against the foundation walls. Lay damp proof membrane in the largest practical sizes with 200mm laps. Seal laps according to manufacturer's instructions.

ELECTRICAL INSTALLATION

Comply with all requirements of the local authority and with SANS 10142. All work must be done under supervision of a registered electrician. Chase neatly. Do not chase walls constructed of hollow blocks - chase services in the block cavities. Chase solid walls not deeper than one third of the wall thickness vertically and not more than one sixth horizontally. Avoid horizontal chasing where possible. Fill chases with type 1 or 2 mortar once the conduits are in position.

GLAZING

Check to comply with SANS 50572. Discuss the direction of the pattern in obscure glass with the architect before cutting.

GAS INSTALLATION

Gas fire-places, stove and all gas feeds to be fitted and installed by specialist. All to comply with SANS 10167 and SANS 460.

ROOF COVERINGS

Roof to comply with SANS 10400 - L. Roof to be structural timber roofs and to be specified and inspected by Engineer of each stage.

CARPENTRY AND JOINERY

In the case of prefabricated frames, supply a certificate after erection, signed by the competent person who designed the structure, stating that the whole roof structure has been fabricated and erected to SANS 10243.

CEILING/PARTITIONING

Use gypsum partitioning board complying with SANS 266, 6.4mm thick, or as specified. Use longest lengths possible to suit room. Ensure building is enclosed before partitioning boards are fixed. Fix boards with 38mm galvanneal steel nails or 32x2.5mm diameter galvanized serrated ceiling nails at 150mm centres to partitioning structure. All joints to be covered with FibraTape. Plaster the entire ceiling with 3 - 6mm lightweight hemi-hydrate gypsum plaster. Finish plaster to a smooth polished surface. Use mineral fibre blanket insulation to comply with SANS 1381 and SANS 10400-XA.

ALUMINIUM FRAME WINDOWS AND DOORS

Glazed Aluminium alloy windows and doors for external use to comply with SANS 1651 as specified in the window and door schedules. The supplier is responsible for confirmation of opening sizes. The manufacturer is responsible for taking height of product head above ground into account when selecting products of appropriate performance. Design wind pressure must be to SANS 10160. Protect frames against impact or scratching by wrapping with paper, plastic or covering with a light tact tape, and leave these wrappings in place until all rough trades are finished and clean down on completion. Avoid direct contact between aluminium and other metals or wet concrete by applying separating coat of bituminous paint.

SEWER

Existing sewer presumed to be according to previous approval. Not visible for inspection by Architect.

ENERGY USAGE IN BUILDING

- Roof assemblies to receive insulation to achieve the R-value as indicated in table 7, thickness given in SANS 204 table 10. See SANS 10400-XA clause 4.4.3.8 SANS 204 table 10. Non masonry walls will have R-values as provided. See SANS 10400-XA clause 4.4.3.1.
- Double skin masonry with plaster inside or render outside complies. Single leaf, minimum 140mm with plaster inside and render outside complies. See SANS 10400-XA clause 4.4.3.2.
- Other masonry walls will have R-value of 0.35. See SANS 10400-XA clause 4.4.3.3.
- Air leakage shall not exceed 2 l/m² fenestration area @ 30Pa (leak) tested pressure, and 5 l/m² (revolving) / swing doors. See SANS 10400-XA clause 4.4.11 and SANS 613 clause 4.4.
- Fenestration more than 15% area to net floor area per storey, the solar heat gain and heat conduction should comply with SANS 204 clause 4.3.4.
- Fenestration up to 10% area to net floor area per storey complies. See SANS 10400-XA clause 4.4.1.1.
- Provide 50% of hot water required by volume through non-electrical resistance sources. All exposed hot water piping to be insulated with R-value of 1. See SANS 10400-XA clause 4.1.

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All trademark is to be set out using a profile marked at 85mm c/c.
All dimensions as indicated on plan are to be set out on a level horizontal plane.
All dimensions to be checked on site before work commences.
Use figured dimensions in preference to scaled dimensions. This drawing is not to be scaled.
All dimensions are given in millimetres.
Quality of all materials and workmanship to comply with the relevant SABS specification.
All work to be carried out strictly in accordance with NBRs and local authority regulations. The contractor is to make themselves aware of these prior to commencement of work.
Copyright over all designs and drawings shall remain the property of Liminal Architects and any provision to the contrary in terms of the copyright act no 63 of 1965 is hereby specifically excluded.
The design on this drawing remains the property of the designer - copyright reserved Liminal Architects
All relevant details, levels are to be checked on site prior to commencement of work.
Should any part of the drawings, specification or bills of quantities not be clearly intelligible or that the materials or articles to be used in the execution of the works be considered insufficiently described, request the architect / principal agent in writing for clarification, also in writing.
Failing which any alterations or substitutions rendered necessary the incorrect interpretation of such drawings, specification or bills of quantities shall be at contractor's cost.
The description of an item implies the complete supply, assembly and operation of the item, unless otherwise specified.
The architect accepts no responsibility for errors resulting from misinterpretation of the drawings.

STATUS
MUNICIPAL SUBMISSION

CLIENT
MADELYN KOHLER

CLIENT SIGNATURE
PROJECT
PROPOSED RENOVATIONS

ARCHITECT
LIMINAL
ARCHITECTS

CELL - 078 386 7497
EMAIL - penny@limarc.co.za
ADDRESS - 392 Waterside Rd, Wilderness, George, 6530
ARCHITECT SIGNATURE
P. J. Vorster
SACAP - PRARCH - 44016884

PROFESSIONAL ARCHITECT
PENELOPE JOY VORSTER
09:23 AM (Africa/Johannesburg) on 24 Apr 2023

OCCUPATION CLASSIFICATION
SITE
Erf 2045
NUM-NUM CRESCENT
Wilderness

DRAWING
DOOR & WINDOW SCHEDULE

SCALE (@ A1)
1 : 50
DATE
26-08-2024
PROJECT NO.
09-24

DRAWN
CO
CHECKED
PV
DRAWING NO.
501

CURRENT REVISION: **2** REVISION DATE: **27-08-2024**
Revision according to **MK**

Engineer -
Land Surveyor -
Landscape Architects -
JVR Engineering
Bekker & Houterman