

**ERF 20892, GEORGE**  
**APPLICATION FOR PERMANENT DEPARTURE**  
**IN TERMS OF SECTION 15(2)(B) OF THE GEORGE**  
**MUNICIPALITY LAND USE PLANNING BY-LAW, 2023**



Prepared for: Anytime Trading No. 2 (Pty) LTD

By



Date: 23 July 2025 (Rev 0)

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## 1. OVERVIEW AND MANDATE

RS Town Planning Consultants has been appointed by the registered owner of Erf 20892, George to apply for a permanent departure from the applicable building lines so that building plans may be submitted to regularise the existing structures on the erf.

The power of attorney to submit this application is annexed as **Annexure A**.

## 2. BACKGROUND

The registered owner purchased Erf 20892 in 2016. No building plan records could be located. The owner appointed an architect to prepare as-built plans for the existing structures.

Building plans were submitted in 2025. In correspondence dated 21 May 2025, the Manager: Building Control provided comments on the submitted building plans. The Town Planning section pointed out that the existing garage encroaches on the common side boundary line. This requires an application for a permanent departure in terms of Section 15(2)(b) of the George Municipality Land Use Planning By-Law, 2023.

A copy of the letter is annexed as **Annexure B**.

This application is made in response to the abovementioned correspondence and to obtain the required land use approval so that building plans can be submitted for approval in terms of the National Building Regulations and Building Standards Act no 103 of 1977.

## 3. APPROVAL REQUIRED

Application is made for the following approval in terms of the George Municipality Land Use Planning By-Law, 2023 in respect of Erf 20892, George:

- application for a permanent departure in terms of 15(2)(b) to relax the north-western common building line from 3m to 1.550m to allow the existing garages to encroach the building line.

## 4. PROPERTY INFORMATION AND DEVELOPMENT PROPOSAL

### 4.1 PROPERTY INFORMATION

An overview of the relevant property details is summarised below:

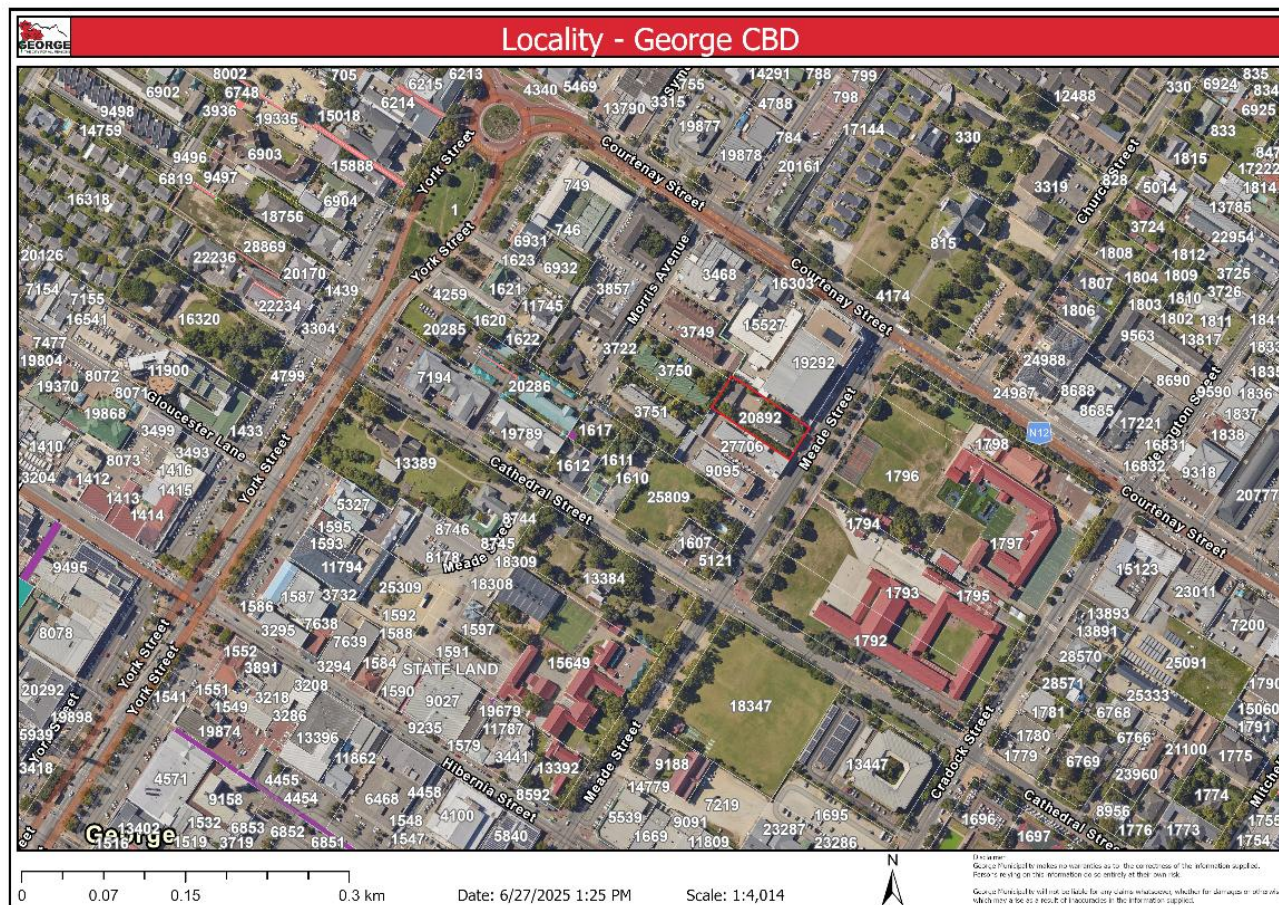
a) Description:	Erf 20892, George in the Municipality and Division of George, Province of the Western Cape.
b) GPS Coordinates:	33°57'27.38S; 22°27'41.53E
c) Title Deed Number:	T54670/2016
d) Ownership:	Anytime Trading PTY LTD
e) Property Extent:	2027m <sup>2</sup>
f) Title Conditions:	No restrictive conditions.
g) Servitudes:	No servitudes indicated on SG Diagram 3197/2003



## 4.2 PROPERTY LOCATION

Erf 20892, George is situated  $\pm 112\text{m}$  south of Courtenay Street with a physical address of 3 Meade Street – its location is indicated in red on Figure 1 below.

A more detailed locality plan is attached hereto as **Annexure C**.



**FIGURE 1 | LOCATION OF ERF 20892, GEORGE (SOURCE: GEORGE PUBLIC VIEWER)**



## 4.3 ZONING & CHARACTER

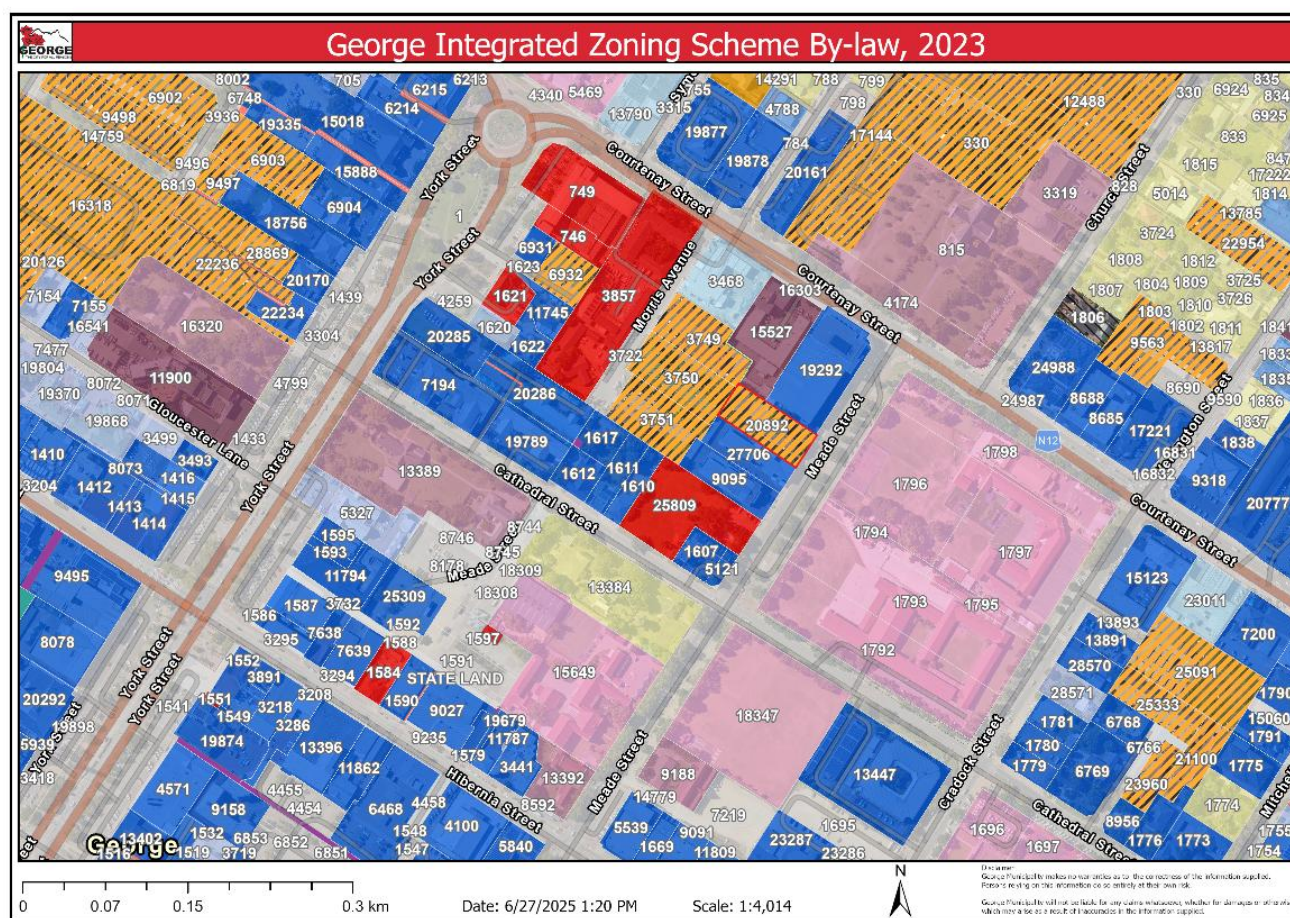


FIGURE 2 | ZONING SCHEME MAP EXTRACT (SOURCE: GEORGE PUBLIC VIEWER)

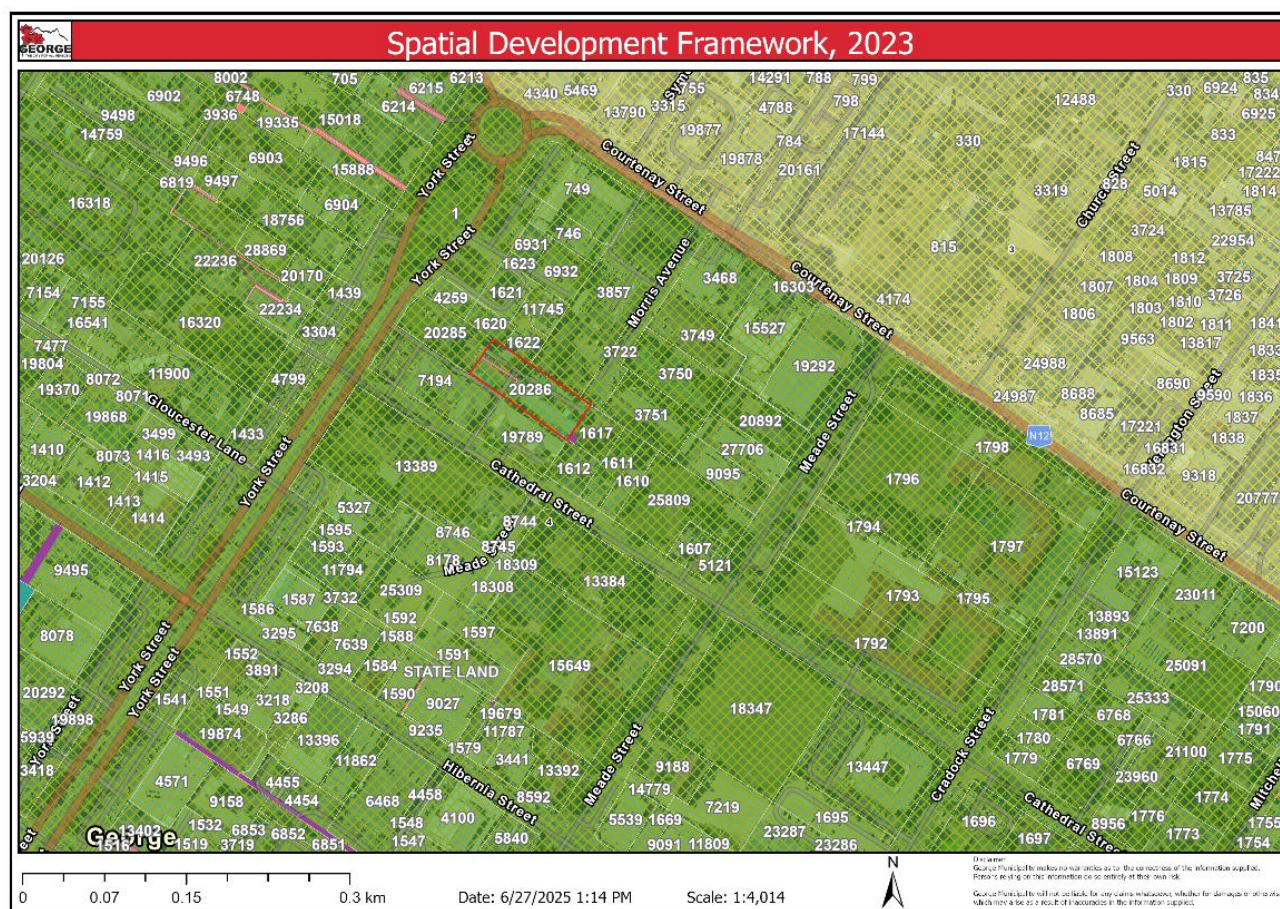
Erf 20892, George is zoned *General Residential Zone IV* in terms of the George Zoning Scheme By-Law, 2023 as reflected on **Figure 2** above.

The surrounding area is characterised by a mix of different land use typologies consisting of business use, utilities and various community facilities.

According to the Spatial Development Framework, 2023 (**Figure 3**) the application area falls within the following spatial areas:

- **Functional Area - George CBD** - The primary economic centre remains George CBD. The strategy is to revitalise and redevelop it into a thriving city centre with a high-quality public realm that embraces the concept of smart growth, contains a variety of complementary activities, as well as a substantially larger residential component targeting a broader spectrum of incomes. (George SDF, 2023-2027, p67)
- **Densification zones** - Are areas within existing settlements where residential densification should be accommodated and promoted through appropriate mechanisms such as redevelopment, infill, subdivision, second dwellings, sectional title, greenfield or brownfield development.





**FIGURE 3 | SPATIAL DEVELOPMENT FRAMEWORK, 2023 (SOURCE: GEORGE PUBLIC VIEWER)**

#### 4.4 SG DIAGRAM & TITLE DEED

The Surveyor-General diagram (SG 3197/2003) attached as **Annexure D** does not show any servitudes registered in respect of the property.

Erf 20892, Goerge is registered to Anytime Trading No. 2 (Pty) LTD in terms of Title Deed T54670/2016 (**Annexure E**). A conveyancer's certificate has been obtained which confirms that there are no restrictive conditions that prohibit the approval sought – see **Annexure F**.

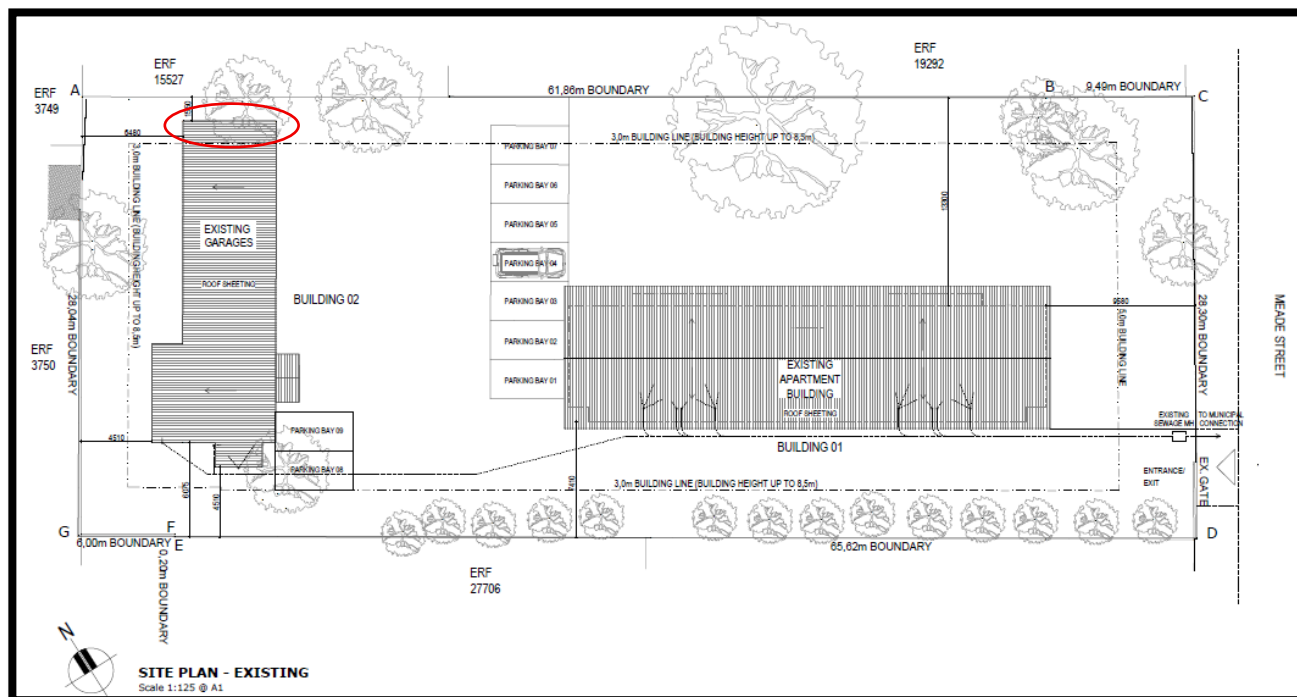
## 4.5 EXISTING USE

Erf 20892, George is developed with a double-storey building on the southern common erf boundary, with a separate garage building located on the rear boundary – it is the latter structure that encroaches the 3m common building line on the north-eastern common boundary (towards adjacent Erf 19292, George).

## 4.6 DEVELOPMENT PROPOSAL

Building plan approval is required for the abovementioned structures in order to register a sectional title scheme in respect of the existing development.

The purpose of this application is to obtain approval for the relaxation of the building line restriction as indicated in red on the Site Layout Plan below – see **Figure 4**.



**FIGURE 4 | SITE LAYOUT PLAN SHOWING AS-BUILT STRUCTURES AND ENCROACHMENT**

The site layout plan and building plans are attached as **Annexure G**.



## 5. IMPACT OF PROPOSED DEVELOPMENT

### 5.1 IMPACT ON ENVIRONMENT AND HERITAGE RESOURCES

Erf 20892 is not located within an established Environmental or Heritage Overlay Zone as defined by the applicable spatial planning frameworks. The property is already developed, and the existing building structures will not result in the removal of existing vegetation.

According to historical aerial photography, the existing structures do not appear to be older than 60 years. No heritage or environmental authorisations are required.

### 5.2 IMPACT ON ENVIRONMENT AND HERITAGE RESOURCES

Erf 20892, George has a single access and egress point which is taken off Meade Street.

The existing garage is situated at the rear boundary away from the street; therefore, it does not interfere with vehicular traffic, pedestrian movement or sight distances. Since no new dwellings are proposed, no impact is expected on traffic volumes.



**FIGURE 5 | VIEW FROM MEADE STREET ONTO ERF 20892, GEORGE (SOURCE: GOOGLE EARTH PRO STREET VIEW)**

### 5.3 IMPACT ON NEIGHBOURING PROPERTIES AND CHARACTER

The location, scale, and height of the encroaching structure in relation to the adjacent properties are such that it has no noticeable impact on access to sunlight, views, or privacy for these properties. Given that no new structures are proposed, no adverse impact on the surrounding property values or the character of the area is anticipated.

**Figure 6** and **Figure 7** provide photographs of the existing garages and block of flats.



**FIGURE 6 | EXISTING GARAGE**



**FIGURE 7 | EXISTING BLOCK OF FLATS**

**Figure 8** below provides a view looking in a north-westerly direction of the garages that encroach on the 3m building line.





**FIGURE 8 | PORTION OF EXISTING GARAGES INSIDE 3M BUILDING LINE**

## **5.4 IMPACT ON ENGINEERING SERVICES AND FIRE FIGHTING**

The encroaching structure does not cause any obstructions for the purposes of firefighting. A 1m safety distance is maintained on all boundaries. This structure is also not in close proximity to any buildings on the adjacent erven; therefore, it does not create a fire risk.

The structure furthermore does not block access to existing engineering services. The existing services infrastructure can easily be accessed

## **5.5 NEED AND DESIRABILITY**

The existing garage in question is considered desirable for the following reasons:

- The existing garage is of functional use, it is of acceptable scale and compatible with the existing character of the area.

- Approval of the application will not have an adverse impact on the natural environment, heritage resources or existing open spaces.
- The footprint of the existing structures was planned for the initial development of the property and therefore does not cause an overshadowing effect or interfere with sunlight, privacy, scenic vistas or the skyline.
- The structure in question does not cause any disturbance.
- Approval of the application will ensure compliance with the applicable statutory framework and allow the owner to submit building plans for final approval, thereby enabling the relevant local authority to uphold its constitutional mandate of enforcing zoning and building regulations.
- Given the change in zoning parameters, the position of the existing apartment building and limited available space, it is not possible to move the structures outside the applicable building lines.
- It is not expected that property values will be affected at all.

## 6. LEGISLATIVE FRAMEWORK & POLICY FRAMEWORK

### 6.1 GEORGE INTEGRATED ZONING SCHEME BY-LAW, 2023

Erf 20892, George is zoned *General Residential Zone IV*

The development parameters are complied with, save for the building line departure. An overview of the applicable development parameters is summarised in Table 1 below:

**TABLE 1 | GRZIV DEVELOPMENT PARAMETERS**

	Restriction	GRZIV (Flats)	Compliant
a)	Height	15m	Yes – apartment building - 7.86m
b)	Coverage	60%	Yes – 18% used
c)	Floor factor	Max 2	Yes
d)	Building lines	Street – 5m Side & Rear – 3m	No - Permanent departure required (see 3 above)
e)	Parking	1.25 bays per unit = 12	Yes – 14 bays provided

### 6.2 POLICIES

There are no relevant policies or spatial plans applicable to the subject area that impact on the application.

## 7. CONCLUSION

The existing structures are considered to be consistent with the applicable legislative and policy framework. It furthermore is compatible with the character of surrounding area. Based on the considerations outlined above, the impact of the permanent departures being sought is expected to be inconsequential.



Accordingly, it is requested that this application be considered favourably to enable the property owners to comply with the department's requirements.

**ANNEXURE A**  
**POWER OF ATTORNEY**



# POWER OF ATTORNEY

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I, John Henry Enslin, in my capacity as authorised representative of **Anytime Trading No 2 (PTY) Ltd (Reg no 2001/005443/07)** hereby authorise **RS Town Planning Consultants** to submit the following application in respect of **Erf 20892, George** ("the property"):

- application in terms of section 15(2)(b) of the George Municipality Land Use Planning By-Law, 2023 for the relaxation of the 3m side building line restriction to allow the existing garage to encroach the said building line.
- application to obtain any additional land use approvals in terms of the George Municipality Land Use Planning By-Law or any other legislation if required by the relevant Local Authority.

The undersigned nominates, constitutes and appoints the below agent with power of substitution to act as the registered owners' legal representative and to act in their name, place and stead and to also sign and receive all correspondence in respect of the matter and to take the necessary steps as required by the Local Authority to ensure that the application complies with the relevant statutory provisions.

Authorised Representative name:

John Henry Enslin

Signature




Date

2-7-2025

Authorised Agent:

Rossouw Smit

Signature



Date

2-07-2025

## COMPANY RESOLUTION

Anytime Trading No 2 (PTY) Ltd

(Reg no 2001/005443/07)

Resolution passed at the meeting of the Directors held on 2-7-2025 at

Pretoria

It is resolved that Mr Henry Enkhu

is hereby authorised to sign all necessary documents and take any steps necessary to give effect to the above resolution for and on behalf of the Company.

### Signature of Directors

Name: Mr Enkhu

Signature [Signature]

Name: LI BOMER SACHADIN

Signature [Signature]

Name: \_\_\_\_\_

Signature \_\_\_\_\_

Name: \_\_\_\_\_

Signature \_\_\_\_\_

Name: \_\_\_\_\_

Signature \_\_\_\_\_

**ANNEXURE B**  
**AMENDMENT LETTER**



LAWSV

2025-05-21

Anytime Trading No 2 (Pty) Ltd  
PO Box 682, Wellington, 7654

Sir/Madam

**SUBMISSION OF BUILDING PLANS STAND NO: 20892**

You are hereby notified that the abovementioned application cannot be approved prior to the rectification of the following requirements:

**Outcome Comments:**

Refer to departmental comments.

Drainage installation to comply with SANS 10400 Part P.

Specify and indicate all existing sanitary ware, drainage pipes/connections on site plan in terms of SANS 10400.

Specify and indicate all drainage pipes/connections and discharge pipes on plan in terms of SANS 10400.

Indicate and annotate all stack pipes, vent pipes, gully's inspection eyes, rodding eyes, manhole, etc. on plan.

**Review Comments:**

Refer to departmental comments.

Can not recommend this as-built application for approval in terms of Section 7 of the National Building Regulations without the necessary appointments.

Appointment of a competent person required to undertake rational assessment.

If this application is for record purposes the applicant must state that clearly on plans.

Note no occupation certificate can be issued for record purpose applications.

Specify and indicate all existing sanitary ware, drainage pipes/connections and discharge pipes on plan in terms of SANS 10400.

Specify and indicate all existing sanitary ware, drainage pipes/connections on site plan in terms of SANS 10400.

Specify and indicate all drainage pipes/connections and discharge pipes on plan in terms of SANS 10400.

**Comments from Departments:**

**Comments received from Town Planning**

R. Hector 06.05.2025: a refuse yard must be provided. Additions over the common side boundary building line requires departure approval. - not supported

HECTORRL  
0448019477

**Comments received from Building Control**

KOEBERGE

-

**Comments received from Electrical Services**  
ETS: IN ORDER

KJOUBERT  
1473

**Comments received from Technical Services (Street and Storm Water)**

FIVAZR

**Comments received from Technical Services (Water and Sewerage)**  
No Comments  
JOUBERTE

**Comments received from Fire Services**  
Noted  
CROUSEJ  
0448016360

**Comments received from Eden Municipal Health Services**

**Comments received from Civil Services**

**Comments received from Traffic Services**

**Comments received from Financial Services**

JOUBERTW

**Comments from Environmental**



.....  
**MANAGER BUILDING CONTROL/ BESTUURDER BOUBEHEER: M F TOYER**

# **ANNEXURE C**

## **LOCALITY PLAN**





**Disclaimer**  
George Municipality makes no warranties as to the correctness of the information supplied. Persons relying on this information do so entirely at their own risk.  
George Municipality will not be liable for any claims whatsoever, whether for damages or otherwise, which may arise as a result of inaccuracies in the information supplied.



# **ANNEXURE D**

## **SG DIAGRAM**

THE FOLLOWING DEDUCTIONS HAVE BEEN MADE FROM THIS DIAGRAM

SURVEY RECORD	DIAGRAM NO.	SUBDIVISION	AREA HA./SQ. M.	TRANSFER NO.	INITIALED	REMR.
962/2016	1849/2016	Erf 27705	8 m <sup>2</sup>	58830/18	D, C	2014 m <sup>2</sup>



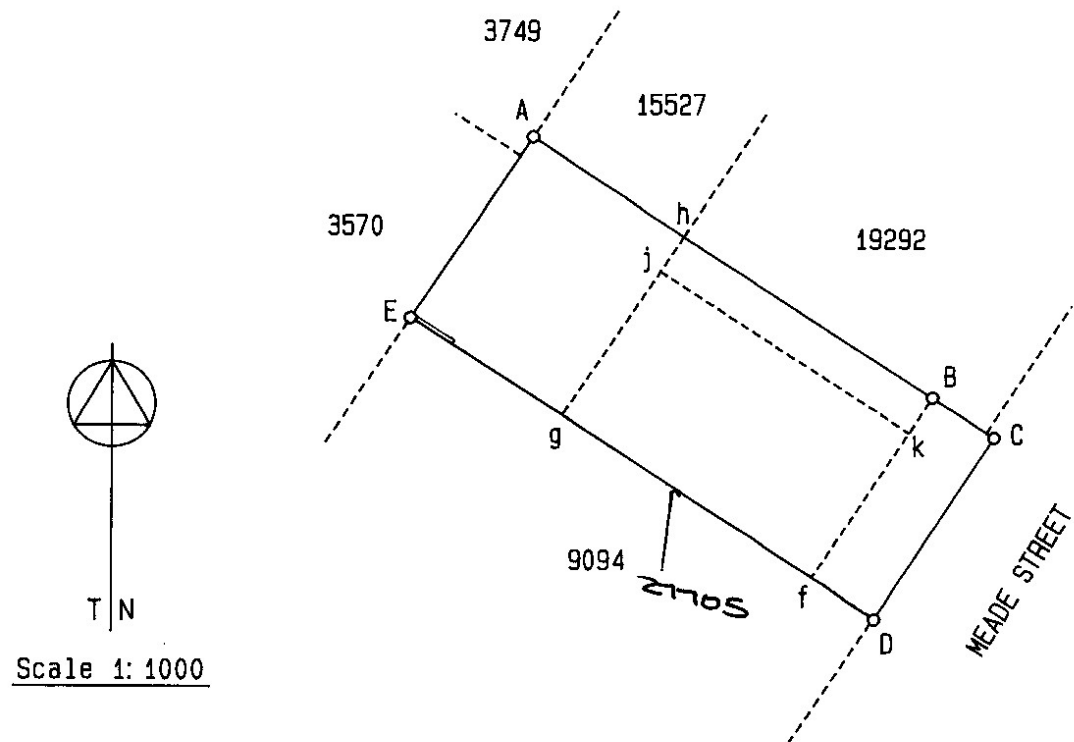
3197/2003

Approved

*T. L. Swan*  
for Surveyor-General  
2003.09.18

COMPONENTS

1. The figure ABfE represents ERF 3095 GEORGE  
vide Diagram No 13158/1954 Deed No CCT11940/1955
2. The figure BCDf represents ERF 19992 GEORGE  
vide Diagram No 3196/2003 Deed No



The figure ABCDE  
represents 2027 square metres of land, being

ERF 20892 GEORGE and comprises 1 and 2 above

situate in the Municipality and  
Administrative District of George  
Province of the Western Cape

Compiled in April 2002

by me

*G S Savage*

G S Savage PLS 0543  
Professional Land Surveyor

This diagram is annexed to  
No. T31420/2005  
Dated 25.04.2005  
i.f.o.

Registrar of Deeds

The original diagrams  
are as quoted above

File No. S8775/48 vol.2  
Compiled  
Comp. BL-7DD/W43 (1744)

LPI: C0270002

**ANNEXURE E**  
**TITLE DEED**

1267

Raubenheimers Inc  
PO Box 21  
60 Cathedral Street  
George  
6530

Purchase price value		3933 000 00	Office fee	1200 00
Mortgage bond				
Mortgage for acquisition			Exempt i.t.o	
		section	Act	

Prepared by me

CONVEYANCER  
WILLEM MUNRO LUTTIG

TRANSFERRED TO	
KNYSNADOC INVESTMENT HOLDINGS	
PROPRIETARY LIMITED	
2019 SM	
RESTANT/REMARKS	
T 000058830 / 2018	
13 DEC 2018	

DATA / CAPTURE
28 SEP 2018
MADAMAL

DATA / VERIFY
03 OCT 2018
VAN TONDER ELIZABETH

T 000054670 / 2016
--------------------

## DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

ROBERT CHRISTOPHER FERRANDI

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney which said Power of Attorney was signed at PARKTOWN NORTH on 26 JULY 2016 granted to him by

AKESO CAPE TOWN PROPS (PTY) LTD  
REGISTRATION NUMBER: 2012/065587/07



And the appearer declared that his said principal had, on 19 April 2016, truly and legally sold by Private Treaty, and that he, the said Appearer, in his capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

**ANYTIME TRADING NO. 2 (PTY) LTD**

**REGISTRATION NUMBER: 2005/033208/07**

or its Successors in Title or assigns, in full and free property

**ERF 20892 GEORGE IN THE MUNICIPALITY AND DIVISION OF GEORGE,  
WESTERN CAPE PROVINCE**

**IN EXTENT: 2027 (TWO THOUSAND AND TWENTY SEVEN)  
SQUARE METRES**

**FIRST REGISTERED BY CERTIFICATE OF CONSOLIDATED TITLE NO.  
T31420/2005 WITH DIAGRAM NO. SG3197/2003 RELATING THERETO  
AND HELD BY DEED OF TRANSFER NO. T44375/2015**

**I. AS REGARDS the figure AhgE on Diagram Number SG3197/2003:**

**A. SUBJECT to the conditions referred to in Deed of Transfer Number  
T6217/1940;**

**II. AS REGARDS the figure jkfg on Diagram Number SG3197/2003:**

**A. SUBJECT to the conditions referred to in Deed of Transfer Number  
T6217/1940;**

**III. AS REGARDS the figure hBkj on Diagram Number SG3197/2003:**

**A. SUBJECT to the conditions referred to in Deed of Transfer Number  
T7763/1943;**

WHEREFORE the said Appearer, renouncing all right and title which the said AKESO CAPE TOWN PROPS (PTY) LTD, REGISTRATION NUMBER: 2012/065587/07 heretofore had to the premises, did in consequence also acknowledge it to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

**ANYTIME TRADING NO. 2 (PTY) LTD**  
**REGISTRATION NUMBER: 2005/033208/07**

or its Successors in Title or assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R3 933 000,00 (THREE MILLION NINE HUNDRED AND THIRTY THREE THOUSAND RAND) .

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto. THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on 7<sup>th</sup> SEPTEMBER 2016



q.q.

In my presence



REGISTRAR OF DEEDS

**ANNEXURE F**  
**CONVEYANCER CERTIFICATE**

# CONVEYANCER'S CERTIFICATE

I / we, Anname de Wet  
(conveyancer's name)

hereby wish to certify that a search was conducted in the Deeds Registry, Cape Town regarding the following property(ies) (including both current and earlier title deeds / pivot deeds / deeds of transfer) :

Erf 20892 George in the Municipality and Division of George  
Western Cape Province  
(property description(s))

in respect of which it was found that there are / are no restrictive conditions registered against such property(ies) prohibiting it from being utilised / developed for the following purposes (as elaborated on in more detail in the accompanying application) :

Application in terms of Section 15(2)(b) of the By-Laws for permanent  
departure to relax the north-eastern common building restriction from 3m to 1.550m  
to allow encroachment of (proposed use / development / zoning of property) the building line

(\* please delete whichever not applicable)

## LIST OF RESTRICTIVE TITLE CONDITIONS (if applicable)

N/A

Deed no	Clause no	Description

## PROCESS BY WHICH RELEVANT CONDITIONS WILL BE ADDRESSED

(please tick appropriate box)

N/A

Removal / suspension / amendment of restrictions in terms of Act 84/1967 (Submit separate application)	Notarial Deed of Cancellation (Submit copy of signed agreement)	Consent (Submit copy of signed consent)	Expungement by means of 'rule nisi' application to High Court (Submit copy of Court order)
--	---	---	--

Signed at Mossel Bay on this 24th day of July 2025

Signature [Signature]

Kindly endorse certificate by affixing firm's official stamp here and initialling it.

**MILTONS MATSEMELA OOSTHUIZEN INC**  
Montagustraat 71 Montagu Street  
MOSSELBAAI / MOSSSEL BAY 6500  
Langstraat 85 Long Street  
GROOT BRAKRIVIER / GREAT BRAK RIVER 6525  
CALEDONSTRAAT 1 CALEDON STREET, GEORGE, 6529  
Posbus 2810 MOSSELBAAI 6500 /  
P.O Box 2810 MOSSSEL BAY 6500  
Docex 13 - Tel: 044 601 8700



# **ANNEXURE G**

## **SKETCH PLANS**





TOWN PLANNING PARAMETERS:	
ERF #	20892, MEADE STREET, GEORGE
ZONING	GRZIV - FLATS
ERF AREA:	2009,93m <sup>2</sup>
BUILDING LINES:	
STREET	5m
SIDE (HEIGHT UP TO 8,5m)	3m
REAR (HEIGHT UP TO 8,5m)	3m
SIDE (HEIGHT UP TO 8,5m)	3m
COVERAGE ALLOWED	60%
COVERAGE USED	18%
HEIGHT RESTRICTION	15,0m
HEIGHT USED	7,86m

AREA SCHEDULE:  
(FOR PLAN FEE PURPOSES ONLY)

EX. GROUND FL - BLDG 01:	212,60m <sup>2</sup>
EX. GROUND FL - BLDG 02:	140,40m <sup>2</sup>
EX. FIRST FL - BLDG 01:	236,30m <sup>2</sup>
TOTAL EXISTING AREAS:	589,30m <sup>2</sup>

OFF-STREET PARKING CALCULATIONS:	
LAND-USE: FLATS IN NORMAL AREAS	
HABITABLE UNITS:	8
PARKING BAYS PER UNIT:	1,25
VISITOR BAYS PER UNIT:	0,25
TOTAL # OF BAYS REQUIRED:	12 (1,5 X 8)
TOTAL # OF BAYS PROVIDED:	14

GENERAL NOTES

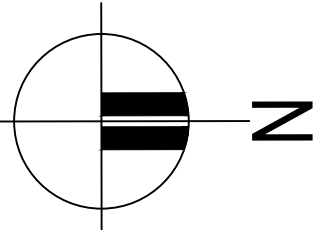
- ALL BUILDING WORK TO COMPLY WITH THE N.B.R. /SANS 10400 MINIMUM STANDARDS. DIMS TO BE USED ONLY. NO DIMENSIONS OF SEVERED OR REMOVED ELEMENTS TO BE USED ONLY. ANY DISCREPANCIES ARE TO BE REPORTED TO ARCHITECT AND BE RESOLVED BEFORE BUILDING WORK COMMENCES.
- WHERE APPLICABLE THE CONTRACTOR IS TO CHECK ON SITE SIZE COMPONENTS TO BE MANUFACTURED PRIOR TO MANUFACTURE FOR IS RESPONSIBLE FOR CORRECT SETTING OUT OF THE BUILDINGS. ALL EXTERNAL AND INTERNAL WALLS WITH PARTICULAR REFERENCE TO BOUNDARIES, BUILDING LINES, ETC.
- CONTRACTOR TO VERIFY ALL LEVELS, HEIGHTS AND DIMENSIONS BEFORE PUTTING ANY WORK IN HAND.
- CONTRACTOR IS TO LOCATE AND IDENTIFY EXISTING SERVICES ON THE SITE AND TO PROTECT THESE FROM DAMAGE THROUGHOUT THE CONSTRUCTION PERIOD.
- ANY ERRORS, DISCREPANCIES OR OMISSIONS TO BE REPORTED IMMEDIATELY.
- CONCRETE LIMITS ABOVE EVERY DOOR, WINDOW AND WEATHER OR NOT THESE ARE SHOWN ON DRAWINGS. TO ALL WALLS AT EACH FLOOR, BEAM OR PARAPET LEVEL AND TO ALL WALLS, DOORS, GRILLES OR OTHER OPENINGS IN EXTERNAL WALLS.
- ANY QUERIES ARISING FROM ALL THE ABOVE MUST BE REPORTED AND CLARIFIED BEFORE ANY WORKS IS PUT IN HAND.

DRAINAGE NOTES

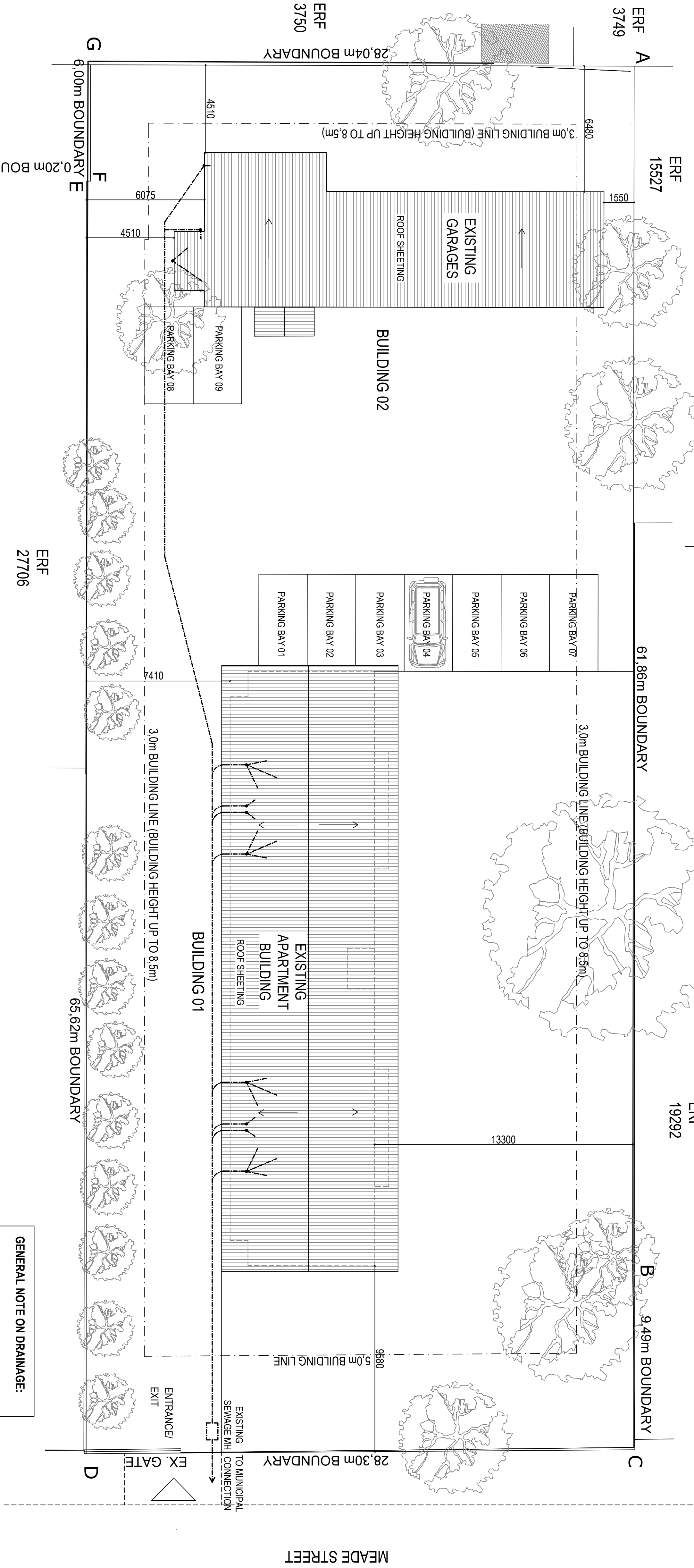
- DETERMINE POSITION OF MUNICIPAL SEWER CONNECTION ON SITE.
- ALL PLUMBING AND DRAINAGE WORK AND INSTALLATION OF SANITARY FITTINGS TO COMPLY WITH THE RELEVANT LOCAL AUTHORITY BY-LAWS, REGULATIONS AND REQUIREMENTS AS WELL AS SANS10400 AND SANS 204.
- ALL DRAINAGE SYSTEMS TO BE DESIGNED AND CONSTRUCTED WITH SUITABLE MARKERS AT GROUND LEVEL AND TO BE FULLY ACCESSIBLE AT ALL TIMES.
- MINIMUM 1:30 FALL TO ALL DRAIN PIPS.
- ALL DRAIN PIPS TO BE PROVIDED WITH ALL WASTE FITTINGS TO PROVIDE A.E.S TO FOOT OF ALL SOIL STACKS.
- ALL SOIL PIPS PASSING UNDER BUILDINGS OR FOOTINGS TO BE ENCASED IN CONCRETE.

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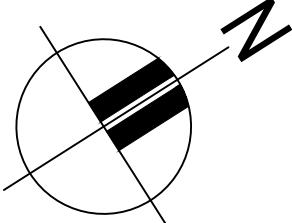


AERIAL VIEW - EXISTING  
N.T. S. FOR REFERENCE ONLY



GENERAL NOTE ON DRAINAGE:

THE DRAINAGE LAYOUT WAS DONE BASED ON THE MINIMAL VISIBLE INFORMATION WE RECEIVED AND CANNOT BE CONSIDERED AS ACCURATE INFORMATION.



SITE PLAN - EXISTING

Scale 1:125 @ A1

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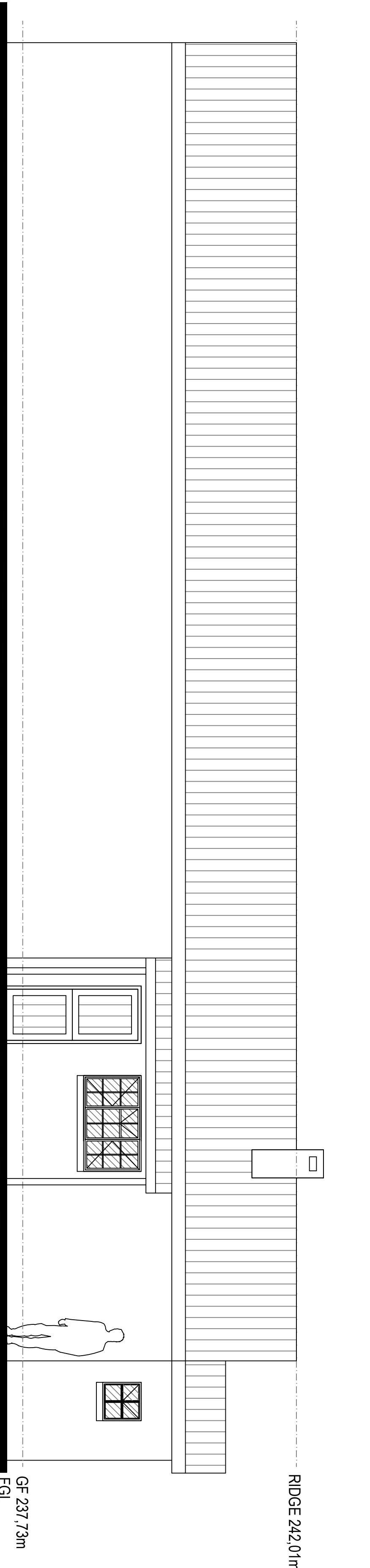
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PROJECT  
AS-BUILT DRAWINGS OF EXISTING LINDEN LODGE APARTMENT BUILDING, ERF 20892, MEADE STREET, GEORGE

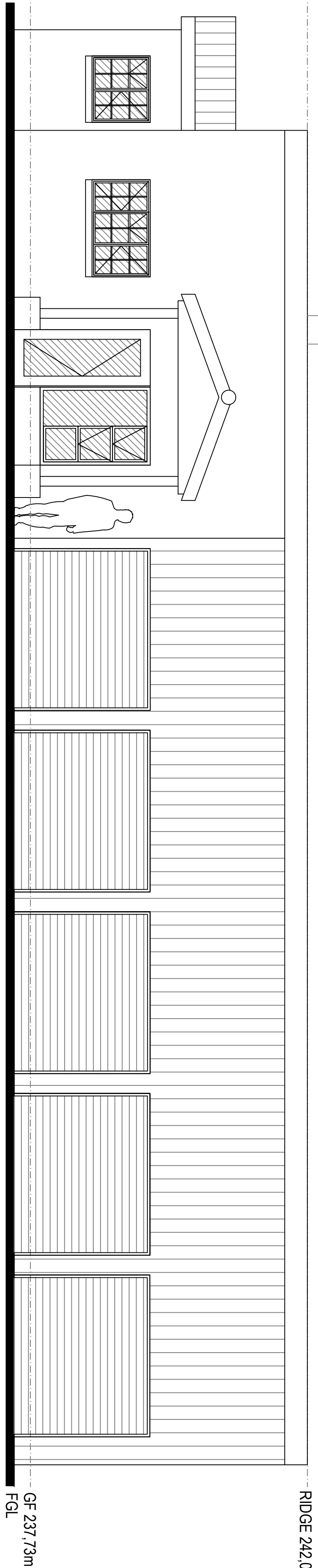
DRAWING  
SITE PLANS

DATE	25 MARCH 2025	SCALE	AS SHOWN
JOB NO./DRAWING NO./REV NO	2441/001/02		

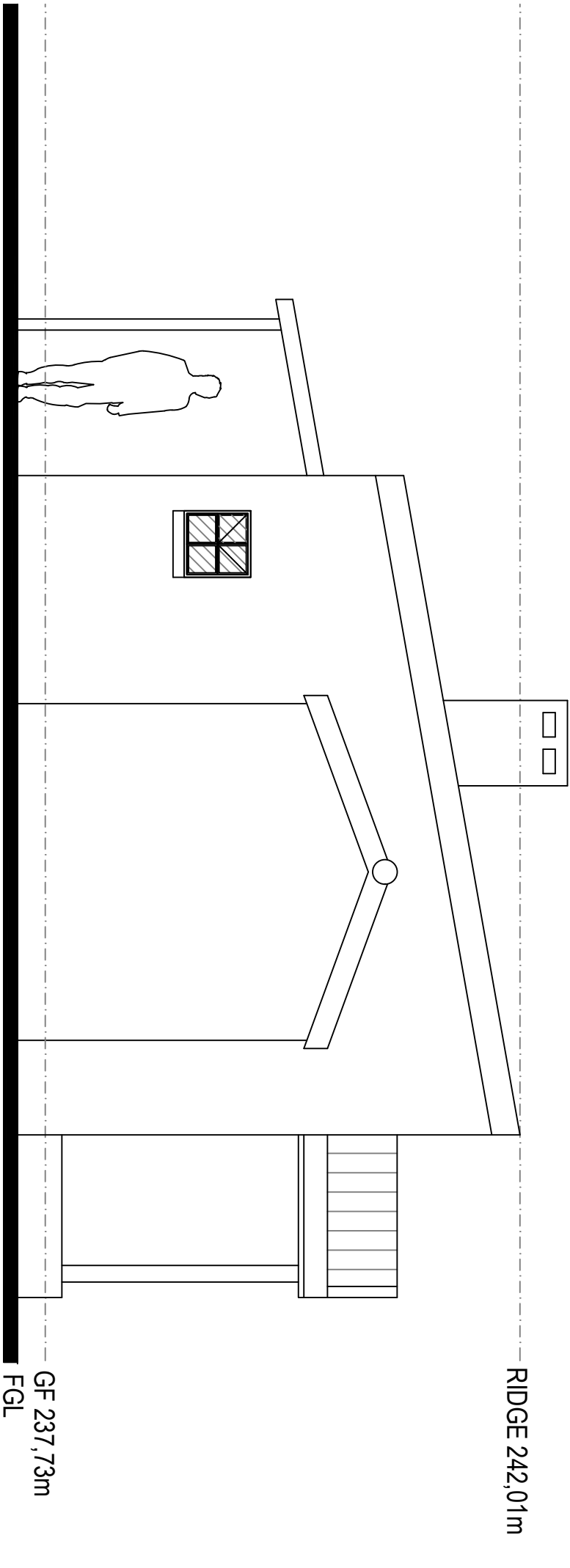




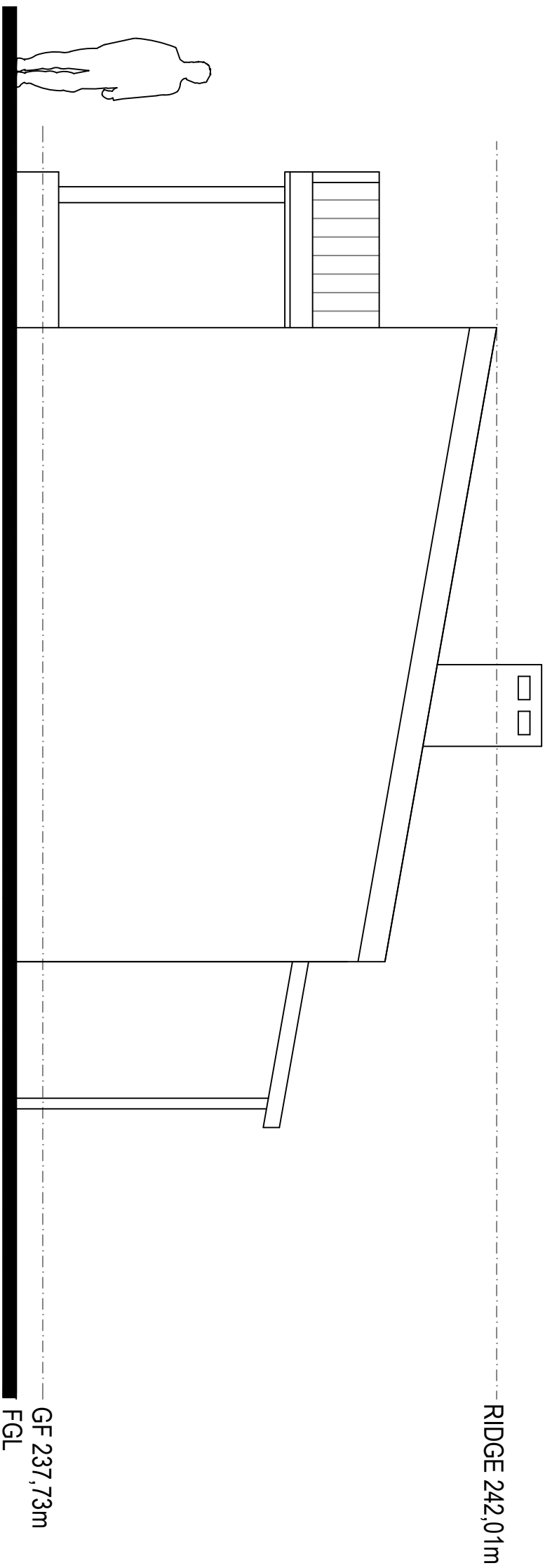
**WEST ELEVATION - BUILDING 02**  
Scale 1:50 @ A1



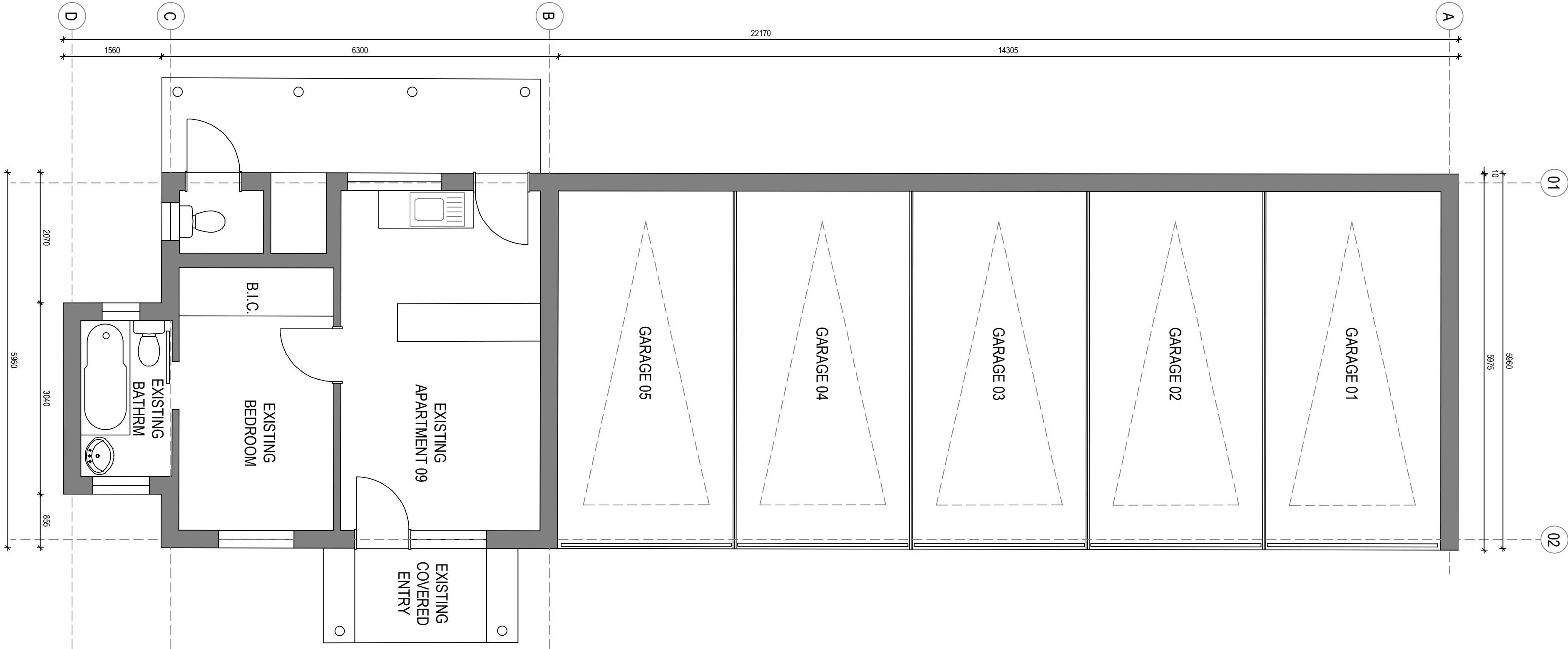
**EAST ELEVATION - BUILDING 02**  
Scale 1:50 @ A1



**SOUTH ELEVATION - BUILDING 02**  
Scale 1:50 @ A1



**NORTH ELEVATION - BUILDING 02**  
Scale 1:50 @ A1



**GROUND FLOOR PLAN - BUILDING 02**  
Scale 1:50 @ A1

GENERAL NOTES

- ALL BUILDING WORK TO COMPLY WITH THE N.B.R. /SANS 10400 MINIMUM STANDARDS. DETAILS TO BE USED ONLY. NO DIMENSIONS OR SPECIFICATIONS OF MATERIALS, FINISHES, LEVELS AND DIMENSIONS TO BE USED ONLY. ANY DISCREPANCIES ARE TO BE REPORTED TO ARCHITECT AND BE RESOLVED BEFORE BUILDING WORK COMMENCES.
- CONTRACTOR TO VERIFY ALL LEVELS, HEIGHTS AND DISCREPANCIES ARE TO BE REPORTED TO ARCHITECT AND BE RESOLVED BEFORE BUILDING WORK COMMENCES.
- WHERE APPLICABLE THE CONTRACTOR IS TO CHECK ON SITE SIZE COMPONENTS TO BE MANUFACTURED PRIOR TO MANUFACTURE FOR IS RESPONSIBLE FOR CORRECT SETTING OUT OF THE BUILDINGS. ALL EXTERNAL AND INTERNAL WALLS WITH PARTICULAR REFERENCE TO BOUNDARIES, BUILDING LINES, ETC.
- CONTRACTOR TO VERIFY ALL LEVELS, HEIGHTS AND DISCREPANCIES ARE TO BE REPORTED TO ARCHITECT AND BE RESOLVED BEFORE BUILDING WORK COMMENCES.
- CONTRACTOR IS TO LOCATE AND IDENTIFY EXISTING SERVICES ON THE SITE AND TO PROTECT THESE FROM DAMAGE THROUGHOUT THE CONSTRUCTION PROCESS. ANY DISCREPANCIES, DISCREPANCIES OR OMISSIONS TO BE REPORTED IMMEDIATELY.
- CONCRETE LIMITS ABOVE EVERY DOOR, WINDOW AND WEATHER OR NOT THESE ARE SHOWN ON DRAWINGS, TO ALL WALLS AT EACH FLOOR, BEAM OR PARAPET LEVEL AND TO ALL WALLS, DOORS, GRILLES OR OTHER OPENINGS IN EXTERNAL WALLS.
- ANY QUERIES ARISING FROM ALL THE ABOVE MUST BE REPORTED AND CLARIFIED BEFORE ANY WORKS IS PUT IN HAND.

DRAINAGE NOTES

- DETERMINE POSITION OF MUNICIPAL SEWER CONNECTION ON SITE.
- ALL PLUMBING AND DRAINAGE WORK AND INSTALLATION OF SANITARY FITTINGS TO COMPLY WITH THE RELEVANT LOCAL AUTHORITY BY-LAWS, REGULATIONS AND REQUIREMENTS AS WELL AS SANS 10400 AND SANS 204.
- ALL DRAINAGE SYSTEMS TO BE DESIGNED AND CONSTRUCTED TO BE FULLY ACCESSIBLE AT ALL TIMES.
- MINIMUM 1:40 FAL TO ALL DRAIN PIPES.
- PROVIDE A.E.S TO FOOT OF ALL SOIL STACKS.
- ALL SOIL PIPES PASSING UNDER BUILDINGS OR FOOTINGS TO BE ENCASED IN CONCRETE.

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REV	DATE	DESCRIPTION

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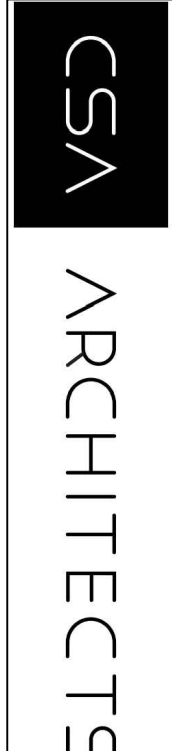
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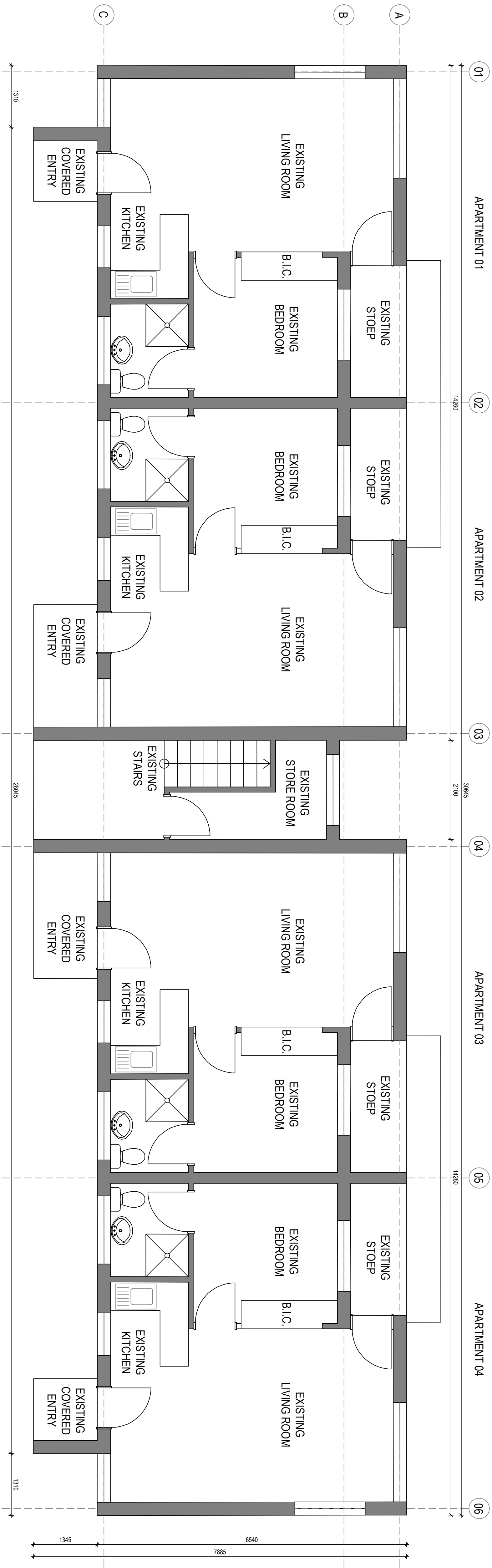
PROJECT

AS-BUILT DRAWINGS OF EXISTING LINDEN LODGE APARTMENT BUILDING, ERF 20892,  
MEADE STREET, GEORGE

DRAWING

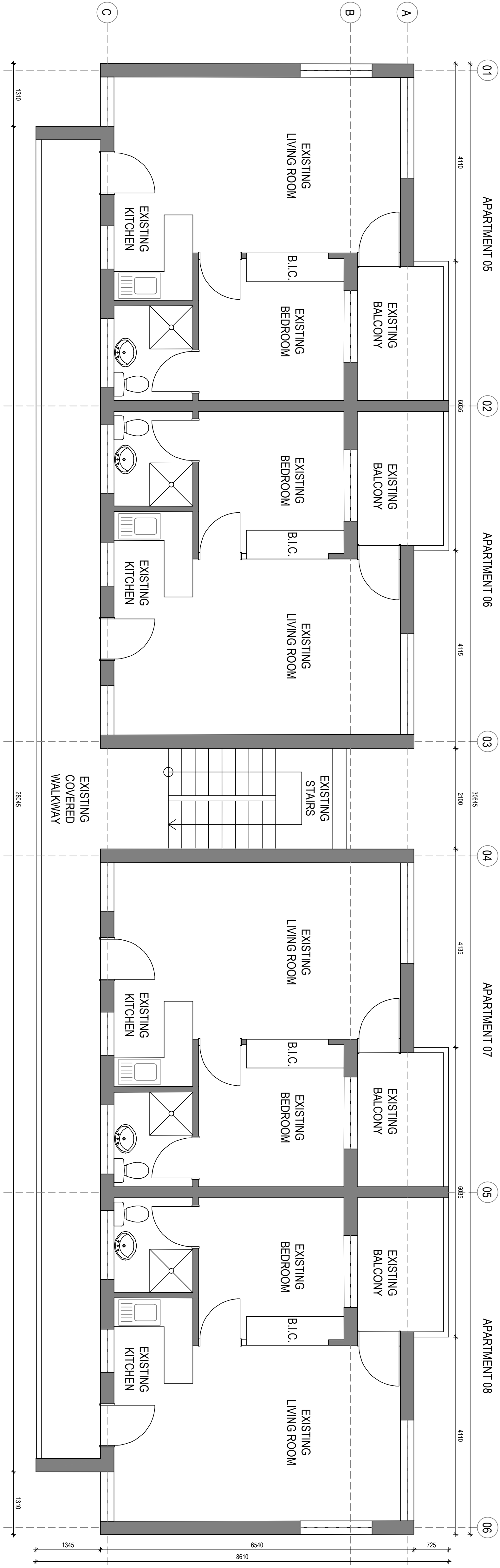
BUILDING 02: GROUND FLOOR PLAN & ELEVATIONS

DATE	SCALE
25 MARCH 2025	AS SHOWN
JOB NO/DRAWING NO/REV NO	
2441/101/02	



GROUND FLOOR PLAN - BUILDING 01

Scale 1:50 @ A1



FIRST FLOOR PLAN - BUILDING 01

Scale 1:50 @ A1

- GENERAL NOTES
- ALL BUILDING WORK TO COMPLY WITH THE N.B.R. /SANS 10400 MINIMUM STANDARDS. DIMS TO BE USED ONLY. NO DIMENSIONS TO BE SHOWN ON DRAWINGS.
  - DIMENSIONS TO BE SHOWN ON DRAWINGS.
  - LEVELS AND DIMENSIONS TO BE USED ONLY. ANY DISCREPANCIES ARE TO BE REPORTED TO ARCHITECT AND BE RESOLVED BEFORE BUILDING WORK COMMENCES.
  - CONTRACTOR IS TO CHECK ON SITE SIZE COMPONENTS TO BE MANUFACTURED PRIOR TO MANUFACTURE FOR IS RESPONSIBLE FOR CORRECT SETTING OUT OF THE BUILDINGS. ALL EXTERNAL AND INTERNAL WALLS WITH PARTICULAR REFERENCE TO BOUNDARIES, BUILDING LINES, ETC.
  - CONTRACTOR TO VERIFY ALL LEVELS, HEIGHTS AND DIMENSIONS BEFORE PUTTING ANY WORK IN HAND.
  - CONTRACTOR IS TO LOCATE AND IDENTIFY EXISTING SERVICES ON THE SITE AND TO PROTECT THESE FROM DAMAGE THROUGHOUT THE CONSTRUCTION PERIOD.
  - ANY ERRORS, DISCREPANCIES OR OMISSIONS TO BE REPORTED IMMEDIATELY.
  - CONCRETE LIMITS ABOVE EVERY DOOR, WINDOW AND WEATHER OR NOT THESE ARE SHOWN ON DRAWINGS, TO ALL WALLS AT EACH FLOOR, BEAM OR PARAPET LEVEL AND TO ALL WALLS, DOORS, GRILLES OR OTHER OPENINGS IN EXTERNAL WALLS.
  - ANY QUERIES ARISING FROM ALL THE ABOVE MUST BE REPORTED AND CLARIFIED BEFORE ANY WORKS IS PUT IN HAND.
- DRAINAGE NOTES
- DETERMINE POSITION OF MUNICIPAL SEWER CONNECTION ON SITE.
  - ALL PLUMBING AND DRAINAGE WORK AND INSTALLATION OF SANITARY FITTINGS TO COMPLY WITH THE RELEVANT LOCAL AUTHORITY BY-LAWS, REGULATIONS AND REQUIREMENTS AS WELL AS SANS 10400 AND SANS 204.
  - ALL DRAINAGE SYSTEMS TO BE DESIGNED AND LAYOUT WITH SUITABLE MARKERS AT GROUND LEVEL AND TO BE FULLY ACCESSIBLE AT ALL TIMES.
  - MINIMUM 1:40 FALL TO ALL DRAIN PIPES.
  - ALL DRAINAGE SYSTEMS TO BE DESIGNED TO ALLOW WASTE FITTINGS TO BE REMOVED AND REINSTALLED WITHOUT THE NEED TO PROVIDE A/E'S TO FOOT OF ALL SOIL STACKS.
  - ALL SOIL PIPES PASSING UNDER BUILDINGS OR FOOTINGS TO BE ENCASED IN CONCRETE.
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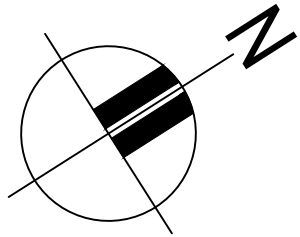
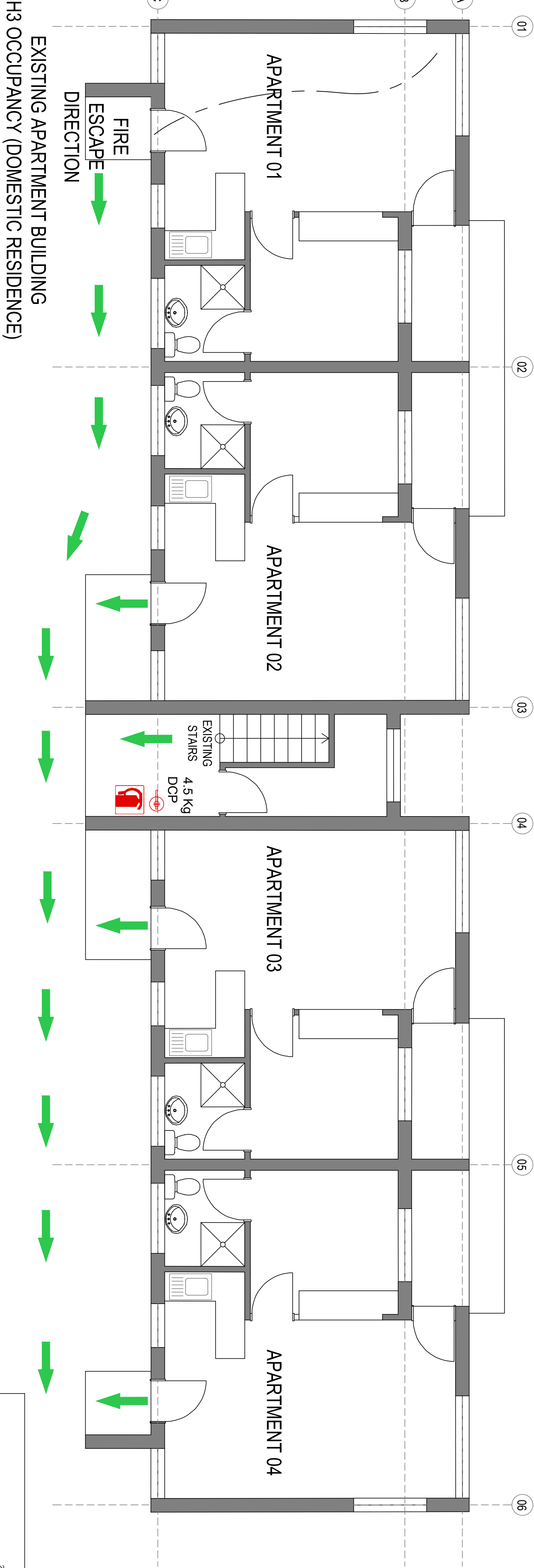
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PROJECT  
AS-BUILT DRAWINGS OF EXISTING LINDEN LODGE  
APARTMENT BUILDING, ERF 20892,  
MEADE STREET, GEORGE

DRAWING  
BUILDING 01  
GROUND & FIRST FLOOR PLANS

DATE	22 MARCH 2025	SCALE	AS SHOWN
JOB NO / DRAWING NO / REV NO		2441/100/01	





GROUND FLOOR FIRE & SEWAGE PLAN - BUILDING 01  
Scale 1:50 @ A1

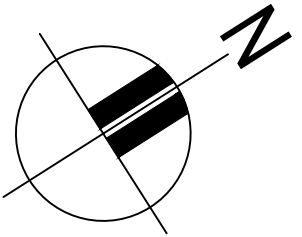
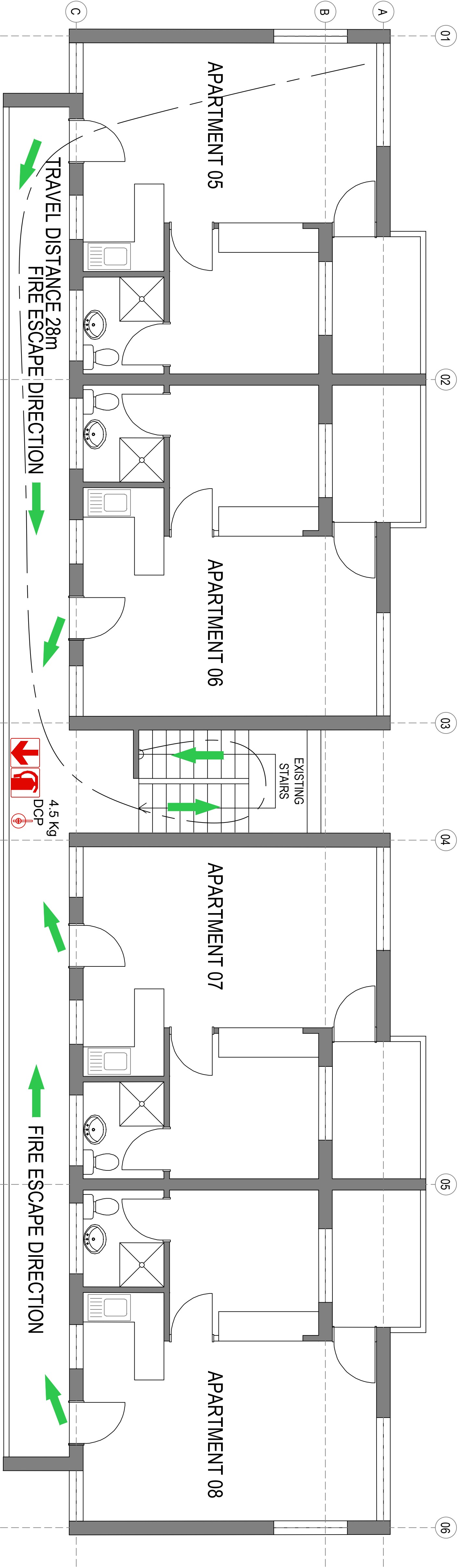
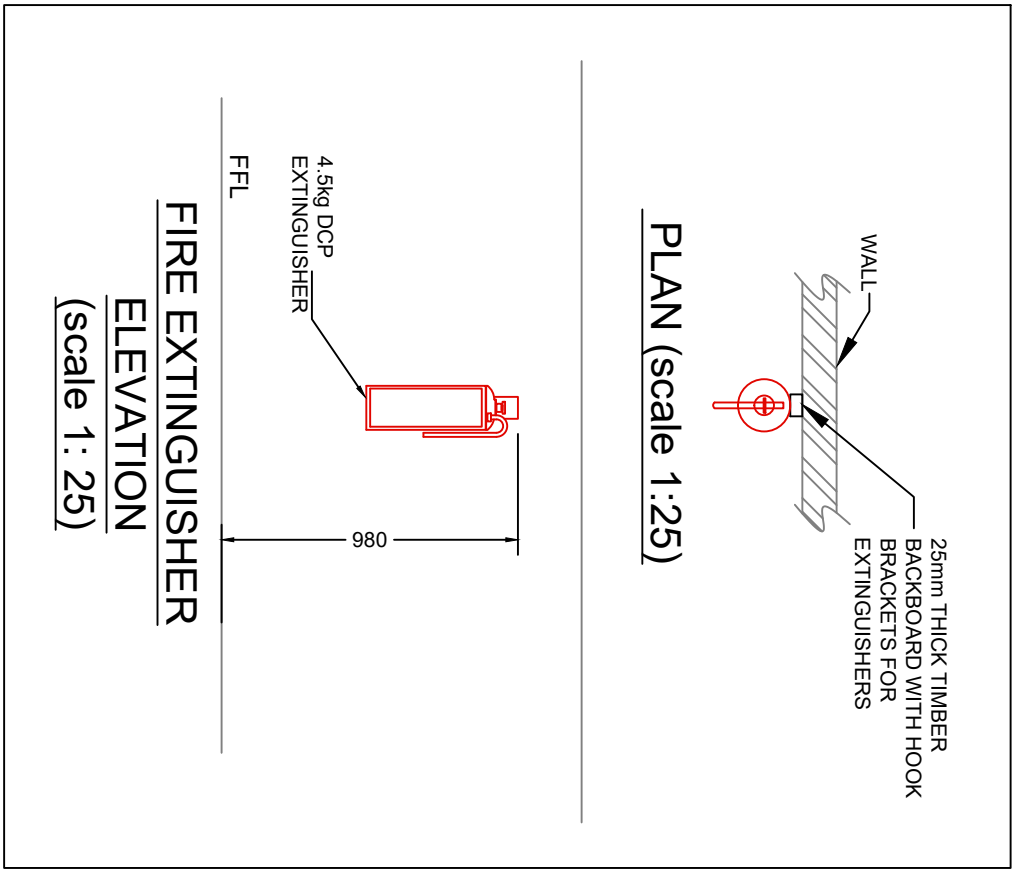
**GENERAL NOTES ON FIRE SAFETY:**

**SYMBOLIC SAFETY SIGNAGE**

SAFETY SIGNAGE SHALL COMPLY WITH SANS 810 AND SANS 1186-5 AND BE PHOTOLUMINESCENT. SAFETY SIGNAGE SHALL BE INSTALLED WITHIN AN ALUMINIUM FRAME AND BE MECHANICALLY FIXED TO THE BUILDING STRUCTURE EITHER BY MEANS OF SCREWS OR STEEL CABLE IF SUSPENDED.

**PORTABLE FIRE EXTINGUISHERS**

FIRE EXTINGUISHERS ARE TO BE DRY CHEMICAL POWDER AND TO COMPLY WITH SANS 810. FIRE EXTINGUISHERS ARE TO BE MOUNTED ON TIMBER BACKING BOARD AND INCLUDE SANS 1186 APPROVED SYMBOLIC SAFETY SIGNAGE.



FIRST FLOOR PLAN - BUILDING 01  
Scale 1:50 @ A1

- GENERAL NOTES**
- ALL BUILDING WORK TO COMPLY WITH THE N.B.R. /SANS 10400 MINIMUM STANDARDS. DESIGNS TO BE USED ONLY. NO DIMENSIONS OF SEWERS OR DRAINAGE LINES TO BE USED ONLY. ANY DISCREPANCIES ARE TO BE REPORTED TO ARCHITECT AND BE RESOLVED BEFORE BUILDING WORK COMMENCES.
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  - ALL DRAINAGE PIPES, MANHOLES AND JUNCTIONS WITH SUITABLE MARKERS AT GROUND LEVEL AND TO BE FULLY ACCESSIBLE AT ALL TIMES.
  - MINIMUM 1:30 FALL TO ALL DRAIN PIPES.
  - PROVIDE A.E.S TO FOOT OF ALL SOIL STACKS.
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PROJECT  
AS-BUILT DRAWINGS OF EXISTING LINDEN LODGE APARTMENT BUILDING, ERF 20892,  
MEADE STREET, GEORGE

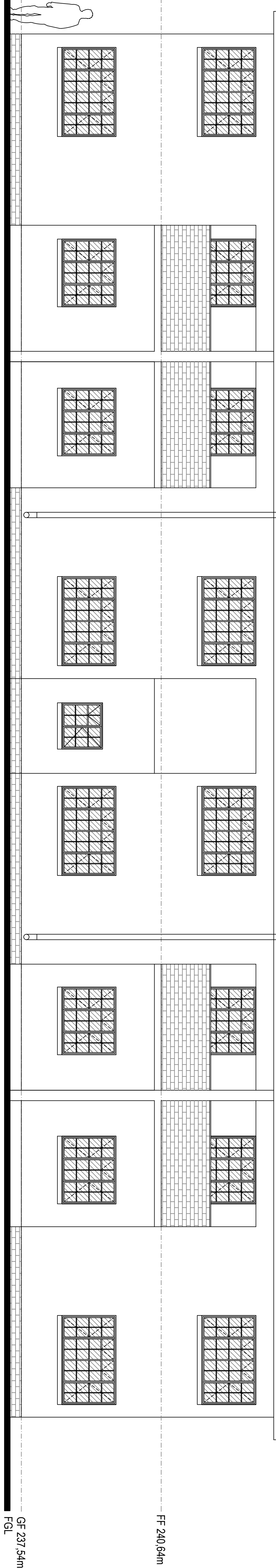
DRAWING  
BUILDING 01  
GROUND & FIRST FLOOR FIRE PLANS

DATE 22 MARCH 2025 SCALE AS SHOWN  
JOB NO/DRAWING NO/REV NO 2441/102/01

RIDGE 245,44m

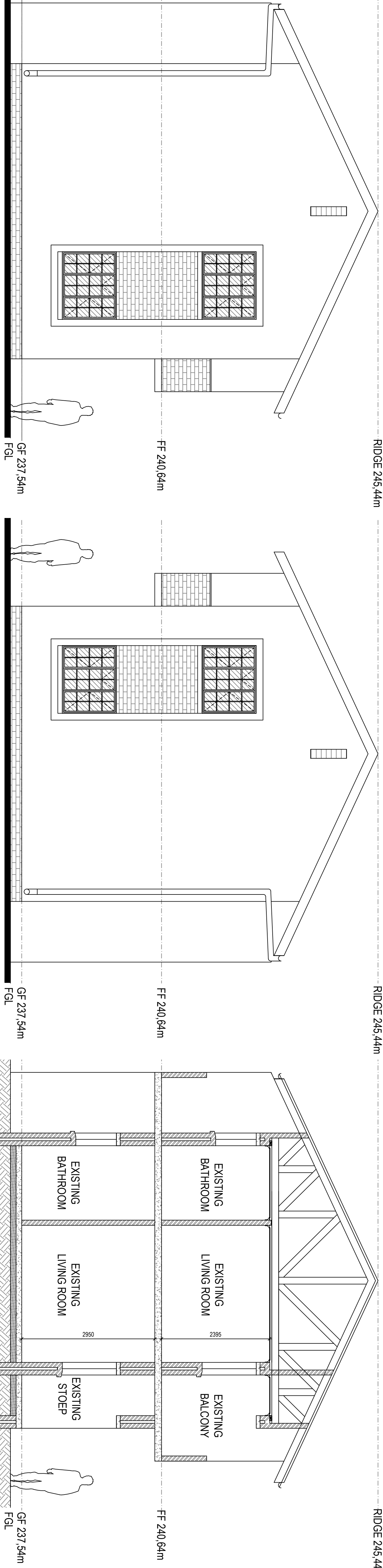
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  - THE CONTRACTOR IS RESPONSIBLE FOR CORRECT SETTING OUT OF THE BUILDINGS, ALL EXTERNAL AND INTERNAL WALLS WITH PARTICULAR REFERENCE TO BOUNDARIES, BUILDING LINES, ETC.
  - THE CONTRACTOR TO VERIFY ALL LEVELS, HEIGHTS AND DIMENSIONS OF EXISTING BUILDINGS AND ADJACENT BUILDINGS BEFORE PUTTING ANY WORK IN HAND.
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NORTH ELEVATION - BUILDING 01

Scale 1:50 @ A1

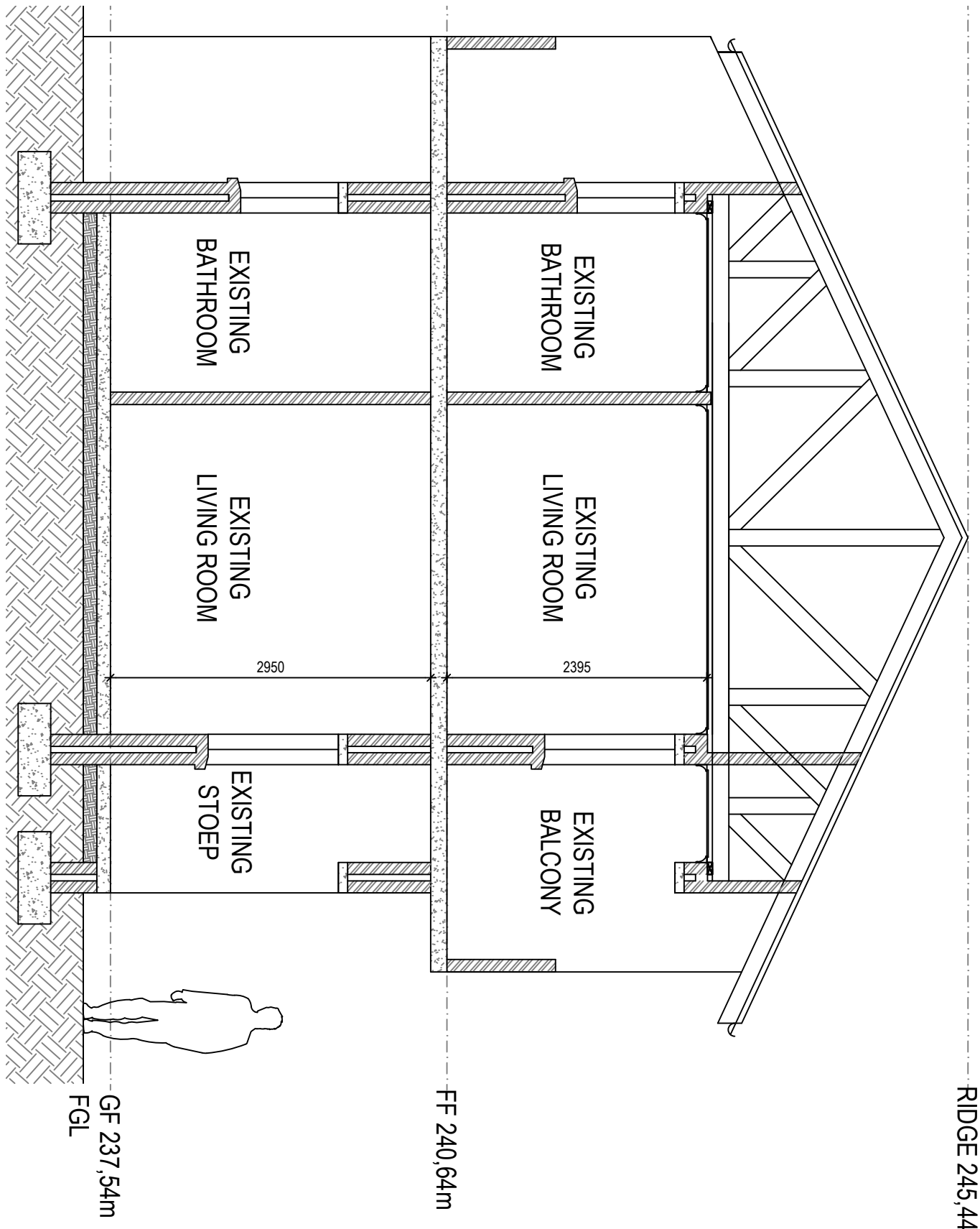


EAST ELEVATION - BUILDING 01

Scale 1:50 @ A1

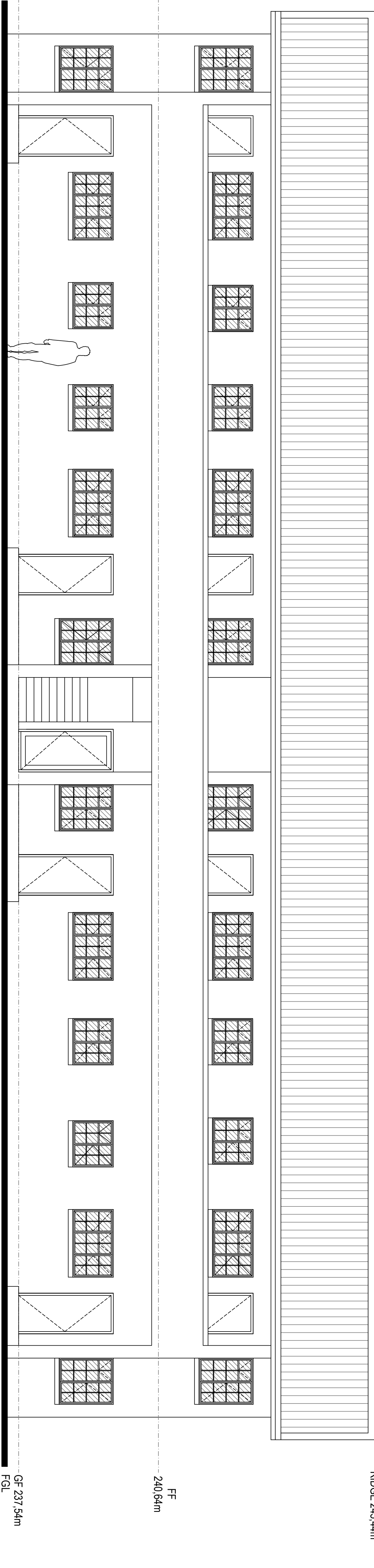
WEST ELEVATION - BUILDING 01

Scale 1:50 @ A1



SECTION A-A - BUILDING 01

Scale 1:50 @ A1



SOUTH ELEVATION - BUILDING 01

Scale 1:50 @ A1

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DRAWING BUILDING 01: ELEVATIONS & SECTION A-A

PROJECT  
AS-BUILT DRAWINGS OF EXISTING LINDEN LODGE APARTMENT BUILDING, ERF 20892,  
MEADE STREET, GEORGE

DATE 22 MARCH 2025 SCALE AS SHOWN  
JOB NO / DRAWING NO / REV NO 2441/200/01