



The Municipal Manager
P O Box 19
George
6530

Reference: Erf 2022 Wilderness

28 August 2025

Sir

APPLICATION FOR PERMANENT DEPARTURE (CONDITIONS OF APPROVAL): ERF 2022 WILDERNESS (CONSTANTIA KLOOF)

Attached hereto please find an application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the conditions of approval for Constantia Kloof in respect of building materials of the proposed dwelling house on Erf 2022 Wilderness.

Your prompt consideration of the application will be appreciated.

Thanking you in anticipation.

Jan Vrolijk

MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURE (CONDITIONS OF APPROVAL)
ERF 2022 WILDERNESS (CONSTANTIA KLOOF)

28 August 2025



Prepared for:

Incredibly Year (Pty) Ltd
2022 Kooboo Berry Close
Wilderness
6560

Prepared by:

Jan Vrolijk Town Planner/Stadsbeplanner
Millwood building, C/o York- and Victoria streets,
George
P.O. Box 710, George, 6530
South-Africa
Tell: 044 873 3011
Cell: 082 464 7871
Fax: 086 510 4383
SACPLAN Registration No A/1386/2011

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MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURES (CONDITIONS OF APPROVAL)
ERF 2022 WILDERNESS (CONSTANTIA KLOOF)

1. APPLICATION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the original conditions of approval for Farm 158 known as Constantia Kloof, with specific reference to Condition 4.2 of the approval dated 25 November 1996 to allow for the construction of a concrete and painted dwelling house on Erf 2022, Wilderness.

The proposed site and building plans of the dwelling house is attached hereto as **Annexure “A”**. The completed application form for the permanent departure (conditions of approval) is attached hereto as **Annexure “B”**.

2. BACKGROUND

Erf 2022 Wilderness is located in the area known as Constantia Kloof. The aerial image below indicates Constantia Kloof and the subject property.



The design of the dwelling houses in Constantia Kloof is restricted to certain building materials as per the original Constantia Kloof development approval on Farm 158 with specific reference to Condition 4.2 which reads as follows:

“That all exterior finishes of buildings and boundary wall/fences be constructed of clinker brick (face brick) and/or timber logs and that all roofs be of a green, brown or black colour.”

The George Municipality has granted approval to depart from Condition 4.2 in various cases in Constantia Kloof to be able to use more modern building materials which include concrete, iron sheets for cladding and grey colours to give the dwelling houses a more modern look.

3. DEVELOPMENT PROPOSAL

Erf 2022 Wilderness is 1 551m² in extent and is currently vacant. Erf 2022 is one of only a few undeveloped properties in Constantia Kloof as the area has been developing consistently over the last couple of years.

The owner intends to develop a dwelling house on Erf 2022 Wilderness; however the design and style of the proposed dwelling house is modern and will be constructed from concrete and painted with a grey colour. Therefore, a departure is required from the original conditions of approval for Constantia Kloof, to allow the use of concrete and to paint the proposed dwelling house with a grey colour as can be seen in the 3D renderings below, which is also attached hereto as **Annexure “C”**.

The proposed dwelling house complies with the building lines in terms of the George Integrated Zoning Scheme By-law, 2023.

The design of the proposed dwelling house on Erf 2022 Wilderness complies with the maximum height of 8,5 metres measured from the average natural ground level of the property that immediately adjoins the building to the highest point of the roof and does not appear as more than 2 storeys from any direction as per Condition 4.1 of the original conditions of approval for

Constantia Kloof as well as with Section 26 of the George Integrated Zoning Scheme By-law, 2023 with regards to earth banks and retaining structures.



The purpose of this application is to obtain approval for proposed dwelling house on Erf 2022 Wilderness to utilize more modern construction materials and colours. After the successful land use planning application, an OSCAE application will be submitted and thereafter building plans will be submitted for approval.

4. PRE-APPLICATION CONSULTATION

A pre-application consultation was not requested as the proposal entails an application for a permanent departure (conditions of approval). This is in line with the e-mailed directive in this regard to various consultants by the Municipal Town Planners, which was issued by e-mail dated 10 May 2022.

5. GENERAL INFORMATION REGARDING ERF 2022 WILDERNESS

5.1 Locality

Erf 2022 Wilderness is located in Constantia Kloof which is directly north of the CBD of Wilderness. Wilderness is located approximately 20km east of George. The locality of the property is indicated on the locality plan which is attached hereto as **Annexure "D"**.

5.2 Existing land use

The application property is currently vacant.

5.3 Extent of erf

Erf 2022 Wilderness, Constantia Kloof is 1 551m² in extent.

5.4 Existing zoning

In terms of the George Integrated Zoning Scheme By-Law, 2023, the zoning of Erf 2022 Wilderness is Single Residential Zone I.

5.5 General Plan

Erf 2022 Wilderness forms part of General Plan 8139/1995, the General Plan for the area known as Constantia Kloof. A cop of the General Plan is attached hereto as **Annexure “E”**.

5.6 Title Deed

Erf 2022 Wilderness is registered in the name of Incredible Year Proprietary Limited Registration Number 2022/691926/07. A copy of Title Deed of the property, Title Deed No. T19206/2023, is attached hereto as **Annexure “F”**.

5.7 Power of Attorney

A Power of Attorney, whereby Jan Vrolijk Town Planner / Stadsbeplanner is appointed by Carlene Lynette Roux, the only Director of Incredible Year (Pty) Ltd Registration Number 2022/691926/07, the registered owner of Erf 2022 Wilderness, to prepare the application referred to in point 1 of this motivation report and to sign all relevant documents is attached hereto as **Annexure “G”**.

A document issued by the Commissioner of Companies & Intellectual dated 14 February 2023 indicating that Carlene Lynette Roux is the only Director of Incredible Year (Pty) Ltd Registration Number 2022/691926/07, the registered owner of Erf 2022 Wilderness, is attached hereto as **Annexure “H”**.

5.8 Bondholder’s Consent

Erf 2022 Wilderness is not encumbered by a bond.

5.9 Conveyancer Certificate

A Conveyancer Certificate in respect of Erf 2022 Wilderness is attached hereto as **Annexure “I”**. The Conveyancer Certificate confirms that there are no conditions in the Title Deed of the application property which restricts the proposed uses on the property.

6. DESIRABILITY OF APPLICATION FOR PERMANENT DEPARTURE (CONDITIONS OF APPROVAL FOR CONSTANTIA KLOOF): ERF 2022 WILDERNESS

6.1 Introduction

Specific issues which must be addressed in the motivation of applications are highlighted in the Land Use Planning By-Law for George Municipality, 2023. These issues are, however, aimed at more complex applications and are not applicable to lesser applications, such as a permanent departure from the conditions of approval for Constantia Kloof.

This application will therefore be motivated with reference to the following aspects:

- *Compatibility of the proposal with the existing planning and land uses of the surrounding area.*
- *The impact that the proposal will have on the environment.*
- *The impact that the proposal will have on traffic and parking in the surrounding area.*

- *The impact that the proposal will have on surrounding facilities such as schools, open spaces and other community facilities, should the application result in an increase in the population of the area concerned.*
- *The impact that the proposal will have on the existing character of the surrounding area and the right of the inhabitants of the area in respect of property values, privacy, view, sunlight, et cetera.*
- *Provision of essential services.*

It will be indicated in the following paragraphs that the proposal can be regarded as being desirable as far as the mentioned aspects are concerned.

6.2 Existing planning in the area

The area of Wilderness where the application erf is located has a single residential land use character and because of the unique location, some guesthouses are present. The steep slopes prevalent in Constantia Kloof together with some irregular property shapes, make building line departures common in this area. The proposed dwelling house does however maintain the prescribed building lines.

The conditions of approval for Constantia Kloof are outdated and therefore the George Municipality has in the past granted departures from the conditions of approval. In this instance departure is required for use of different construction materials including concrete and grey colour paint.

The permanent departure, as proposed in this application, will therefore not establish an undesirable precedent, and can be accommodated within the existing planning of the area.

6.3 Impact on schools, open spaces and other community facilities

The permanent departure proposed in this application will not result in an increase in the number of permanent inhabitants. As such, the proposal will not have an impact on schools and community facilities in the area. Ample open space is available in the close proximity of the erf

and the proposal will thus have no impact on open spaces. This aspect is therefore not relevant to this application.

6.4 Impact on the streetscape

The proposed dwelling house will be visible from Kooboo Berry Close. Most of the properties on Kooboo Berry Close have been developed and the proposed dwelling house will not be out of character with the surrounding dwelling houses and will therefore not have any impact on the streetscape.

Erf 2022 is located at the end of Kooboo Berry Close, on the northern border of Constantia Kloof. Kooboo Berry is not a road that carries through traffic and primarily gives access to the properties located along the road. There is also a controlled access at the end of Kooboo Berry Close to the small holdings located above Constantia Kloof. The photo below indicates the street frontage and Erf 2023 Wilderness, south of the subject site, which is currently being constructed (near completion).



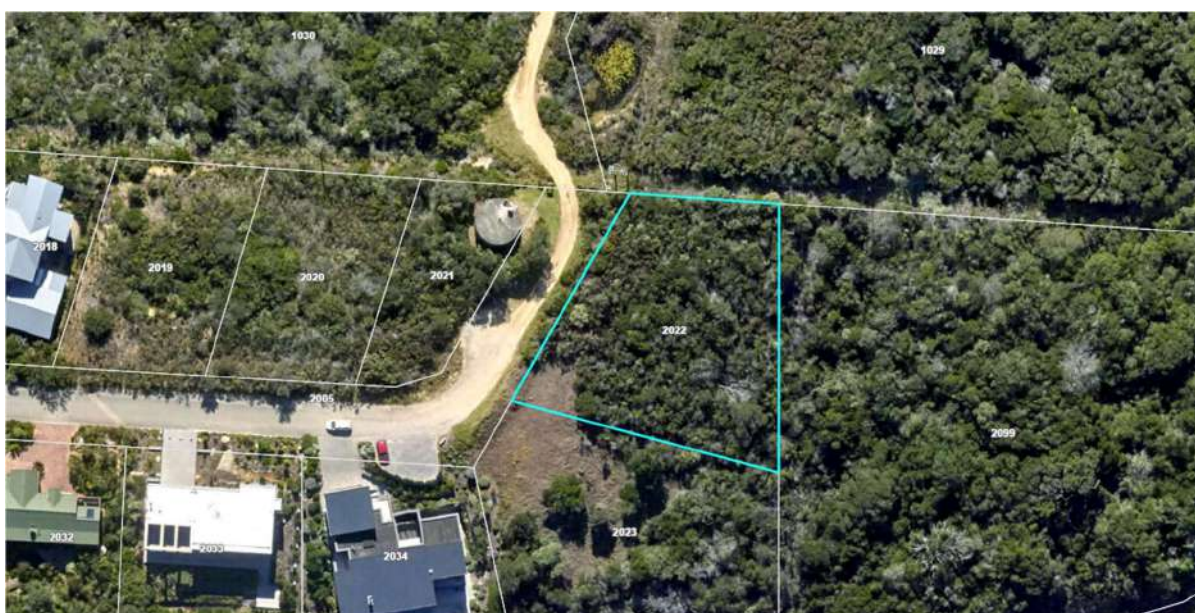
The proposed departure from the conditions of approval for Constantia Kloof to make use of modern building materials and colours will not negatively impact the streetscape as there are dwelling houses of similar design features within Kooboo Berry Close and the bigger Constantia Kloof area, as can be seen in the photos below.



The permanent departure as proposed in this application will, therefore, not have a negative impact on the streetscape in the vicinity of the application property.

6.5 Impact on sunlight, view and privacy

The orientation of the proposed dwelling house on Erf 2022 Wilderness is positioned to make the most of the beautiful view over Wilderness and the ocean. Erf 2022 Wilderness, which is located at the end of Kooboo Berry Close, only has one adjacent residential property. North of Erf 2022 Wilderness is small holdings, east is an open space, west is the residential property, currently being constructed and west opposite the road is a municipal property (water reservoir). This can be seen in the photo below.



The proposed dwelling house on Erf 2022 Wilderness cannot have any negative effect on the adjacent property Erf 2023 Wilderness, as it keeps within its boundary building lines and height requirements. The dwelling house on Erf 2023 Wilderness is constructed of the same material that is proposed for Erf 2022 Wilderness. The proposed departure from the conditions of approval will have no effect whatsoever on sunlight, view or privacy.

The permanent departure as proposed in this application can thus have no negative impact on the sunlight, view or privacy in respect of the mentioned adjacent erven.

6.6 Impact on property values

As indicated in the previous paragraphs, the proposed dwelling house in respect of which the permanent departures are required, do not have a negative impact on any of the surrounding properties. The outside finishes of the dwelling house will be of good quality and have a modern architectural style. The proposal will add value to the erf and represents a substantial capital investment by the owner.

The value of surrounding properties can, therefore, not be negatively impacted upon by the permanent departure as proposed in this application.

6.7 Impact on provision of parking

The parking requirements applicable to different land uses are set out in table format in Section 42 of the George Integrated Zoning Scheme By-law, 2023.

As indicated on the site and building plans attached hereto as **Annexure “A”**, it will be possible to provide the required number of parking bays within the boundaries of the erf. A double motor garage is proposed, which complies with the minimum parking requirement to provide 2 parking bays per dwelling house. The departure applied for will have no effect on provision of parking.

The provision of on-site parking will therefore not be negatively impacted upon by the granting the permanent departure as proposed.

6.8 Impact of traffic circulation

Erf 2022 Wilderness is located in Kooboo Berry Close, Wilderness, which is a residential street, serving primarily the local residents residing in this street and access control is available to the small holding properties north of Constantia Kloof.

The proposed access to Erf 2022 Wilderness complies with the George Integrated Zoning Scheme By-law, 2023 requirements and is 7.8 metres wide. This singular access to the residential property cannot have any impact on traffic circulation.

The departure applied for cannot any impact on traffic circulation in Kooboo Berry Close.

6.9 Provision of services

The dwelling house will connect to the municipal services that are available in the area, the permanent departure as proposed in this application will not have any negative impact on existing services or the provision of services in the area concerned.

6.10 Firefighting

The firefighting requirements stipulated in the fire-regulations will not be negatively impacted upon as the application erf will still be fully accessible for fire-fighting purposes.

7. CONCLUSION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the conditions of approval for Constantia Kloof in respect of building materials.

As indicated in this report the proposed application for permanent departure is compatible with all existing planning documents, spatial plans, legislation and policy documents applicable to the application.

The proposal will not have a negative impact on the environment, development, public facilities, traffic circulation or Municipal services in the surrounding area.

The application can therefore be considered desirable and is submitted for consideration in terms of the relevant stipulations of the Land Use Planning By-Law for the George Municipality, 2023.

ANNEXURE "A" - SITE PLAN AND BUILDING PLAN

NOTE:
NO MILKWOOD TREES WERE FOUND ON SITE.

BEACON DESCRIPTIONS:

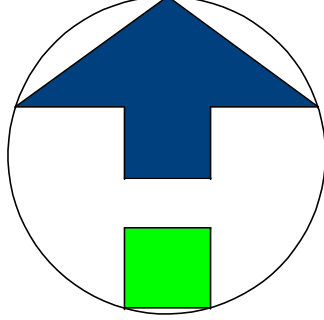
A, B, C, D 12mm Iron peg
I, H, S. Potgieter (PLS1100),

BM - 183,811

HOEKWIL

ERF 1028

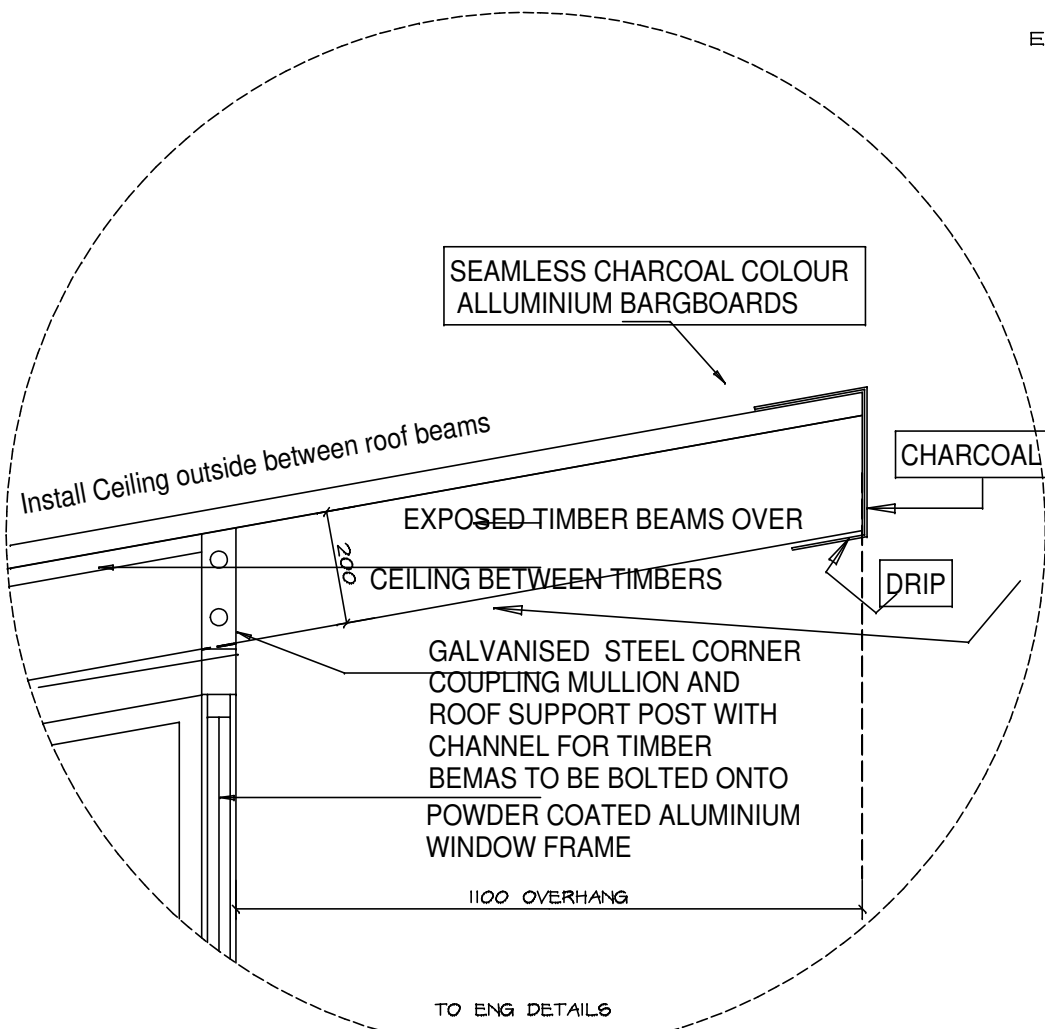
NORTH



SITE
ENTRANCE

KOOSBO BERREY STREET 13m
T4A
CONSERVANCY LINK
CONSERVANCY PUMP
STORMWATER DRAINAGE TO
ENGINEER DESIGN
AND DETAIL

SITEPLAN 1:200



TYPICAL EAVES DETAIL

BUILDING DATE ERF 2022

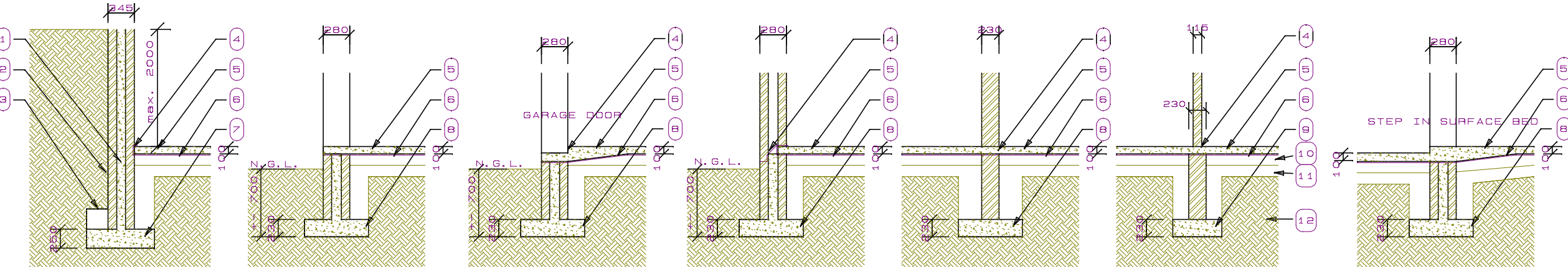
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COVERED PATIO = 78.00M2
SWIMMING POOL = 10.00M2

LOWER GROUND FLOOR AREA = 184.00M2

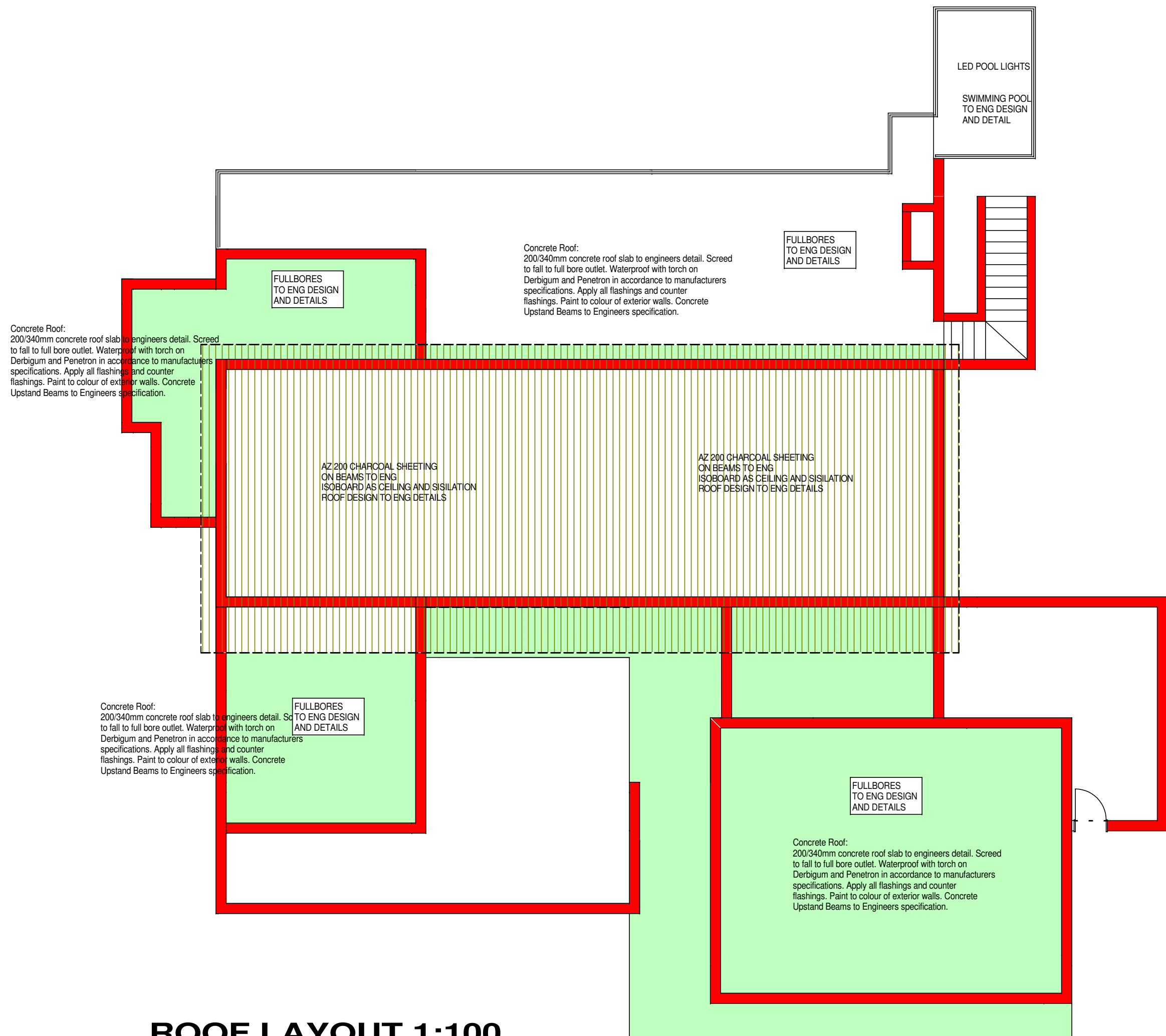
TOTAL = 553.00M2

SITE AREA 1551M2
COVERAGE=23.00%

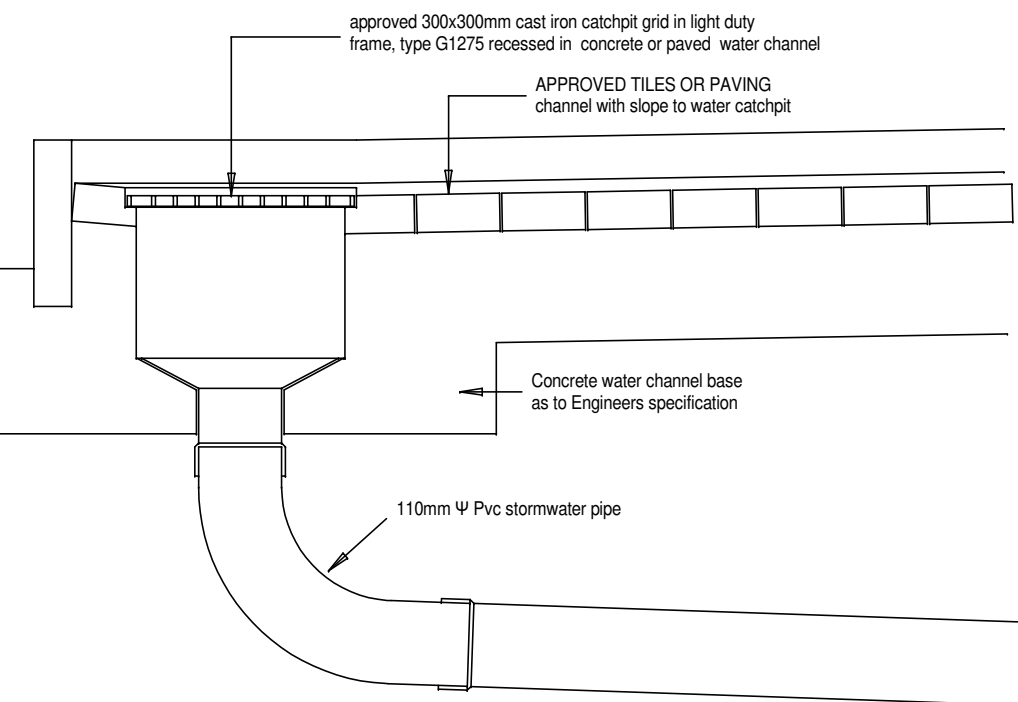
- | | |
|--|---|
| 1 REINFORCED 25 MPA CONCRETE (245 MESH) | 7 25 MPA CONCRETE REINFORCED WITH 4 Y 12 @ 200 |
| 2 WATERPROOFING BY SPECIALIST. | 8 20 MPA CONCRETE REINFORCED WITH 4 Y 12 @ 200 |
| 3 300 x 300 x 10 STONE DRAIN 110 DIA PERFORATED PIPE | 9 20 MPA CONCRETE REINFORCED WITH 3 Y 12 @ 250 |
| 4 10mm JOINTEX BETWEEN ALL WALLS AND SURFACEBEDS | 10 150mm IMPORTED G7 COMPACTED TO 98% MAMOD |
| 5 20 MPA CONCRETE REINFORCED WITH 193 MESH | 11 min. 150mm IMPORTED G7 COMPACTED TO 98% MAMOD COMPACT IN LAYERS OF 150mm |
| 6 DPC TO ARCHITECTS DETAILS | 12 STRIP 200mm TOPSOIL AND COMPACT INSITU TO 93 % MAMOD |



TYPICAL FOUNDATION DETAIL ALL TO STRUCTURAL ENGINEER.
N. T. S.

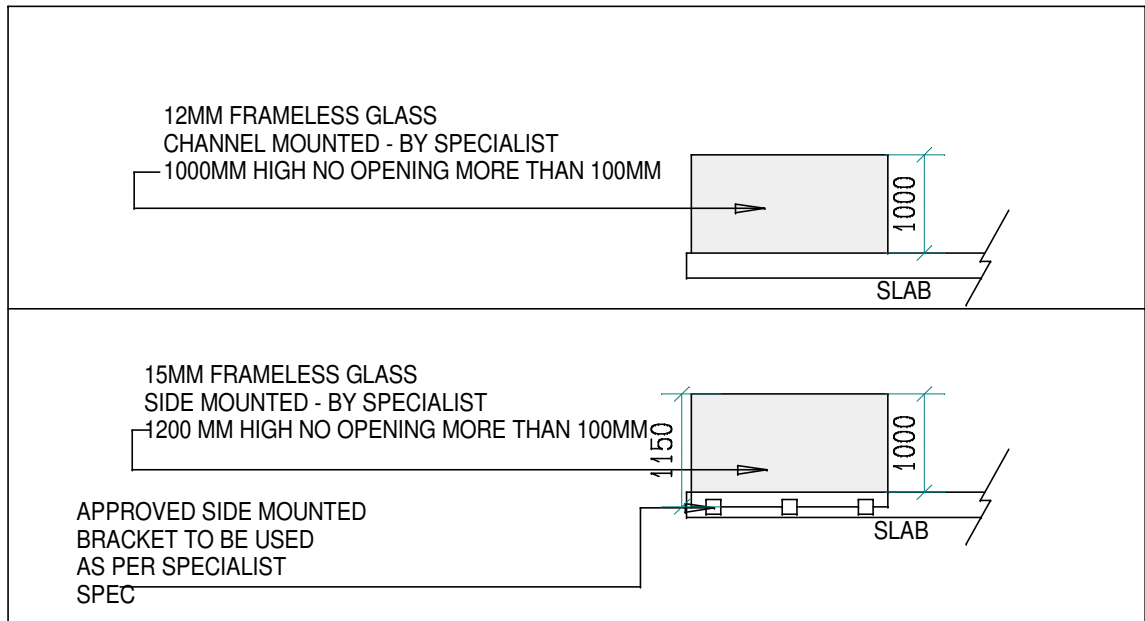


ROOF LAYOUT 1:100



CATCH PIT DETAIL SECTION

scale : 1 : 10



GENERAL NOTES

THE CONTRACTOR IS TO EMPLOY A LAND - SURVEYOR TO SET OUT THE BUILDING ON THE SITE. THE LAND - SURVEYOR IS TO CONFIRM ALL ERF BEACONS AND CORRECT SITE.

THE CONTRACTOR IS TO VERIFY ALL LEVELS AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT. THE CONTRACTOR IS TO LOCATE AND IDENTIFY ALL SERVICES ON SITE AND IS TO PROTECT THESE DURING THE DURATION OF THE BUILD.

THE CONTRACTOR IS TO ADHERE TO ALL SPECIFICATIONS AND ALLOWED TOLERANCES AS PER SANS 1040 THAT FORM PART OF THIS DOCUMENT.

ANY ERRORS, DISCREPANCIES, OR OMISSIONS ARE TO BE REPORTED TO THE ARCHITECT.

CONTRACTOR IS TO BUILD IN ALL EXTERNAL DPC, WHETHER OR NOT SHOWN ON THE DRAWINGS. TO ALL EXTERNAL WALLS AT EACH FLOOR. BEAMS OR AND ALL WINDOWS, DOORS, GRILLS, OR OTHER OPENINGS IN EXTERNAL WALLS. CAVITY WALLS TO HAVE STEPPED DPC.

DO NOT SCALE THIS DRAWING.

ALL STRUCTURAL WALLS, BEAMS, RETAINING WALLS, POOLS, LAMINATED BEAM ROOFS, OR STEEL ROOFS, STEEL, EXPOSED ROOF BEAMS, PONDS WATER FEATURES, AND ANY DEMOLITION WORK TO BE SIGNED OFF BY A STRUCTURAL ENGINEER BEFORE ANY WORK DONE.

CONTRACTOR TO PROVIDE ABILUTION FACILITIES FOR WORKERS IN ACCORDANCE WITH SANS10400 F

THE FLOOR TO ANY LAUNDRY, KITCHEN, SHOWER ROOM, BATHROOM CONTAINING A TOILET PAN OR URINAL, SHALL BE WATER - RESISTENT, AS PER SANS 10400 J. ALL WORK TO COMPLY WITH NATIONAL BUILDING REGULATIONS, LOCAL COUNCIL REGULATIONS AND THE LATEST SANS 10400 SPECIFICATIONS.

ALL PLUMBING PIPES MUST BE HIDDEN IN DUCTS.

ALL MEASUREMENTS TO BE CHECKED ON SITE AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.

NATURAL GROUND LEVEL MUST BE BELOW 150MM BELOW THE UNFINISHED FLOOR LEVEL.

ALL EXTERIOR BALCONIES AND STAIRCASES TO BE TREATED WITH APPROVED CEMENTITIOUS WATERPROOFING PENETRON AND TORCH - ON ALL TO MANUFACTURERS SPECIFICATIONS.

NO COMBUSTIBLE MATERIAL IS ALLOWED TO PASS THROUGH FIRE WALLS TRUSSES ARE NOT ALLOWED TO PASS THROUGH ANY FIRE WALLS

ALL FULLBORES TO BE PROVIDED ON BALCONIES, DETAILS AND SIZE OF OUTLET PIPES TO ENGINEER, DETAILS AND SPEC.

THE ARCHITECT TAKES NO RESPONSIBILITY FOR WORK DONE BEFORE PLANS HAVE BEEN APPROVED BY LOCAL MUNC. OR COUNCIL.

ALL GLAZING IN STRICT ACCORDANCE WITH: GLASS MANUFACTURERS RECOMMENDATIONS. ALL IN ACCORDANCE WITH THE NBR PART N OF SABS 0137, SABS 0400, SABS 1083 AND AAAMSA SELECTION GUIDE FOR SAFETY GLAZING MATERIALS. ALL TO AAAMSA GUIDELINES AND SPECIFICATIONS.

ALL STRUCTURAL WORK TO ENGINEERS DETAILS AND SPEC. AND CERTIFICATION MUST BE GIVEN BY AN ENGINEER FOR ALL STRUCTURAL WORK TO BE CARRIED OUT. ALL FULLBORES, STORMWATER, RETAINING, WALLS ARE TO ENGINEERS DETAILS AND SPEC.

ALL VERTICAL TANKING MUST BE DONE STRICTLY TO ENGINEERS DETAILS. A PERFORATED SLOT DRAIN, ALSO TO BE INSTALLED, BEHIND ANY RETAINING WALLS.

GEYSER INSTALLATION TO BE DONE IN ACCORDANCE WITH SABS 0654 AND SANS 10400.

BALUSTRADES TO BE MIN 1000MM. TO COMPLY WITH PART M SABS 0400 HEADROOM MIN 2100MM TO UNDERSIDE OF SLAB, FOR STAIRCASES.

ELECTRICAL LEGEND

ALL EXTERNAL LIGHTS STAINLESS STEEL	
TEL	TELEPHONE POINT
TV	TV - POINT
WALL PLUG	WALL PLUG
LIGHT SWITCH	LIGHT SWITCH
LIGHT SWITCH WITH DIMMER	LIGHT SWITCH WITH DIMMER
DISTRIBUTION BOARD	DISTRIBUTION BOARD
INTERCOM	INTERCOM
EXTERIOR WATERTIGHT LIGHT	EXTERIOR WATERTIGHT LIGHT
PENDANT LIGHT	PENDANT LIGHT
INTERNAL WALL MOUNTED LIGHT	INTERNAL WALL MOUNTED LIGHT
LOW VOLTAGE INTERNAL LIGHT POINT	LOW VOLTAGE INTERNAL LIGHT POINT
SINGLE FLOURESCENT LIGHT	SINGLE FLOURESCENT LIGHT
DOUBLE FLOURESCENT LIGHT	DOUBLE FLOURESCENT LIGHT
TWO WAY LIGHT SWITCH	TWO WAY LIGHT SWITCH
STOVE ISO	STOVE ISO
VENT FOR MECHANICAL EXTRACTOR	VENT FOR MECHANICAL EXTRACTOR
HTR POINT	HEATED TOWEL RAIL ELECTRICAL POINT
WP	WATERPOINT

EDDIE DA SILVA
AND ASSOCIATES
ARCHITECT

PO BOX 626
WILDERNESS
6560
TEL 044 8770744
CELL 0828952760

EDDIE DA SILVA
AND ASSOCIATES
(SACAP reg pr arch 7719)
SAIA / CIFA REG NO 7794

CONDES@NETACTIVE.CO.ZA
WWW.EDDIEDASILVA.CO.ZA

PROJECT

PROPOSED NEW DWELLING
FOR INCREDIBLE YEAR PTY LTD
CONSTANTIA KLOOF
WILDERNESS ERF 2022

SITE PLAN
ROOF LAYOUT

SIGNATURE
OWNER

DESIGNED
EDS

DRAWN
EDS RNEI

REVISED
DATE
APRIL 2025

REVISED
DATE

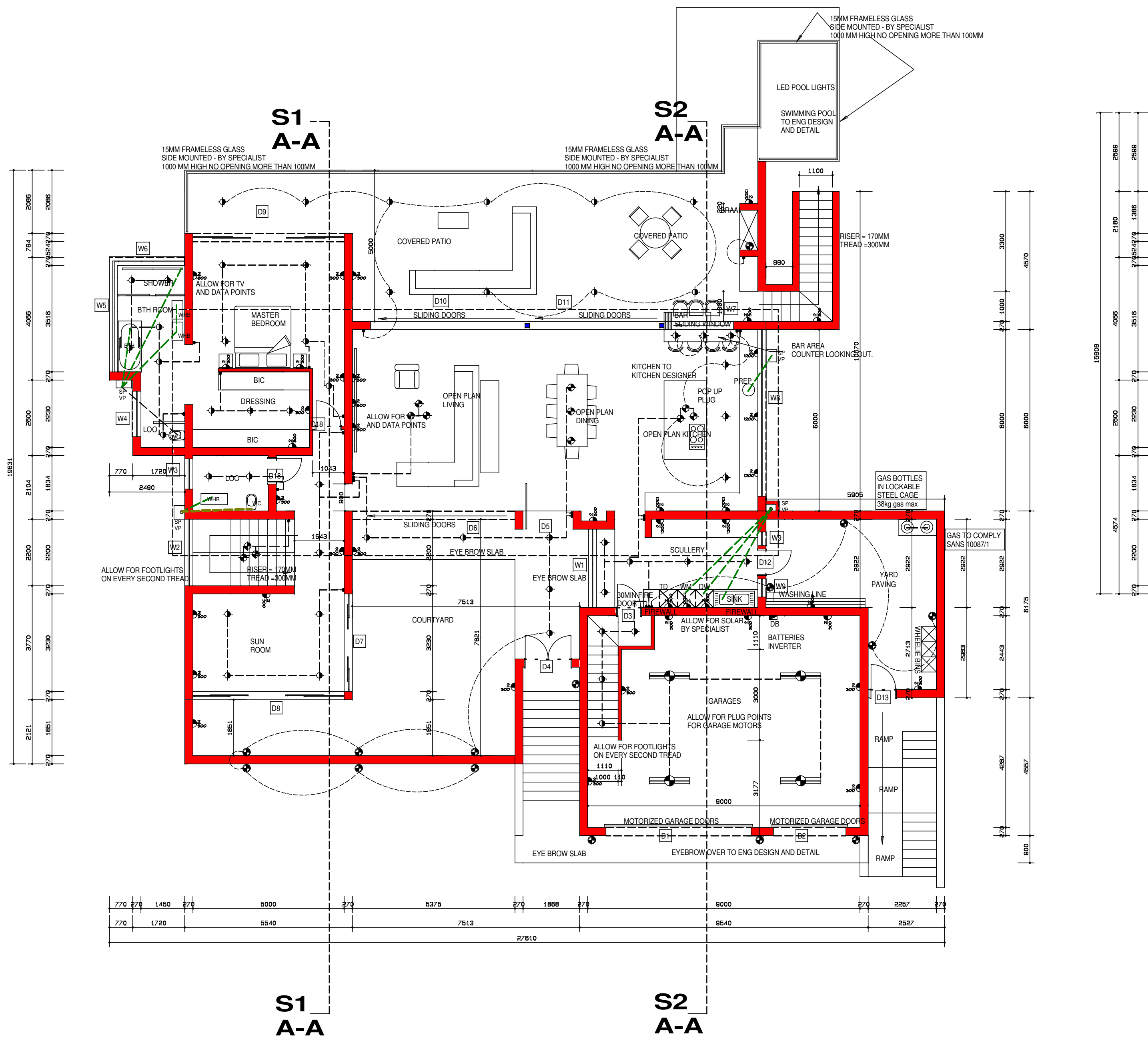
REVISED
DATE

REVISED
DATE

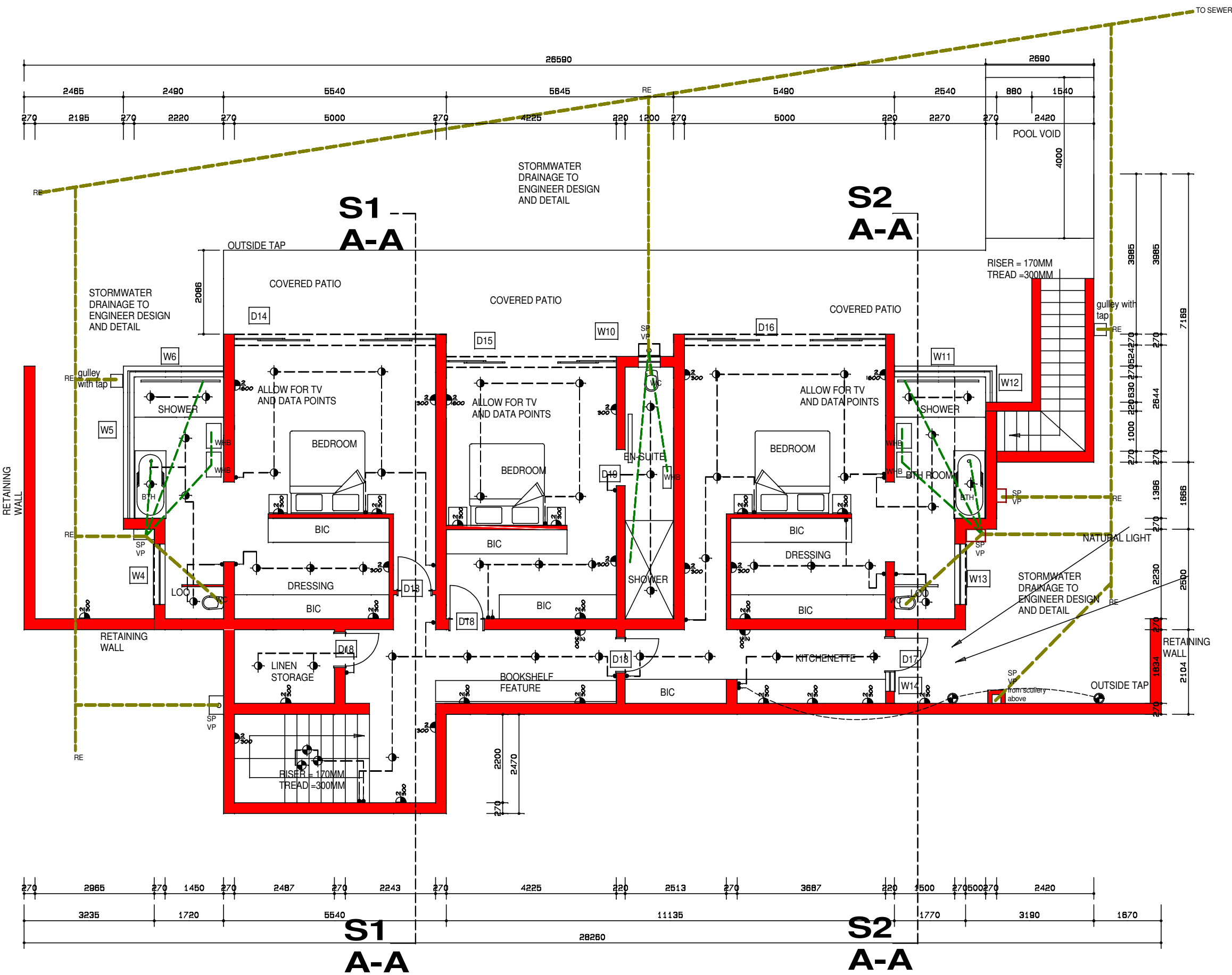
DATE
JAN 2024

REF NO

THIS DRAWING IS THE COPYRIGHT
OF EDDIE DA SILVA



GROUND FLOOR PLAN SCALE 1:100



LOWER GROUND FLOOR PLAN SCALE 1:100

GENERAL NOTES

THE CONTRACTOR IS TO EMPLOY A LAND - SURVEYOR TO SET OUT THE BUILDING ON THE SITE, THE LAND - SURVEYOR IS TO CONFIRM ALL ERF BEACONS AND CORRECT SITE.

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THE FLOOR TO ANY LAUNDRY, KITCHEN, SHOWER ROOM, BATHROOM CONTAINING A TOILET PAN OR URINAL SHALL BE WATER - RESISTENT, AS PER SANS 10400 J.

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GEYSER INSTALLATION TO BE DONE IN ACCORDANCE WITH SABS 0254 AND SANS 10400.

BALUSTRADES TO BE MIN 1000MM, TO COMPLY WITH PART M SABS 0400 HEADROOM MIN 2100MM TO UNDERSIDE OF SLAB, FOR STAIRCASES.

ELECTRICAL LEGEND	
	TELEPHONE POINT
	TV - POINT
	WALL PLUG
	LIGHT SWITCH
	LIGHT SWITCH WITH DIMMER
	DISTRIBUTION BOARD
	INTERCOM
	EXTERIOR WATERTIGHT LIGHT
	PENDANT LIGHT
	INTERNAL WALL MOUNTED LIGHT
	LOW VOLTAGE INTERNAL LIGHT POINT
	SINGLE FLOURESCENT LIGHT
	DOUBLE FLOURESCENT LIGHT
	TWO WAY LIGHT SWITCH
	STOVE ISO
	VENT FOR MECHANICAL EXTRACTOR
	HEATED TOWEL RAIL ELECTRICAL POINT
	WATERPOINT

**EDDIE DA SILVA
AND ASSOCIATES
ARCHITECT**

PO BOX 628
WILDERNESS
6560
TEL 044 8770744
CELL 0628952760

EDDIE DA SILVA
AND ASSOCIATES
(SACAP reg par 7719)
SAIA / CIPA REG NO 7794

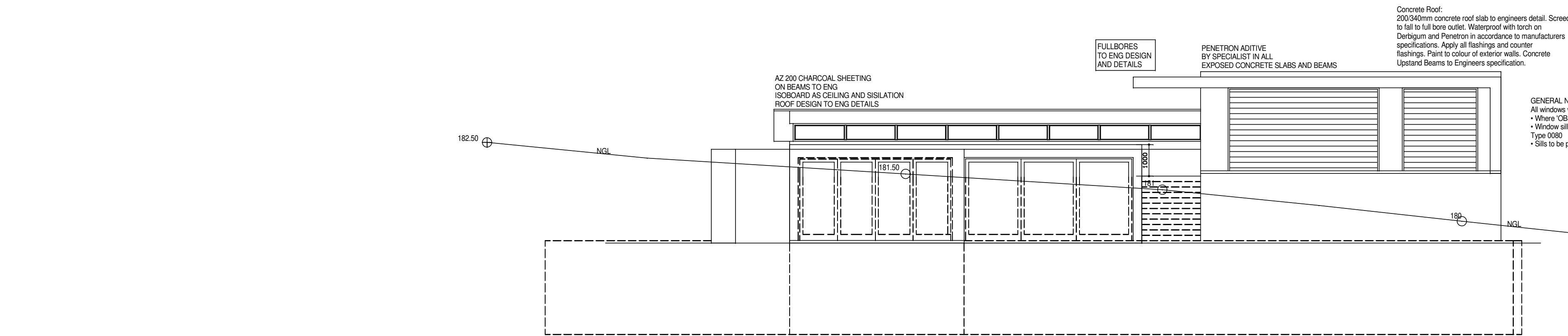
CONDOS@NETACTIVE.CO.ZA
WWW.EDDIEDASILVA.CO.ZA

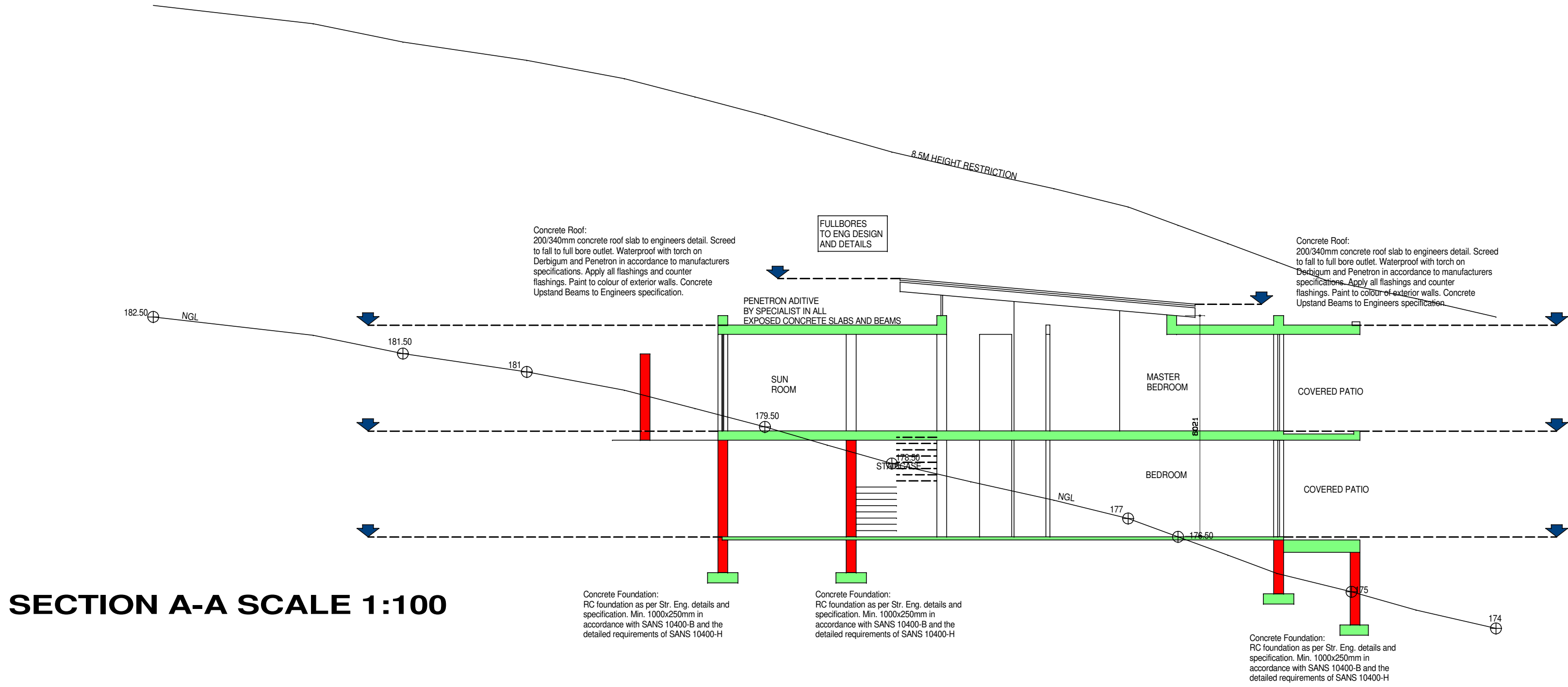
PROJECT

PROPOSED NEW DWELLING
FOR INCREDIBLE YEAR PTY LTD
CONSTANTIA KLOOF
WILDERNESS EPF 2022

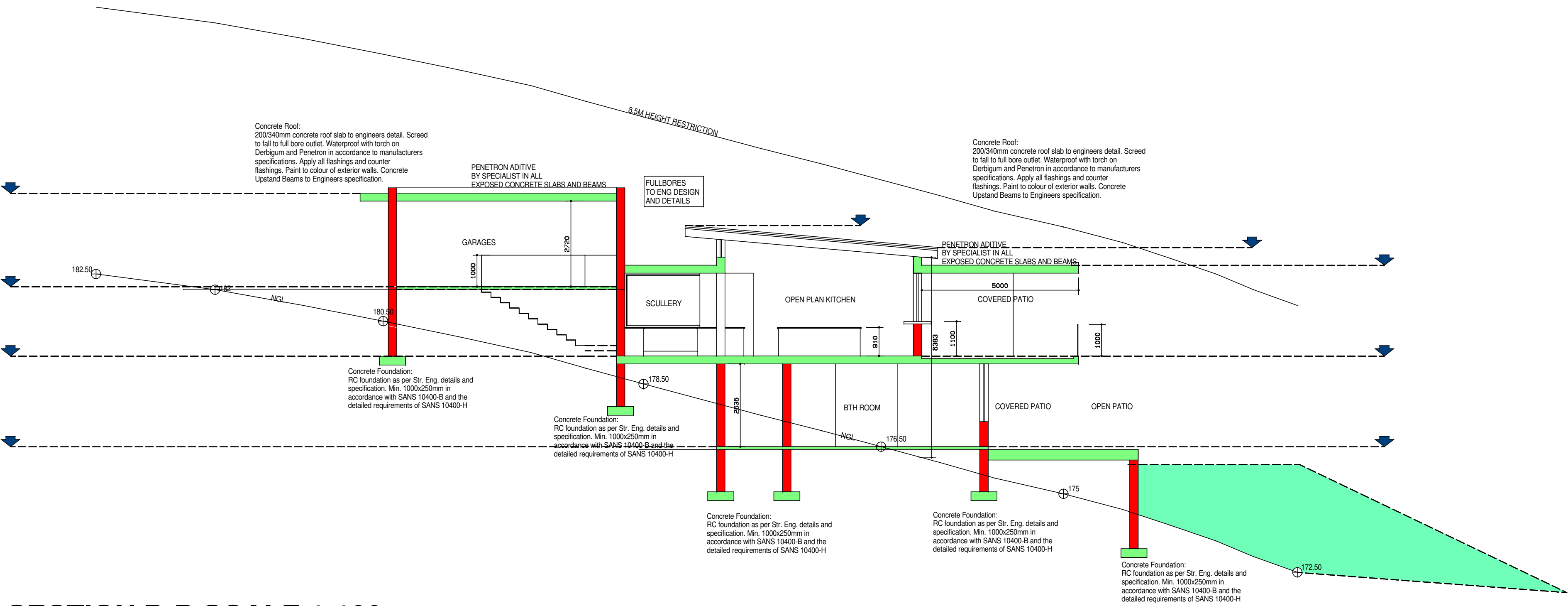
FLOORPLANS	SIGNATURE	OWNER
DESIGNED	DRAWN	
EDS	EDS RNEL	
REVISED	DATE	APRIL 2025
REVISED	DATE	
REVISED	DATE	
REVISED	DATE	
DATE	REF NO	
JAN 2024		

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OF EDDIE DA SILVA





SECTION A-A SCALE 1:100



SECTION B-B SCALE 1:100

GENERAL NOTES

THE CONTRACTOR IS TO EMPLOY A LAND - SURVEYOR TO SET OUT THE BUILDING ON THE SITE. THE LAND - SURVEYOR IS TO CONFIRM ALL ERF BEACONS AND CORRECT SITE.

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THE CONTRACTOR IS TO ADHERE TO ALL SPECIFICATIONS AND ALLOWED TOLERANCES AS PER SANS 10400 THAT FORM PART OF THIS DOCUMENT.

ANY ERRORS, DISCREPANCIES, OR OMISSIONS ARE TO BE REPORTED TO THE ARCHITECT.

CONTRACTOR IS TO BUILD IN ALL EXTERNAL DPC, WHETHER OR NOT SHOWN ON THE DRAWINGS. TO ALL EXTERNAL WALLS AT EACH FLOOR, BEAMS OR AND ALL WINDOWS, DOORS, GRILLS, OR OTHER OPENINGS IN EXTERNAL WALLS. CAVITY WALLS TO HAVE STEPPED DPC.

DO NOT SCALE THIS DRAWING.

ALL STRUCTURAL WALLS, BEAMS, RETAINING WALLS, POOLS, LAMINATED BEAM ROOFS, OR STEEL ROOFS, STEEL, EXPOSED ROOF BEAMS, PONDS, WATER FEATURES, AND ANY DEMOLITION WORK TO BE SKINNED OFF BY A STRUCTURAL ENGINEER BEFORE ANY WORK DONE.

CONTRACTOR TO PROVIDE ABLUTION FACILITIES FOR WORKERS IN ACCORDANCE WITH SANS 10400 F.

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ALL PLUMBING PIPES MUST BE HIDDEN IN DUCTS.

ALL MEASUREMENTS TO BE CHECKED ON SITE AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.

NATURAL GROUND LEVEL MUST BE BELOW 150MM BELOW THE UNFINISHED FLOOR LEVEL.

ALL EXTERIOR BALCONIES AND STAIRCASES TO BE TREATED WITH APPROVED CEMENTITIOUS WATERPROOFING PENETRON AND TORCH - ON, ALL TO MANUFACTURER'S SPECIFICATIONS.

NO COMBUSTIBLE MATERIAL IS ALLOWED TO PASS THROUGH FIRE WALLS TRUSSES ARE NOT ALLOWED TO PASS THROUGH ANY FIRE WALLS.

ALL FULLBORES TO BE PROVIDED ON BALCONIES, DETAILS AND SIZE OF OUTLET PIPES TO ENGINEER, DETAILS AND SPEC.

THE ARCHITECT TAKES NO RESPONSIBILITY FOR WORK DONE BEFORE PLANS HAVE BEEN APPROVED BY LOCAL MUNCIPALITY OR COUNCIL.

ALL GLAZING IN STRICT ACCORDANCE WITH GLASS MANUFACTURERS RECOMMENDATIONS. ALL IN ACCORDANCE WITH THE NBR PART N OF SABS 0137, SABS 0400, SABS 1263 AND AAAMISA SELECTION GUIDE FOR SAFETY GLAZING MATERIALS. ALL TO AAAMISA GUIDELINES AND SPECIFICATIONS.

ALL STRUCTURAL WORK TO ENGINEERS DETAILS AND SPECS, AND CERTIFICATION MUST BE GIVEN BY AN ENGINEER FOR ALL STRUCTURAL WORK TO BE CARRIED OUT. ALL FULLBORES, STORMWATER, RETAINING, WALLS ARE TO ENGINEERS DETAILS AND SPEC.

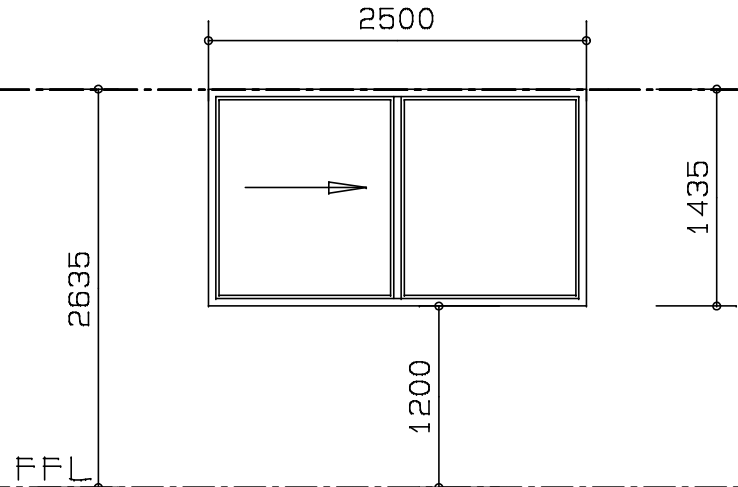
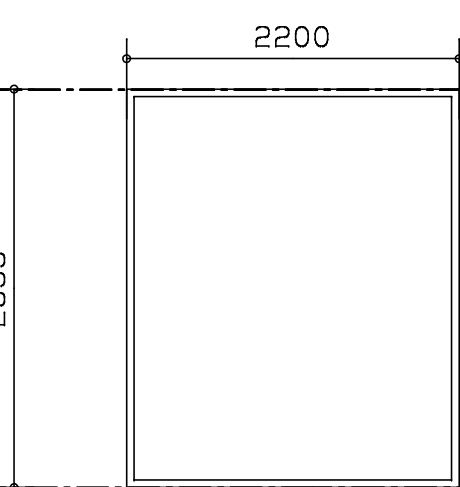
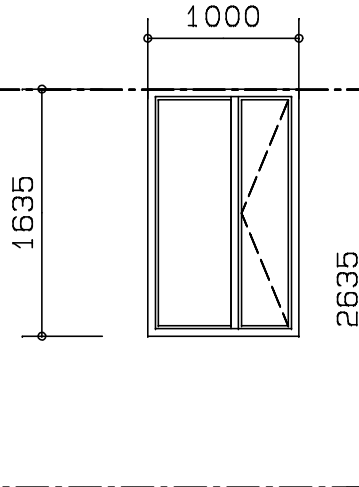
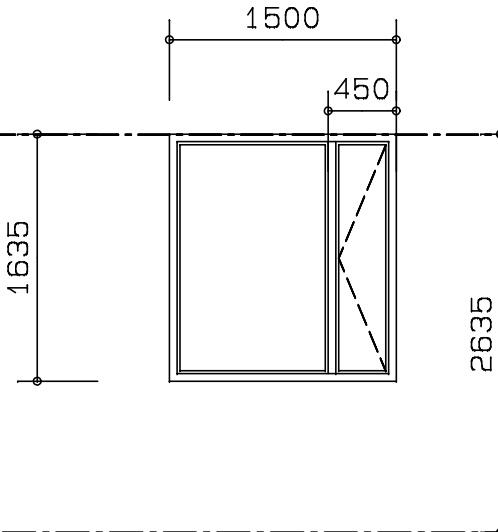
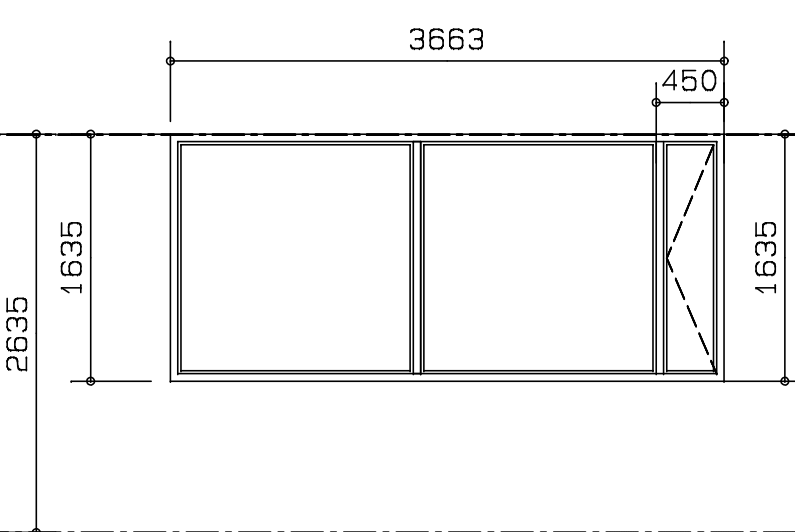
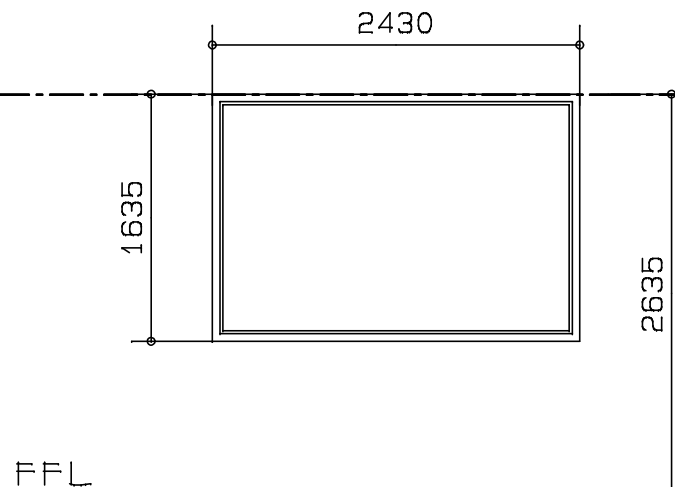
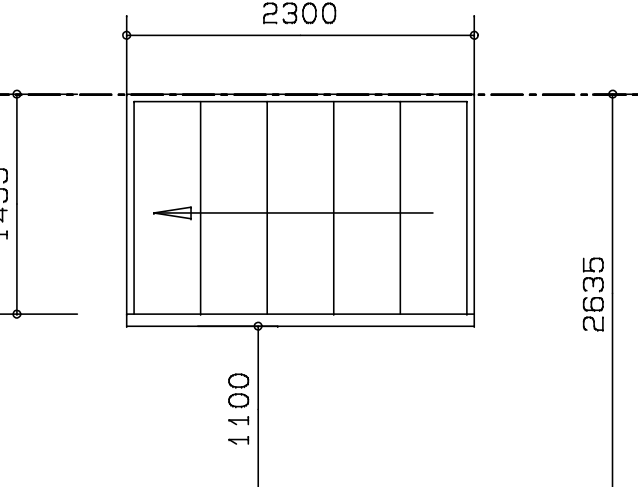
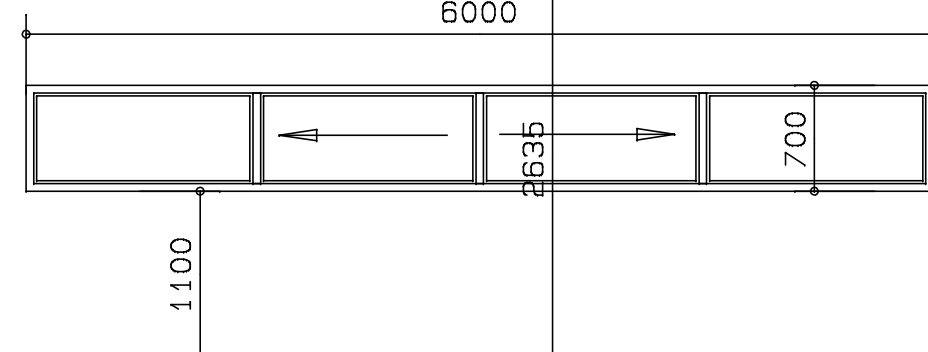
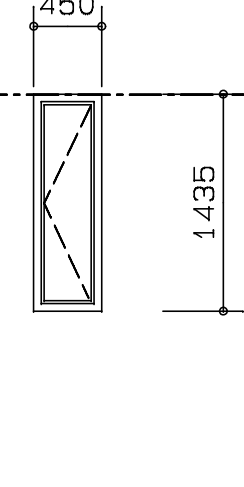
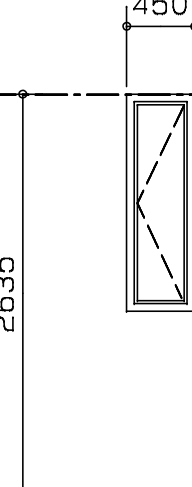
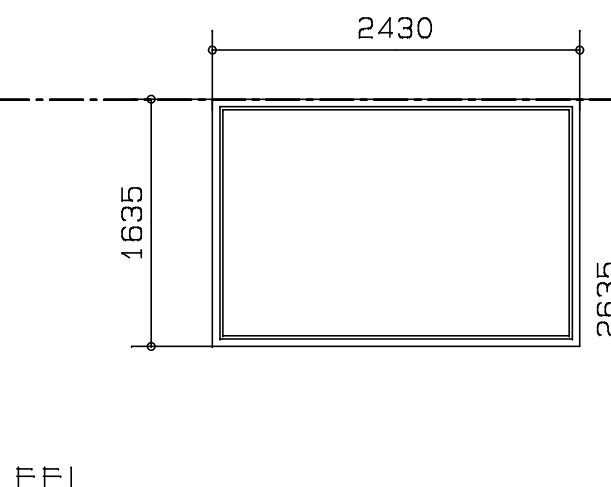
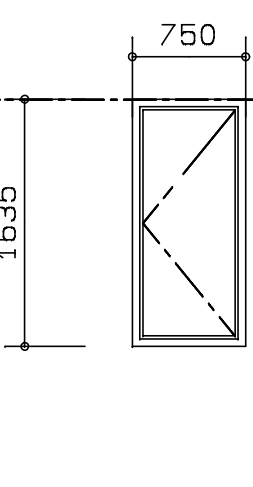
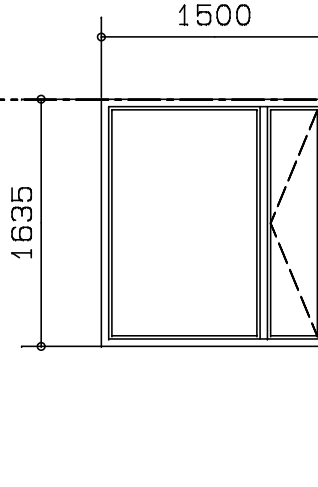
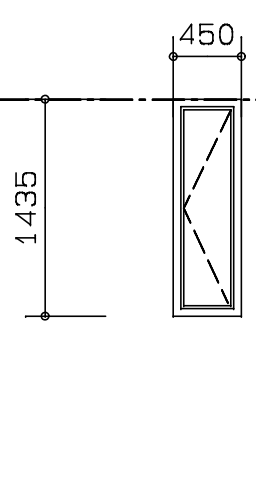
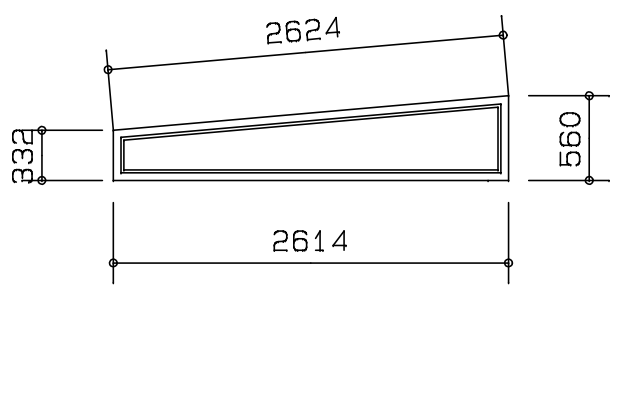
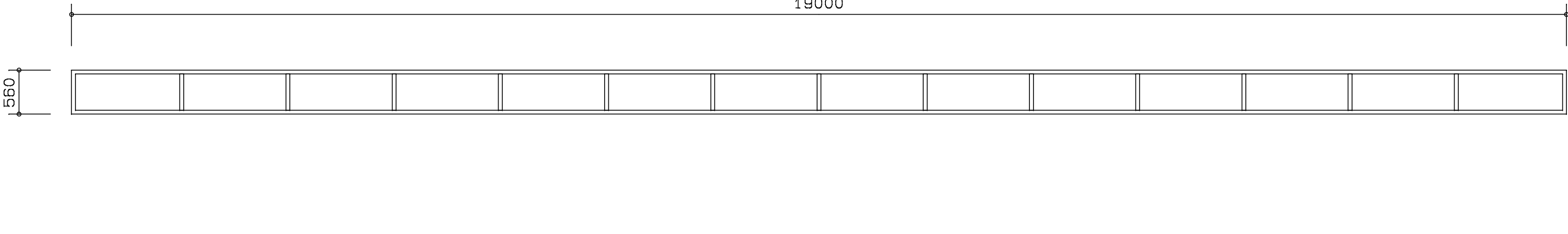
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GEYSER INSTALLATION TO BE DONE IN ACCORDANCE WITH SABS 0254 AND SANS 10400.

BALUSTRADES TO BE MIN 1000MM, TO COMPLY WITH PART M SABS 0400 HEADROOM MIN 2100MM TO UNDERSIDE OF SLAB, FOR STAIRCASES.

ELECTRICAL LEGEND	
	TELEPHONE POINT
	TV - POINT
	WALL PLUG
	LIGHT SWITCH
	LIGHT SWITCH WITH DIMMER
	DISTRIBUTION BOARD
	INTERCOM
	EXTERIOR WATERTIGHT LIGHT
	PENDANT LIGHT
	INTERNAL WALL MOUNTED LIGHT
	LOW VOLTAGE INTERNAL LIGHT POINT
	SINGLE FLOURESCENT LIGHT
	DOUBLE FLOURESCENT LIGHT
	TWO WAY LIGHT SWITCH
	STOVE ISO
	VENT FOR MECHANICAL EXTRACTOR
	HEATED TOWEL RAIL ELECTRICAL POINT
	WATERPOINT

EDDIE DA SILVA AND ASSOCIATES ARCHITECT		PO BOX 626 WILDERNESS 6560 TEL 044 8770744 CELL 0828652760
EDDIE DA SILVA AND ASSOCIATES (SACAP reg pr arch 7719) S.A.N.A / CIPA REG NO 734		CONDES@NETACTIVE.CO.ZA WWW.EDDIEDASILVA.CO.ZA
PROJECT		
PROPOSED NEW DWELLING FOR INCREDIBLE YEAR PTY LTD CONSTANTIA KLOOF WILDERNESS ERF 2022		
SECTIONS		
		SIGNATURE OWNER
DESIGNED EDS	DRAWN EDS RNEL	
REVISED	DATE	APRIL 2025
REVISED	DATE	
REVISED	DATE	
DATE JAN 2024	REF NO	

WINDOW SCHEDULE					
NO DEVIATIONS FROM THIS SCHEDULE WILL BE ACCEPTED WITHOUT APPROVAL FROM THE ARCHITECT. ANY DEVIATION WOULD RESULT IN A BREACH OF THE SANS 10400 : AND NBR					
ALL WINDOWS AND DOORS DELIVERED TO SITE, NEEDS TO BE WRAPPED AND PROTECTED					
DIMENSIONS OF OPENINGS TO BE CHECKED ON SITE BEFORE MANUFACTURING. ALL GLAZING, WINDOW FRAMES AND INSTALLATIONS TO COMPLY TO AAAMSA AND SANS STANDARDS. SHOP DRAWINGS TO BE APPROVED BEFORE ORDERING					
WINDOW NUMBER	W1	W2	W3	W4	W5
CODE	PURPOSE MADE	PURPOSE MADE	PURPOSE MADE	PURPOSE MADE	PURPOSE MADE
SIZE	AS MEASUREMENT	AS MEASUREMENT	AS MEASUREMENT	AS MEASUREMENT	AS MEASUREMENT
GLASS SPECIFICATION	DOUBLE GLAZING	DOUBLE GLAZING	DOUBLE GLAZING	DOUBLE GLAZING	DOUBLE GLAZING
FINISH SPECIFICATION	CHARCOAL ALUMINIUM	CHARCOAL ALUMINIUM	CHARCOAL ALUMINIUM	CHARCOAL ALUMINIUM	CHARCOAL ALUMINIUM
QUANTITY	1 UNIT	1 UNIT	1 UNIT	2 UNITS	2 UNITS
WINDOW SCHEDULE					
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WINDOW NUMBER	W6	W7	W8	W9	W10
CODE	PURPOSE MADE	PURPOSE MADE	PURPOSE MADE	PURPOSE MADE	PURPOSE MADE
SIZE	AS MEASUREMENT	AS MEASUREMENT	AS MEASUREMENT	AS MEASUREMENT	AS MEASUREMENT
GLASS SPECIFICATION	DOUBLE GLAZING	DOUBLE GLAZING	DOUBLE GLAZING	DOUBLE GLAZING	DOUBLE GLAZING
FINISH SPECIFICATION	CHARCOAL ALUMINIUM	CHARCOAL ALUMINIUM	CHARCOAL ALUMINIUM	CHARCOAL ALUMINIUM	CHARCOAL ALUMINIUM
QUANTITY	2 UNITS	1 UNIT	1 UNIT	2 UNITS	
WINDOW SCHEDULE					
NO DEVIATIONS FROM THIS SCHEDULE WILL BE ACCEPTED WITHOUT APPROVAL FROM THE ARCHITECT. ANY DEVIATION WOULD RESULT IN A BREACH OF THE SANS 10400 : AND NBR					
ALL WINDOWS AND DOORS DELIVERED TO SITE, NEEDS TO BE WRAPPED AND PROTECTED					
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WINDOW NUMBER	W11	W12	W13	W14	W15
CODE	PURPOSE MADE	PURPOSE MADE	PURPOSE MADE	PURPOSE MADE	PURPOSE MADE
SIZE	AS MEASUREMENT	AS MEASUREMENT	AS MEASUREMENT	AS MEASUREMENT	AS MEASUREMENT
GLASS SPECIFICATION	DOUBLE GLAZING	DOUBLE GLAZING	DOUBLE GLAZING	DOUBLE GLAZING	DOUBLE GLAZING
FINISH SPECIFICATION	CHARCOAL ALUMINIUM	CHARCOAL ALUMINIUM	CHARCOAL ALUMINIUM	CHARCOAL ALUMINIUM	CHARCOAL ALUMINIUM
QUANTITY	1 UNIT	1 UNIT	1 UNIT	1 UNIT	2 UNITS
WINDOW SCHEDULE					
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DIMENSIONS OF OPENINGS TO BE CHECKED ON SITE BEFORE MANUFACTURING. ALL GLAZING, WINDOW FRAMES AND INSTALLATIONS TO COMPLY TO AAAMSA AND SANS STANDARDS. SHOP DRAWINGS TO BE APPROVED BEFORE ORDERING					
WINDOW NUMBER	W16				
CODE	PURPOSE MADE				
SIZE	AS MEASUREMENT				
GLASS SPECIFICATION	DOUBLE GLAZING				
FINISH SPECIFICATION	CHARCOAL ALUMINIUM				
QUANTITY	1 UNIT				

GENERAL NOTES

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ALL EXTERNAL LIGHTS
STAINLESS STEEL

TV - POINT

WALL PLUG

LIGHT SWITCH

LIGHT SWITCH WITH DIMMER

DISTRIBUTION BOARD

INTERCOM

EXTERIOR WATERTIGHT LIGHT

PENDANT LIGHT

INTERNAL WALL MOUNTED LIGHT

LOW VOLTAGE INTERNAL LIGHT POINT

SINGLE FLOURESCENT LIGHT

DOUBLE FLOURESCENT LIGHT

TWO WAY LIGHT SWITCH

STOVE ISO

VENT FOR MECHANICAL EXTRACTOR

HTR POINT

HEATED TOWEL RAIL ELECTRICAL POINT

WATERPOINT

EDDIE DA SILVA
AND ASSOCIATES
ARCHITECT

GROUND FLOOR, CHURCH
CORNER BUILDING
C/O CHURCH & COURTESY
STREET, GEORGE
SOUTH AFRICA
041 - 873 2454
CELL: 982 895 2760

EDDIE DA SILVA
AND ASSOCIATES
(SACAP REG NO 808 7719)
SAIA / CIFA REG NO 7794

CONDEN@NETACTIVE.CO.ZA
WWW.EDDIEDASILVA.CO.ZA

PROJECT

PROPOSED NEW DWELLING
FOR INCREDIBLE YEAR PTY LTD
CONSTANTIA KLOOF
WILDERNESS ERF 2022

WINDOW AND
DOOR SCHEDULE

SIGNATURE
OWNER

DESIGNED
EDS

DRAWN
EDS RNEL

REVISED
DATE
APRIL 2025

REVISED
DATE

REVISED
DATE

REVISED
DATE

DATE
JAN 2024

REF NO

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OF EDDIE DA SILVA

<div>DOOR SCHEDULE</div> <div>NO DEVIATIONS FROM THIS SCHEDULE WILL BE ACCEPTED WITHOUT APPROVAL FROM THE ARCHITECT. ANY DEVIATION WOULD RESULT IN A BREACH OF THE SANS 10400 : AND NBR</div> <div>ALL WINDOWS AND DOORS DELIVERED TO SITE, NEEDS TO BE WRAPPED AND PROTECTED</div> <div>DIMENSIONS OF OPENINGS TO BE CHECKED ON SITE BEFORE MANUFACTURING. ALL GLAZING, WINDOW FRAMES AND INSTALLATIONS TO COMPLY TO AAAMSA AND SANS STANDARDS. SHOP DRAWINGS TO BE APPROVED BEFORE ORDERING</div>					
WINDOW NUMBER	D1	D2	D3	D4	D5
CODE	PURPOSE MADE	PURPOSE MADE	PURPOSE MADE	PURPOSE MADE	PURPOSE MADE
SIZE	AS MEASUREMENT	AS MEASUREMENT	AS MEASUREMENT	AS MEASUREMENT	AS MEASUREMENT
GLASS SPECIFICATION	HORIZONTAL SLATTED ALUMINIUM	HORIZONTAL SLATTED ALUMINIUM	30 MIN FIRE DOOR	HORIZONTAL SLATTED ALUMINIUM	DOUBLE GLAZING
FINISH SPECIFICATION	CHARCOAL ALUMINIUM	CHARCOAL ALUMINIUM	TIMBER	CHARCOAL ALUMINIUM	CHARCOAL ALUMINIUM
QUANTITY	1 UNIT	1 UNIT	1 UNIT	1 UNIT	1 UNIT
<div>WINDOW SCHEDULE</div> <div>NO DEVIATIONS FROM THIS SCHEDULE WILL BE ACCEPTED WITHOUT APPROVAL FROM THE ARCHITECT. ANY DEVIATION WOULD RESULT IN A BREACH OF THE SANS 10400 : AND NBR</div> <div>ALL WINDOWS AND DOORS DELIVERED TO SITE, NEEDS TO BE WRAPPED AND PROTECTED</div> <div>DIMENSIONS OF OPENINGS TO BE CHECKED ON SITE BEFORE MANUFACTURING. ALL GLAZING, WINDOW FRAMES AND INSTALLATIONS TO COMPLY TO AAAMSA AND SANS STANDARDS. SHOP DRAWINGS TO BE APPROVED BEFORE ORDERING</div>					
WINDOW NUMBER	D6	D7	D8	D9	D10
CODE	PURPOSE MADE	PURPOSE MADE	PURPOSE MADE	PURPOSE MADE	PURPOSE MADE
SIZE	AS MEASUREMENT	AS MEASUREMENT	AS MEASUREMENT	AS MEASUREMENT	AS MEASUREMENT
GLASS SPECIFICATION	DOUBLE GLAZING	DOUBLE GLAZING	DOUBLE GLAZING	DOUBLE GLAZING	DOUBLE GLAZING
FINISH SPECIFICATION	CHARCOAL ALUMINIUM	CHARCOAL ALUMINIUM	CHARCOAL ALUMINIUM	CHARCOAL ALUMINIUM	CHARCOAL ALUMINIUM
QUANTITY	1 UNIT	1 UNIT	1 UNIT	1 UNIT	1 UNIT
<div>WINDOW SCHEDULE</div> <div>NO DEVIATIONS FROM THIS SCHEDULE WILL BE ACCEPTED WITHOUT APPROVAL FROM THE ARCHITECT. ANY DEVIATION WOULD RESULT IN A BREACH OF THE SANS 10400 : AND NBR</div> <div>ALL WINDOWS AND DOORS DELIVERED TO SITE, NEEDS TO BE WRAPPED AND PROTECTED</div> <div>DIMENSIONS OF OPENINGS TO BE CHECKED ON SITE BEFORE MANUFACTURING. ALL GLAZING, WINDOW FRAMES AND INSTALLATIONS TO COMPLY TO AAAMSA AND SANS STANDARDS. SHOP DRAWINGS TO BE APPROVED BEFORE ORDERING</div>					
WINDOW NUMBER	D11	D12	D13	D14	D15
CODE	PURPOSE MADE	PURPOSE MADE	PURPOSE MADE	PURPOSE MADE	PURPOSE MADE
SIZE	AS MEASUREMENT	AS MEASUREMENT	AS MEASUREMENT	AS MEASUREMENT	AS MEASUREMENT
GLASS SPECIFICATION	DOUBLE GLAZING	DOUBLE GLAZING	HORIZONTAL SLATTED ALUMINIUM	DOUBLE GLAZING	DOUBLE GLAZING
FINISH SPECIFICATION	CHARCOAL ALUMINIUM	CHARCOAL ALUMINIUM	CHARCOAL ALUMINIUM	CHARCOAL ALUMINIUM	CHARCOAL ALUMINIUM
QUANTITY	1 UNIT	1 UNIT	1 UNIT	1 UNIT	1 UNIT
<div>WINDOW SCHEDULE</div> <div>NO DEVIATIONS FROM THIS SCHEDULE WILL BE ACCEPTED WITHOUT APPROVAL FROM THE ARCHITECT. ANY DEVIATION WOULD RESULT IN A BREACH OF THE SANS 10400 : AND NBR</div> <div>ALL WINDOWS AND DOORS DELIVERED TO SITE, NEEDS TO BE WRAPPED AND PROTECTED</div> <div>DIMENSIONS OF OPENINGS TO BE CHECKED ON SITE BEFORE MANUFACTURING. ALL GLAZING, WINDOW FRAMES AND INSTALLATIONS TO COMPLY TO AAAMSA AND SANS STANDARDS. SHOP DRAWINGS TO BE APPROVED BEFORE ORDERING</div>					
WINDOW NUMBER	D16	D17	D18	D18	
CODE	PURPOSE MADE	PURPOSE MADE	PURPOSE MADE	PURPOSE MADE	
SIZE	AS MEASUREMENT	AS MEASUREMENT	AS MEASUREMENT	AS MEASUREMENT	
GLASS SPECIFICATION	DOUBLE GLAZING	DOUBLE GLAZING	INTERIOR DOORS	BARN SLIDING DOOR	
FINISH SPECIFICATION	CHARCOAL ALUMINIUM	CHARCOAL ALUMINIUM	SOLID CORE	SOLID CORE	
QUANTITY	1 UNIT	1 UNIT	6 UNITS	1 UNIT	

GENERAL NOTES

THE CONTRACTOR IS TO EMPLOY A LAND - SURVEYOR TO SET OUT THE BUILDING ON THE SITE, THE LAND - SURVEYOR IS TO CONFIRM ALL ERF BEACONS AND CORRECT SITE.

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CONTRACTOR IS TO BUILD IN ALL EXTERNAL DPC, WHETHER OR NOT SHOWN ON THE DRAWINGS, TO ALL EXTERNAL WALLS AT EACH FLOOR, BEAMS OR AND ALL WINDOWS, DOORS, GRILLS, OR OTHER OPENINGS IN EXTERNAL WALLS, CAVITY WALLS TO HAVE STEPPED DPC.

DO NOT SCALE THIS DRAWING.

ALL STRUCTURAL WALLS, BEAMS, RETAINING WALLS , POOLS LAMINATED BEAM ROOFS, OR STEEL ROOFS, STEEL , EXPOSED ROOF BEAMS PONDS WATER FEATURES , AND ANY DEMOLITION WORK TO BE SIGNED OFF BY A STRUCTURAL ENGINEER BEFORE ANY WORK DONE.

CONTRACTOR TO PROVIDE ABLUTION FACILITIES FOR WORKERS IN ACCORDANCE WITH SANS10400 F

THE FLOOR TO ANY LAUNDRY, KITCHEN , SHOWER ROOM , BATHROOM CONTAINING A TOILET PAN OR URINAL SHALL BE WATER - RESISTENT, AS PER SANS 10400 J.

ALL WORK TO COMPLY WITH NATIONAL BUILDING REGULATIONS, LOCAL COUNCIL, REGULATION AND THE LATEST SANS 10400 SPECIFICATIONS.

ALL PLUMBING PIPES MUST BE HIDDEN IN DUCTS.

ALL MEASUREMENTS TO BE CHECKED ON SITE AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.

NATURAL GROUND LEVEL MUST BE BELOW 150MM BELOW THE UNFINISHED FLOOR LEVEL.

ALL EXTERIOR BALCONIES AND STAIRCASES TO BE TREATED WITH APPROVED CEMENTITIOUS WATERPROOFING PENETRON AND TORCH - ON, ALL TO MANUFACTURERS SPECIFICATIONS.

NO COMBUSTIBLE MATERIAL IS ALLOWED TO PASS THROUGH FIRE WALLS TRUSSES ARE NOT ALLOWED TO PASS THROUGH ANY FIRE WALLS.

ALL FILLBORES TO BE PROVIDED ON BALCONIES, DETAILS AND SIZE OF OUTLET PIPES TO ENGINEER, DETAILS AND SPEC.

THE ARCHITECT TAKES NO RESPONSIBILITY FOR WORK DONE BEFORE PLANS HAVE BEEN APPROVED BY LOCAL MUNC, OR COUNCIL.

ALL GLAZING IN STRICT ACCORDANCE WITH GLASS MANUFACTURERS RECOMMENDATIONS, ALL IN ACCORDANCE WITH THE NBR PART N OF SABS 0137, SABS 0400, SABS 1263 AND AAAMSA SELECTION GUIDE FOR SAFETY GLAZING MATERIALS. ALL TO AAAMSA GUIDELINES AND SPECIFICATIONS.

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ALL VERTICAL TANKING MUST BE DONE STRICTLY TO ENGINEERS DETAILS , A PERFORATED SLOT DRAIN, ALSO TO BE INSTALLED , BEHIND ANY RETAINING WALLS.

GEYSER INSTALLATION TO BE DONE IN ACCORDANCE WITH SABS 0254 AND SANS 10400.

BALUSTRADES TO BE MIN 1000MM, TO COMPLY WITH PART M SABS 0400 HEADROOM MIN 2100MM TO UNDERSIDE OF SLAB , FOR STAIRCASES.

ALL EXTERNAL LIGHTS
STAINLESS STEEL

TV - POINT

WALL PLUG

LIGHT SWITCH

LIGHT SWITCH WITH DIMMER

DISTRIBUTION BOARD

INTERCOM

EXTERIOR WATERTIGHT LIGHT

PENDANT LIGHT

INTERNAL WALL MOUNTED LIGHT

LOW VOLTAGE INTERNAL LIGHT POINT

SINGLE FLOURESCENT LIGHT

DOUBLE FLOURESCENT LIGHT

TWO WAY LIGHT SWITCH

STOVE ISO

VENT FOR MECHANICAL EXTRACTOR

HEATED TOWEL RAIL ELECTRICAL POINT

WATERPOINT

GROUND FLOOR, CHURCH
CORNER BUILDING
C/O CHURCH & COURTENAY
STREET, GEORGE
SOUTH AFRICA
044 - 873 2454
CELL: 082 895 2760

EDDIE DA SILVA
AND ASSOCIATES
ARCHITECT

EDDIE DA SILVA
AND ASSOCIATES
(SACAP) reg (P) 601 77191
SAIA / CIPA, REG NO 7794

CONDOS@NETACTIVE.CO.ZA
WWW.EDDIEDASILVA.CO.ZA

PROJECT

PROPOSED NEW DWELLING
FOR INCREDIBLE YEAR PPTY LTD
CONSTANTIA KLOOF
WILDERNESS ERF 2022

WINDOW AND
DOOR SCHEDULE

SIGNATURE
OWNER

DESIGNED
EDS

DRAWN
EDS RNEL

REVISED
DATE
APRIL 2025

REVISED
DATE

REVISED
DATE

REVISED
DATE

DATE
JAN 2024

REF NO

THIS DRAWING IS THE COPYRIGHT
OF EDDIE DA SILVA

ANNEXURE "B" - APPLICATION FORM



Application Form for Application(s) Submitted in terms of the Land Use Planning By-Law for George Municipality

NOTE: Please complete this form by using: Font: Calibri; Size: 11

PART A: APPLICANT DETAILS

First name(s)	Johannes George		
Surname	Vrolijk		
SACPLAN Reg No. (if applicable)	A/1386/2010		
Company name (if applicable)	Jan Vrolijk Town Planner / Stadsbeplanner		
Postal Address	P O Box 710		
	George	Postal Code	6530
Email	janvrolijk@jvtownplanner.co.za		
Tel	044 873 3011	Fax	086 510 4383
		Cell	082 464 7871

PART B: REGISTERED OWNER(S) DETAILS (if different from applicant)

Registered owner	Incredible Year (Pty) Ltd		
Address	20 Gemmet Place		
	Durban North	Postal code	4051
E-mail	carlene@coronafoods.co.za		
Tel	N/a	Fax	N/a
		Cell	0798772013

PART C: PROPERTY DETAILS (in accordance with Title Deed)

Property Description [Erf / Erven / Portion(s) and	Erf 2022 Wilderness
---	---------------------

Farm number(s), allotment area.]											
Physical Address	2022 Kooboo Berry Close, Constantia Kloof, Wilderness										
GPS Coordinates					Town/City		George				
Current Zoning	Single Residential Zone I		Extent		1 551m²		Are there existing buildings?		Y	N	
Current Land Use	Vacant										
Title Deed number & date	T19206/2023										
Any restrictive conditions prohibiting application?	Y	N	If Yes, list condition number(s).		N/a						
Are the restrictive conditions in favour of a third party(ies)?	Y	N	If Yes, list the party(ies).		N/a						
Is the property encumbered by a bond?	Y	N	If Yes, list Bondholder(s)?		N/a						
Has the Municipality already decided on the application(s)?	Y	N	If yes, list reference number(s)?		N/a						
Any existing unauthorized buildings and/or land use on the subject property(ies)?					Y	N	If yes, is this application to legalize the building / land use?			Y	N
Are there any pending court case / order relating to the subject property(ies)?					Y	N	Are there any land claim(s) registered on the subject property(ies)?			Y	N
PART D: PRE-APPLICATION CONSULTATION											
Has there been any pre-application consultation?			Y	N	If Yes, please complete the information below and attach the minutes.						
Official's name	N/a		Reference number		N/a		Date of consultation		N/a		
PART E: LAND USE APPLICATIONS IN TERMS OF SECTION 15 OF THE LAND USE PLANNING BY-LAW FOR GEORGE MUNICIPALITY & APPLICATION FEES PAYABLE											
<p>*Application fees that are paid to the Municipality are non-refundable and proof of payment of the application fees must accompany the application.</p>											

BANKING DETAILS

Name: George Municipality
Bank: First National Bank (FNB)
Branch no.: 210554
Account no.: 62869623150
Type: Public Sector Cheque Account
Swift Code: FIRNZAJJ
VAT Registration Nr: 4630193664
E-MAIL: msbrits@george.gov.za
***Payment reference:** Erven ____, George/Wilderness/Hoekwil...

PART F: DETAILS OF PROPOSAL

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the original conditions of approval for Farm 158 known as Constantia Kloof, with specific reference to Condition 4.2 of the approval dated 25 November 1996 to allow for the construction of a concrete and painted dwelling house on Erf 2022, Wilderness.

PART G: ATTACHMENTS & SUPPORTING INFORMATION FOR LAND USE PLANNING APPLICATIONS

Please complete the following checklist and attach all the information relevant to the proposal. Failure to submit all information required will result in the application being deemed incomplete.

Is the following compulsory information attached?

Y	<i>N</i>	<i>Completed application form</i>			<i>Y</i>	N	<i>Pre-application Checklist (where applicable)</i>	
Y	<i>N</i>	<i>Power of Attorney / Owner’s consent if applicant is not owner</i>			<i>Y</i>	N	<i>Bondholder’s consent</i>	
Y	<i>N</i>	<i>Motivation report / letter</i>			Y	<i>N</i>	<i>Proof of payment of fees</i>	
Y	<i>N</i>	<i>Full copy of the Title Deed</i>			Y	<i>N</i>	<i>S.G. noting sheet extract / Erf diagram / General Plan</i>	
Y	<i>N</i>	<i>Locality Plan</i>			Y	<i>N</i>	<i>Site layout plan</i>	
<i>Minimum and additional requirements:</i>								
Y	<i>N</i>	<i>N/A</i>	<i>Conveyancer’s Certificate</i>		<i>Y</i>	<i>N</i>	N/A	<i>Land Use Plan / Zoning plan</i>
<i>Y</i>	<i>N</i>	N/A	<i>Proposed Subdivision Plan (including street names and numbers)</i>		<i>Y</i>	<i>N</i>	N/A	<i>Phasing Plan</i>
<i>Y</i>	<i>N</i>	N/A	<i>Consolidation Plan</i>		<i>Y</i>	<i>N</i>	N/A	<i>Copy of original approval letter (if applicable)</i>
<i>Y</i>	<i>N</i>	N/A	<i>Site Development Plan</i>		<i>Y</i>	<i>N</i>	N/A	<i>Landscaping / Tree Plan</i>
<i>Y</i>	<i>N</i>	N/A	<i>Abutting owner’s consent</i>		<i>Y</i>	<i>N</i>	N/A	<i>Home Owners’ Association consent</i>
<i>Y</i>	<i>N</i>	N/A	<i>Copy of Environmental Impact Assessment (EIA) /</i>		<i>Y</i>	<i>N</i>	N/A	<i>1 : 50 / 1:100 Flood line determination (plan / report)</i>

			Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) (strikethrough irrelevant)				
Y	N	N/A	Services Report or indication of all municipal services / registered servitudes	Y	N	N/A	Required number of documentation copies
Y	N	N/A	Any additional documents or information required as listed in the pre-application consultation form / minutes	Y	N	N/A	Other (specify)

PART H: AUTHORISATION(S) IN TERMS OF OTHER LEGISLATION

Y	N/A	National Heritage Resources Act, 1999 (Act 25 of 1999)	Y	N/A	Specific Environmental Management Act(s) (SEMA)
Y	N/A	National Environmental Management Act, 1998 (Act 107 of 1998)			(e.g. Environmental Conservation Act, 1989 (Act 73 of 1989), National Environmental --
Y	N/A	Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)			Management: Air Quality Act, 2004 (Act 39 of 2004),
Y	N/A	Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)(SPLUMA)			National Environmental Integrated Coastal Management Act, 2008 (Act 24 of 2008),
Y	N/A	Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations			National Environmental Management: Waste Act, 2008 (Act 59 of 2008),
Y	N/A	Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)			National Water Act, 1998 (Act 36 of 1998) (strikethrough irrelevant)
Y	N	If required, has application for EIA / HIA / TIA / TIS / MHIA approval been made? If yes, attach documents / plans / proof of submission etc.			
Y	N	If required, do you want to follow an integrated application procedure in terms of section 44(1) of the Land-Use Planning By-law for George Municipality?			

SECTION I: DECLARATION

I hereby wish to confirm the following:

1. That the information contained in this application form and accompanying documentation is complete and correct.
2. The Municipality has not already decided on the application.
3. I'm aware that it is an offense in terms of section 86(1)(d) to supply particulars, information or answers in an application, knowing it to be false, incorrect or misleading or not believing them to be correct.
4. I am properly authorized to make this application on behalf of the owner and (where applicable) copies of such full relevant Powers of Attorney/Consent are attached hereto.
5. I have been appointed to submit this application on behalf of the owner and it is accepted that correspondence from and notifications by the Municipality in terms of the by-law will be sent only to me as the authorised agent and the owner will regularly consult with the agent in this regard (where applicable).
6. That this submission includes all necessary land use planning applications required to enable the development proposed herein.
7. I confirm that the relevant title deed(s) have been read and that there are no restrictive title deed restrictions, which impact on this application, or alternatively an application for removal/amendment/suspension forms part of this submission.
8. I am aware of the status of the existing bulk services and infrastructure in the subject area and that I am liable for any possible development charges which may be payable as a result of the proposed development.
9. I acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.

Applicant's signature:



Date:

28 August 2025

Full name:

Johannes George Vrolijk

Professional capacity:

Professional Town Planner

SACPLAN Reg. Nr:

A/1386/2010

ANNEXURE "C" – 3D RENDERINGS



GENERAL NOTES

THE CONTRACTOR IS TO EMPLOY A LAND - SURVEYOR TO SET OUT THE BUILDING ON THE SITE. THE LAND - SURVEYOR IS TO CONFIRM ALL ERF BEACONS AND CORRECT SITE.

THE CONTRACTOR IS TO VERIFY ALL LEVELS AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT. THE CONTRACTOR IS TO LOCATE AND IDENTIFY ALL SERVICES ON SITE AND IS TO PROTECT THESE DURING THE DURATION OF THE BUILD.

THE CONTRACTOR IS TO ADHERE TO ALL SPECIFICATIONS AND ALLOWED TOLERANCES AS PER SANS 10400 THAT FORM PART OF THIS DOCUMENT.

ANY ERRORS, DISCREPANCIES, OR OMISSIONS ARE TO BE REPORTED TO THE ARCHITECT.

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BALLISTRADES TO BE MIN 1000MM, TO COMPLY WITH PART M SABS 0400 HEADROOM MIN 2100MM TO UNDERSIDE OF SLAB, FOR STAIRCASES.

ELECTRICAL LEGEND

	ALL EXTERNAL LIGHTS STAINLESS STEEL
TEL	TELEPHONE POINT
TV	TV - POINT
2300	WALL PLUG
	LIGHT SWITCH
	LIGHT SWITCH WITH DIMMER
	DISTRIBUTION BOARD
	INTERCOM
	EXTERIOR WATERTIGHT LIGHT
	PENDANT LIGHT
	INTERNAL WALL MOUNTED LIGHT
	LOW VOLTAGE INTERNAL LIGHT POINT
	SINGLE FLOURESCENT LIGHT
	DOUBLE FLOURESCENT LIGHT
	TWO WAY LIGHT SWITCH
	STOVE ISO
	VENT FOR MECHANICAL EXTRACTOR
HTR POINT	HEATED TOWEL RAIL ELECTRICAL POINT
WIP	WATERPOINT

EDDIE DA SILVA
AND ASSOCIATES
ARCHITECT

EDDIE DA SILVA
AND ASSOCIATES
(SACAP reg pr arch 7719)
SAA - CIFA, REG NO 17394

PO BOX 626
WILDERNESS
6960
TEL 044 8770744
CELL 0628952760

CONDENNETACTIVE.CO.ZA
WWW.EDDIEDASILVA.CO.ZA

PROJECT

PROPOSED NEW DWELLING
FOR INCREDIBLE YEAR PTY LTD
CONSTANTIA KLOOF
WILDERNESS EPF 2022

RENDERS

SIGNATURE
OWNER

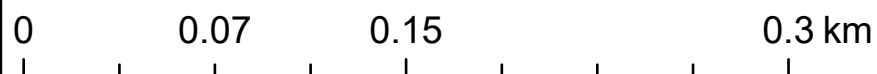
DESIGNED
EDS

DRAWN
EDS RNEL

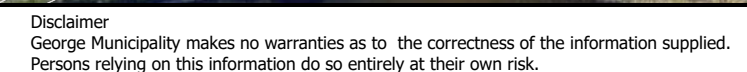
REVISED	DATE	APRIL 2025
REVISED	DATE	
REVISED	DATE	
DATE	REF NO	

THIS DRAWING IS THE COPYRIGHT
OF EDDIE DA SILVA

ANNEXURE “D” – LOCALITY PLAN



Scale: 1:2,965



George Municipality will not be liable for any claims whatsoever, whether for damages or otherwise, which may arise as a result of inaccuracies in the information supplied.

ANNEXURE “E” – GENERAL PLAN

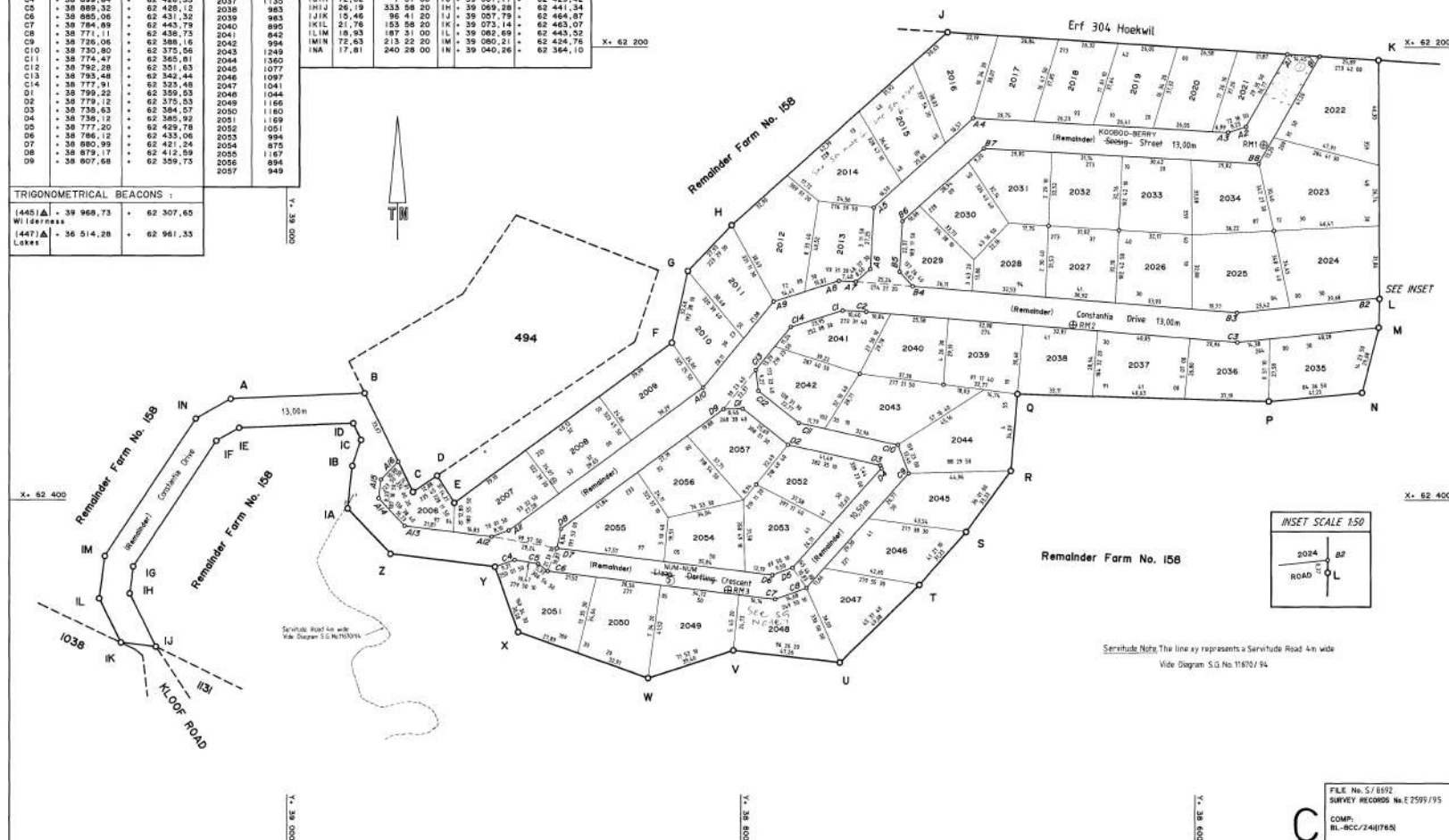
CDR

Situate in the Wilderness District Council
Administrative District of George
Province of Western Cape

SCALE 1:750

This general plan was framed by me and I undertake to place the beacons of the even in positions which correspond with the data on this plan and to submit the final general plan and the survey records pertaining thereto within the prescribed period to the Surveyor-General for approval.

G. K. Munns PLS 0429
Pr. Land Surveyor
Date: December 1994 - June 1995

[illegible]

SURVEYOR-GENERAL OFFICE NOTES

1 Erf 2006 consolidated. New Erf 2009 Dgr No 8881/1996.
② Dgrs replaced (Erfen 2007-8) to Reg 18(1). c/ 64-62 pgs 60-62
REPLACED
③ Bgr replaced (Erf 2009) to Reg 18(2). S/ 64-62 Vol 5 pg 178-179
E 2599/1995
A "P" 2027 BEALONS REPLACED VOL E 2599/1995
5 Street names changed VOF S/ 6692 vol 6 pg 153
A Green 2014 ADN15 included in consd. vide dgrs 2249/2317 Erf 2012
no more included in consd. vide Nos 1009/2332 Erf 2012

FILE No. S/B692
SURVEY RECORDS No. E 2599/95
COMP:
BL-BCC/24H(765)

CO-ORDINATES			
System: 1 to 25 metres			
Constants: Y ± 0,00 X ±3 700 000,00			
REFERENCE MARKS :			
RM1	+ 38 568,36	+ 62 243,15	
RM2	+ 38 653,71	+ 62 322,48	
RM3	+ 38 805,75	+ 62 439,76	

(WILDERNESS ALLOTMENT AREA)
GENERAL PLAN NO. 8139/1995
 OF SUBDIVISIONS OF ERF 2005 WILDERNESS
 Situate in the Wilderness District Council
 Administrative District of George
 Province of Western Cape

CDR

Surveyed In December 1994 - September 1996
 by me

G. K. Munn
 G. K. Munn PLS 0429
 Pr. Land Surveyor

DESCRIPTION OF BEACONS :

12mm drill hole in rock : A3, A11, A14
 X : Not beacons

All reference marks are 12mm round iron pegs in concrete
 0,20m below ground level.

All other beacons are 12mm round iron pegs.

SG No. 8139/95
 SHEET 2 OF 2 SHEETS
 Approved :
G. K. Munn
 for Surveyor-General
 Date: 1996-11-28

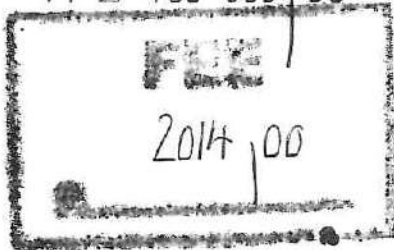
FILE No. S/8092
 SURVEY RECORDS No. E.2592/95
 COMP:
 BL-8CC/2487659

ANNEXURE “F” – TITLE DEED

F30
VZK

Snyman De Jager Attorneys
Corner Atterbury- & Manitoba Streets
Faerie Glen
Atterbury Boulevard Shopping Centre
Upper Level

R 3 400 000,00



Prepared by me

CONVEYANCER
KYLE GRAEME STANLEY
LPCM 44113

ANDRIA STEPHANIE BARNARD (98607)

T 000019206 / 2023

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

LEZANNE COELET HOUGH

LPCM NUMBER 96783

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney which said Power of Attorney was signed at Pretoria on 28 March 2023 granted to him by

1. **JACOBUS NICOLAAS OOSTHUIZEN**
Identity Number 6707155159084
Married out of community of property
2. **ATHENA OOSTHUIZEN**
Identity Number 6709030058085
Married out of community of property



And the appearer declared that his said principal had, on 25 February 2023, truly and legally sold by Private Treaty, and that he, the said Appearer, in his capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

INCREDIBLE YEAR PROPRIETARY LIMITED
Registration Number 2022/691926/07

or its Successors in Title or assigns,

ERF 2022 WILDERNESS in the Municipality and Division of George,
PROVINCE WESTERN CAPE

IN EXTENT 1551 (ONE THOUSAND FIVE HUNDRED AND FIFTY ONE)
Square metres

FIRST TRANSFERRED BY DEED OF TRANSFER NUMBER T64454/1998 WITH
GENERAL PLAN NO. 8139/1995 RELATING THERETO AND HELD BY DEED OF
TRANSFER T34620/2019

- A. SUBJECT** to the conditions referred to in Deed of Transfer No. T 2059/1923.
- B. SUBJECT FURTHER** to the terms of the servitude referred to in an endorsement on Deed of Transfer No. T 4632/1905 to the effect that certain water and other rights have been ceded in favour of the land transferred by Deeds of Transfer No.'s. T 2955/1907 and T 2956/1907.
- C. SUBJECT FURTHER** to the following conditions contained in said Deed of Transfer No. T 2059/1923, namely:

"Special Conditions

Wilderness Estate

George Freeholds Vol. 12 No. 7 - 13 March 1852.

General Plan W 71

Remaining extent (259,8037 hectares) Without prejudice to existing vested rights (if any) of the public or of any persons whomsoever the Liquidator of the Wilderness Estate Company Limited, in so far as the said Company may be entitled so to do imposes the following special conditions.

ROADS: All public roads and all roads shown on the original diagram and/or General Plan W 71 shall, unless and until closed or altered by competent authority remain free and open as heretofore.

The owner of the remaining extent shall not be under obligation to maintain such roads.

RECOGNISED ROAD. In this term is included:

A certain private road, not shown on either the original diagram or the General Plan W 71, constructed by the Wilderness Estate Company Limited and called "Whites Road", branching off the public road to The Wilderness at the spot called "Standers House" on the "Lot B of the Wilderness transferred to the Kerkeraad of the Dutch Reformed Church by Transfer No. 14200 dated 6th October 1920 and crossing part of the land and eventually crossing part of the remaining extent and again joining the public road aforesaid on the remaining extent, shall remain free and open for the use of owners as hereinafter defined. So long as this road be not taken over by a local or provincial authority and be not proclaimed a public road and as such be maintained by a local or provincial authority, the said road shall remain open for the use of owners as hereinafter defined, but the owner of the remaining extent shall have the right to control the said road and to limit the use of such road to such classes of vehicles or traffic as it may think fit. The owners of Lots "d" and "dd" shall contribute one-half of the cost of maintenance and repair thereof, but in such maintenance and repair shall not be included relaying or re-grading or deviation of any portion thereof.

RECOGNISED PATHS. In this term are included:

- (1) A path leading from Lots "d" and "dd" across the remaining extent to the Kaaimans River and to the top of the Hill on the remaining extent, overlooking the Kaaimans River, and what is known as the "Map of Africa."
- (2) A path leading from Lots "d" and "dd" across the remaining extent direct to the Beach.

The Recognised Paths shall (subject to the provisions hereinafter contained) remain free and open for the use of owners as hereinafter defined, provided always that the use of these Recognised Paths shall not constitute a servitude for camping picnicking and further that the owner of the Remaining extent shall be at liberty at any time to deviate the whole or any part of these paths or to close the same upon providing other roads or paths giving facilities of access of substantially equal degree.

In respect of the portion of the Road shown on the General Plan W71 and included in the Diagram of Transfer No. 9087, 22 September 1921, the owners of:

- (1) Lots "a", "b", "d", "dd", Block E lots 1, 2 and 3.
- (2) The Park
- (3) The Remaining Extent.
- (4) Any portions hereafter transferred therefrom

shall make no claim in respect of above portion of the road included in the Diagram of Transfer No. 9087 - 22 September 1921 and no objection shall be raised by such owners to the closing and cancellation of the said portion of such road should the owner of the land described in the said Transfer hereafter take any steps to have the same closed or cancelled according to law.

Nothing hereinbefore contained shall be taken as preventing the owner of the Remaining Extent from passing transfer of further portions of the Wilderness

Estate subject to similar conditions with or without modification in regard to such further transfers.

BUILDINGS:

It shall be a condition in respect of all portions which may be hereafter laid out as lots and transferred from the present Remaining Extent that all dwelling houses erected on any such portions shall be built of brick, stone, or concrete, provided that this shall not apply to what are known as "Sand Plots" being the Lots comprised in Blocks "A", "B", "C", "D" as shown on the General Plan W71, nor to such further plots as the owner of the Remaining Extent may lay out on land similar to Blocks "A", "B", "C" "D".

WATER

The owner of the Remaining Extent shall allow the owner of the Lots "d" and "dd" access to the Kaaimans River and other sources of water for the purposes of drawing a reasonable supply of water therefrom, whether by pipes or otherwise, provided that this shall not interfere with the present and future rights, if any, of other parties entitled."

- D. ENTITLED** to benefits under the terms of the servitude referred to in the endorsement dated 24th February 1928 on Deed of Transfer No. T 2059/1923, namely:-

"By deed of transfer No. 1613 dd 24 February 1928 The Wilderness (1921) Limited as owner of the remaining extent of the property set out under Para. 2 hereof reserves to itself the right to construct and maintain a road over Lots 28 and 29 Block E of the Wilderness Estate and shown on the Diagrams annexed to deed of transfer 14199 dd. 6th October 1920, as will more fully appear on reference to the said Deed of Transfer."

- E. ENTITLED FURTHER** to the benefits under the terms of the servitude referred to in the endorsement dated 23 April 1928 on the said Deed of Transfer No. T2059/1923, namely:

"By notarial deed dated 10th March 1928 the owner of the remainder of Wilderness Estate held under para 2 of this deed and its successors is granted the right to construct, maintain and use in perpetuity a road not exceeding 16 feet in width over the property (Lot 27 Block E) held under transfer No. 638 dd 30th January 1928 and shown on the diagrams thereof, as more fully appear on reference to the copy annexed hereto."

- F. ENTITLED FURTHER** to benefits under the terms of the servitude referred to in the endorsement dated 11th July 1929 on the said Deed of Transfer No. T2059/1923, namely:

"By Notarial Deed dd 22 May 1929 the conditions in favour of the land contained in transfer 9209, September 1925 relating to paths buildings and water, etc. have been cancelled and certain other conditions imposed as will more fully appear on reference to the copy annexed hereto."

- G. ENTITLED FURTHER** to benefits under the terms of the servitude referred to in the endorsement dated 7th April 1932 on the said Deed of Transfer No. T 2059/1923, namely:



"By Deed of Transfer No. 1999 dd. 7.4.1932 certain road, more fully described in the diagram No. 498/1932 attached thereto, has been reserved to the owners of the remaining extent of the freehold land now called the Wilderness Estate held under par. 2 hereof, subject to conditions as will more fully appear on reference to the said Deed of Transfer."

- H. ENTITLED FURTHER** to benefits under the terms of the servitude referred to in the endorsement dated 9th June 1932 on the said Deed of Transfer No. T 2059/1923, namely:

"By Deed of Transfer No. 3497 dd 9.6.1932 the owner of the remainder of the property held by para 2 hereof is entitled to construct, use and maintain a road across that portion of the property thereby conveyed marked "pathway reserve" on the diagram thereof annexed, as will more fully appear on reference to the said deed of transfer ".

- I. ENTITLED FURTHER** to benefits under the terms of the servitude referred to in the endorsement dated 21st June 1940 on the said Deed of Transfer No. T 2059/1923, namely:

"By Notarial Deed No. 152/1940 dated 10.6.1940 the properties conveyed by Transfer 6029/1940 have been made subject to conditions relating to persons who may own, lease or occupy the properties, prohibition of trades or business, nature of buildings, walls, fences, etc. provisions for sanitation, water, electric light, etc. clearing or destroying bush or shrub, for the benefit of Wilderness (1921) Limited as owners of the properties which are subject to similar conditions as will more fully appear on reference to the said Notarial Deed registered this day in the Servitude Register under No. 152/1940."

- J. ENTITLED FURTHER** to benefits under the terms of the servitude referred to in the following endorsement dated 12th August 1947 on the said Deed of Transfer No. T2059/1923, namely:

"By Deed of Trf. 15345 dated 12.8.1947 the ppty thereby transferred is subject to the following conditions; that no hotel or boarding house shall be established thereon, but such expression shall include the construction and letting of service flats with necessary outbuildings and appurtenances in favour of portion of the ppty held hereunder."

- K. SUBJECT FURTHER** to the terms of the servitude referred to in the endorsement dated 25th February 1952 on the said Deed of Transfer No. T 2059/1923, namely:

"By Not. Deed No. 61/52 dated 15.5.51 the owner of the remainder held under para 2 hereof has granted to the owners of the properties held by Trfs. 4691/47, 15345/47, 20653/49 and 19389/50 the unimpeded access of light, air and view over the servitude area on the said remainder as indicated in red on extract from General Plan W.71 annexed to said Not. Deed (more fully described therein) subject to conditions as will more fully appear on reference to the said Not. Deed, a copy of which is annexed hereto."

- L. ENTITLED FURTHER** to benefits under the terms of the servitude referred to in the following endorsement dated 23rd December 1949 on the said Deed of Transfer No. T 2059/1923, namely:

"By Deed of Trf. No. 20653 dated 23 Dec. 1949 the ppty thereby conveyed is subject to the following conditions; that no hotel or boarding house shall be established thereon, but such expression shall not include the construction and letting to service flats with necessary outbuildings and appurtenances in favour of portion of ppty held hereunder. As will more fully appear on reference to said trfr.'

M. ENTITLED FURTHER to benefits under the terms of servitude referred to in the endorsement dated 18th November 1958 on the said Deed of Transfer No. T 2059/1923 namely:

"By Notarial Deed No. 705/1998 dated 21st May 1958.

- (1) A condition prohibiting the establishing of hotels and boarding houses on Lots 15 and 16 Block F, Wilderness held by T 20653/1949, Lot 15, Block G and Lot 5, Block F, Wilderness held by T 15345/1947 the remainder of Wilderness Extension Township 1G and Lots 88 and 85, Wilderness Extension Township site 1G held by T 4691/1947 has been cancelled. (The said condition being referred to in endorsement dated 12/8/1947 and 23/12/1949 on this Deed).
- (2) Conditions b to f hereinafter set out are imposed against Lots 15 and 16, Block F, Wilderness held by Transfer 20653 dated 23/12/1949 and the remaining extent of Wilderness Extension Township 1G (excluding the figure abcde marked on diagram A.4501/1931 annexed to Certificate of Consolidated Title No.4126/32) held by T 4691/1947:
 - (b) No trade or business of any description may be carried out on the Lot without the written permission of the Company first had and obtained.
 - (c) All buildings erected on the Lot shall be built of brick, stone or concrete, and the ground plan showing the relation of the position of such buildings to the boundaries of the Lot, as well as the elevation plans of such buildings shall be submitted to the Company for its approval in writing before any buildings are commenced.
 - (d) All walls, fences or hedges or like structures abutting upon any road or pathway shall be of a type approved of by the Company. The Company shall not be liable to contribute to the cost of any party for dividing fence or wall, nor to the costs of repair thereof, but it may call upon the said Grant to enclose the said Lot. The said Grant agrees to observe uniformity in respect of fencing line for all fences that may abut on to any road, pathway, open space, or property of the Company and to maintain all boundary fences on the said Lot in good repair and order. No corrugated iron fences or screen shall be erected on the lot without the leave of the company.
 - (e) The said Grant shall be obliged to plant and maintain at a suitable height such live hedge and/or such trees or shrubs as shall be prescribed by the Company suitably to screen any premises situate on the Lot.
 - (f) The said Grant agrees to be bound not to clear or destroy the trees and bush on the Lot without first consulting the Company, whose consent to such clearing or destroying shall be necessary but shall not unreasonably interfere with the said Grant's full use and enjoyment of the Lot.

- (3) The following condition is imposed against Lot 15, Block G of Lot H, held by Deed of Transfer 16345 dated 12th August 1947:

"No trade or business of any description may be carried on on the Lot without the written permission of the Company first had and obtained."

- (4) That the area marked xCDy on diagram A.4026/1924 annexed to Trf. 7863/1926 of Lot 5 Block F Wilderness held by T15345/1947 is subject to the conditions that the owner shall not without the permission of Wilderness (1921) Ltd. make or suffer to stand any building, structure or thing whatsoever, including fencing.

- (5) That Hugh Owen Bruce Grant as owner of the following properties:

1. Certain piece of freehold land situate in the Division of George being Lot 15, Block F, Wilderness;

Held under T 20653 dated 23.12.1949.

2. Certain piece of freehold land, situate as above, being Lot 16 Block F, Wilderness;

Held under T 20653 dated 23. 12.1949.

3. Certain piece of freehold land, situate as above, being Lot 5, Block F, Wilderness;

Held under T 15345 dated 12.8.1947.

4. Certain piece of freehold land, situate as above, being the remaining extent of Wilderness Extension Township No. 1G.

5. Certain piece of freehold land, situate as above, being Lot No. 88 a portion of Wilderness Extension Township Site No. 1G.

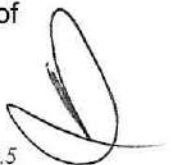
6. Certain piece of freehold land, situate as above, being Lot 88 a portion of Wilderness Extension Site No. 1G.

Held under T 4691 dated 20.3.1947,

Shall not sell or dispose of any of them save as provided in Clause 5 of the said Notarial Deed."

- N. SUBJECT FURTHER** by virtue of Deed of Transfer No. T 10573/1978 to the following conditions imposed by the Administrator of the Province of the Cape of Good Hope in terms of Section 9 of Ordinance 33/1934 when approving the subdivision of Remainder Farm 158 George, namely:-

- (a) The owner of this erf shall without, compensation, be obliged to allow electricity, telephone and television cables and/or wires and main and/or other waterpipes and the sewage and drainage, including stormwater of any other erf or even to be conveyed across this erf, if deemed necessary by the local authority and in such manner and position as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time for the purpose of



constructing, altering, removing or inspecting any works connected with the above.

- (b) The owner of this erf shall be obliged, without compensation, to receive such material or permit such excavation on the erf, as may be required to allow use of the full width of the street and provide a safe and proper slope to its bank owing to difference between the levels of the street as finally constructed and the erf, unless he elects to build retaining walls to the satisfaction of and within a period to be determined by the local authority."

- O. **SUBJECT FURTHER** to the terms of the endorsement dated 5 March 1987 on Deed of Transfer No. T 6167/1973, which endorsement reads as follows:

"Restant Para 2

Kragtens Akte van Transport Nr T 9457/87 hede gedateer, is die restant van die plaas Nr. 158 groot 175,9896 Ha gehou hieronder, onderhewig aan die volgende voorwaardes opgelê deur die Administrateur i.t.v. Art 9 van Ord. 33/34 tydens die goedkeuring van onderverdeling:

- (a) The owner of this erf shall without compensation, be obliged to allow electricity, telephone and television cables and/or wires and main and/or other waterpipes and the sewage and drainage including stormwater of any other erf or even to be conveyed across this erf, and surface installations such as mini-substations, meter kiosks and service pillars to be installed thereon if deemed necessary by the local authority and in such manner and position as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time for the purpose of constructing, altering, removing or inspecting any works connected with the above.

- P. **SUBJECT FURTHER** to the terms of the endorsement dated 14 June 1995 on Deed of Transfer No. T 6167/1973, which endorsement reads as follows :

"Para 2 Restant

Kragtens Notariële Akte Nr K 532/95S gedateer 5 April 1995 is binnegemelde eiendom onderhewig aan 'n servituut van reg van weg t.g.v. Erf 531 Wilderness, groot 931 vierkante meter, gehou kragtens T 89502/95, soos aangedui deur die lyn AB, BC, CD en geboë lyn Da op Kaart SG No. 11670/94. Soos meer volledig sal blyk dit die notariële akte."

which servitude right of way is depicted by the line xy on Diagram No. 8138/95 annexed hereto.

|

WHEREFORE the said Appearer, renouncing all right and title which the said

1. **JACOBUS NICOLAAS OOSTHUIZEN, Married as aforesaid**
2. **ATHENA OOSTHUIZEN, Married as aforesaid**

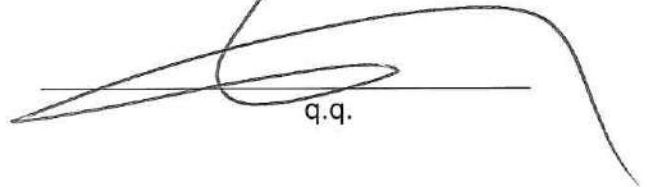
heretofore had to the premises, did in consequence also acknowledge them to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

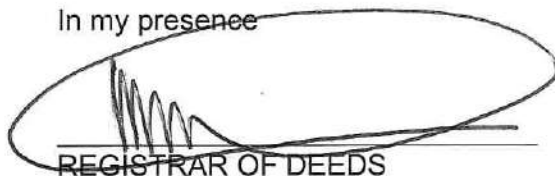
INCREDIBLE YEAR PROPRIETARY LIMITED
Registration Number 2022/691926/07

or its Successors in Title or assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R3 400 000,00 (THREE MILLION FOUR HUNDRED THOUSAND RAND).

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on 22 MAY 2023


q.q.

In my presence

REGISTRAR OF DEEDS



ANNEXURE “G” – POWER OF ATTORNEY

POWER OF ATTORNEY

I, the undersigned

Carlene Lynette Roux

the only Director of

Incredible Year (Pty) Ltd Registration Number 2022/691926/07

the registered owner of

Erf 2022 Wilderness

do hereby appoint Jan Vrolijk Town Planner/Stadsbeplanner to prepare, sign and submit the following application to the George Municipality:

An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the original conditions of approval for Farm 158 known as Constantia Kloof, with specific reference to Condition 4.2 of the approval dated 25 November 1996 to allow for the construction of a concrete and painted dwelling house on Erf 2022, Wilderness.

Signed at Durban on 26 August 2025



Carlene Lynette Roux

ANNEXURE “H” – COMPANY REGISTRATION DOCUMENT

COR39



Companies and Intellectual
Property Commission

A member of the SAG Group

Date: 13/02/2023

Our Reference: 9380418200

LEOSHA RAJMUN
E-mail: LEOSHA@DINC.CO.ZA
P O BOX 2139
UMHLANGA MANORS
DURBAN
4021

RE: Amendment to Company Information

Company Number: 2022/691926/07

Company Name: INCREDIBLE YEAR (PTY) LTD

We have received a COR39 (Notice of change of company directors) from you dated 13/02/2023.

The COR39 was accepted and placed on file.

The following change was effected to Director/Secretary/Officer:
Director CARLENE LYNETTE ROUX was added

The following change was effected to Director/Secretary/Officer:
Director LEOSHA RAJMUN - Change was made.
- Director / member status changed from Active to Resigned.

Yours truly

Commissioner: CIPC

Please Note:

The attached certificate can be validated on the CIPC web site at www.cipc.co.za.

The contents of the attached certificate was electronically transmitted to the South African Revenue Services.



The Companies and Intellectual Property Commission
of South Africa

P.O. BOX 420, PRETORIA, 0001, Republic of South Africa. Docex 256, PRETORIA

Call Centre Tel 086 100 2472, Website www.cipc.co.za



**Certificate issued by the Companies and Intellectual Property
Commission on Tuesday, February 14, 2023 10:26
Certificate of Confirmation**



Registration number	2022 / 691926 / 07
Enterprise Name	INCREDIBLE YEAR (PTY) LTD
Enterprise Shortened Name	None provided.
Enterprise Translated Name	None provided.
Registration Date	29/08/2022
Business Start Date	29/08/2022
Enterprise Type	Private Company
Enterprise Status	In Business
Financial year end	February
Main Business/Main Object	BUSINESS ACTIVITIES NOT RESTRICTED.
Postal address	PO BOX 2139 UMHLANGA MANORS UMHLANGA KWA-ZULU NATAL 4021
Address of registered office	UNIT 22 3RD FLOOR CORPORATE PARK 11 SINEMBE CRESCENT SINEMBE PARK LA LUCIA RIDGE KWA-ZULU NATAL 4051



The Companies and Intellectual Property Commission
of South Africa
P.O. BOX 429, PRETORIA, 0001, Republic of South Africa. Docex 250, PRETORIA
Call Centre Tel 086 100 2472, Website www.cipc.co.za



**Certificate issued by the Companies and Intellectual Property
Commission on Tuesday, February 14, 2023 10:26
Certificate of Confirmation**



Companies and Intellectual
Property Commission
AN ACT OF PARLIAMENTS OF THE REPUBLIC OF SOUTH AFRICA
A division of the dti group

Registration number **2022/691926/07**
Enterprise Name **INCREDIBLE YEAR (PTY) LTD**

Name
Postal Address

Active Directors / Officers

Surname and first names	ID number or date of birth	Director type	Appoint- ment date	Addresses
ROUX, CARLENE LYNETTE	4403300055086	Director	10/02/2023	Postal: 20 GEMMEL PLACE, DURBAN NORTH, DURBAN, KWA-ZULU NATAL, 4051 Residential: 20 GEMMEL PLACE, DURBAN NORTH, DURBAN, KWA-ZULU NATAL, 4051



The Companies and Intellectual Property Commission
of South Africa

P.O. BOX 429, PRETORIA, 0001, Republic of South Africa. Docex 256, PRETORIA

Call Centre Tel 086 100 2472, Website www.cipc.co.za





Address Change for Companies and Close Corporations

Registration Number: 2022 / 691926 / 07
Enterprise Name: INCREDIBLE YEAR
Tracking Number: 9380495744

ENTERPRISE AND LODGEMENT INFORMATION

Registration Number: 2022 / 691926 / 07
Enterprise Name: INCREDIBLE YEAR
Customer Code: AN0676
Tracking Number: 9380495744
Lodgement Date: 2023-02-14
Effective Date: 2023-02-22

Addresses

CURRENT POSTAL ADDRESS

PO BOX 2139
UMHLANGA MANORS
UMHLANGA
KWA-ZULU NATAL
4021

CURRENT ADDRESS OF REGISTERED OFFICE

UNIT 22 3RD FLOOR CORPORATE PARK
11 SINEMBE CRESCENT SINEMBE PARK
LA LUCIA RIDGE
KWA-ZULU NATAL
4051

NEW POSTAL ADDRESS

20 GEMMEL PLACE
DURBAN NORTH
DURBAN
KWA-ZULU NATAL
4051

NEW ADDRESS OF REGISTERED OFFICE

20 GEMMEL PLACE
DURBAN NORTH
DURBAN
KWA-ZULU NATAL
4051

Email Address: CARLENE@CORONAFOODS.CO.ZA

Website Address:

DIRECTORS

Surname and First Names	Type	Status	ID Number / Date of Birth	Appoint. Date	Address
ROUX, CARLENE LYNETTE	Director	Active	4403300055086	2023-02-10	Postal: 20 GEMMEL PLACE, DURBAN NORTH, DURBAN, KWA-ZULU NATAL, 4051 Residential: 20 GEMMEL PLACE, DURBAN NORTH, DURBAN, KWA-ZULU NATAL, 4051



ANNEXURE "I" - CONVEYANCER CERTIFICATE

CONVEYANCER'S CERTIFICATE

IN TERMS OF SECTION 38(1)(n) OF THE GEORGE MUNICIPALITY: LAND USE PLANNING BY LAW, 2023

ERF 2022 WILDERNESS

APPLICATION DETAILS

An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the original conditions of approval for Farm 158 known as Constantia Kloof, with specific reference to Condition 4.2 of the approval dated 25 November 1996 to allow for the construction of a concrete and painted dwelling house on Erf 2022, Wilderness.

APPLICATION DATE

August 2025

I, the undersigned

ANDALEEN CHIMES a duly qualified and admitted Conveyancer, practicing at A Chimes & Van Wyk Attorneys, Cathedral Street, George do hereby certify as follows:

1. I have perused the following title Deed/s and conducted a search behind the pivot of the said title deed/s at the Deeds Office, Cape Town:

T19206/2023 (current Title Deed)

in respect of:

ERF 2022 WILDERNESS

**IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE**

IN EXTENT: 1 551(ONE FIVE FIVE ONE) SQUARE METRES

HELD BY DEED OF TRANSFER NUMBER T19206/2023

REGISTERED in the name of

INCREDIBLE YEAR (PTY) LTD REGISTRATION NUMBER 2022/691926/07

2. I have appraised myself with the details of the abovementioned Land Development Application.
3. The abovementioned Title Deed contains no conditions restricting the contemplated Land Use in terms of the abovementioned Land Development Application.
4. There is no bond registered over the property.

SIGNED at GEORGE on 22 AUGUST 2025

A handwritten signature in black ink, appearing to read 'D. J. van der Merwe', is written over a horizontal line.

CONVEYANCER