

**Beplanning en Ontwikkeling
Planning and Development**

Collaborator No.: 3714896
Reference / Verwysing: Erf 317, Herolds Bay
Date / Datum: 24 October 2025
Enquiries / Navrae: Marisa Arries

Email: janvrolijk@jvtownplanner.co.za

JAN VROLIK TOWN PLANNER
PO BOX 710
GEORGE
6530

**APPLICATION FOR ADMINISTRATORS CONSENT AND DEPARTURE:
ERF 317, HEROLDS BAY**

Your application in the above regard refers.

The Deputy Director: Town Planning (Authorised Official) has, under delegated authority, decided 4.17.3.13 and 4.17.3.23 of 24 April 2025 decided that the following applications applicable to Erf 317, Herolds Bay;

1. Administrators Consent in terms of Section 39(4) of the Western Cape Land Use Planning Act, 2014 to relax the following building lines contained in Condition B.7. in the title deed T3461/2021 for Erf 317, Herolds Bay as indicated on the site layout plan, Plan no. *Project Number 1*, drawn by SAS Architecture dated 6 February 2025 (4x plans) attached as “**Annexure A**” which bears Council’s stamp:
 - (a) Street boundary building line from 5.0m to 0.0m to accommodate a retaining structure for the driveway and stairs to gain access to the street level;
 - (b) Western side boundary building line from 1.5m to 1.334m varying to 1.063m for the dwelling house and to 0.0m for external stairs along the dwelling house; and
 - (c) Eastern side boundary building line from 1.5m to 0.0m for a retaining wall;

BE APPROVED.

2. That the application for Departure submitted in terms of Section 15(2)(b) of the Land Use Planning By-Law of George Municipality, 2023 for the relaxation of the following building lines on Erf 317, Herolds Bay:
 - (a) Street boundary building line from 4.0m to 0.0m to accommodate a retaining structure for the driveway and stairs to gain access to the street level;
 - (b) Western side boundary building line from 2.0m to 1.334m varying to 1.063m for the dwelling house and from 2.0m to 0.0m for external stairs along the dwelling house; and
 - (c) Eastern side boundary building line from 2.0m 0.0m for a retaining wall and from 2.0m to 1.721m for a covered balcony on the first floor of the dwelling house;

BE APPROVED in terms of Section 60 of said Bylaw for the following reasons:

REASONS:

- (a) The proposed departure will not have an adverse impact on the surrounding residential character or the streetscape.

- (b) There will be no negative impact on surrounding neighbours' rights or amenity in terms of views, privacy or overshadowing.
- (c) The proposed addition forms part of residential development and can be accommodated within the property.
- (d) No negative comments or objections were received.

Subject to the following conditions imposed of Section 66 of said Bylaw, namely:

CONDITIONS:

1. That in terms of the Land Use Planning By-law for the George Municipality 2023, the approval shall lapse if not implemented within a period of two (2) years from the date it comes into operation.
2. This approval shall be taken to cover only the Departure and Administrators Consent as applied for and as indicated on the site layout plan, Plan no. *Project Number 1*, drawn by SAS Architecture dated 6 February 2025 (4x plans) attached as "**Annexure A**" which bears Council's stamp and shall not be construed as to depart from any other Council requirements or legal provision.
3. A contravention levy of **R22 957,50 VAT Included** is payable on the submission of building plans for the unauthorized structures erected over the building lines.
4. The above approval will be considered as implemented on the issuing of an occupation certificate in accordance with the approved building plan.

Notes:

- *As built building plan be submitted for approval in accordance with the National Building Regulations (NBR).*
- *Stormwater must be dispersed responsibly, and the stormwater management and erosion measures must be addressed on the building plans.*
- *The contravention levy was calculated as follows:*
 - *Encroachments = 145.5m² encroachments over the building lines*
 - *Square metre value of property is Property value: R1 040 000 / 758m² = R1372.03/m²*
 - *Contravention = 10% x R1372.03/m² x 145.5m² = R19 963,04 (excluding VAT)*
 - *Plus VAT (15%) = R2 994.46*
 - ***Total: R28 110.06 as per the Municipal tariffs 2025/2026***

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Human Settlements, Planning and Development, P O Box 19, George, 6530 or Directorate: Human Settlements, Planning and Development, 5th floor, Civic Centre, York Street, George **on or 14 NOVEMBER 2025** and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

Yours faithfully


C. PETERSEN
SENIOR MANAGER: TOWN PLANNING

General Notes

AREA	FINISHING
ROOF GUTTERS BRICKWORK PLASTERING PLASTERBOARD CHIMNEY BALCONIES DOWNPIPES WINDOW FRAMES	Marble Azule, colour - Fernhouse Chemical Aluminium Cutters Johnsons Mixer Bricks Smooth Plastered and Painted Flumeless Glass Emery into Concrete Johnsons Mixers Concrete Black Aluminium Black Aluminium

EXISTING AREA	477m ²
NEW AS BUILT GROUND FLOOR	1rd
NEW AS BUILT FIRST FLOOR	40.53m ²
NEW AS BUILT SECOND FLOOR	7.74m ²
NEW AS BUILT GARAGE	7.74m ²
NEW AS BUILT CELLAR FLOOR	40.00m ²
	98.26m ²
TOTAL NEW AS BUILT	98.26m ²
TOTAL COVERED AREA	576.26m ²
NEW OPEN BALCONY	40.25m ²
ERF SIZE	757m ²
TOTAL AREA COVERAGE ON STAND	216.74m ²
COVERAGE (INCL. BALCONIES)	36.55%

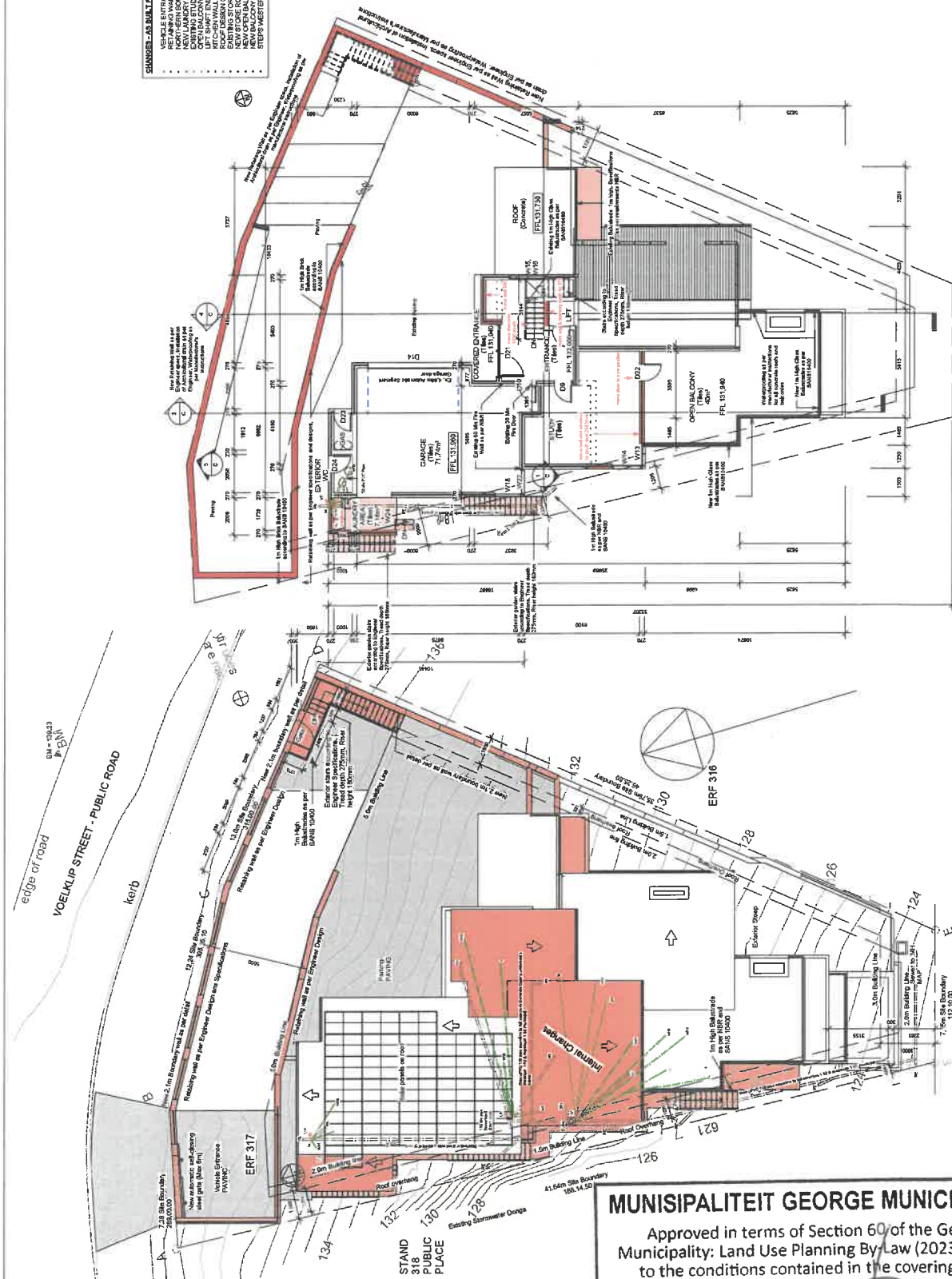
SA ARCHITECTURE
BUSINESS
COMMUNITY
RELIGIOUS

AS BUILT PLANS
FOR MR L SMIT &
P. ROUX ON ERF
317, HEROLDS
BAY, GEORGE

Site Plan & Second Floor

Project number	1
Date	06.02.2025
Driven by	Quintus Truter
Checked by	Salmon de Kock
	A
Scale	1 : 100

1 : 100



Second Floor 133020

② 2
1:100
Secan

MUNISIPALITEIT GEORGE MUNICIPALITY

Approved in terms of Section 60 of the George
Municipality: Land Use Planning By-Law (2023) subject
to the conditions contained in the covering letter.

DATE
DATUM

SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STATSBEPLANNING

MUNICIPALITEIT GEORGE MUNICIPALITY

Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the accompanying letter.

24/10/2025

SENIOR MANAGER: TOWN PLANNING
SENIOR BESTURDER: STATIS PLANNING

GENERAL NOTES TO BE OBSERVED BY ALL APPLICANTS

1. Concrete Foundations to Engineer's Design

2. Approved site plan and approved to be used for the purpose of the application

3. Approved drawings to be used for the purpose of the application

4. Approved drawings to be used for the purpose of the application

5. Approved drawings to be used for the purpose of the application

6. Approved drawings to be used for the purpose of the application

7. Approved drawings to be used for the purpose of the application

8. Approved drawings to be used for the purpose of the application

9. Approved drawings to be used for the purpose of the application

10. Approved drawings to be used for the purpose of the application

11. Approved drawings to be used for the purpose of the application

12. Approved drawings to be used for the purpose of the application

13. Approved drawings to be used for the purpose of the application

14. Approved drawings to be used for the purpose of the application

15. Approved drawings to be used for the purpose of the application

16. Approved drawings to be used for the purpose of the application

17. Approved drawings to be used for the purpose of the application

18. Approved drawings to be used for the purpose of the application

19. Approved drawings to be used for the purpose of the application

20. Approved drawings to be used for the purpose of the application

21. Approved drawings to be used for the purpose of the application

22. Approved drawings to be used for the purpose of the application

23. Approved drawings to be used for the purpose of the application

24. Approved drawings to be used for the purpose of the application

25. Approved drawings to be used for the purpose of the application

26. Approved drawings to be used for the purpose of the application

27. Approved drawings to be used for the purpose of the application

28. Approved drawings to be used for the purpose of the application

29. Approved drawings to be used for the purpose of the application

30. Approved drawings to be used for the purpose of the application

31. Approved drawings to be used for the purpose of the application

32. Approved drawings to be used for the purpose of the application

33. Approved drawings to be used for the purpose of the application

34. Approved drawings to be used for the purpose of the application

35. Approved drawings to be used for the purpose of the application

36. Approved drawings to be used for the purpose of the application

37. Approved drawings to be used for the purpose of the application

38. Approved drawings to be used for the purpose of the application

SA SARCHITECTURE
CONSULTING ENGINEERS
REGISTERED ENGINEERS
No. 25-1047

AS BUILT PLANS
FOR MR L SMIT &
P. ROUX ON ERF
317, HEROLDS
BAY, GEORGE

Roof Plan & Sections

Project number 1

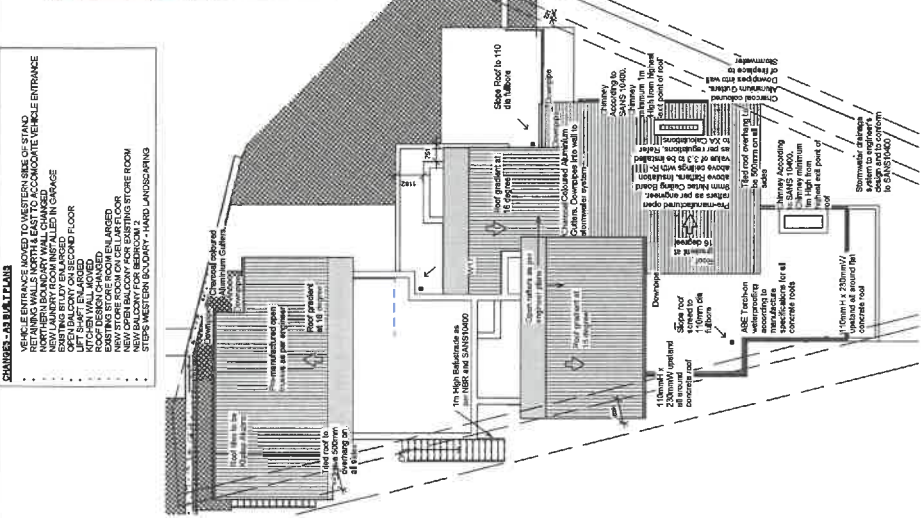
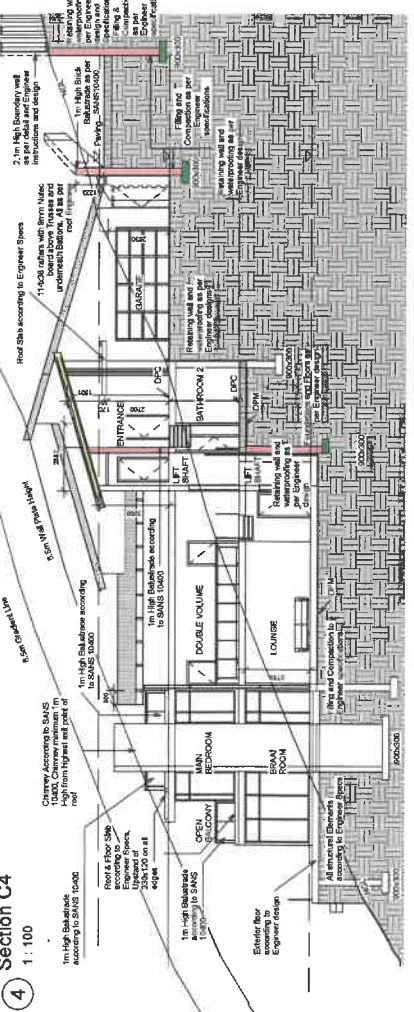
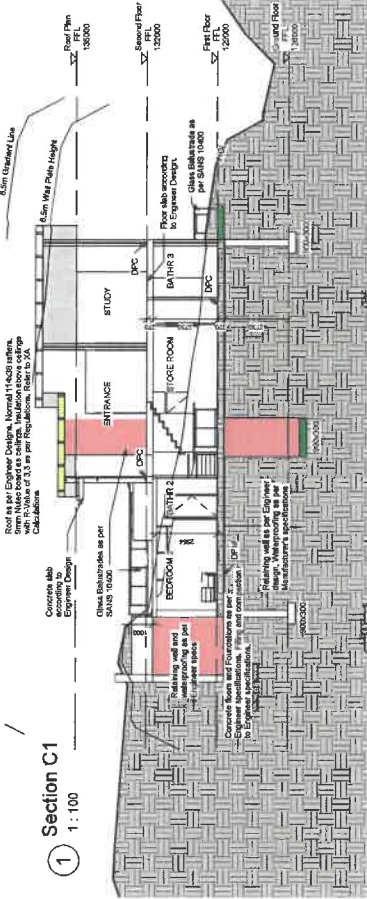
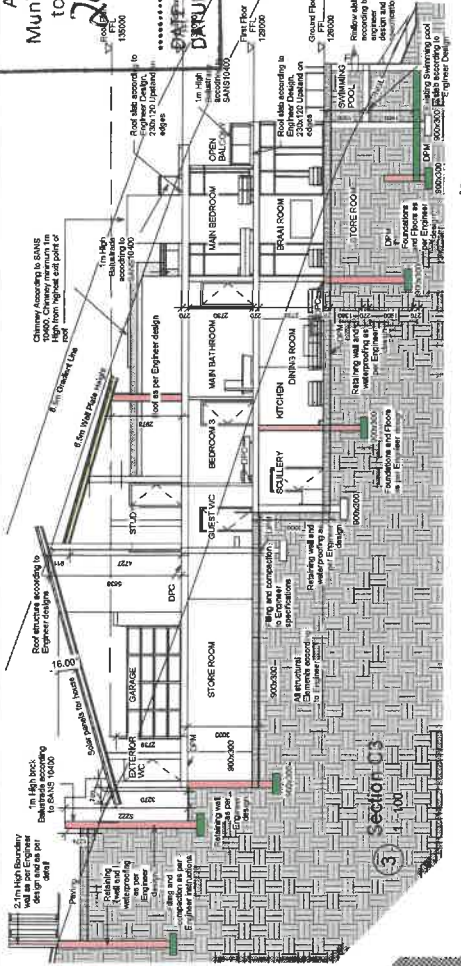
Date 06.02.2025

Drawn by Quintus Truter

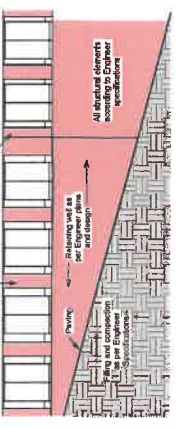
Checked by Salmon de Kock

C

Scale 1 : 100



Roof Plan (1:1000)



Section C5
1:100

