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**Beplanning en Ontwikkeling
Planning and Development**

Collaborator No.: 3717180
Reference / Verwysing: Erf 5031, George
Date / Datum: 31 October 2025
Enquiries / Navrae: Marisa Arries

JAN VROLIJK TOWN PLANNER
PO BOX 710
GEORGE
6530

Email: ianvrolijk@jvtownplanner.co.za

**APPLICATION FOR DEPARTURE (BUILDING LINE RELAXATION): ERF 5031, BULT STREET,
GEORGE**

Your application in the above regard refers.

The Senior Manager: Town Planning (Authorised Official) has, under delegated authority, 4.17.3.13 of 24 April 2025 decided that the application for Departure in terms of Section 15(2)(b) of the Land Use Planning By-law for George Municipality, 2023, for the relaxation of following building lines applicable to Erf 5031, George:

- a) Heuvel Street boundary building line from 4.0m to 0.800m to accommodate an existing carport;
- b) Bult Street boundary building line from 4.0m to 2.250 to accommodate an existing braai chimney;
- c) South-eastern side boundary building line from 2.0m to 1.0m to accommodate a section of the dwelling house;
and
- d) South-eastern side boundary building line from 2.0m to 0.0m to accommodate 2 x 5000 litre water tanks;

BE APPROVED in terms of Section 60 of the said By-law for the following reasons:

REASONS

- i. The proposed departure will not have an adverse impact on the surrounding residential character or the streetscape.
- ii. There will be no negative impact on surrounding neighbours' rights or amenity in terms of views, privacy or overshadowing.
- iii. The proposed addition forms part of residential development and can be accommodated within the property.
- iv. No negative comments or objections were received.

Subject to the following conditions imposed in terms of Section 66 of said By-law, namely:

CONDITIONS

- 1. That in terms of the provisions of the Land Use Planning By-law for the George Municipality 2023, the approval shall lapse if not implemented within a period of two (2) years from the date of when the approval comes into operation.
- 2. This approval shall be taken to cover only the departure application as applied for and as indicated on the site layout plan, drawing number: E5031, dated 2025.04.03, drawn by IConradie Architect attached as "Annexure A"



which bears Council's stamp and shall not be construed as to depart from any other Council requirements or legal provisions.

3. A contravention levy of R21 656.78 (VAT Included) is payable on the submission of building plans for the unauthorized structures erected over the building lines.
4. The above approval will be considered as implemented on the issuing of an occupation certificate in accordance with the approved building plan.

Notes:

- *As-built building plan must be submitted for approval in accordance with the National Building Regulations.*
- *Stormwater must be dispersed responsibly, and the stormwater management and erosion measures must be addressed on the building plans.*
- *Applicant to show all existing structures on site when submitting Building Plans for approval.*
- *The applicant to attend to the encroachments over the side boundary building lines onto Erf 5035, George. The latter to be indicated and addressed as part of the building plans.*
- *The applicant is to comply with the National Forestry Act, Act No 84 of 1998, should it be required.*
- *The contravention levy was calculated as follows:*
 - *Encroachments over the respective building lines = 75.44m²*
 - *Property value: R1 680 000 sqm = R2 496,29/m²*
 - *Contravention = 10% x R 2 496,29/m² x 75.44m² = R18 831,98 (VAT Excluded)*
 - *Plus VAT (15%) = R2 824,80*
 - *Total: R21 656,78 (VAT Included)*

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Human Settlements, Planning and Development, P O Box 19, George, 6530 or Directorate: Human Settlements, Planning and Development, 5th floor, Civic Centre, York Street, George **on or 21 NOVEMBER 2025** and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

Yours faithfully



C. PETERSEN

SENIOR MANAGER: TOWN PLANNING

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GENERAL NOTES:	
Existing walls on boundary to be retained.	
Excavation to be carried out to satisfaction of the sufficient owner's representative.	
No structure or any portion thereof shall be located within the proposed easement.	
Backfilling shall be done by approved contractor.	
Reinforcing goods to be inside property.	
Reinforcement net to be discharged on neighboring property.	
Existing wall, open slope, retaining wall, etc., to remain as per building plan.	
Excavation installation to comply with SANS 10409 Part 2.	
Sewerage fittings discharging to a drain to discharge per Part 4 of SANS 10409 (4.31).	
Drainage installations under the building work must be laid out in accordance with Part 9 of SANS 10409 (4.19.4).	
Drainage installations under the building work must be laid out in accordance with Part 9 of SANS 10409 (4.22).	
Excited drainage and sanitary fittings installation to be as indicated and as per approved drawings.	
Paving to remain open as per building plan.	
Retaining wall to remain open as per building plan.	

AREA OF EHF:	679,00m ²
% Coverage :	28.44%
GROUND LEVEL:	
House Area:	143,52m ²
Covered Stoop:	5.96m ²
New Addition (Garport):	41.83m ²
Total area:	191.41m ²

ANY DISCREPANCIES OR CONTRADICTIONS MUST IMMEDIATELY BE POINTED OUT TO THE TRUST CONRADE FOR CORRECTIONS OR EXPLANATIONS BE FORC ANY CONSTRUCTION PROCEEDS.



PROJECT DESCRIPTION:
PROPOSED
ADDITIONS ERF 5031,
GEORGE

DRAWING / S:
Building Line
Relaxation
Query

CLIENT SIGNATURE:	DATE: 2025.04.03	SCALE: 1:100
DRAWING NO: E 5031 SHEET 1		



FLOORPLAN LAYOUT Scale 1:100

2. ROOM & CLOSET A: 8.64m²

ERF 5034

Indicate the proposed location of
every doorway, staircase and other
feature on the plan.



2. ROOM & CLOSE

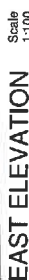
A: 8.64m²

Scale 1:100

Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

DATE
DATUM

SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STADSBEPLANNING



SPECIFICATIONS-TUBER-EXAMEN CONSTRUCTION

Roof construction:
Roof joists: 3" x 5" S&P
Roof sheathing: 1/2" OSB
Roof trusses: 2x6 S&P
Roof rafters: 2x6 S&P
Roof insulation: 12" R-19
Roof ventilation: 12" R-19
Roof waterproofing: 12" R-19
Roof flashing: 12" R-19
Roof gutters: 12" R-19
Roof downspouts: 12" R-19
Roof eaves: 12" R-19
Roof soffits: 12" R-19
Roof fascia: 12" R-19
Roof trim: 12" R-19
Roof nails: 12" R-19
Roof screws: 12" R-19
Roof bolts: 12" R-19
Roof washers: 12" R-19
Roof brackets: 12" R-19
Roof hangers: 12" R-19
Roof clips: 12" R-19
Roof ties: 12" R-19
Roof straps: 12" R-19
Roof anchors: 12" R-19
Roof fasteners: 12" R-19
Roof hardware: 12" R-19
Roof accessories: 12" R-19
Roof components: 12" R-19
Roof materials: 12" R-19
Roof products: 12" R-19
Roof supplies: 12" R-19
Roof tools: 12" R-19
Roof equipment: 12" R-19
Roof machinery: 12" R-19
Roof vehicles: 12" R-19
Roof structures: 12" R-19
Roof systems: 12" R-19
Roof assemblies: 12" R-19
Roof units: 12" R-19
Roof modules: 12" R-19
Roof sections: 12" R-19
Roof parts: 12" R-19
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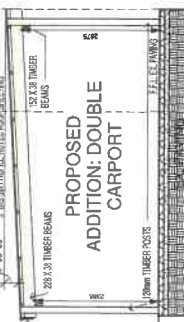
Structural Framing: The entire structure is supported by 120mm SA Pine timber posts cast in concrete foundations. Minimum head clearance of the structure: 2.88m. All timber used must be preservative treated in accordance with SANS 0005

Floor Construction:

Foundations: Foundations (20MPa) to be minimum 600mm under natural ground level, to solid base.

Paving and Rainwater Goods:
Paving to match existing, Rainwater

Windows and Doors:
Not applicable for this structure



SECTION A-A - SCALE 1:50