

Collaborator No.: 3613894
Reference / Verwysing: Erf 274, Pacaltsdorp
Date / Datum: 21 November 2025
Enquiries / Navrae: Primrose Nako

Email: planning@mdbplanning.co.za

Marlize De Bruyn Planning
P O Box 2359
GEORGE
6530

**APPLICATION FOR REZONING, SUBDIVISION AND PERMANENT DEPARTURE: ERF 274,
PACALTSDORP**

Your application in the above regard refers.

The Deputy Director: Development and Environmental Management (Authorised Official) has, under delegated authority, 4.17.1.17 of 24 April 2025 decided that the following applications applicable to Erf 274, Pacaltsdorp:

- Rezoning** in terms of Section 15(2)(a) of the Land Use Planning By-Law for George Municipality, 2023 of Erf 274, Pacaltsdorp from "Single Residential Zone I" to a "Subdivisional Area" to allow for a residential development comprising of the following:
 - 1x Transport Zone II (public street) erf;
 - 1x General Residential Zone IV (flats) erf (*with a density of ± 65 du/ha*);
- Subdivision** in terms of Section 15(2)(d) of the Land Use Planning By-Law for George Municipality, 2023 of the Subdivisional Area applicable to Erf 274, Pacaltsdorp into the following:
 - 1 x General Residential Zone IV portion;
 - 1x Transport Zone II portion;
- Permanent Departure**, in terms of Section 15(2)(b) of the Land Use Planning By-law for George Municipality, 2023 for the relaxation of parking ratio applicable to flats from "normal areas" (104 parking bays) to "PT1 areas" (78 parking bays);
- Permanent Departure**, in terms of Section 15(2)(b) of the Land Use Planning By-law for George Municipality, 2023 to allow for an increase in the combined entrance and exit way from 8m to 10m;

BE APPROVED in terms of Section 60 of the said By-Law for the following reasons:

REASONS FOR DECISION:

- The application, in the context of necessity for residential densification, will not have a negative impact on the surrounding built environment, traffic movement and neighbours' rights and amenities in terms of views, privacy and overshadowing.

- (ii) The proposal is seen as an ideal infill affordable housing project that will contribute to the optimal utilisation of existing infrastructure services in the area.
- (iii) The proposed development supports the optimisation of available infrastructure, improving the functionality of public transport facilities, proximity to certain amenities and raising densities from the current norm in the area, but remains reconcilable with the existing character of the area.
- (iv) The proposal was not opposed and from this perspective it can be derived that it does not negatively affect public interest.

Subject to the following conditions imposed in terms of Section 66 of the said By-Law, namely:

CONDITIONS OF THE DIRECTORATE: PLANNING AND DEVELOPMENT:

1. In terms of the Land Use Planning By-law for George Municipality, 2023, the above approvals shall lapse if not implemented within a period of five (5) years from the date it comes in operation.
2. This approval shall be taken to cover only the rezoning, subdivision, and departure application as applied for and indicated on the Site Plan No. P001/Rev 8 dated 23 July 2025 drawn by MSMITH Architectural Group, attached as “**Annexure A**” and Subdivision Plan No. 274Subd_591G24 dated March 2025, attached as “**Annexure B**”, which bears Council’s stamp and shall not be construed as to depart from any other Council requirements or legal provisions.
3. The height of the development is limited to two storeys (8.5m to top of roof).
4. A site development plan (SDP) must be submitted to the satisfaction of the Directorate: Planning and Development, for the development in accordance with the provisions of Section 23 of the George Zoning Scheme By-Law, 2023 and the conditions of approval, prior to submission of building plans.
5. A separate Landscaping Plan must be submitted with the SDP to the satisfaction of the Directorate for consideration and approval. The plan shall indicate all hard and soft landscaping elements to be incorporated into the development, including the indigenous vegetation and trees that will be planted within the development. Indigenous trees should be planted along the public road. The George Municipality tree list should be consulted to select suitable species, and approval from Community Services in respect of trees in the street reserve should be obtained. Landscape-based screening and beautification to be incorporated on the street reserve and outside perimeter of the development, to enhance the streetscape.
6. One 200-litre tree for every flat must be planted. These trees should be additional to the trees replacing removed trees on site (as a result of the parking area created) and must serve as cooling of hardened surfaces. The trees must be evenly spaced on the property and not clustered in one space. The landscape plan must indicate trees to be removed, replaced, and additionally planted.
7. The public street portions should be transferred to the George Municipality at the developer’s cost to the satisfaction of the Department: Civil Engineering Services prior to the registration of the Sectional Title Register at the Deeds Office.
8. The approval shall be deemed implemented upon the confirmation of the subdivision in terms of Section 21(2) of the said By-law.

Notes:

- (i) *Building plans must be submitted for approval in accordance with the National Building Regulations.*
- (ii) *Stormwater management needs to be addressed to the satisfaction of the Civil Engineering Department as part of the SDP and Building Plans.*
- (iii) *Provisions for the removal of solid waste is to be addressed in conjunction with the Directorate: Community Services.*
- (iv) *The developer is to adhere to the requirements of all relevant Acts, as well as all conditions stipulated by any other authority whose approval is required and obtained for this proposed development.*
- (v) *No construction may be commenced with until such time as a building plan has been approved.*
- (vi) *The property may only be used for the intended purpose once a Certificate of Occupation has been issued.*
- (vii) *All private open spaces within the proposed development shall be designed to contribute meaningfully to urban greening and biodiversity enhancement. This must include the integration of indigenous and water-wise vegetation.*

- (viii) *Should any heritage resources, including evidence of graves and human burials, archaeological material and paleontological material be discovered during the execution of the activities above, all works must be stopped immediately, and Heritage Western Cape must be notified without delay.*
- (ix) *The recommendations of the TIA must be illustrated on the SDP and building plans.*
- (x) *The use of impermeable paving should be minimized, with permeable surfaces such as gravel, stone, or permeable pavers strongly encouraged to promote surface water infiltration and reduce runoff.*
- (xi) *The inclusion of rain gardens and bioswales is recommended to further increase stormwater management by allowing water to naturally infiltrate into the ground.*
- (xii) *Landscaping should also aim to improve the aesthetics of the area.*
- (xiii) *An acceptable facade along the street boundaries is to be illustrated.*
- (xiv) *A Geotechnical Study to be conducted should it be required by the project engineers.*

CONDITIONS OF THE DIRECTORATE: CIVIL ENGINEERING SERVICES

9. The conditions imposed by the Directorate Civil Engineering Services are attached as “*Annexure C*” dated 27 May 2025, shall be adhered to.
10. As stipulated in the attached conditions imposed by the Directorate Civil Engineering Services, the amount of Development Charges (DCs) to be paid by the developer is calculated in terms of the George Municipality Land Use Planning By-Law (as amended) and the approved DC Guidelines. With reference hereto, with regards to the proposed development, the developer will be required to make a development contribution, as indicated below.
11. The amounts of the Development Charges are reflected on the attached calculation sheet dated 27 May 2025 and are as follows:

Roads:	R 445 231,36	Excluding VAT
Sewer:	R 637 084,00	Excluding VAT
Water:	R 740 553,33	Excluding VAT
Total:	R1 822 868,69	Excluding VAT
12. The total amount of the development charges of R1 822 868,69 (excluding VAT) shall be paid prior to the first transfer of a land unit pursuant to the application or upon the approval of building plans, whichever occurs first, unless otherwise provided in an engineering services agreement or, in the case of a phased development, in these or any other relevant conditions of approval.
13. Any amendments or additions to the proposed development, which is not contained within the calculation sheet, which may lead to an increase in the proportional contribution to municipal public expenditure, will result in the recalculation of the development charges and the amendment of these conditions of approval or the imposition of other relevant conditions of approval.

CONDITIONS FOR THE DIRECTORATE: ELECTRO-TECHNICAL SERVICES

14. The conditions imposed by the Directorate Electro-Technical Services are attached as “*Annexure D*” dated 8 May 2025, shall be adhered to.
15. As stipulated in the attached conditions imposed by the Directorate Electro-technical Services, the amount of Development Charges (DCs) to be paid by the developer is calculated in terms of the George Municipality Land Use Planning By-Law (as amended) and the approved DC Guidelines. With reference hereto, with regards to the proposed development, the developer will be required to make a development contribution, as indicated below.
16. The amount of the development contribution is reflected on the attached calculation sheet dated 8 May 2025 and is as follows:

Electricity:	R 669 533,03	Excluding VAT
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17. The total amount of the development charges of **R 669 533,03** (Excluding VAT) shall be paid prior to the first transfer of a land unit pursuant to the application or upon the approval of building plans, whichever occurs first, unless otherwise provided in an engineering services agreement or, in the case of a phased development, in these or any other relevant conditions of approval.
18. Any amendments or additions to the approved development parameters which might lead to an increase in the proportional contribution to municipal public expenditure will result in the recalculation of the development charges and the amendment of these conditions of approval or the imposition of other relevant conditions of approval

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Planning and Development, P O Box 19, George, 6530 or Directorate: Planning and Development, 46 Market Street (Old York Hostel Building), George **on or before 12 DECEMBER 2025**, and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

Yours faithfully



C PETERSEN
SENIOR MANAGER: TOWN PLANNING

C:\scan\Erf 274, Pacaltsdorp (Rezoning, Subdivision & Permanent Departure Approval) M de Bruyn.docx

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SOUTH AFRICAN COUNCIL FOR THE ARCHITECTURAL PROFESSION
 MARIUS SMITH Pr.Snr.Arch.T - ST0609

AREA SCHEDULE:

- UNIT AREA 62,92m²
- UNIT COVERED ENTRANCE 3,76m²
- STORAGE / BLOCK 5,75m²
- TOTAL AREA PER BLOCK 272,47m²
- TOTAL AREA (13 BLOCKS) 3 542,11m²
- ERF AREA 8 003m²
- 22,60% COVERAGE (1 808,56m²)
- 935m² - PUBLIC OPEN SPACE (11,68%)

PARKING SCHEDULE:

- 52 UNITS (1,5 PARKING BAYS PER UNIT)
- 78 - MIN PARKING REQUIRED
- 85 - PARKING PROVIDED

MUNICIPALITEIT GEORGE MUNICIPALITY

Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

Signature

DATE DATUM

SENIOR MANAGER: TOWN PLANNING

SENIOR BEHULDER: STADSPLEANNING

OFFICIAL USE

M SMITH ARCHITECTURAL GROUP

PASSION TO CREATE

UNIT 2 FAIRVIEW OFFICE PARK
 1st STREET EASTERN EXT.
 GEORGE
 GARDEN ROUTE

Cell: 082 640 2544
 info@msmith.co.za
 www.msmith.co.za

SACAP REG. NO.: ST0609

PROPOSAL FOR KIRON PROJECTS ON ERF 274 PACALTSDORP GEORGE

SDP

SCALE **1:500**

DRAWING NUMBER **P001**

DATE PRINT ISSUED: **2025/07/23**

PROJECT NUMBER

REVISION **8**

DRAWN **H DU PREEZ**

CHECKED

APPROVED BY CLIENT

SIGNATURE:



SITE DEVELOPMENT PLAN
Scale 1:500 (on A3 Sheet)

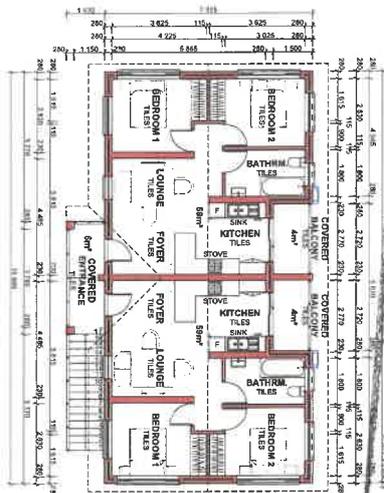
OFFICIAL USE

MUNICIPALITEIT GEORGE MUNICIPALITY

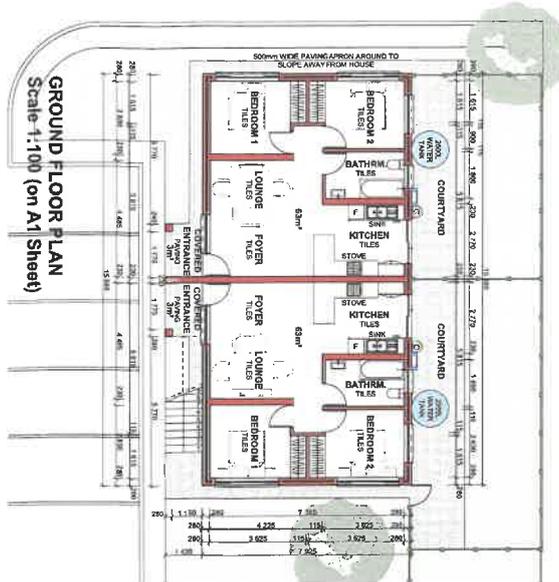
Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

DATE: 21/11/2025
 SENIOR MANAGER: TOWN PLANNING
 SENIOR BESTUURERS: STANSSEFF PLANNING

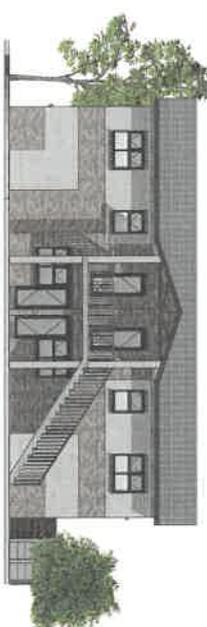
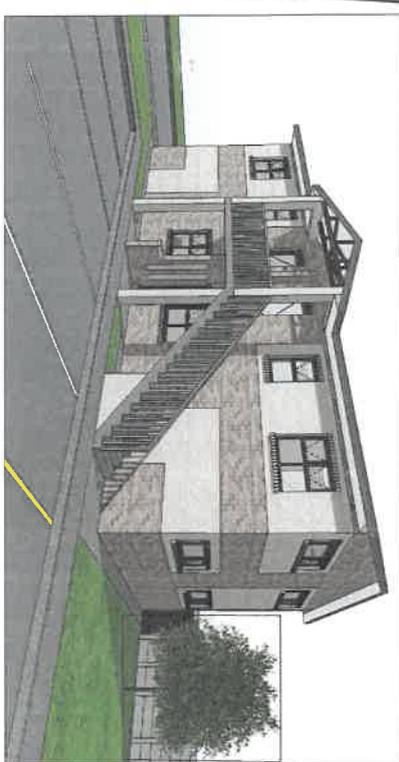
Handwritten signature and stamp of the Senior Manager of Town Planning.



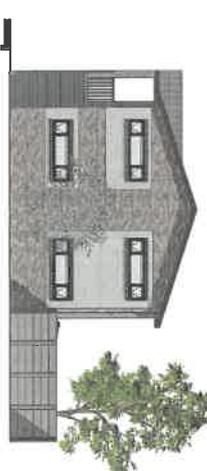
FIRST FLOOR PLAN
Scale 1:100 (on A1 Sheet)



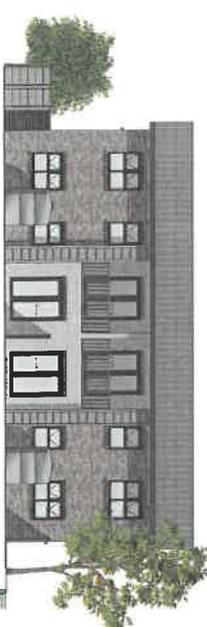
GROUND FLOOR PLAN
Scale 1:100 (on A1 Sheet)



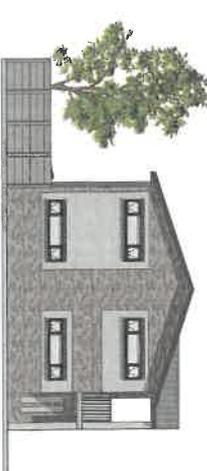
FRONT ELEVATION
Scale 1:100 (on A1 Sheet)



RIGHT ELEVATION
Scale 1:100 (on A1 Sheet)



REAR ELEVATION
Scale 1:100 (on A1 Sheet)



LEFT ELEVATION
Scale 1:100 (on A1 Sheet)

CONTRACTOR'S OBLIGATION TO NOTIFY NEIGHBOURS
 Contractors are required to notify neighbours of the proposed construction work. The contractor must provide written notice to all adjacent property owners and occupiers at least 14 days before the start of construction. The notice must include details of the proposed work, the location of the site, and the expected duration of the work. Neighbours should be encouraged to provide input on any potential concerns or objections. The contractor must address any concerns raised by neighbours in a timely and professional manner. Failure to comply with these requirements may result in the contractor being liable for any damages or costs incurred by neighbours as a result of the construction work.



SCAN TO SEE VIDEO OR CLICK HERE

Copyright (Open) Plans of Rights reserved under the Building Act. Structural drawings are a fully developed set of drawings for the proposed building. The drawings are intended for use by the contractor and are not to be used for any other purpose. The contractor is responsible for ensuring that the drawings are used in accordance with the relevant building codes and standards. The contractor must ensure that the drawings are used in accordance with the relevant building codes and standards. The contractor must ensure that the drawings are used in accordance with the relevant building codes and standards. The contractor must ensure that the drawings are used in accordance with the relevant building codes and standards.

REVISIONS

No.	Date	Description

MSMITH ARCHITECTURAL GROUP
 P A S S I O N T O C R E A T E
 UNIT 2 FAIRVIEW OFFICE PARK
 141 STREET EASTERN EXE.
 GARDEN ROUTE
 GEORGE
 Call: 082 640 2444
 info@msmith.co.za
 www.msmith.co.za

PROPOSAL FOR KIRON PROJECTS ON ERF 274 PACALTSDORP GEORGE

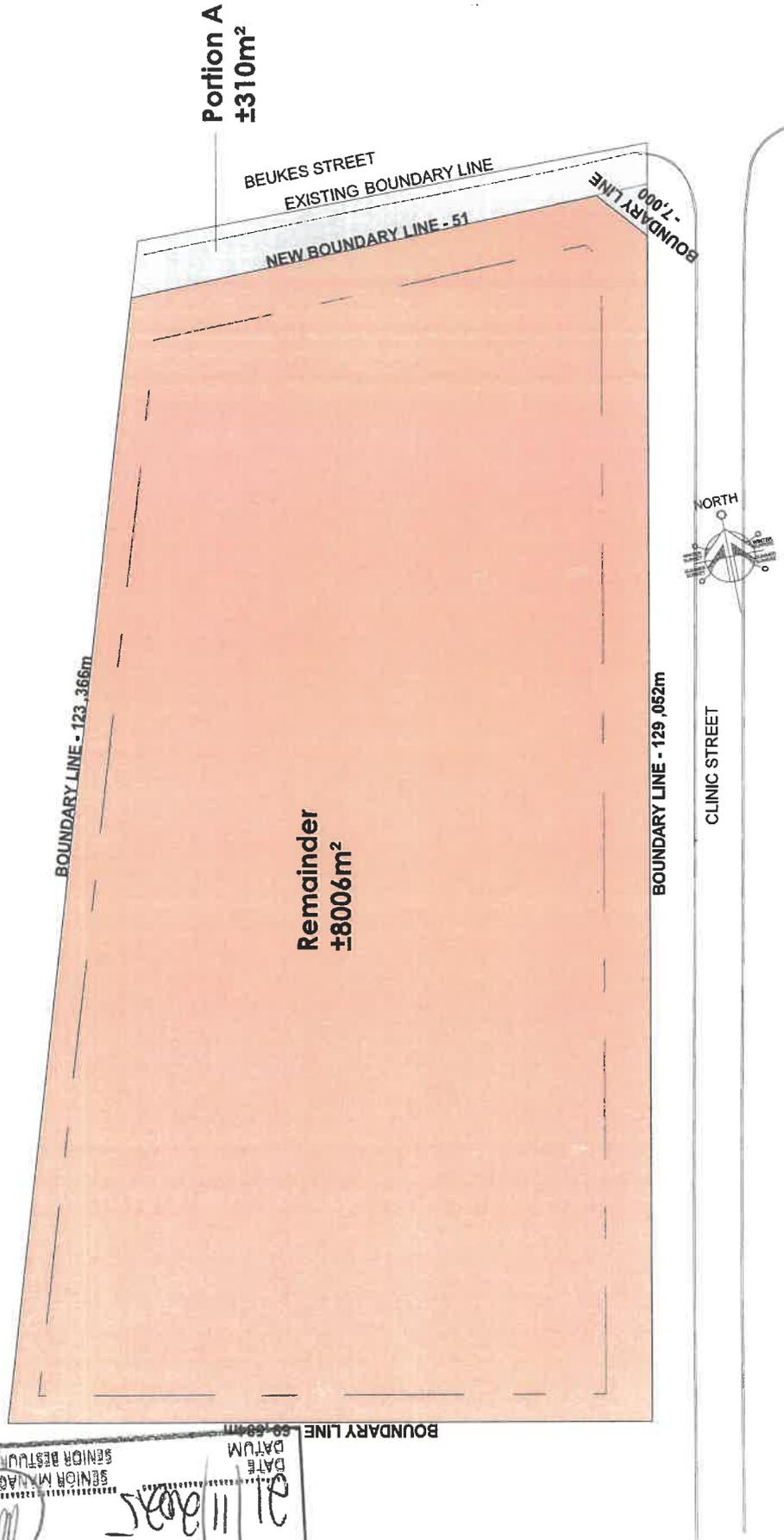
GROUND FLOOR PLAN, FIRST FLOOR PLAN, ELEVATIONS

SCALE	NO. OF SHEETS	TOTAL SHEETS
1:100	8	8
P002	8	8
DRAWN BY:	SALEM	CHECKED:
DATE:	2025/07/23	APPROVED:
PROJECT NO:	HDUPREZ	DATE:

MSMITH ARCHITECTURAL GROUP
 141 STREET EASTERN EXE. GARDEN ROUTE GEORGE

**SUBDIVISION PLAN FOR THE PROPOSED DEVELOPMENT OF ERF 274 PACALISDORP,
GEORGE MUNICIPALITY & DIVISION**

MUNISIPALITEIT GEORGE MUNICIPALITY
 Approved in terms of Section 60 of the George
 Municipality: Land Use Planning By-Law (2023) subject
 to the conditions contained in the covering letter.
 21/11/2025
 SENIOR MANAGER: TOWN PLANNING
 SENIOR ASSISTANT: STATISTICAL PLANNING
 DATE: 21/11/2025
 DATUM: 59-594m



Subdivision of the Subdivisional Area in terms of Section 15(2)(d) of the George Municipality: Land Use Planning

Annexure 6
 Plan no: 274Subd_591G24
 Drawn: CE
 Date: March 2025

- By-law (2023) into:
- Portion A (±310m²) - Transport Zone II (public street);
 - Remainder (±8006m²) – General Residential Zone IV (flats) – 52 flats.

For Internal information use only (Not to publish)



Erf Number *	274
Allotment area *	Pacaltsdorp
Water & Sewer System *	George System
Road network *	Pacaltsdorp
Developer/Owner *	Kiron Projects Pty Ltd
Erf Size (ha) *	8 316,00
Date (YYYY/MM/DD) *	2025-05-27
Current Financial Year	2024/2025
Collaborator Application Reference	3613894

Application: **Rezoning, Subdivision & Departure**

Service applicable	Description
Roads	Service available, access via Beukes / Clinic Street (Subject to the Road master plan & access approval)
Sewer	Service available (Subject to the Sewer Master Plan, WWTW treatment & network capacity)
Water	Service available (Subject to the Water Master Plan, WTW treatment & network capacity)

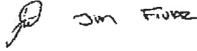
Conditions
General conditions

- The amount of Development Charges (DCs) to be paid by the developer are calculated in terms of the George Municipality Land Use Planning By-Law (as amended) and the approved DC Guidelines. With reference to clause above, with regards to the proposed development, the developer will be required to make development contribution, as follows:
 - The amounts of the development charges are reflected on the attached calculation sheet dated 27/05/2025 and are as follows:

Roads:	R	445 231,36	Excluding VAT (Refer to attached DC calculation sheet)
Sewer:	R	637 084,00	Excluding VAT (Refer to attached DC calculation sheet)
Water:	R	740 553,33	Excluding VAT (Refer to attached DC calculation sheet)
Total	R	1 822 868,69	Total Excluding VAT
 - The total amount of the development charges of R1 822 868,69 shall be paid prior to the first transfer of a land unit pursuant to the application or upon the approval of building plans, whichever occurs first, unless otherwise provided in an engineering services agreement or, in the case of a phased development, in these or any other relevant conditions of approval.
 - Any amendments or additions to the proposed development which is not contained within the calculation sheet as dated in clause 2 above, which might lead to an increase in the proportional contribution to municipal public expenditure, will result in the recalculation of the development charges and the amendment of these conditions of approval or the imposition of other relevant conditions of approval
- Note: The Development Charges indicated above are based on the information available to the respective engineering departments at the time of approval. It is advised that the owners consult with these departments prior to submission of the subdivision plan to ascertain what information they require to provide a more accurate calculation.*
- As provided in section 66(5B)(b) of the Planning By-Law (as amended), using the date of approval as the base month the amount of R1 822 868,69 shall be adjusted in line with the consumer price index published by Statistic South Africa up to the date when payment is made in terms of paragraph 3 above.
 - Development charges are to be paid to the Municipality in cash or by electronic funds transfer or such other method of payment as may be accepted by the Municipality at the time when payment is made.
 - All services -internal, link and relocation of or upgrades to existing - are to be designed by a registered consulting engineer in accordance with Council specifications. This may include bulk services outside the development area but that must be upgraded to specifically cater for the development. All drawings and plans are to be submitted to the applicable department, or any other relevant authority, (hard copy and electronically) for approval prior to any construction work taking place. All work is to be carried out by a suitable qualified/registered contractor under the supervision of the consulting engineer who is to provide the relevant authority with a certificate of completion, and as-built plans in electronic format. All costs will be for the developer. No transfers will be approved before all the municipal services have been satisfactorily installed and as-builts submitted electronically as well as the surveyor's plan.
 - Any, and all, costs directly related to the development remain the developers' responsibility.
 - Only one connection permitted per registered erf (water and sewer connections). Condition 7 applies.
 - Any services from the development that must be accommodated across another erf must be negotiated between the developer and the owner of the relevant erf. Any costs resulting from the accommodation of such services or the incorporation of these services into the network of another development are to be determined by the developer and the owner of the other erf. (condition 7 applicable)

- 11 Any service from another erf that must be accommodated across the development or incorporated into the services of the development: all negotiations will be between the owner/developer of the relevant erf and the developer. Costs for the accommodation of these services or the upgrade of the developments services to incorporate such services are to be determined by the developers/owners concerned. (condition 7 applicable)
- 12 Any existing municipal or private service damaged during the development will be repaired at the developers cost and to the satisfaction of the George Municipality. (condition 7 applicable)
- 13 Note, the developer is to adhere to the requirements of the Environmental Authorisation (EA). The onus is on the developer to provide the Dir: CES with the necessary proof of compliance with the EA.
- 14 Suitable servitudes must be registered for any municipal service not positioned within the normal building lines.
- 15 Note, the applicant is to comply with the National Forestry Act, Act No 84 of 1998, should it be required.
- 16 Note, provisions for the removal of solid waste is to be addressed in conjunction with the Dir: Environmental Services.
- 17 Note, the developer is to adhere to the requirements of all relevant Acts, as well as all conditions stipulated by any other authority whose approval is required and obtained for this proposed development.
- 18 A home owners' association/body corporate (as applicable) is/are to be established incorporating all erven within any security development / private and /or access-controlled developments. All internal services (water, sewer, private roads including the associated stormwater and private open spaces within the development will be transferred by the developer to this / these home owners' association/s who will assume responsibility for the maintenance thereof.
- 19 The association shall see to it that the officials and contractors of the Municipality shall at all times have access to any portion of the development that may otherwise not be generally accessible to the general public due to security measures, including guarded entrances, electronic gates or booms. For the avoidance of doubt, it is agreed that this requirement relates to the Municipality's emergency services, entry for normal maintenance and replacement, meter reading and inspection and refuse removal. If access to the development is denied to the Municipality or a contractor appointed by the Municipality, the developer and the association will jointly and severally be liable for the full cost of the municipal infrastructure repairs and any damages the Municipality may suffer as a result thereof and will be billed for any water losses or loss in electrical sales from the system.
- 20 Transfers, building plan approvals and occupation certificates may be withheld if any sums of money owing to the George Municipality are not paid in full, or if any services have not been completed to the satisfaction of the Dir: CES & ETS, or any condition of any authority has not been satisfactorily complied with.
- 21 The Developer is responsible to obtain the necessary approval / way leaves from third parties which include, but is not limited to the George Municipality, Telkom & Fibre optic service provider.
- 22 No construction activity may take place until all approvals, including way leave approval, are in place, all drawings and material have been approved by the Technical Directorates.
- 23 Municipal water is provided for potable use only. No irrigation water will be provided.
- 24 A water meter must be installed by the developer prior to construction to monitor water usage during the construction phase. The Dir: CES (Water section) is to be consulted by the developer, prior to installation, regarding the required specifications. Failure to complying with the water meter application process, will result in the developer being responsible for payment of penalties and/or an estimated non-metered water consumption by this department at a rate as per the applicable annual Tariff List. In this regard, transfers, building plan approval and occupation certificates may be withheld if any sums of money owing to the George Municipality are not paid in full. The water meter is to be removed on completion of construction if so required by the Dir: CES.
- 25 The development, in its entirety or in phases, is subject to confirmation by the Dir. CES of the availability of Water and Sanitation bulk treatment capacity at the time of the development implementation, or if developed in phases before the commencement of each phase. A development/implementation program is to be provided by the Developer when requesting confirmation of this capacity from the Dir. CES. If the Developer does not adhere to the program the Dir. CES will be entitled to revise the availability of such bulk capacity
- 26 The private roads and the associated stormwater and private open spaces are to be registered as private and transferred to the HOA/BC, or other relevant governing or controlling body. Public roads must be transferred to the George Municipality.
- 27 The developer is to have a Traffic Impact Assessment (TIA) conducted by a registered traffic engineer. The terms of reference of the TIA are to be finalised with the Dir. CES Services together with any other approving authority, who must also approve the TIA. All recommendations stipulated in the TIS report and as approved by the relevant authority, are to be implemented by the developer and prior to any transfer being approved or an occupation certificate being issued. All costs involved will be for the developer.
- 28 Maintenance and/or upgrading of all private / servitude roads are the responsibility of all the owners who make use thereof.
- 29 The discharge of surface stormwater is to be addressed by the developer. Condition 7 applies. All related costs are for the developer. The developer is to consult with the Dir: CES to ensure that stormwater planning is done on line with the available stormwater master plans.
- 30 Internal parking requirements (ie within the development area), position of accesses, provision for pedestrians and non-motorised transport, and other issues related to traffic must be addressed and all measures indicated on plans and drawings submitted for approval.
- 31 Adequate parking with a hardened surface must be provided on the premises of the proposed development.
- 32 No private parking will be allowed in the road reserve. The developer will be required at own cost to install preventative measures to insure compliance.
- 33 A dimensioned layout plan indicating the proposed accesses onto private / servitude roads, must be submitted to the relevant departments for approval. Condition 7 applies.
- 34 The approval of the layout of the development and accesses is subject to the George Roads Master Plan and approved by the Dir: CES. A site development plan is to be submitted to the Dir: CES, or any other relevant authority for approval prior to any construction work taking place.

- 35 Should it be required, the developer is to cede any portion of property required for public road reserve, free of charge, to the relevant authority.
- 36 Permission for access onto municipal, provincial or national roads must be obtained from the relevant authorities.
- 37 Access to parking must conform to George Integrated Zoning Scheme 2023, and sufficient stacking distance (6m for less than 15 units and 12 meter for more than 15 units, measured form the property boundary) should be allowed for, and indicated on the Site development Plan.
- 38 Minimum required off-street parking provided, must be provided in terms of the George Integrated Zoning Scheme 2023 parking requirements and vehicles must readily leave the site without reversing across the sidewalk. Alternative Parking may be supplied.
- 39 Parking must be provided in accordance with the George Integrated Zoning Scheme, 2023. PT1 shall apply and will be supported for this
- 40 Site access to conform to the George Integrated Zoning Scheme 2023.

 Jim Furrer

Singed on behalf of Dept: CES

27 May 25



GM 2023 Development Charges policy



GM 2023 Integrated Zoning Scheme By-law



GM 2024/25 Tariffs



Civil Engineering Service



Electro-Technical Service

Erf Number * 274
 Allotment area * Pacaltsdorp
 Water & Sewer System * George System
 Road network * Pacaltsdorp
 Developer/Owner * Kiron Projects Pty Ltd
 Erf Size (ha) * 8 316,00
 Date (YYYY/MM/DD) * 2025-05-27
 Current Financial Year 2024/2025
 Collaborator Application Reference 3613694

Code	Land Use	Unit	Total Existing Right	Total New Right
RESIDENTIAL				
	Residential housing (>2 000m ²) Erf	Unit	1	
	Group Housing (200 - 267 m ²) Unit	unit		52

Is the development located within Public Transport (PT1) zone? Please select **Yes**

Service	Units	Additional Demand	Unit Cost	Amount	VAT	Total
	trips/day	181,45	R 2 331,05	R 422 969,79	R 63 445,47	R 486 415,26
	trips/day	9,55	R 2 331,05	R 22 261,57	R 3 339,24	R 25 600,80
	k/day	14,23	R 44 760,00	R 637 084,00	R 95 562,60	R 732 646,60
	k/day	16,33	R 45 340,00	R 740 553,33	R 111 083,00	R 851 636,33
Total bulk engineering services component of Development Charge payable				R 1 822 868,69	R 273 430,30	R 2 096 298,99

Link engineering services component of Development Charge
Total Development Charge Payable

City of George
 Calculated (CES): **JIM FIVAZ**
 Signature: _____ Date: **May 27, 2025**

NOTES:
 1. In relation to the increase pursuant to section 66(5B)(b) of the Planning By-Law (as amended) in line with the consumer price index published by Statistic South Africa) using the date of approval as the base month
 2. Please note the calculation above only surmise as a pro-forma calculation. Once confirmation of the calculation is revised can a VAT invoice be requested from the Municipal Financial department. In this regard you can contact Werner Joubert on email at wjoubert@george.gov.za or telephone on 044 801 1333

Departmental Notes:
 For the internal use of Finance only

Service	Financial code/Key number	Total
Roads	20220703048977	R 486 415,26
Public Transport		R 25 600,80
Sewerage	20220703048978	R 732 646,60
Water	20220703048981	R 851 636,33
		R 2 096 298,99



Erf Number * 274
 Allotment area * Pacaltsdorp
 Elec DCs Area/Region * George Network
 Elec Link Network * MV/LV
 Elec Development Type * Normal
 Developer/Owner * Kiron Projects (Pty) Ltd
 Erf Size (ha) * 0,8
 Date (YYYY/MM/DD) * 08 05 2025
 Current Financial Year 2024/2025
 Collaborator Application Reference 3613894

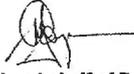
Application: Development Charges

Comments: 0

Service applicable	Description
Electricity	Service available (Subject to the Electrical master plan approval)

Conditions	
General conditions	
1	The amount of Development Charges (DCs) to be paid by the developer are calculated in terms of the George Municipality Land Use Planning By-Law (as amended) and the approved DC Guidelines. With reference to clause above, with regards to the proposed development, the developer will be required to make development contribution, as follows:
2	The amounts of the development contributions are reflected on the attached calculation sheet dated 08/05/2025 and are as follows: Electricity: R 669 533,03 Excluding VAT
3	The total amount of the development charges of R669 533, Excluding VAT shall be paid prior to the first transfer of a land unit pursuant to the application or upon the approval of building plans, whichever occurs first, unless otherwise provided in an engineering services agreement or, in the case of a phased development, in these or any other relevant conditions of approval.
4	Any amendments or additions to the approved development parameters which might lead to an increase in the proportional contribution to municipal public expenditure will result in the recalculation of the development charges and the amendment of these conditions of approval or the imposition of other relevant conditions of approval.
5	As provided in section 66(5B)(b) of the Planning By-Law (as amended), using the date of approval as the base month the amount of R669 533, Excluding VAT shall be adjusted in line with the consumer price index published by Statistic South Africa up to the date when payment is made in terms of paragraph 3 above.
6	Development charges are to be paid to the Municipality in cash or by electronic funds transfer or such other method of payment as may be accepted by the Municipality at the time when payment is made.
7	All services -internal, link and relocation of or upgrades to existing - are to be designed by a registered consulting engineer in accordance with
8	Consent use approval with regards to Guest houses, School or Hotels are subject to the submission and approval of building plans, which shall include a detailed Site Development Plan (SDP), indicating proposed land use changes to the erf/erven. The SDP should, but not limited to, address all internal parking requirements (ie within the development area) , position of accesses, provision for pedestrians and non-motorised transport, and other issues related to traffic.
9	Should more than two developments/properties be party to or share any service, the Dir: CES & ETS will in conjunction with the parties determine the pro-rata contributions payable.
10	Any, and all, costs directly related to the development remain the developers' responsibility.
11	Only one connection permitted per registered erf (Electrical, water and sewer connections). Condition 7 applies.
12	Any existing municipal or private service damaged during the development will be repaired at the developers cost and to the satisfaction of the George Municipality. (condition 7 applicable)
13	No development may take place within the 1:100 year flood line or on slopes steeper than 1:4.
14	Should it be required, a services agreement is to be drawn up between the developer and the George Municipality, by an attorney acceptable to the Municipal Manager. All expenses will be for the developer.
15	The developer is to adhere to the requirements of the Environmental Authorisation (EA). The onus is on the developer to provide the Dir: CES with the necessary proof of compliance with the EA.
16	Suitable servitudes must be registered for any municipal service not positioned within the normal building lines. Servitudes must be registered for all electrical services traversing erven.
17	The applicant is to comply with the National Forestry Act, Act No 84 of 1998, should it be required.
18	Provisions for the removal of solid waste is to be addressed in conjunction with the Dir: Environmental Services.
19	The developer is to adhere to the requirements of all relevant Acts, as well as all conditions stipulated by any other authority whose approval is required and obtained for this proposed development.
20	Transfers, building plan approvals and occupation certificates may be withheld if any sums of money owing to the George Municipality are not paid in full, or if any services have not been completed to the satisfaction of the Dir: CES & ETS, or any condition of any authority has not been satisfactorily complied with.
21	The Developer is responsible to obtain the necessary approval / way leaves from third parties which include, but is not limited to the George Municipality, Telkom & Fibre optic service provider.
22	No construction activity may take place until all approvals, including way leave approval, are in place, all drawings and material have been approved by the Technical Directorates.

Electro Technical	
23	In all cases, where individual customer apply for a supply capacity exceeding that provided for in the calculation of DCs and for the developer paid, will be subject to additional DCs based on the rates applicable at the time.
24	Owner to ensure compliance with Regulation XA of SANS 10400 (building plans).
25	Owner to ensure compliance with Regulation XA of SANS 10142 (wiring) and any other applicable national standards.
26	The developer and/or an owner of an erf shall see to it that no Small Scale Embedded Generation (SSEG) are installed on an erf, any portion of an erf or the development, without prior approval from the ETS. Should any SSEG be installed within any part of the development the Electrotechnical Services will within their discretion either implement applicable penalties and/or disconnect the relevant point of supply.
27	Where DCs have been applied for a particular section of the network, but the developer is requested to install and fund a part of the section of network, such work will be credited against DCs calculated.
28	Installation of ripple relays are compulsory for all geysers with electrical elements.
29	All municipal supply points must be subject to standard DC charges. These charges to be included in the project costs of the project.
30	All LV work must be installed and be funded by the developer / customer.



Singed on behalf of Dept: ETS

08 May 25



Erf Number
Allotment area
Elec DCs Area/Region
Elec Link Network
Elec Development Type
Developer/Owner
Erf Size (ha)
Date (YYYY/MM/DD)
Current Financial Year
Collaborator Application Reference

Erf Number	274
Allotment area	Pacaltsdorp
Elec DCs Area/Region	George Network
Elec Link Network	MV/LV
Elec Development Type	Normal
Developer/Owner	Kiron Projects (Pty) Ltd
Erf Size (ha)	0,8
Date (YYYY/MM/DD)	2025-05-08
Current Financial Year	2024/2025
Collaborator Application Reference	3613894

Code	Land Use	Unit	Total Existing Right		Total New Right	
			Units	kVA	Units	kVA
RESIDENTIAL						
	Single Res > 1000m² Erf (Upmarket)	unit			1	
	Flat <100m²	unit				52
OTHERS						

Is the development located within Public Transport (PT1) zone? Please select

Yes

Calculation of bulk engineering services component of Development Charge

Service	Units	Existing demand (ADMD)	New demand (ADMD)	Unit Cost	Amount	VAT	Total
Electricity	kVA	5,78	112,70	R 6 261,85	R 669 533,03	R 100 429,95	R 769 962,98
Total bulk engineering services component of Development Charge payable					R 669 533,03	R 100 429,95	R 769 962,98

Link engineering services component of Development Charge
Total Development Charge Payable

City of George
Calculated (ETS): 
Signature : _____
Date : **May 8, 2025**

NOTE : In relation to the increase pursuant to section 66(5B)(b) of the Planning By-Law (as amended) in line with the consumer price index published by Statistic South Africa) using the date of approval as the base month

Notes:

Departmental Notes:

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Service	Financial code/Key number	Total
Electricity	2016023 / 021316	R 769 962,98
		R 769 962,98