

Our Ref.: 1482/GEO/25
Your Ref.: Erf 721, Hoekwil

27 November 2025

The Municipal Manager
George Municipality
PO Box 19
GEORGE
6530

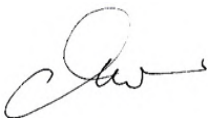
ATTENTION: MR. CLINTON PETERSEN

Dear Mr. Petersen,

PROPOSED DEPARTURES ON ERF 721, HOEKWIL, GEORGE MUNICIPALITY AND DIVISION

1. The above matter refers.
2. Attached hereto find the following:
 - A copy of the required documentation;
3. We hope that you will be able to process the application as soon as possible.

Yours faithfully
DELPLAN Consulting



DELAREY VILJOEN Pr. Pln

<https://delplan.sharepoint.com/sites/Delplan/Shared Documents/General/Documents/PROJECTS/2025/1482-GEO-25/Korrespondensie/Cover letter.docx>

Cc: SEAN ANTHONY SMORENBURG

**PROPOSED DEPARTURES ON ERF 721, HOEKWIL, GEORGE MUNICIPALITY AND
DIVISION**



FOR: SEAN ANTHONY SMORENBURG



URBAN & REGIONAL PLANNERS

D E V E L O P M E N T E N V I R O N M E N T L I N K

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PROPOSED DEPARTURES ON ERF 721, HOEKWIL, GEORGE MUNICIPALITY AND DIVISION

1. **Departure:** Application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023, from the following building lines:
 - The 30m eastern street boundary building line to:
 - o 19.3m, 18.7m, 15.9m & 26.9m for the **existing dwelling** and 15.1m for the **water tank and screen**
 - o 13m and 19.8m for the **existing stables** and 13.1m & 16.1m for the **water tanks**
 - The 30m southern common boundary building line to:
 - o 26.9m for the **existing dwelling** and 23.6m for the **water tank tower on top of the tool shed**
 - o 5.4m for the **existing stables** and 13.1m & 16.1m for the **water tanks**
2. **Departure:** Application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 to relax the 6.5m height for the **water tank** by 0.94m.

Property Description:	Erf 721, Hoekwil			
Physical Address:	Along De Waal Drive			
Owner:	Sean Anthony Smorenburg			
Title Deed No:	T2202/2022			
Bond Holder:	No			
Size of the property:	4.55ha			
HOA/ Body Corporate	N/A	Written Consent	YES	NO

1. INTRODUCTION

The property is currently developed with a main dwelling and an outbuilding. The owner wishes to apply for a departure for the structures that encroach upon the designated building line as well as the 6.5m height limit. *DELPLAN Consulting* was appointed by the registered owner of Erf 721, Hoekwil, referred hereafter as the “subject property”, to prepare and submit the required land use application. A copy of the Power of Attorney to submit this land use application is attached as **Annexure 1**.

2. LOCALITY

The subject property is situated on the southwestern side of Hoekwil in Ward 4 along De Wall Drive. Figure 1 indicates the subject property in relation to the surrounding neighbourhoods. Figure 2 provides a closer view of the property and its immediate surroundings. A locality plan is attached hereto as **Annexure 2**.



Figure 1: The location of the subject property in relation to the surrounding neighbourhoods.



Figure 2: Detailed view of the subject property and its immediate surrounding properties

3. PROPOSED DEVELOPMENT

The subject property is currently developed with an existing dwelling house and stables, both structures being located on the eastern side of the property near the main entrance. The proposed development requires a relaxation of the eastern and southern 30m building line, as well as the 6.5m wall plate height restriction. The existing dwelling house and stables currently encroach upon both the eastern and southern building lines. In addition, the water tanks, which are mounted on top of the tool shed, exceed the allowable 6.5m wall plate height. Therefore, a relaxation of this height restriction is also requested. The proposed building plans, as illustrated in Figure 3, show elements of the development that extend beyond the prescribed building lines. Relaxations for the structures are encircled in red, with relaxations for water tanks encircled in blue. Figure 4 provides a visual of the northern elevation. The detailed site layout is provided in **Annexure 3**.

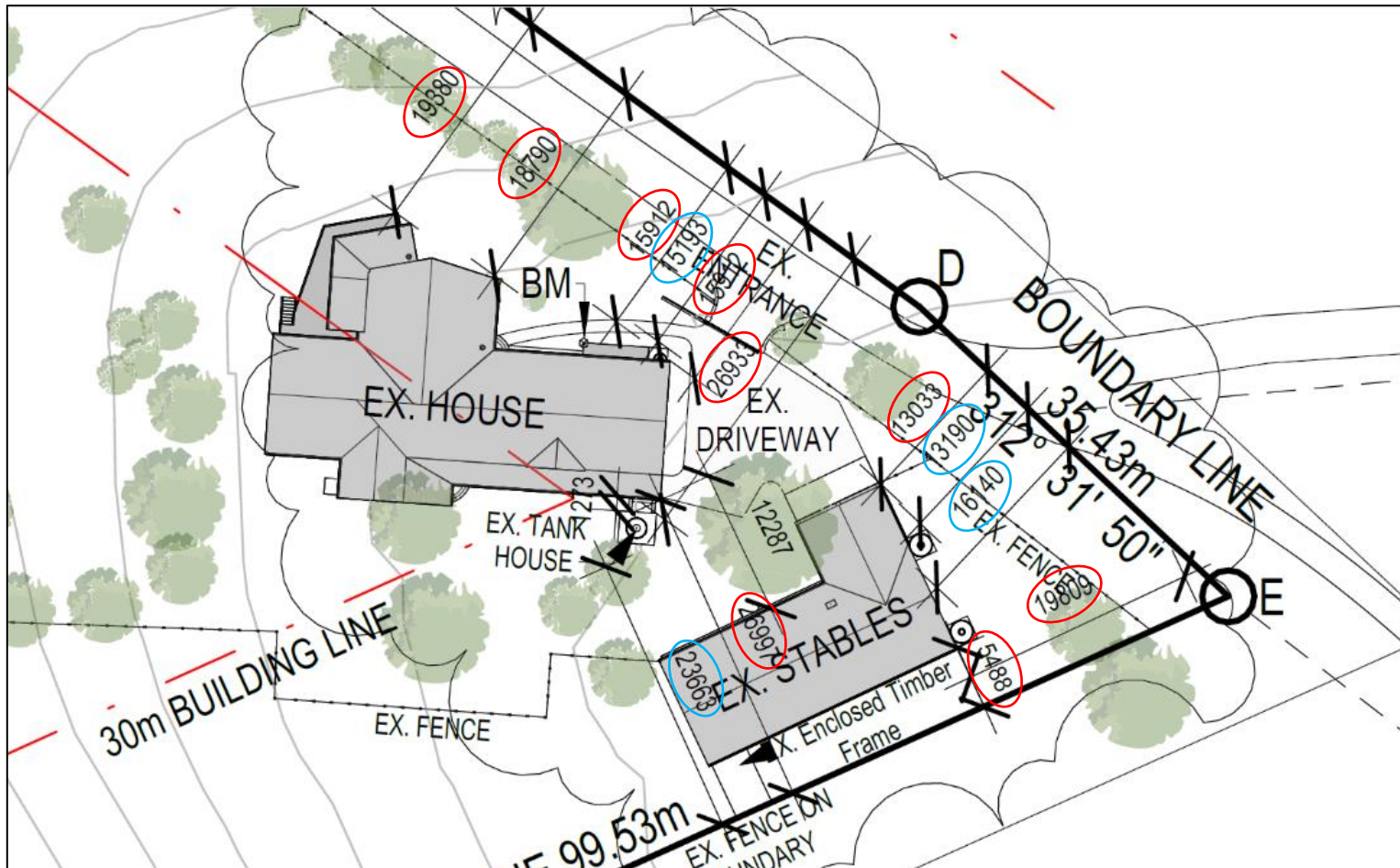


Figure 3: Site plan extraction

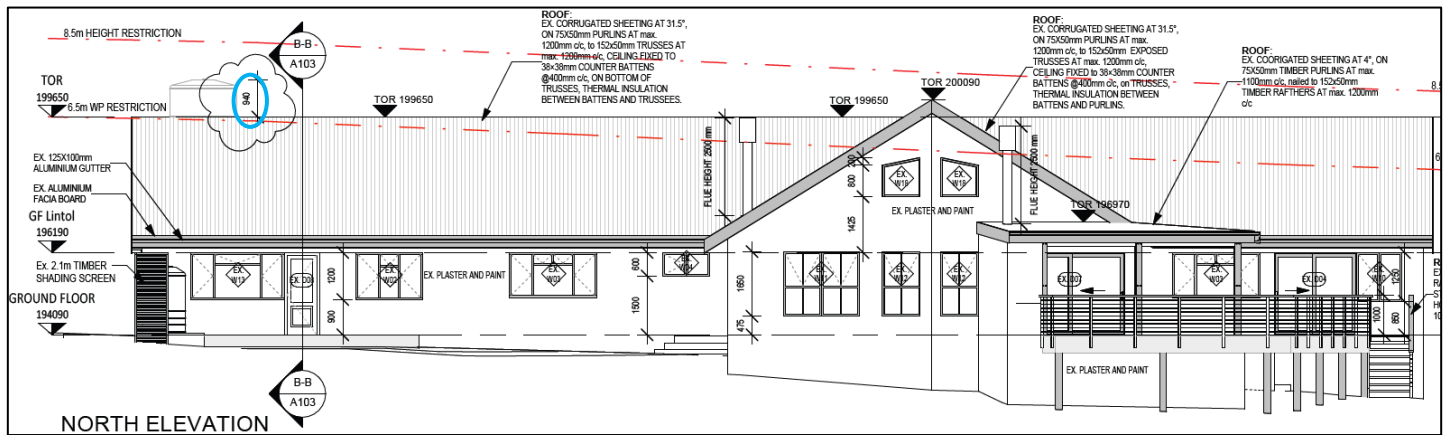


Figure 4: Visual of northern elevation

4. OWNERSHIP/TITLE DEED

The property is currently registered to Sean Anthony Smorenburg according to the Title Deed (T2202/2022) and is attached as **Annexure 4**. There are no relevant title deed restrictions prohibiting the application; this is also confirmed with the attached conveyancer certificate (**Annexure 5**). According to the Title Deed, the property measures 4.55ha in extent as shown in the SG Diagram attached herewith as **Annexure 6**.

5. NATURAL ENVIRONMENT

Developments are pre-existing and built on the existing outline of the original dwelling; consequently, the natural environment will remain intact, and no critical vegetation will be cleared from the property.

6. HERITAGE

The subject property is not located in a heritage area, and none of the buildings are older than 60 years; therefore, no heritage impact assessment is necessary.

7. TRAFFIC AND PEDESTRIAN MOVEMENT

Access to the subject property is gained via De Waal Drive on the northern side of the property, as seen in Figure 5, indicated with a red arrow. The road is an internal road running within the property boundary. The access point to the fenced development on the farm is located at a sufficient distance from any intersections and remains the same; as a result, the traffic movement will not be influenced in any meaningful manner. The building contained in the building line departure application is also located at a sufficient distance from the road and has no influence on the streetscape or aesthetics. The pedestrian pathways are unoccupied, therefore not influencing the pedestrian movement.



Figure 5: Aerial image of the subject property

8. IMPACT ON NEIGHBOURING PROPERTIES

The proposed development, which involves existing single-storey structures, is unlikely to negatively impact surrounding neighbours. The subject property is enclosed by a boundary wall and established vegetation, which provide an effective buffer for both privacy and noise. Additionally, the structures are set back a sufficient distance from neighbouring properties, ensuring they are not visually intrusive. Figure 6 provides a visual of the subject property in its current extant.



Figure 6: Visual of the subject property in its current extant

Given the height of the existing boundary and the single-storey nature of the development, it is unlikely that neighbours will be aware of the structures or experience any loss of sunlight or privacy, noise pollution is also not much of a concern. As no new structures are proposed, the development will not affect the streetscape or alter the character of the area.

9. PUBLIC PARTICIPATION

The Formal Public Participation Process will be followed by sending notice letters to the surrounding property owners informing them of the proposed development. A site notice will also be erected.

10. NEED AND DESIRABILITY

Desirability in the land use planning context may be defined as the degree of acceptability of a proposed development on the land unit concerned. This section expresses the desirability of the proposed building line relaxations, taken in conjunction with the development principles and criteria

set out through the policies and planning framework, as well as the degree to which this proposal may be considered within the context of broader public interest. It is our view that the initial investigation into the desirability of the proposal reveals no obvious negative impacts.

The current need for this application is centred around attaining legality regarding the building plans for the existing developments, as well as new future proposals to expand upon the existing dwelling and outbuilding. The development is not needed to realise any spatial goal of the Municipality. Desirability in this sense includes the fact that the development suits the agricultural zoning and use, with no additional impacts that could negatively impact the broader public interest. Furthermore, the proposed application is not considered to be in contradiction with spatial policies and at no further risk or inconvenience to neighbouring properties. The development can therefore be described as being desirable.

11. POLICIES

George Municipal Spatial Development Framework (GMSDF) (2023)

The GMSDF does not specifically refer to the subject property. No reference is made to the relaxation of building lines or the relevant departures. No reference can be made to any subjects related to sprawling development. This land use application is therefore not considered to be in conflict with the GMSDF.

Wilderness/Hoekwil Local Spatial Development Framework (LSDF 2015)

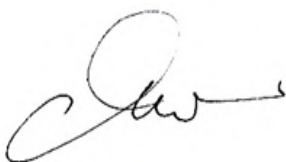
The Wilderness and Hoekwil LSDF sets out the spatial development as applicable to the areas of Wilderness, Hoekwil and surrounds. The LSDF does not address the subject property; however, the LSDF states the following:

“The main goal of the local spatial development framework as far as existing small holding precincts are concerned is to ensure that the character and ambience of these areas are protected and to ensure that the overall landscape character of the study area is retained and improved through appropriate measures.”

No new development is proposed as part of this application. The existing structure is in keeping with the overall character of the area and, as such, the proposal can be considered consistent with the objectives of the Local Spatial Development Framework (LSDF).

12. CONCLUSION

As mentioned in this motivation report, we believe that the abovementioned principles, considerations and guidelines for this land use application for Erf 721, Hoekwil satisfy the applicable legislation. As a result, it is trusted that this application can be finalised successfully.



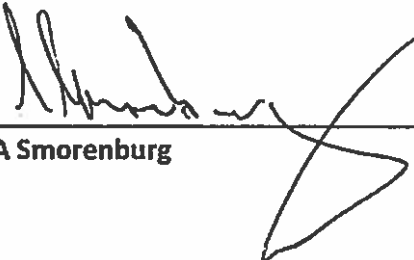
DELAREY VILJOEN Pr. Pln

NOVEMBER 2025

ANNEXURE 1

POWER OF ATTORNEY

I, Sean Anthony Smorenburg, the undersigned and the registered owner of Erf 721, Hoekwil, George Municipality and Division hereby instruct Delarey Viljoen of *DELPLAN Consulting* to submit the land use application with the local authority.



S A Smorenburg

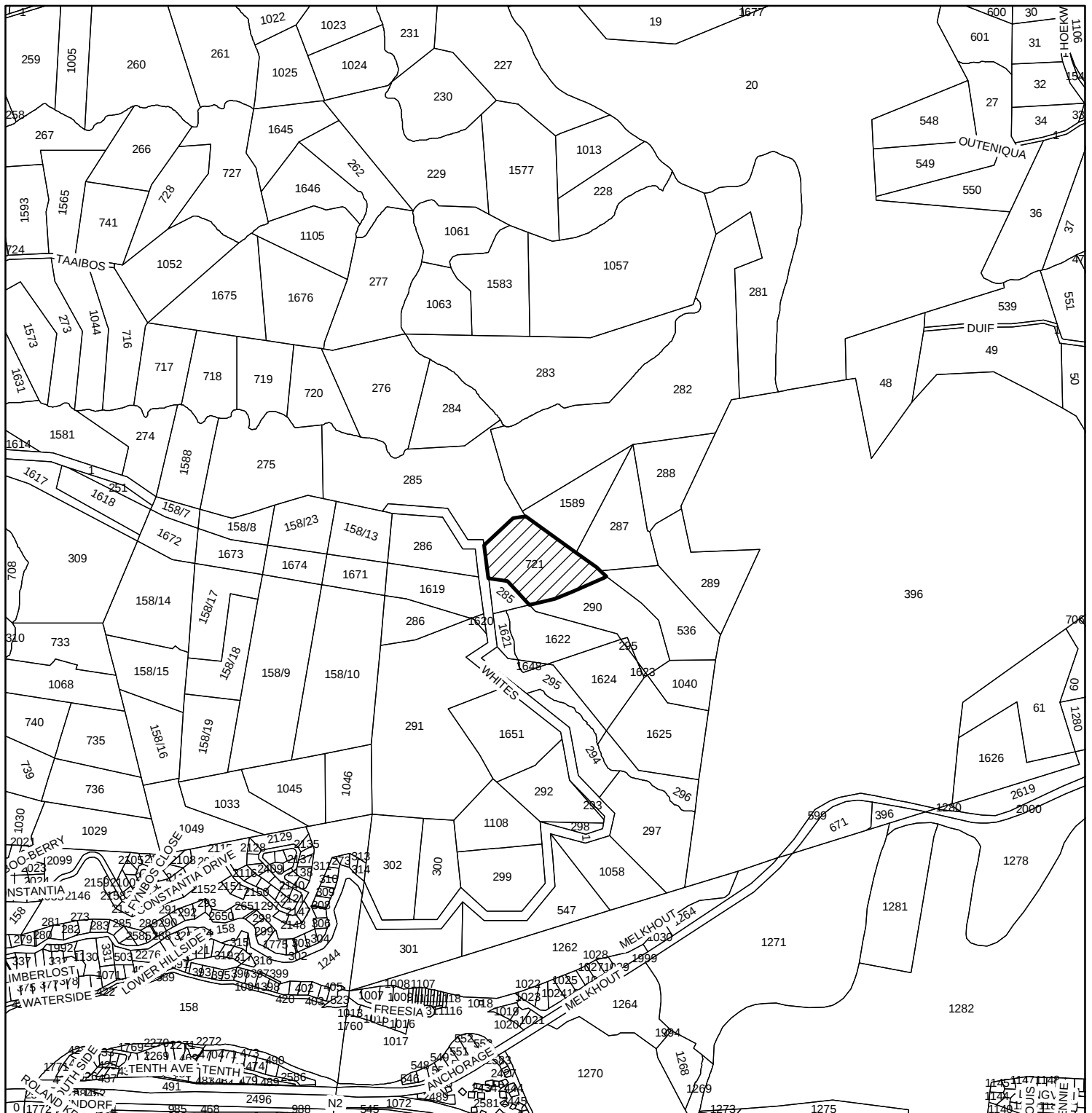
Date: 01/10/25

Witnesses:

1. 

2. 

ANNEXURE 2



LEGEND:



A4 Scale:
1:15,000

PROJECT:

Proposed permanent departure
for SA Smorenburg

PROJEK:

DESCRIPTION:

Erfd 721, Hoekwil, George

BESKRYWING:

TITLE:

Locality plan

TITEL:

1482/GEO/25/GIS/Ligging

DESIGNED: SG
ONTWERP:

DRAWN: MV
GETEKEN:

DATE: OCT 2025
DATUM:

PLAN NO: ANNEXURE 2
PLAN NR:

Tel: 044 873 4566, Email: planning@delplan.co.za
www.delplan.co.za



URBAN & REGIONAL PLANNERS

COPYRIGHT:

This drawing is the copyright of DELplan Consulting. Do not scale from it but refer to figured dimensions. All measurements must be checked and confirmed by a professional Land Surveyor. Any discrepancies should please be reported to DELplan immediately.

KOPIEREG:

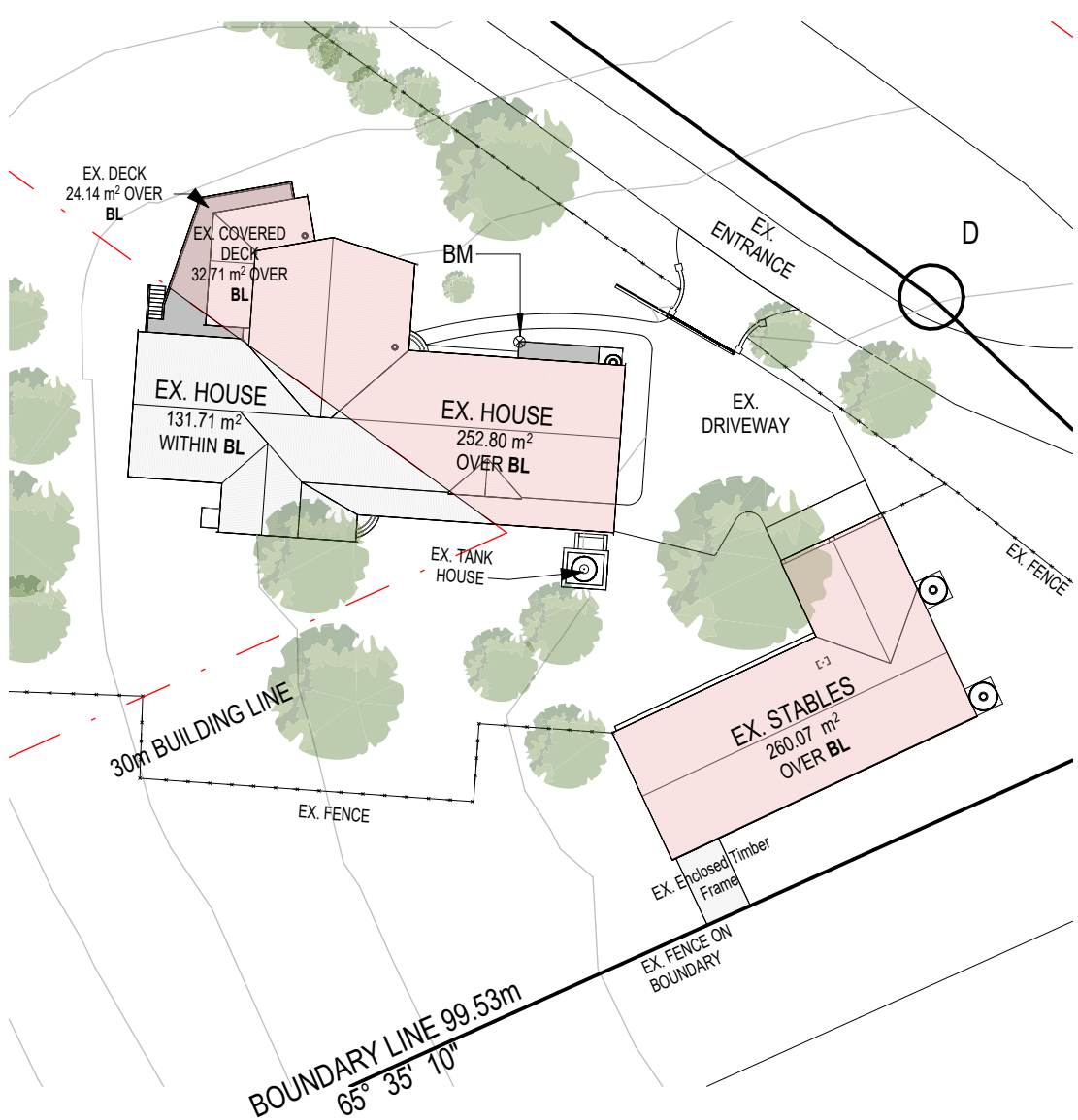
Die kopiereg van hierdie tekening behoort aan DELplan Consulting. Moenie daarvan afskaal nie, maar verwys na afstande soos aangedui. Alle afmetings moet deur 'n professionele Landmeter nagegaan en bevestig word. Enige teenstrydighede moet asseblief dadelik aan DELplan rapporteer word.

ANNEXURE 3

Stamp:

COVERAGE & SITE	m ²	%
SITE	45 527.76m ²	
FOOTPRINT	731.96m ²	
Coverage		0.16%

FLOOR AREAS	m ²
Existing Ground Floor	384.51m ²
Existing Covered Patio (Existing Patio)	79.24m ² (43.92°)
GROUND FLOOR TOTAL	463.75m ²
EX. Tank House	8.14m ²
Existing Garage /Stable	260.07m ²
STABLE FLOOR TOTAL	260.07m ²
TOTAL FLOOR AREA	731.96m ²



BUILDING FOOTPRINT EXCEEDANCE
1 : 500



LOCATION PLAN
1 : 1000

CONSTRUCTION NOTES

EARTHWORKS

Remove topsoil over the building area to a depth of 150mm and temporarily store on site for later use as garden soil. Backfill to be approved clean earth at optimum moisture content in layers not exceeding 100mm for hand compaction and 150mm for mechanical compaction to a density of at least 95% mod AASHTO. At completion of the works, dig up concrete or mortar mixing platforms, and clean the site of all surface and buried rubble. Poison the soil against the trade foundation walls and under floors with chlordane soil insecticide, complying with SANS 1165, applied according to SANS 10124. Obtain a written guarantee from the pest control contractor for 10 years for the effectiveness of the treatment, and hand over to the Client.

CONCRETE FORMWORK

Use cement to comply with SANS 50197-1, strength class 32.5n or higher. Cement must be SABS-mark bearing. Use natural crushed or blended sand for use in concrete to comply with SANS 1083. Stone for use in concrete to comply with SANS 1083. Cast concrete test cubes of size and quantity, and at intervals of 4 batches in accordance with SANS test method 5861.

MASONRY

All walls are to comply with SANS10400-K. Use clay bricks, where specified, complying with SANS 227. Use concrete bricks and blocks, where specified, complying with SANS 1215. Corobrik common or similar equivalent to be used where to receive plaster and Corobrik engineering bricks or similar equivalent below ground level in foundation walls. Wire brick reinforcement must be galvanized mild steel. Brickforce to all courses from window head to underside of wall plate. Use precast pre-stressed lintels complying with SANS 1594. Lay lintels with a bearing length of at least 200mm in 1:3 cement mortar. Prop lintels at 1.5m centres for at least seven days after masonry was completed.

WATERPROOFING

Use 0.375mm black embossed polyolefin damp proof course complying with SANS 952, type B. Lay damp proof course in unjointed lengths where possible and with full corner laps over full width of wall, level with the top of floors and not less than 150mm above finished ground level, and under copings and in parapet walls. Lay damp proof course under pointed windowills and tuck in under window profiles. Use 0.25mm smooth green polyolefin membrane complying with SANS 952 type C. Lay damp proof membrane under concrete surface beds or concrete floors. Fold membrane up against the foundation walls. Lay damp proof membrane in the largest practical sizes with 200mm laps. Seal laps according to manufacturer's instructions.

ELECTRICAL INSTALLATION

Comply with all requirements of the local authority and with SANS 10142. All work must be done under supervision of a registered electrician. Chase neatly. Do not chase walls constructed of hollow blocks - locate services in the block cavities. Chase solid walls not deeper than one third of the wall thickness vertically and not more than one sixth horizontally. Avoid horizontal chasing where possible. Fill chases with class 1 or 2 mortar once the conduits are in position.

GLAZING

Glass to comply with SANS 50572. Discuss the direction of the pattern in obscure glass with the architect before cutting.

GAS INSTALLATION

Gas fire-places, stove and all gas feeds to be fitted and installed by specialist. All to comply with SANS 10087 and SANS 460.

ROOF COVERINGS

Roof to comply with SANS 10400 - L. Roof to be structural timber roofs and to be specified and inspected by Engineer at each stage.

CARPENTRY AND JOINERY

In the case of prefabricated trusses, supply a certificate after erection, signed by the competent person who designed the structure, stating that the whole roof structure has been fabricated and erected to SANS 10243.

CEILING / PARTITIONING

Use gypsum partitioning board complying with SANS 266, 6.4mm thick, or as specified. Use longest lengths possible to suit room. Ensure building is enclosed before partitioning boards are fixed. Fix boards with 38mm galvanized cold nail or 32x2.5mm diameter galvanized serrated ceiling nails at 150mm centres to partitioning structure. All joints to be covered with FibraTape. Plaster the entire ceiling with 3 - 6mm lightweight hemi-hydrate gypsum plaster. Finish plaster to a smooth polished surface. Use mineral fibre blanket insulation to comply with SANS 1381 and SANS 10400-XA.

ALUMINIUM FRAME WINDOWS AND DOORS

Glazed Aluminium alloy windows and doors for external use to comply with SANS 1651 as specified in the window and door schedules. The supplier is responsible for confirmation of opening sizes. The manufacturer is responsible for taking height of product head above ground into account when selecting products of appropriate performance. Design wind pressure must be to SANS 10160. Protect frames against impact or scratching by wrapping with paper, plastic or covering with a light tact tape, and leave these wrappings in place until all rough trades are finished and clean down on completion. Avoid direct contact between aluminium and other metals or wet concrete by applying separating coat of bituminous paint.

SEWER

Existing sewer presumed to be according to previous approval. Not visible for inspection by Architect.

ENERGY USAGE IN BUILDING

1. Roof assemblies to receive insulation to achieve the R-value as indicated in table 7, thickness given in SANS 204 table 10. See SANS 10400-XA clause 4.4.3.8. SANS 204 table 10. Non masonry walls will have R-values as provided. See SANS 10400-XA clause 4.4.3.1.
2. Double skin masonry with plaster inside or render outside complies. Single leaf, minimum 140mm with plaster inside and render outside complies. See SANS 10400-XA clause 4.4.3.2.
3. Other masonry walls will have R-value of 0.35. See SANS 10400-XA clause 4.4.3.3.
4. Air leakage shall not exceed 5 l/m² fenestration area, 0.30 l/m² floor plate area, and 5 l/m² revolving / swing doors. See SANS 10400-XA clause 4.4.11 and SANS 613 clause 4.4.
5. Fenestration more than 15% area to net floor area per storey, the solar heat gain and heat conduction should comply with SANS 204 clause 4.3.4.
6. Fenestration up to 10% area to net floor area per storey complies. See SANS 10400-XA clause 4.4.1.1.
7. Provide 50% of hot water required by volume through non-electrical resistance sources. All exposed hot water piping to be insulated with R-value of 1. See SANS 10400-XA clause 4.1.

Copyright reserved to S.A.

All brickwork is to be set out using a profile marked at 85mm c/c.
All dimensions as indicated on plan are to be set out on a level horizontal plane.
All dimensions to be checked on site before work commences.
Use figured dimensions in preference to scaled dimensions. This drawing is not to be scaled.
All dimensions are given in millimetres.
Quality of all materials and workmanship to comply with the relevant SABS specification.
All work to be carried out strictly in accordance with NBRs and local authority regulations. The contractor is to make themselves aware of these prior to commencement of work.
Copyright over all designs and drawings shall remain the property of Liminal Architects and any provision to the contrary in terms of the copyright act no 63 of 1965 is hereby specifically excluded.
The design on this drawing remains the property of the designer - copyright reserved Liminal Architects
All relevant details, levels are to be checked on site prior to commencement of work.
Any discrepancies are to be brought to the attention of the architect.
Should any part of the drawings, specification or bills of quantities not be clearly intelligible or that the materials or articles to be used in the execution of the works be considered insufficiently described, request the architect / principal agent in writing for clarification, also in writing.
Failing which any alterations or substitutions rendered necessary the incorrect interpretation of such drawings, specification or bills of quantities shall be at contractor's cost.
The description of an item implies the complete supply, assembly and operation of the item, unless otherwise specified.
The architect accepts no responsibility for errors resulting from misinterpretation of the drawings.

STATUS MUNICIPAL SUBMISSION

CLIENT **Mr S. Smorenburg**

CLIENT SIGNATURE

PROJECT **Erf 721, Sean Smorenburg, As-Built Plans**

ARCHITECT

LIMINAL ARCHITECTS

CELL - 078 386 7497

EMAIL - penny@limarc.co.za

ADDRESS - 392 Waterside road, Wilderness, George, 6530

ARCHITECT SIGNATURE

P. J. Vorster

SACAP - PrARCH - 44016884

PROFESSIONAL ARCHITECT
PENELOPE JOY VORSTER
09-23 AM (Africa/Jozi) on 24 Apr 2023

OCCUPATION CLASSIFICATION **DWELLING HOUSE - H4**

SITE **ERF 721 De Waal Dive, Hoekwil, 6560**

DRAWING **LOCATION PLAN**

SCALE (@ A1)

As indicated

DATE

04-11-2025 9:10:10

PROJECT NO.

23-25

CURRENT REVISION: **1**

Additional Measurements

REVISION DATE: **13-10-2025**

Engineer -

Land Surveyor -

Landscape Architects -

DRAWN

DM

CHECKED

PV

DRAWING NO.

A100

04-11-2025 9:10:10 AM

Stamp:



CONSTRUCTION NOTES

[illegible]

STATUS **MUNICIPAL SUBMISSION**

CLIENT **Mr S. Smorenburg**

CLIENT SIGNATURE

PROJECT
**Erf 721, Sean Smorenburg,
As-Built Plans**

ARCHITECT



LIMINAL
ARCHITECTS

CELL - 078 386 7497
EMAIL - penny@limarc.co.za
ADDRESS - 392 Waterside road, Wilderness, George, 6530

ARCHITECT SIGNATURE

P. J. Vorster

SACAP - PrARCH - 44016884



OCCUPATION CLASSIFICATION DWELLING HOUSE - H4

SITE
**ERF 721 De Waal Dive, Hoekwil,
6560**

DRAWING **ROOF PLAN**

SCALE (@ A1)
1 : 200

DATE
04-11-2025 9:10:34

PROJECT NO. 23-25	DRAWING NO A101
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CURRENT REVISION:	REVISION DATE:
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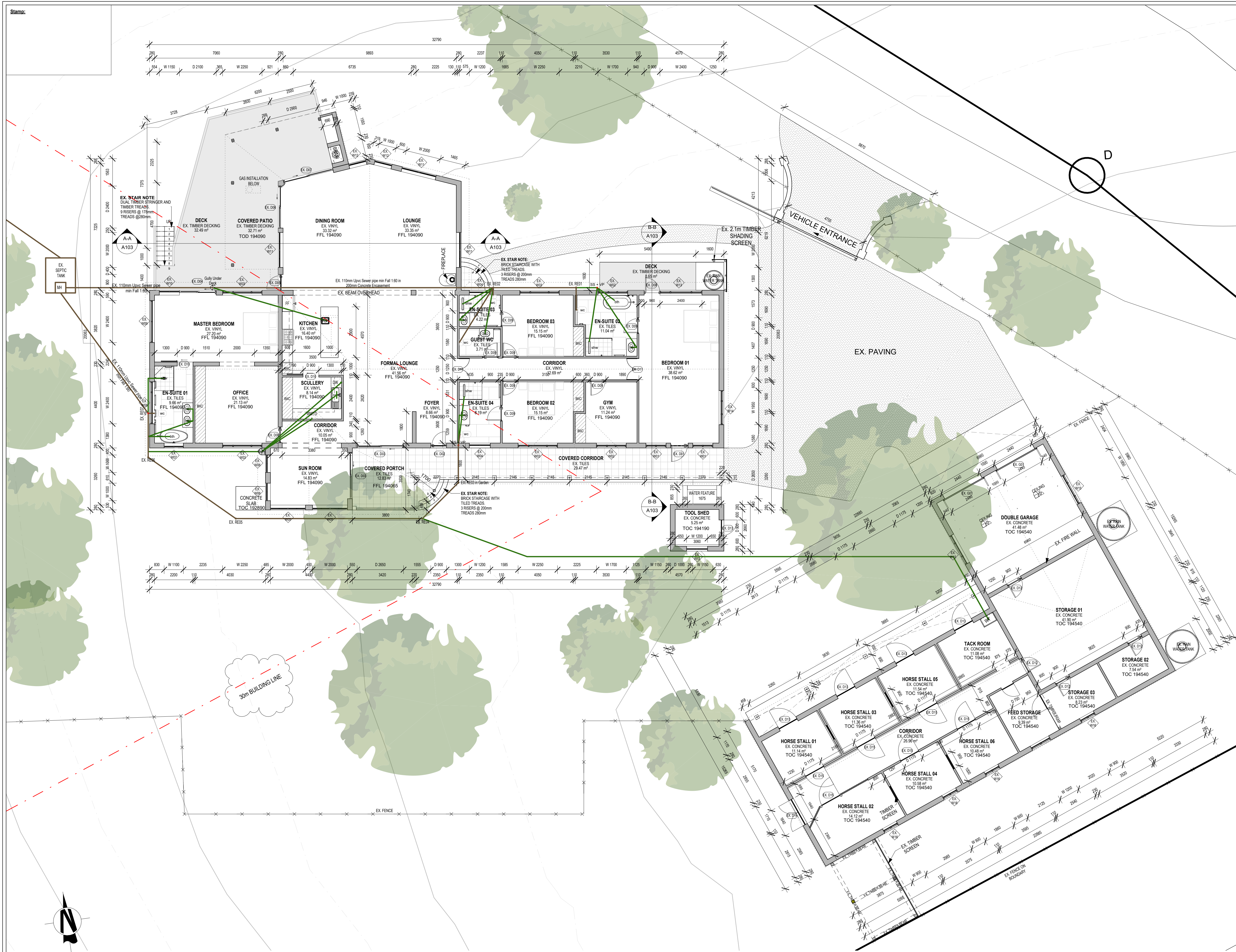
Engineer -
Land Surveyor -
Landscape Architects -

DRAWN
DM

CHECKED
PV

DRAWING NO	A101
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REVISION DATE:



GROUND FLOOR PLAN
1 : 100

CONSTRUCTION NOTES

EARTHWORKS
Remove topsoil over the building area to a depth of 150mm and temporarily store on site for later use as garden soil. Backfill to be approved clean earth at optimum moisture content in layers not exceeding 100mm for hand compaction and 150mm for mechanical compaction. To a density of at least 95% mod AASHTO. At completion of the works, dig up concrete or mortar mixing platforms, and clean the site of all surface and buried rubble. Pave the site against the trade foundation walls and under floors with chondrite soil insecticide, complying with SANS 1165, applied according to SANS 10124. Obtain a written guarantee from the pest control contractor for 10 years for the effectiveness of the treatment, and hand over to the Client.

CONCRETE FORMWORK
Use cement to comply with SANS 50197-1, strength class 32.5 or higher. Cement must be SABS-mark bearing. Use natural crushed or blended sand for use in concrete to comply with SANS 1083. Stone for use in concrete to comply with SANS 1083. Cast concrete thick slabs of size and quantity, and at intervals of 4 batches in accordance with SANS test method 5861.

MASONRY
All walls are to comply with SANS 10400-K. Use clay bricks, where specified, complying with SANS 227. Use concrete bricks and blocks, where specified, complying with SANS 1215. Corobrik common or similar equivalent to be used where to receive plaster and Corobrik engineering bricks or similar equivalent below ground level in foundation walls. Wire brick reinforcement must be galvanized mild steel. Brickwork to all courses from window head to underside of wall plate. Use precast pre-stressed lintels complying with SANS 1594. Lay lintels with a bearing length of at least 200mm in 1:3 cement mortar. Prop lintels at 1.5m centres for at least seven days after masonry was completed.

WATERPROOFING
Use 0.375mm black embossed polyethylene damp proof course complying with SANS 952, type B. Lay damp proof course in unjointed lengths where possible and with full corner laps over full width of wall, level with the top of floors and not less than 150mm above finished ground level, and under copings and in parapet walls. Lay damp proof course under painted window sills and tuck in under window profiles. Use 0.25mm smooth green polyethylene membrane complying with SANS 952 type C. Lay damp proof membrane under concrete surface beds or concrete floors. F-4d membrane up against the foundation walls. Lay damp proof membrane in the largest practical sizes with 200mm laps. Seal laps according to manufacturer's instructions.

ELECTRICAL INSTALLATION
Comply with all requirements of the local authority and with SANS 10142. All work must be done under supervision of a registered electrician. Chase neatly. Do not chase walls constructed of hollow blocks - locate services in the block cavities. Chase solid walls not deeper than one third of the wall thickness vertically and not more than one sixth horizontally. Avoid horizontal chasing where possible. Fill chases with class 1 or 2 mortar once the conduits are in position.

GLAZING
Glass to comply with SANS 50572. Discuss the direction of the pattern in obscure glass with the architect before cutting.

GAS INSTALLATION
Gas fire-places, stove and all gas feeds to be fitted and installed by specialist. All to comply with SANS 10087 and SANS 460.

ROOF COVERINGS
Roof to comply with SANS 10400 - L. Roof to be structural timber roofs and to be specified and inspected by Engineer of each stage.

CARPENTRY AND JOINERY
In the case of prefabricated trusses, supply a certificate after erection, signed by the competent person who designed the structure, stating that the whole roof structure has been fabricated and erected to SANS 10243.

CEILING/PARTITIONING
Use gypsum partitioning board complying with SANS 286, 6.4mm thick, or as specified. Use longest lengths possible to suit room. Ensure building is enclosed before partitioning boards are fixed. Fix boards with 38mm galvanneal stout nails or 32x2.5mm diameter galvanized serrated ceiling nails at 150mm centres to partitioning structure. All joints to be covered with FibraTape. Plaster the entire ceiling with 3 - 6mm lightweight hemi-hydrate gypsum plaster. Finish plaster to a smooth polished surface. Use mineral fibre blanket insulation to comply with SANS 1381 and SANS 10400-XA.

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Glazed aluminum alloy windows and doors for external use to comply with SANS 1651 as specified in the window and door schedules. The supplier is responsible for confirmation of opening sizes. The manufacturer is responsible for taking height of product head above ground into account when selecting products of appropriate performance. Design wind pressure must be to SANS 10160. Protect frames against impact or scratching by wrapping with paper, plastic or covering with a light tact tape, and leave these wrappings in place until all rough trades are finished and clean down in completion. Avoid direct contact between aluminum and other metals or wet concrete by applying separating coat of bituminous paint.

SEWER
Existing sewer presumed to be according to previous approval. Not visible for inspection by Architect.

ENERGY USAGE IN BUILDING

1. Roof assemblies to receive insulation to achieve the R-value as indicated in table 7, thickness given in SANS 204 table 10. See SANS 10400-XA clause 4.4.8 & SANS 204 table 10. Non masonry walls will have R-values as provided. See SANS 10400-XA clause 4.4.3.1.
2. Double skin masonry with plaster inside or render outside complies. Single leaf, minimum 140mm with plaster inside and render outside complies. See SANS 10400-XA clause 4.4.3.2.
3. Other masonry walls will have R-value of 0.35. See SANS 10400-XA clause 4.4.3.3.
4. Air leakage shall not exceed 2 l/m² fenestration area. 0.30 l/m² floor glazing; and 5 l/m² revolving / swing doors. See SANS 10400-XA clause 4.4.11 and SANS 613 clause 4.
5. Fenestration more than 15% area to net floor area per storey, the solar heat gain and heat conduction should comply with SANS 204 clause 4.3.4.
6. Fenestration up to 15% area to net floor area per storey complies. See SANS 10400-XA clause 4.4.1.1.
7. Provide 50% of hot water required by volume through non-electrical resistance sources. All exposed hot water piping to be insulated with R-value of 1. See SANS 10400-XA clause 4.1.

Copyright reserved to SAIA
All work is to be set out using a profile marked at 85mm c/c.
All dimensions as indicated on plan are to be set out on a level horizontal plane.
All dimensions to be checked on site before work commences.
All dimensions in preference to scaled dimensions. This drawing is not to be scaled.
All dimensions are given in millimetres.
Quality of all materials and workmanship to comply with the relevant SABS specification.
All work to be carried out strictly in accordance with NBRs and local authority regulations. The contractor is to make themselves aware of these prior to commencement of work.
Copyright over all designs and drawings shall remain the property of Liminal Architects and any provision to the contrary in terms of the copyright act no 63 of 1965 is hereby specifically excluded.
The design on this drawing remains the property of the designer - copyright reserved Liminal Architects.
All relevant details, levels are to be checked on site prior to commencement of work.
Should any part of the drawings, specification or bills of quantities not be clearly intelligible or that the materials or articles to be used in the execution of the works be considered insufficiently described, request the architect / principal agent in writing for clarification, also in writing.
Failing which any alterations or substitutions rendered necessary the incorrect interpretation of such drawings, specification or bills of quantities shall be at contractor's cost.
The description of an item implies the complete supply, assembly and operation of the item, unless otherwise specified.
The architect accepts no responsibility for errors resulting from misinterpretation of the drawings.

STATUS
MUNICIPAL SUBMISSION

CLIENT
Mr S. Smorenburg

CLIENT SIGNATURE

PROJECT
Erf 721, Sean Smorenburg, As-Built Plans

ARCHITECT
LIMINAL ARCHITECTS

CELL - 078 386 7497
EMAIL - penny@limarc.co.za
ADDRESS - 392 Waterside road, Wilderness, George, 6530

ARCHITECT SIGNATURE
P. J. Vorster

SACAP - PrArch - 44016884

PROFESSIONAL ARCHITECT
PENELOPE JOY VORSTER

OCCUPATION CLASSIFICATION **DWELLING HOUSE - H4**

SITE
ERF 721 De Waal Dive, Hoekwil, 6560

DRAWING
GROUND FLOOR PLAN

SCALE (@ A1)
1 : 100

DATE
04-11-2025 9:10:44

SUBJECT NO.
23-25

CURRENT REVISION: 1
Additional Measurements

DRAWN
DM

CHECKED
PV

DRAWING NO.
A102

REVISION DATE: 13-10-2025

Engineer -
Land Surveyor -
Landscape Architects -

ANNEXURE 4

RAUBENHEIMERS INC
60 CATHEDRAL STREET
GEORGE
6529

TEL: (044) 873-2043

Prepared by me



CONVEYANCER
ANN MARJORY COETZEE
LPC Membership No: 83392

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R 57 000 000,00	R 2157,00
Reason for exemption	Category Exemption.....	Exemption i t o. Sec/Reg..... Act/Proc.....

T 000002202 / 2022

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

ANDREA CRISTINE
TOMASICCHIO
LPCM No. 87225

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney signed at GEORGE on 18 November 2021 granted to him/her by

ADRIENNE ELVIRA VAN BLERK
IDENTITY NUMBER 440921 0076 08 8
UNMARRIED



And the appearer declared that his/her said principal had, on 23 October 2021, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

**SEAN ANTHONY SMORENBURG
IDENTITY NUMBER 650323 5035 08 3
UNMARRIED**

his Heirs, Executors, Administrators or Assigns, in full and free property

**ERF 721 HOEKWIL
IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE**

IN EXTENT 4,5539 (FOUR COMMA FIVE FIVE THREE NINE) HECTARES

**FIRST TRANSFERRED AND STILL HELD BY DEED OF TRANSFER
T14247/2000 WITH DIAGRAM SG NUMBER 7061/1999 ANNEXED
THERETO**

- A. SUBJECT to the conditions referred to in Certificate of Uniform Title Number T14471/1961.
- B. SUBJECT FURTHER to the terms of Notarial Deed of Servitude Number 134/1956 dated 30 November 1955 a reference to which servitude was endorsed on Deed of Transfer Number T5973/1952, which endorsement reads as follows:

Kragtens Not. Akte Nr 134/56 gedateer 30/11/55 is die Restant van Olifants Hoek Forest Reserve 1160 Morge 506 V.R. 54 V.V. hieronder gehou onderhewig aan die volgende voorwaardes:

- (a) Sulke regte van opdam, stoor en water leiding soos in die gesegde Not.Akte uiteengesit.
- (b) 'n Reg van pyplyn aangedui deur die letters A gekromde blou lyn B op serwituut kaart 8673/54.
- (c) Die reg van gebruik, hernuwing en instandhouding van gesegde installasies.
- (d) Die reg van toegang tot voornoemde installasies. Watter voorwaardes opgelê is ten gunste van Ged.22 ('n ged. van Ged. 21) van die plaas Klein Krantz gehou onder T19388/54 soos meer breedvoerig sal blyk met verwysing na gesegde Not.Akte, 'n afskrif waarvan hieraan geheg is."

- C. SUBJECT FURTHER to the Uniform Conditions imposed by the Minister and contained in the said Certificate of Uniform Title No. T14471/1961 subject to the reservation of a certain right in favour of the State and contained in Deed of Transfer Number T3764/1964, namely:

(1) Die reg om grond te neem en materiaal te verkry en te verwyder vir die bou en herstel van openbare paaie."

- D. SUBJECT FURTHER to a 9,45 metre servitude right of way as reflected by the figure TUDEFVWXYZ on Diagram Number 9662/1960 as contained in Notarial Deed of Servitude Number 377/1962 as referred to in the endorsement dated 7th July 1962 on Certificate of Uniform Title Number T14471/1961 which endorsement reads as follows:

"Kragtens Notariële Akte No. 377/62 gedateer 19 Mei 1962 en hede geregistreer is die plaas Wildernishoogte, groot 1429,1992 morges, gehou hieronder onderhewig aan Serwituutreg tot paaie en regte van weg aangedui op Serwituutkaart No. 1180/1962 weggelê as (Commonage Plan No. 121) geskep ten gunste van die Algemene Publiek soos meer ten volle sal blyk uit voormelde Notariële Akte en serwituutkaart weggelê onder (Commonage Plan No. 121).

(The northwestern, northern and northeastern boundaries of which servitude are indicated by the line A B C D E on diagram No. 706/1999 hereto annexed).

- E. SUBJECT FURTHER to the terms of the following endorsement dated 17th April 1980 on Deed of Transfer No. T3764/1964 which endorsement reads as follows:

"'n Gedeelte van die eiendom hierin vermeld groot plus minus 6,423 m² onteien deur die Republiek van Suid-Afrika kragtens Artikel 8(1)(a) van Wet No. N10/3/1/038/49 gedateer 4.3.80 geliasseer as onteienings caveat Ex204/80 planne in tweevoud geliasseer hiermee."

- F. SUBJECT FURTHER to the following conditions contained in Deed of Transfer Number T3764/1964 imposed by the Administrator of the Province Cape of Good Hope on subdivision of the Farm Wildernishoogte in terms of Section 196 of Ordinance Number 15/1952 which conditions may be amended or modified by him, namely:

(a) "Dit mag net vir woon- en landboudoeleindes gebruik word.

(b) Geen geboue uitgesonderd een woning vir gebruik deur 'n enkele familie, tesame met die buitegeboue wat gewoonlik nodig is om in verband daarmee gebruik te word, mag op hierdie grond opgerig word nie.

- G. SUBJECT FURTHER to the terms of the endorsement dated 7th January 1972 on Deed of Transfer Number T3764/1964 which endorsement reads as follows:

"Die binnegemelde grond is onderhewig aan 'n serwituut met betrekking tot verdeling van water in terme van 'n bevel van die Waterhof (Waterhof distrik Kaapstad gedateer 26.5.71 soos meer volledig sal blyk uit gemelde bevel waarvan afskrif geliasseer is as Serwituut 15/72".

- H. SUBJECT FURTHER as contained in Deed of Transfer Number T14247/2000, to the following condition imposed by the South African National Roads Agency Limited in terms of Section 49(5)(a)(i) Act 7 of 1998, when approving the subdivision of Erf 285 Hoekwil, in the Municipality of Wilderness, namely:

With the exception of existing structures as indicated on the plan, no structure or any other thing whatsoever shall be erected, laid or established within a distance of 60 metres, measuring from the national road reserve boundary without the written approval of The South African National Roads Agency Limited.

6

@

WHEREFORE the said Appearer, renouncing all rights and title which the said

ADRIENNE ELVIRA VAN BLERK, Unmarried

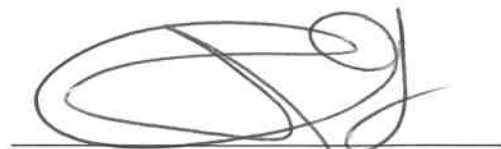
heretofore had to the premises, did in consequence also acknowledge her to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

SEAN ANTHONY SMORENBURG, Unmarried

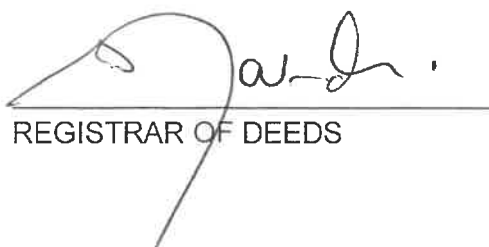
his Heirs, Executors, Administrators or Assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R5 700 000,00 (FIVE MILLION SEVEN HUNDRED THOUSAND RAND).

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on **27 JAN 2022**


q.q.

In my presence


REGISTRAR OF DEEDS

ANNEXURE 5

CONVEYANCER'S CERTIFICATE

in terms of Section 38(1)(n) of the George Municipality: Land Use Planning By-law for
George Municipality, 2023

I, the undersigned, ANN MARJORY COETZEE, a duly qualified and admitted conveyancer,
practicing at Raubenheimers Inc., 60 Cathedral Street, George, Western Cape Province:

1. do hereby certify that I have perused the conditions of title in respect of:

ERF 721 HOEKWIL
IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE

IN EXTENT: 4,5539 (FOUR COMMA FIVE FIVE THREE NINE) HECTARES

HELD BY DEED OF TRANSFER NUMBER T2202/2022

registered in the name of

SEAN ANTHONY SMORENBURG
IDENTITY NUMBER 650323 5035 08 3
UNMARRIED

2. have been advised that the following applications will be made in respect of the
property:

- a) Departure in terms of Section 15(2)(b) of the Land Use Planning By-Law for
George Municipality 2023, from the following building lines:

- the 30m eastern street boundary building line to:
 - 19.3m, 18.7m, 15.9m and 26.9m for the existing dwelling;
 - 13m, 13.1m and 16.1m, for the existing stables
- the 30m southern common boundary building line to:
 - 26.3m for the existing dwelling;
 - 5.4m for the existing stables

- b) Departure in terms of Section 15(2)(b) of the Land Use Planning By-Law for
George Municipality, 2023 to relax the 6.5m height for the water tank to 0.94
m.

3. hereby confirm that there are no conditions contained in the abovementioned title
deed which may restrict the contemplated land uses in terms of the proposed
applications.



4. hereby confirm that there are no mortgage bonds registered over the property.

Signed and dated at George on 31 October 2025.



A M COETZEE
CONVEYANCER - LPC no. 83392

ANNEXURE 6

G S SAVAGE & ASSOCIATES

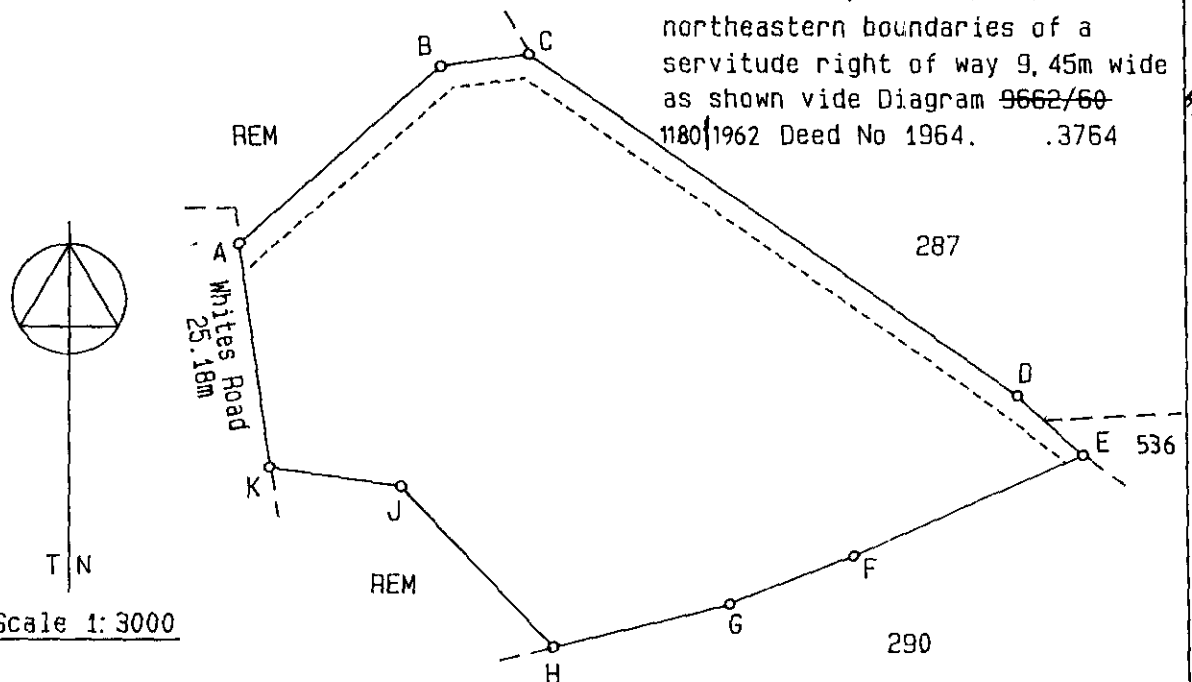
SIDES Metres		ANGLES OF DIRECTION	CO-ORDINATES Y System WG 23° X		S.G. No. 7061/1999 Approved <i>B. Mshatso</i> for Surveyor-General 2000-01-26
		Constant:	±	0, 00 +3 700 000, 00	
AB	108, 02	227 31 30	A +	37 371, 72 + 61 677, 79	
BC	34, 92	262 00 30	B +	37 292, 05 + 61 604, 85	
CD	237, 86	305 42 50	C +	37 257, 47 + 61 599, 99	
DE	35, 43	312 31 50	D +	37 064, 34 + 61 738, 84	
EF	99, 53	65 35 10	E +	37 038, 23 + 61 762, 79	
FG	52, 77	68 08 30	F +	37 128, 86 + 61 803, 93	
GH	71, 93	75 51 10	G +	37 177, 83 + 61 823, 57	
HJ	88, 48	137 15 40	H +	37 247, 58 + 61 841, 15	
JK	52, 36	98 32 00	J +	37 307, 63 + 61 776, 17	
KA	91, 44	172 15 40	K +	37 359, 41 + 61 768, 40	
KNYS 34 231			Δ +	37 389, 38 + 63 368, 04	
LAKES 447			Δ +	36 562, 42 + 63 257, 00	

Description of Beacons

A H J K 16mm iron peg
B C D E F G 20mm iron peg

Servitude Note

The line ABCDE represents the northwestern, northern and northeastern boundaries of a servitude right of way 9,45m wide as shown vide Diagram 9662/60-1180/1962 Deed No 1964. .3764



The figure ABCDEFGHJK represents 4,5539 hectares of land approximately, being ERF 721 a portion of Erf 285 HOEKWIL situate in the Municipality of Wilderness Administrative District of George Province of the Western Cape Surveyed in December 1999 by me

G. Savage
Professional Land Surveyor
G S Savage PLS 0543

This diagram is annexed to No. 14247/2000 Dated i.f.o.	The original diagram is No. 9662/60 annexed to Transfer No 1964. 3764	File No. S/4924
		S.R. No. E3008/1999
Registrar of Deeds		Comp. BL-8CCD (4139)
		Gen. Plan 1730LD

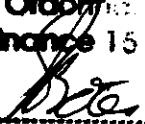
Approved in terms of Section 49
of Act No. 7/98

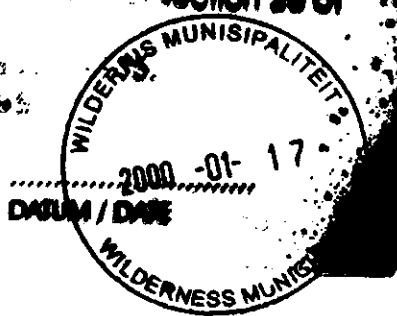
APPROVED IN TERMS OF SECT. 25
OF ORD. 18/1985
REF. 285/H
DATE 1999-10-28

WILDERNIS MUNISIPALITEIT
WILDERNESS MUNICIPALITY

Onderverdeling ... agiens artikel 25
Subdivision ... section 25 of

van Ordinance ...
Ordinance 15 of 1985


MUNICIPAL MANAGER



ANNEXURE 7

PLANNING AND DEVELOPMENT
APPLICATION FORM FOR CONSENT USE FOR A SECOND
DWELLING/ADDITIONAL DWELLING AND/OR DEPARTURE

(Please complete the form in full for consideration - tick appropriate boxes with X)

BUILDING LINE RELAXATION	X	SECOND DWELLING		ADDITIONAL DWELLING	
--------------------------	---	-----------------	--	---------------------	--

PROPERTY DETAILS

ERF NUMBER	Erf 721	EXTENSION/A REA	Hoekwil
ZONING	Agriculture II		
EXISTING LAND USE	Small Holding		

CORRESPONDENCE DETAILS

IS THE APPLICANT ALSO THE REGISTERED OWNER OF THE RELEVANT PROPERTY?					YES	NO	
ADDRESS CORRESPONDENCE TO			OWNER	APPLICANT	POST OR E- MAIL	POST	E-MAIL
COLLECT BY HAND	YES	NO	TELEPHONE NO				

OWNER DETAILS

OWNER NAME	Sean Anthony Smorenburg					
STREET NAME	De Waal Drive			HOUSE NUMBER	721	
POSTAL ADDRESS	721 De Wall Drive Hoekwil			SAME AS POSTAL ADDRESS	YES	NO
EXTENSION/AREA	Hoekwil			CODE	6538	
ID NUMBER	n/a		E-MAIL ADDRESS	smorries2323@gmail.com		
TELEPHONE NO	n/a		CELL NO	071 662 2467		

APPLICANT DETAILS (strike through if registered owner is also the applicant)

NAME	Delarey					
STREET NAME	Viljoen			STREET NAME	79	
POSTAL ADDRESS	PO BOX 9956			POSTAL ADDRESS	PO BOX	POSTA L
EXTENSION/AREA	Dormehlsdrift, George			EXTENSION/AREA	6530	
TEL / CELL NO	044 873 4566 / 082 808 9624		TEL / CELL NO	planning@delplan.co.za		
PROFESSIONAL CAPACITY	Professional Planner		PROFESSIONAL CAPACITY	A/1021/1998		

BOND HOLDERS DETAILS (Only applicable if property is encumbered by a bond)

IS THE PROPERTY ENCUMBERED BY A BOND?					YES	NO
NAME OF BOND HOLDER						

TITLE DEED DETAILS

TITLE DEED NO.	T2202/2022		
ARE THERE RESTRICTIONS IN THE TITLE DEED WHICH IMPACT THE APPLICATION? (If yes, describe restrictions below)			YES NO

APPLICATION DETAILS

DESCRIPTION OF BUILDING LINE RELAXATION (STREET / LATERAL / REAR BUILDING LINE)	FROM M	TO M	DETAILS
Eastern street building line	30m	19.3m, 18.7m, 15.9m & 26.9m / 15.1	Existing dwelling Water tank
		13m & 19.8 / 13.1m 16.1m	Existing stables Water tanks
Southern building line	30m	26.9m / 23.6	Existing dwelling Water tanks
		5.4m / 13.1 & 16.1	Existing stables Water tanks
Wall Plate height restriction	6.5m	7.44m By (0.94m)	Water Tank
Is an application for an increase in coverage being applied for? (Indicate increase under details)	YES	NO	%
Is an application for a 2 nd dwelling /additional dwelling being applied for? (indicate size under details)	YES	NO	

HOA/ ADJACENT OWNERS DETAILS (Consent letters as well as site plans to be signed by adjacent owners)

ERF NO	ADDRESS	NAME	CONSENT LETTER ATTACHED
			YES /NO
			YES /NO
			YES /NO
			YES /NO
			YES /NO

I hereby acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.

APPLICANT'S SIGNATURE		DATE	26/09/2025
--------------------------	---	------	------------

FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:

Locality Plan	Building Plan/ Site Plan on A3/ A4	SG Diagram/ General Plan	Title Deed
---------------	---------------------------------------	--------------------------	------------

	Power of Attorney		Motivation		Neighbours Consent / Comment		HOA Consent
	Bond Holder Consent		Proof of Payment		Conveyance Certificate		Other (Specify)

NEIGHBOURS CONSENT/ COMMENT FORM

TO WHOM IT MAY CONCERN

APPLICATION FOR _____ ON ERF/ FARM _____

NATURE OF CONSENT GIVEN (Tick whichever is applicable)

I/We the undersigned owner/s of the adjoining property as described below, hereby confirm that I/we have seen the building plans/ site development plans relating to the above application (my neighbour's development proposal). I/we have no objections thereto and I/we would not make any further claims with regard to view obstruction resulting from the approval of said building plans.

I/We the undersigned owner/s of adjoining properties hereby confirm that I/we have seen the building plans / site development plans relating to the above application (my neighbour's development proposal). I/we have no objections thereto subject to the following:

Comment / Conditions

ADJACENT OWNER'S DETAILS

OWNER/S NAME/S		ID NUMBER	
ERF NUMBER		EXTENSION AREA	
E-MAIL ADDRESS		TELEPHONE NUMBER	
SIGNATURE OF OWNER		DATE	

Reminder: Adjacent owners must also sign and date the related building plan / site development plan

FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:

IS THE SIGNATORY THE OWNER OF THE PROPERTY (CONFIRMED ON SAMRAS)?	YES	NO
---	-----	----

CHECKED BY		DATE	
------------	--	------	--

POWER OF ATTORNEY

I, the undersigned appointed below Authorised Representative as legal representative for the submission of the application to act on my behalf and take the necessary steps as required by the Local Authority to ensure that the application complies with the conditions contained in the law on the By-Law on Municipal Land Use Planning for George Municipality, 2015, or any other applicable law.

OWNER NAME		ID NUMBER	
ERF		EXTENSION AREA	
AUTHORISED REPRESENTATIVE		ID NUMBER	
SIGNATURE OF OWNER		DATE	
SIGNATURE OF AUTHORISED REPRESENTATIVE		DATE	