



QUALIFIED ARCHITECTURAL DESIGN

Changing the world one building at a time . . .

Camilla : Eagar

(MArch) (BAS)



064 065 2492

RootedLivingSolutions@pm.me

Unit 4, Building 1
Milkwood Village
Beacon Road
Wilderness

October 2025

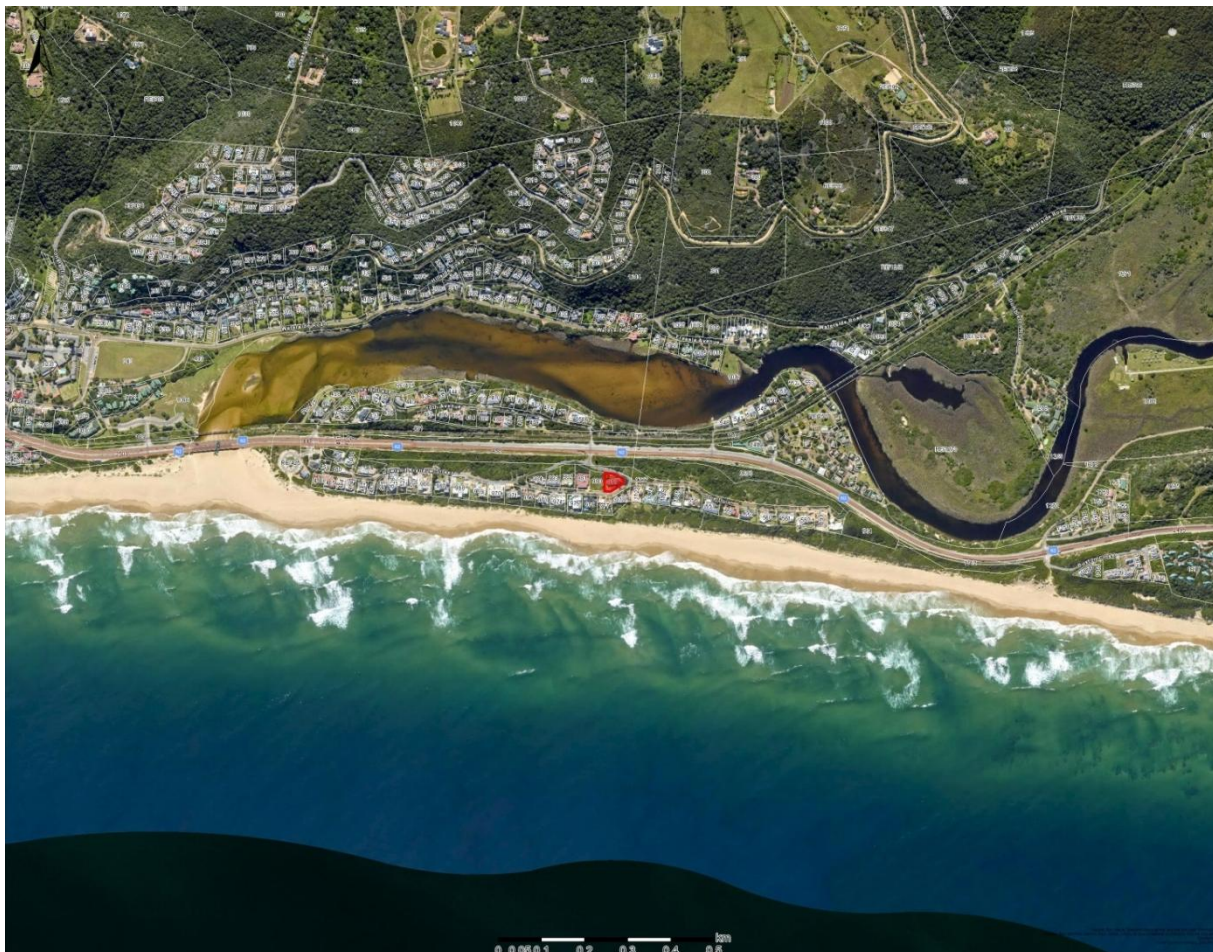
PROPOSED PERMANENT DEPARTURE & ADMINISTRATOR'S CONSENT

FOR AMICALOX PROPRIETARY LIMITED

REG NO:2014/001550/07

ERF 979

**44 ROLAND KRYNAUW AVENUE, *DIE DUIN*, WILDERNESS
GEORGE MUNICIPALITY & DIVISION**



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PERMANENT DEPARTURES & ADMINISTRATORS CONSENT
ERF 979, 44 ROLAND KRYNAUW AVENUE, DIE DUIN, WILDERNESS
GEORGE MUNICIPALITY & DIVISION

1. BACKGROUND INFORMATION

Erf 979 Wilderness is a 1429m² Single Residential Zone I property. The existing dwelling is positioned centrally on the oddly shaped property with the house facing north, elongated west to east and bordering onto a public street along 3 of the 4 sides. A new garage and hobby room is proposed on the western side of the house. The hobby room will encroach the western building line as per the zoning scheme and title deed. At the same time a new lean-to and the existing swimming pool is also addressed.

The power of attorney is attached as **Annexure 1** to this report. The table below includes relevant information regarding Erf 979 Wilderness.

Property Description:	Erf 979 Wilderness
Physical Address:	44 ROLAND KRYNAUW AVENUE, <i>DIE DUIN</i> , WILDERNESS
Owner:	AMICALOX PROPRIETARY LIMITED Reg No:2014/001550/07
Title Deed No:	T 47042/2021 (Annexure 2)
Size of the property:	1429m ²
SG Diagrams	Annexure 3
Zoning	Single Residential Zone I(dwelling house)

The conveyancer certificate confirms that Condition E.6.(b) in the title deed impedes building lines on that need to be addressed through Administrators Consent as determined by Section 34 of the Western Cape Land Use Planning Act, 2014. The conveyancer's certificate is attached hereto as **Annexure 4**.

2. APPLICATION

This land use application for Erf 979 Wilderness is as follows:

- **Administrator's consent** in terms of Section 39(4) of the Western Cape Land Use Planning Act, 2014 (LUPA) for the relaxation of the building lines contained in Paragraph E.6.(b) as follows:
 - for a new garage and hobby room to be up to 1.1m from the western side boundary;
 - for an existing lean-to from 5.0m to 2.2m & 4.0m from the southeastern street building line;
 - for an existing swimming from 1.0m to 0.7m from the northern street building line.

- **Permanent departure** in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-law (2023) for the relaxation of the following:
 - western side boundary building line from 3.0m to 1.1m for the proposed hobby room;
 - southeastern street building line from 5.0m to 2.2m & 4.0m for a existing lean-to;
 - northern street building line from 5.0m to 0.7m for an existing swimming pool.

3. LOCALITY, ZONING, & CHARACTER OF THE PROPERTY

Erf 979 Wilderness is developed residential property, zoned Single Residential Zone I, located on Roland Krynauw Avenue, *Die Duin*, Wilderness, a small coastal neighbourhood just east of the Village of Wilderness between the N2 and the Indian Ocean. A locality map is attached hereto as **Annexure 5**.

The area is dominantly characterized by large luxurious dwelling houses and guest houses. The zoning and land use of the property will not change following this land use application for a permanent departure and Administrator's Consent.

Die Duin is characterized by large residential properties that commonly have large houses with large footprints that span 0m to 1.0m to the common boundaries of erven and the street.

Erf 979 Wilderness is 1429m² and has a relatively flat topography with a steep slope towards the north. The existing footprint of the structures on the property is approximately 336,6m², with the new proposed total footprint being 402m² with a 32% coverage. In terms of the zoning scheme, the property has a 3.0m side building line to the south, and a 5m street building line to the north, east and west. In terms of the title deed, the property has a 5m street building line, 3m rear and 1,5m lateral building line. The image to the right shows the property as seen from above with the zoning scheme building lines (blue) and title deed building line along the western side boundary (yellow). The street building lines are the same in terms of the title deed and the zoning by-law.

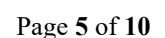
4. DEVELOPMENT PROPOSAL

The previous owners had converted the garage into an additional bedroom. The current owners are now in the process with plans for the new garage and the hobby room above which requires addressing building lines included in the title deed for the property. The new owner of Erf 979 Wilderness added a 65m² garage on the ground floor and a 65m² hobby room on the first floor on the west side of the existing house. The footprint will increase to 402m² (32%) and the house will remain as is.

The garage is permitted within the building line under the zoning scheme. The proposed hobby room was initially planned to be set back to 3m to align with the building line but was changed to align with the ground floor garage wall, for building practicality and to maximize usable internal space. The structure is set back 1.1m from

This land use application also addresses an existing 'afdak' or lean-to on the eastern side of the dwelling house which provides a covered outdoor space for this bedroom to enjoy. It is about 9.3m² and 2.2m from the street boundary at the closest point. With the existing garden, this lean-to does not impose on the amenity of the streetscape.

See **Annexure 6** for the site plan with the floor plans, elevations, sections and a 3D attached as **Annexure 7**. The site plan is extracted below.



5. ADMINISTRATOR'S CONSENT

Paragraph E.6.(b) of the title deed restricts development on the property to be within building lines of 5 meters from the street boundaries and 1,5 meters to the rear and lateral boundary.

As the condition was imposed by the Administrator, it is subject to amendment or relaxation at his/her discretion. In accordance with Section 39(4) of the Western Cape Land Use Planning Act, 2014 (LUPA), the Municipality is now the Administrator. Consent is thus requested in this regard for the proposed relaxation of building lines as described in paragraph 2 above. See the plans attached as **Annexure 6 & 7**.

The garage placement is in line with the development parameters applicable to the property as determined by the zoning scheme by-law. The upstairs hobby room however requires building line relaxation. It is intended to maximise the use of the downstairs building footprint and will fulfil the owners' need regarding space to practise hobbies (art). The building has been designed not to exceed the existing buildings height and is within the height parameters.

The only adjoining neighbour is to the west and there are no neighbours to the north or east. The proposed extension will not block any views nor will create shadows over any existing buildings. The building line adjustment will be similar to that of many properties on *Die Duin* and surrounding area.

As stated in par. 5 above, this land use application also addresses an existing 'afdak' or lean-to on the eastern side of the dwelling house which provides a covered outdoor space for this bedroom to enjoy. It is about 9.3m² and 2.2m from the street boundary at the closest point. With the existing garden, this lean-to does not impose on the amenity of the streetscape.

Then the swimming pool is located closer to the northern boundary than made possible by the zoning by-law and the title deed. The detail in this regard is discussed earlier in this report and indicated on the attached plans.

6. MUNICIPAL ENGINEERING SERVICES & ACCESS

The municipal engineering services provided for this property will continue to be used as at present. Access also complies with the relevant sections of the zoning by-law.

7. IMPACT ON NEIGHBOURING PROPERTIES

Public interest in this application is considered limited, as the proposed additions are in keeping with the character of the property and surrounding area. The additions are located along the side boundary, only potentially affecting one neighbouring property, with consideration being made with no windows to the west and privacy screens to maintain the privacy of the neighbours. The lean-to located closer to the southeastern street boundary, does not impose on the streetscape and is surrounded by garden. Additionally, there are no residential properties to the north and east. The

access stairs were also moved from close to the western boundary to be located on the eastern side of the garage. See the elevations included in **Annexure 7**.

The proposed addition of the garage and hobby room to the west is both logical and practical. The garage is placed in the only practical position, since access is restricted on the north due to a steep slope and there is not adequate space to the east or south to allow for the garage and adequate manoeuvring space, the hobby room is placed conveniently on top of the garage for practicality and to minimize the footprint. The lean-to on the eastern side of the dwelling house, provides a covered outdoor space to enjoy on this side of the property, surrounded by the garden.

8. ENVIRONMENTAL CONSIDERATIONS

No environmental impact is expected. Existing trees are retained.

9. NEED & DESIRABILITY

Need depends on the nature of the proposal and is guided by the principle of sustainability. This land use report demonstrates that the requested departures for the proposed additions to the existing house on Erf 979 Wilderness are responsive to the property and areas characteristics and will improve the functionality and liveability of the house on the property. The additions, in our opinion, do not negatively impact surrounding properties, the visual landscape, or the environment.

Desirability from a planning perspective is defined as the degree of acceptability of a proposed development on a property. The relevant factors include the physical characteristics of the property, existing planning in the area, character of the area, the locality and accessibility of the property as well as the provision of services. None of these factors are impacted negatively as indicate in this report.

10. LEGISLATION & POLICIES

The criteria for the consideration of land use applications as per the Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013) (SLPUMA), the Western Cape Land Use Planning Act, (Act 3 of 2014) (LUPA) and the George Municipality: By-law on Municipal Land Use Planning (2023) builds on each other. SLPUMA introduced legislative and procedural changes to the management of land use planning in South Africa. The Western Cape Province followed with LUPA and thereafter George Municipality with the Municipal Land Use Planning By-law (2023). What is relevant to this land use application is discussed in the paragraphs to follow.

10.1 SPATIAL PLANNING & LAND USE MANAGEMENT ACT, 2013 (SPLUMA)

Section 7 of this Act sets out the five development principles that are applicable to spatial planning, land development and land use management and section 42 of SPLUMA then refers to the factors that must be considered by a municipal tribunal when considering a land use planning application, which include but are not limited to:

- Five SPLUMA development principles;
- Public interest;
- Constitutional transformation;
- Respective rights and obligations of all those affected;
- State and impact of engineering services, social infrastructure and open space requirements;
- Compliance with environmental legislation.

Relevant aspects not addressed in the earlier paragraphs of this land use report, are addressed below:

10.1.1 FIVE DEVELOPMENT PRINCIPLES

The five development principles of SPLUMA, namely spatial justice, spatial sustainability, efficiency, spatial resilience, and good administration are not all directly relevant to this land use application:

Principle	Section	Comment
Spatial justice	7(a)	Not relevant
Spatial sustainability	7(b)	The proposed application holds no expected negative environmental impact; The effective and equitable functioning of land markets is not negatively affected by this application; No negative impacts are expected on surrounding properties.
Efficiency	7(c)	It can be stated that by adding a structure above ground floor level limits environmental impact.
Spatial resilience	7(d)	Not relevant
Good administration	7(e)	Relevant to all involved in land use matters.

This land use application supports the relevant development principles of SPLUMA.

10.2 WESTERN CAPE LAND USE PLANNING ACT, 2014 (LUPA)

LUPA requires that local municipalities consider the following when deciding on land use applications:

- Applicable spatial development frameworks;
- Applicable structure plans;
- Land use planning principles referred to in Chapter VI (Section 59) which is an expansion of the five development principles of SPLUMA;
- Desirability of the proposed land use; and
- Guidelines that may be issued by the Provincial Minister regarding the desirability of proposed land use.

The land use planning principles expands on the five development principles of SPLUMA and desirability which are discussed in the relevant paragraphs of this report.

Section 19(1) and (2) of LUPA refers to **consistency** and **compliance** of a land use proposal regarding spatial development frameworks or structure plans. Considering the aim of this land use application for Erf 979 Wilderness, no conflict was found with the George Municipal Spatial Development Framework (GMSDF).

10.3 GEORGE MUNICIPALITY: LAND USE PLANNING BY-LAW, 2023

The general criteria for the consideration of applications in terms of this By-law are included in Section 65 which, inter alia, includes:

- Desirability of the proposed utilisation of land;
- Impact of the proposed development on municipal engineering services;
- Integrated development plan, including the municipal spatial development framework, the applicable local spatial development framework and/or local structure plans;
- Relevant municipal policies;
- Western Cape Provincial Spatial Development Framework;
- Section 42 of SPLUMA (public interest, constitutionality);
- Land use planning principles transposed from LUPA; and
- Provisions of the applicable zoning scheme.

The above is addressed elsewhere in this land use report as relevant.

10.4 GEORGE INTEGRATED ZONING SCHEME BY-LAW, 2023

Erf 979 Wilderness, located in the suburb *Die Duin*, is a Single Residential Zone I (dwelling house)-property according to the George Integrated Zoning Scheme By-law (2023) and developed accordingly with a dwelling house thereon.

The property has a 5.0m street building line to the north, east & south, and 3m western side building line. The garage is permitted to be over the building lines as per the George Zoning scheme and the hobby room above the garage require a permanent departure for the relaxation of 1,1m western side building line. This hobby room is a non-interleading room, permitted in terms of the definition for dwelling unit as included in this zoning by-law.

The lean-to on the eastern side of the dwelling house does not comply with the 5.0m street building line and therefore relaxation to 2.2m at the closest point is included with this land use application. It provides an outdoor relaxation space for the bedroom located adjacent to it. With the established garden around it, it does not impose on the public street or on surrounding properties.

The zoning by-law for the municipal area of George further determines that a swimming pool can be 1.0m from any boundary. In this instance, previous owners

located the swimming pool about 0.7m from the northern street boundary. This section of the property is significantly higher than the public street below. It therefore cannot have any impact on the public environment.

Other relevant development parameters to the extensions are in compliance.

10.5 GEORGE MUNICIPAL SPATIAL DEVELOPMENT FRAMEWORK (GMSDF) (2023)

Erf 979 Wilderness is not addressed specifically in the GMSDF. It is a dwelling house inside the urban edge of Wilderness. This land use application and the nature thereof is found to be consistent with the GMSDF as required in terms of Section 19 of the Land Use Planning Act, 2014 (LUPA).

10.6 WILDERNESS-LAKES-HOEKWIL LOCAL SPATIAL DEVELOPMENT FRAMEWORK (LSDF) (2015)

The Wilderness-Lakes-Hoekwil Local Spatial Development Framework is a guiding policy document that promotes sustainable development while preserving the area's natural, environmental, and cultural assets. It aligns with broader municipal and provincial planning policies, sets out land use and development guidelines, supports infrastructure planning, and protects sensitive ecosystems and heritage features. The LSDF also encourages sustainable tourism and economic opportunities while ensuring community needs are considered in future development decisions. The LSDF does not fully support permanent departures. The character of the area, practicality on the property, and consideration of the neighbouring properties informing the additions and alterations proposed for Erf 979 Wilderness must be kept in mind when reading the LSDF. It must also be kept in mind that this older document takes its direction from the GMSDF (2023).

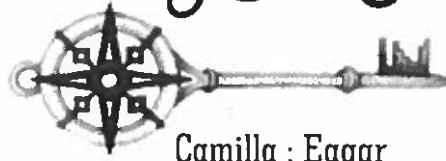
11. CONCLUDING

Obtaining the necessary permanent departure for the proposed additions on Erf 979 Wilderness will enable the owner to improve the liveability and functionality of their home. Based on this land use report, we believe the application aligns with all relevant planning considerations and complies with the applicable legislation. Furthermore, it does not conflict with the broader spatial objectives for the area.



Camilla Eagar

Rooted Living Solutions



Camilla : Eagar

064 065 2492

RootedLivingSolutions@protonmail.com

Unit 4
Building 1
Milkwood Village
Beacon Road
Wilderness

Architecture · Landscape · Design

POWER OF ATTORNEY

Date: 24 July 2025

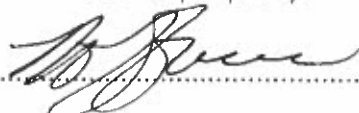
To whom it may concern

I Mageretha Cornelia Hoffmann authorized thereto by Amicalox Pty Ltd reg:2014/001550/07

registered owner of ERF 979, Wilderness

Address: 44 Roland Krynauw Avenue,
Wilderness, 6560

hereby authorize Camilla : Eagar to act on my behalf in any matter relating to the submission, viewing, obtaining copies or any other matter in line with building plans and/or town planning applications and/or approvals at the George Municipality for the above property.

Client Signature : 

Date: 24/7/2025

Witness Signature : 

RESOLUTION

Extract from the minutes of a meeting and
resolutions taken by the only member of
AMICALOX(PTY)LIMITED

Registration Number: 2014/001550/07,

Held at WILDERNESS on 22nd July 2025.

It was resolved that:

1. AMICALOX(PTY)LIMITED,

Registration Number: 2014/001550/07, in terms
of SECTION 15(2) OF THE LAND USE PLANNING
BY-LAW FOR GEORGE MUNICIPALITY ,COMPILE
AND SUBMIT LAND USE APPLICATIONS WITH
REGARD TO ERF 979 WILDERNESS , HELD BY
VIRTUE OF DEED OF TRANSFER T 47042/2021
REGISTERED ON 21st SEPTEMBER 2021.

2. That application to this effect forthwith be
made to the offices of GEORGE MUNICIPALITY
and or any other applicable entity to obtain
all and any permission, condonation,



relaxation, remedy any non compliance or extension ,that might be required in order to comply with GEORGE MUNICIPALITY building Regulations.

3.That Camilla Eagar (MArch) (BAS)

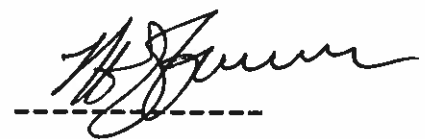
is appointed as the AGENT to make the envisaged applications and do all things necessary to obtain the requested permissions.

4.That Cornelia Mageretha Hoffmann

Identity Number 5511020020088 be authorised to make all arrangements and sign all documents necessary to implement these resolutions.

Signed at Wilderness on 22nd February 2021.

This is the original Resolution.

A handwritten signature in black ink, appearing to read 'MC Hoffmann', is written over a horizontal dashed line.

MC HOFFMANN

**Certificate issued by the Commissioner of Companies & Intellectual
Property Commission on Monday, April 12, 2021 at 10:03**



Companies and Intellectual
Property Commission
a member of the dti group

Disclosure Certificate: Companies and Close Corporations

Registration Number 2014 / 001550 / 07
Enterprise Name AMICALOX

ENTERPRISE INFORMATION

Registration Number 2014 / 001550 / 07
Enterprise Name AMICALOX (PTY) LTD
Registration Date 08/01/2014
Business Start Date 08/01/2014
Enterprise Type Private Company
Enterprise Status In Business
Compliance Notice Status NONE
Financial Year End February
TAX Number 9337965173

Addresses	<u>POSTAL ADDRESS</u>	<u>ADDRESS OF REGISTERED OFFICE</u>
	P O BOX 746 WILDERNESS WESTERN CAPE 6560	43 DIE DUIN WILDERNESS WESTERN CAPE 6560

ACTIVE MEMBERS / DIRECTORS

Surname and First Names	Type	ID Number / Date of Birth	Contrib. (R)	Interest (%)	Appoint. Date	Address
HOFFMANN, MAGERETHA CORNELIA	Director	5511020020088	0.00	0.00	18/03/2014	Postal: PO BOX 746, WILDERNESS, WILDERNESS, WESTERN CAPE, 6560 Residential: 43 DIE DUIN, WILDERNESS, WESTERN CAPE, WESTERN CAPE, 6560

AUDITOR DETAILS

Auditor Name	Type	Status	Appointment Date	Resignation Date	Email Address
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Profession Number:

CHANGE SUMMARY

12/01/2015	SMS Notification that Annual Return is due was sent on 12/01/2015. E-Mail sent to MAGERETHA CORNELIA HOFFMAN for 2015
05/01/2016	SMS Notification that Annual Return is due was sent on 05/01/2016. E-Mail sent to MAGERETHA CORNELIA HOFFMAN for 2016
11/01/2017	Email Notification that Annual Return is due was sent on 11/01/2017 E-Mail sent to MAGERETHA CORNELIA HOFFMANN for 2017



25

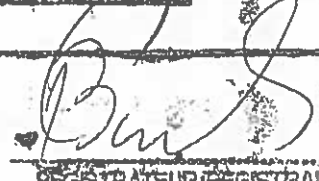
Fourie Basson & Veldtman
Tijger Park 5
off Willie van Schoor Drive
TYGER VALLEY
021 929 2600

Prepared by me



CONVEYANCER
JOHAN CHRISTO FOURIE (79879)

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R200 000,00	R1283,00
Reason for exemption	Category Exemption	Exemption i t o. Sec/Reg..... Act/Proc.....

VERBOND MORTGAGED	
VIA R. 2000 000,00	
000026541 / 2021	
21 SEP 2021	REGISTRAR/REGISTRAR

DATA / CAPTURE
01-10-2021
DIPONSHENG LEEUW

T 000047042 / 2021

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

PIETER CARLISLE HENNING (83232)

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer
being duly authorised thereto by a Power of Attorney granted to him/her by

ANNA HENDRINA DE BRUIN

Identity Number 300624 0003 081

Unmarried



DATA / VERIFY
01-10-2021
VUYELWA LAMANI

which said Power of Attorney was signed at BENONI on 25 JUNE 2021

And the appearer declared that his/her said principal had, on 18 March 2014, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

AMICALOX PROPRIETARY LIMITED

Registration Number 2014/001550/07

or its Successors in Title or assigns, in full and free property

ERF 979 WILDERNESS, IN THE GEORGE MUNICIPALITY, DIVISION
GEORGE, PROVINCE WESTERN CAPE

IN EXTENT 1429 (ONE THOUSAND FOUR HUNDRED AND TWENTY NINE)
Square metres

FIRST TRANSFERRED by Deed of Transfer Number T 9555/1979 with
General Plan TP no 8177 relating thereto and held by Deed of Transfer no
T 000047041 / 2021

- A. SUBJECT to the conditions referred to in Certificate of Registered Title no T 7220/1928.
- B. SUBJECT and ENTITLED to certain benefits of certain special conditions in Deed of Transfer no T2059/1923 relating to road, footpath and water;
- C. ENTITLED to certain benefits relating to the use of a certain road referred to in said Certificate of Registered Title no T7220/1928 as set out in Deed of Transfer and Notarial Deed referred to in two endorsements dated 24 February 1928 and 23 April 1982 on Deed of Transfer no T2059/1923 respectively.
- D. SUBJECT FURTHER to the following conditions contained in Deed of Transfer no T23094/1967 imposed by the State in terms of Sections 11(6) of Act 21/40 as amended, namely:

"That no building shall be erected within a distance of 47,23 metres from the centre line of the national road on the Northern boundary of the property hereby transferred.

E. SUBJECT FURTHER to the following conditions imposed by the Administrator of the Cape of Good Hope in terms of Ordinance 33 of 1934 contained in Deed of Transfer no T9555/1979 when approving Wilderness Township Extension no 4, namely:

1. Any words and expressions used in the following conditions shall have the same meaning as may have been assigned to them by the regulations published under Provincial Notice no 383 dated 13 June 1958.
2. In the event of a Town Planning Scheme or any portion thereof applying or being made applicable to this erf, any provisions thereof which are more restrictive than any conditions of title applicable to this erf shall take precedence. Furthermore, nothing in these conditions shall be construed as overriding the provisions of Sections 146 Ordinance no 15 of 1952 as amended.
3. The owner of this erf shall, without compensation, be obliged to allow electricity cables and/or wire and main and/or other waterpipes and the sewerage and drainage, including stormwater of any other erf or erven inside or outside this township to be conveyed across this erf, if deemed necessary by the Local Authority and in such manner and position as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time for the purpose of constructing, altering, removing or inspecting any works connected with the above.
4. The owner of this erf shall be obliged, without compensation, to receive such material or permit such excavation on the erf, as may be required to allow use of the full width of the street and provide a safe and proper slope to its bank owing to difference between the levels of the street as finally constructing and the erf, unless he elects to build retaining walls to the satisfaction of and within a period to be determined by the Local Authority.
5. No building on this erf shall be used or converted to use for any purpose other than that permitted in terms of these conditions.

6. (a) This erf shall be used solely for the purpose of erecting thereon one dwelling or other building for such purpose as the Administrator may, from time to time after reference to the Townships Board and Local Authority, approve, provided that if the Erf is included within the area of a Town Planning Scheme, the Local Authority may permit such other buildings as are permitted by the Scheme, subject to the conditions and restrictions stipulated by the Scheme.

(b) No building or structure or any portion thereof, except boundary walls and fences shall, except with the consent of the Administrator, be erected nearer than 5 metres to the street line which forms a boundary of this erf nor within 3 metres of the rear or 1,5 metres of the lateral boundary common to any adjoining Erf, provided that with the consent of the Local Authority:-

(i) An outbuilding used solely for the housing of motor vehicles and not exceeding 3 metres in height, measured from the ground floor of the outbuilding to the wall plate thereof, may be erected within such side and rear spaces, and any other outbuilding of the same height may be erected within the rear space and side space for a distance of 12 metres measured from the rear boundary of the Erf, provided that in the case of a corner erf, the distance of 12 metres shall be measured from the point furthest from the streets abutting the Erf;

(ii) An outbuilding in terms of subparagraph (i) may only be erected nearer to a lateral or rear boundary of a site than the above prescribed spaces, if no windows or doors are inserted in any wall facing such boundary.

(c) On consolidation of this Erf, or any portion thereof with any abutting erf, which is subject to the same conditions as herein set forth, these conditions shall apply to the consolidated holding as if it were one erf.

(d) In the event of this Erf being subdivided, each subdivided portion, other than any portion deducted for road or similar purposes, shall be subject to the conditions herein set forth as if it were the original erf.

F. SUBJECT FURTHER to the conditions of the following endorsement dated 7 January 1972 on said Certificate of Registered Title no T9820/1971, namely:-

WHEREFORE the said Appearer, renouncing all rights and title which the said

ANNA HENDRINA DE BRUIN , Unmarried

heretofore had to the premises, did in consequence also acknowledge her to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

AMICALOX PROPRIETARY LIMITED

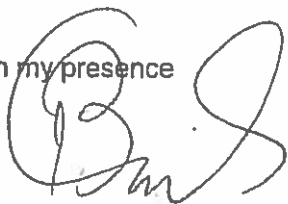
Registration Number 2014/001550/07

or its Successors in Title or assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R2 000 000,00 (TWO MILLION RAND) .

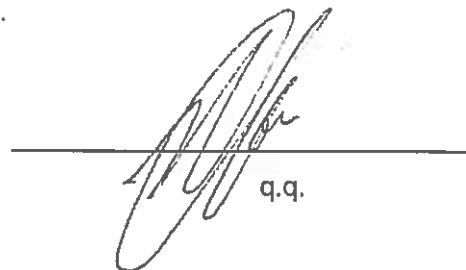
IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on *21 September* 2021.

In my presence



REGISTRAR OF DEEDS


q.q.

CONVEYANCER'S CERTIFICATE

in terms of Section 38(1)(n) of the George Municipality: Land Use Planning By-law

I, the undersigned, KARIN SMIT, a duly qualified and admitted conveyancer, practicing at Raubenheimers Inc., 60 Cathedral Street, George, Western Cape Province:

1. do hereby certify that I have perused the conditions of title in respect of:

ERF 979 WILDERNESS
IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE

IN EXTENT: 1 429 (ONE THOUSAND TWO HUNDRED AND TWENTY NINE)
SQUARE METRES

HELD BY DEED OF TRANSFER NUMBER T47042/2021

registered in the name of

AMICALOX PROPRIETARY LIMITED
REGISTRATION NUMBER 2014/001550/07

2. have been advised that application will be made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure to allow for the relaxation of the following building lines:

- o Western lateral common boundary building line from 1.5 m to 1.1 m for the new garage and hobby room;
- o Southern street boundary from 5 m to 2.2 m for the hobby room and stairs;

3. hereby confirm that the following conditions contained in the abovementioned title deed may restrict the contemplated land uses in terms of the proposed application, but that application is being made for the Administrators Consent (an Application in terms of Section 39 of the Land Use Planning Act, 2014), namely:

"D. SUBJECT FURTHER to the following conditions contained in Deed of Transfer no T23094/1967 imposed by the State in terms of Sections 11(6) of Act 21/40 as amended, namely:

"That no building shall be erected within distance of 47,23 metres from the centre line of the national road on the Northern boundary of the property hereby transferred.

"E. SUBJECT FURTHER to the following conditions imposed by the Administrator of the Cape of Good Hope in terms of Ordinance 33 of 1934 contained in Deed of transfer No T9555/1979 when approving Wilderness Township Extension No. 4, namely:

- (6) (b) No building or structure or any portion thereof, except boundary walls and fences shall, except with the consent of the Administrator, be erected

nearer than 5 metres to the street line which forms a boundary of this erf nor within 3 metres of the rear or 1,5 metres of the lateral boundary common to any adjoining Erf, provided that with the consent of the Local Authority -

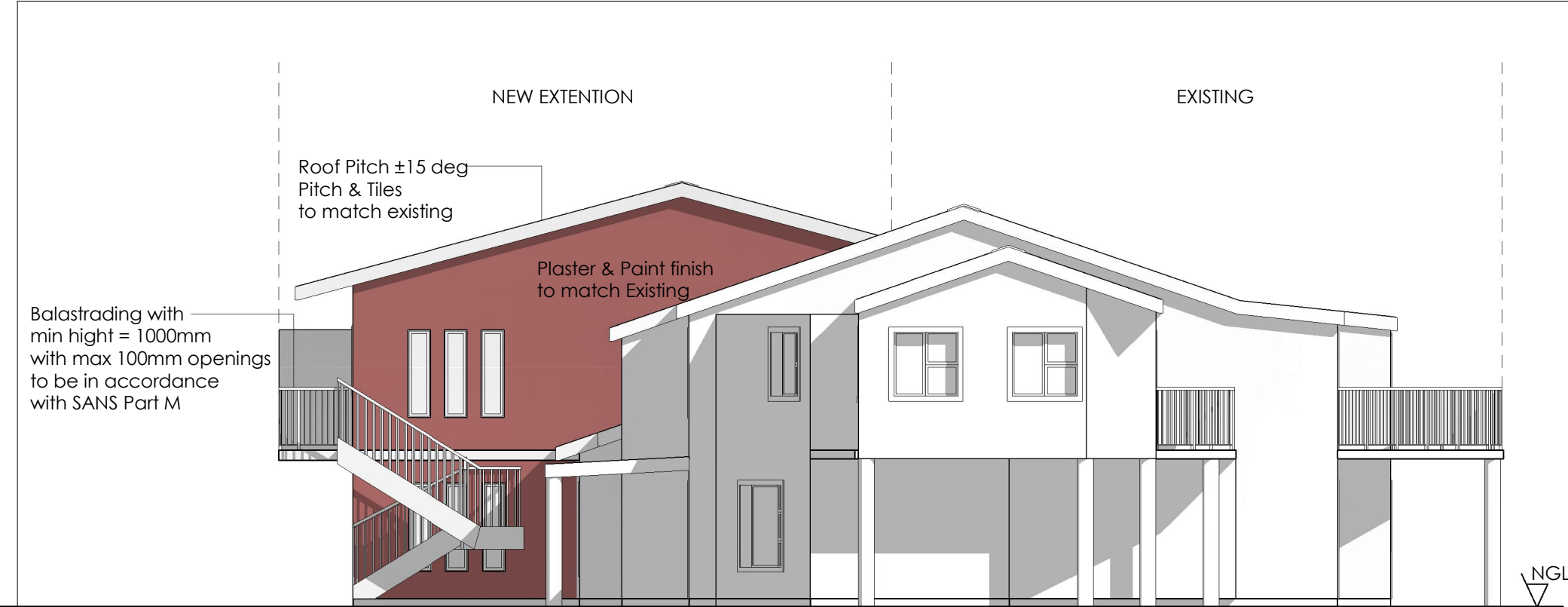
- (i) An outbuilding used solely for the housing of motor vehicles and not exceeding 3 metres in height, measured from the ground floor of the outbuilding to the wall plate thereof, may be erected within such side and rear spaces, and any other outbuildings of the same height may be erected within the rear space and side space for a distance of 12 metres measured from the rear boundary of the Erf. Provided that in the case of a corner erf, the distance of 12 metres shall be measured from the point furthest the street abutting the Erf;
- (ii) An outbuilding in terms of subparagraph (i) may only be erected nearer to a lateral or rear boundary of a site than the above prescribed spaces, if no windows or doors are inserted in any wall facing such boundary.

- 4. do hereby confirm that, with the exception of the conditions referred to paragraph 3 above, there are no further conditions contained in the abovementioned title deed which restrict the contemplated land uses in terms of the proposed applications.
- 5. hereby confirm that there are no mortgage bonds registered over the property.

Signed and dated at GEORGE on 29 AUGUST 2025



K SMIT
CONVEYANCER - LPC no. 59923



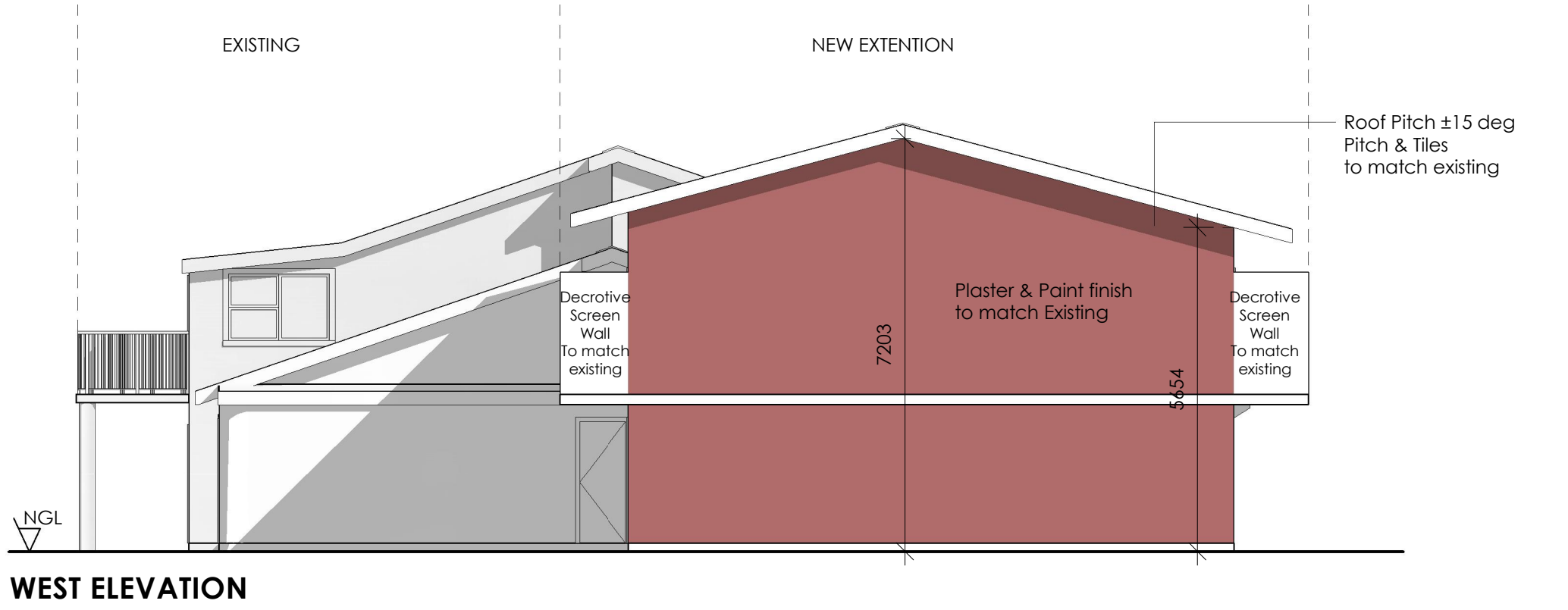
EAST ELEVATION
Scale 1 : 100



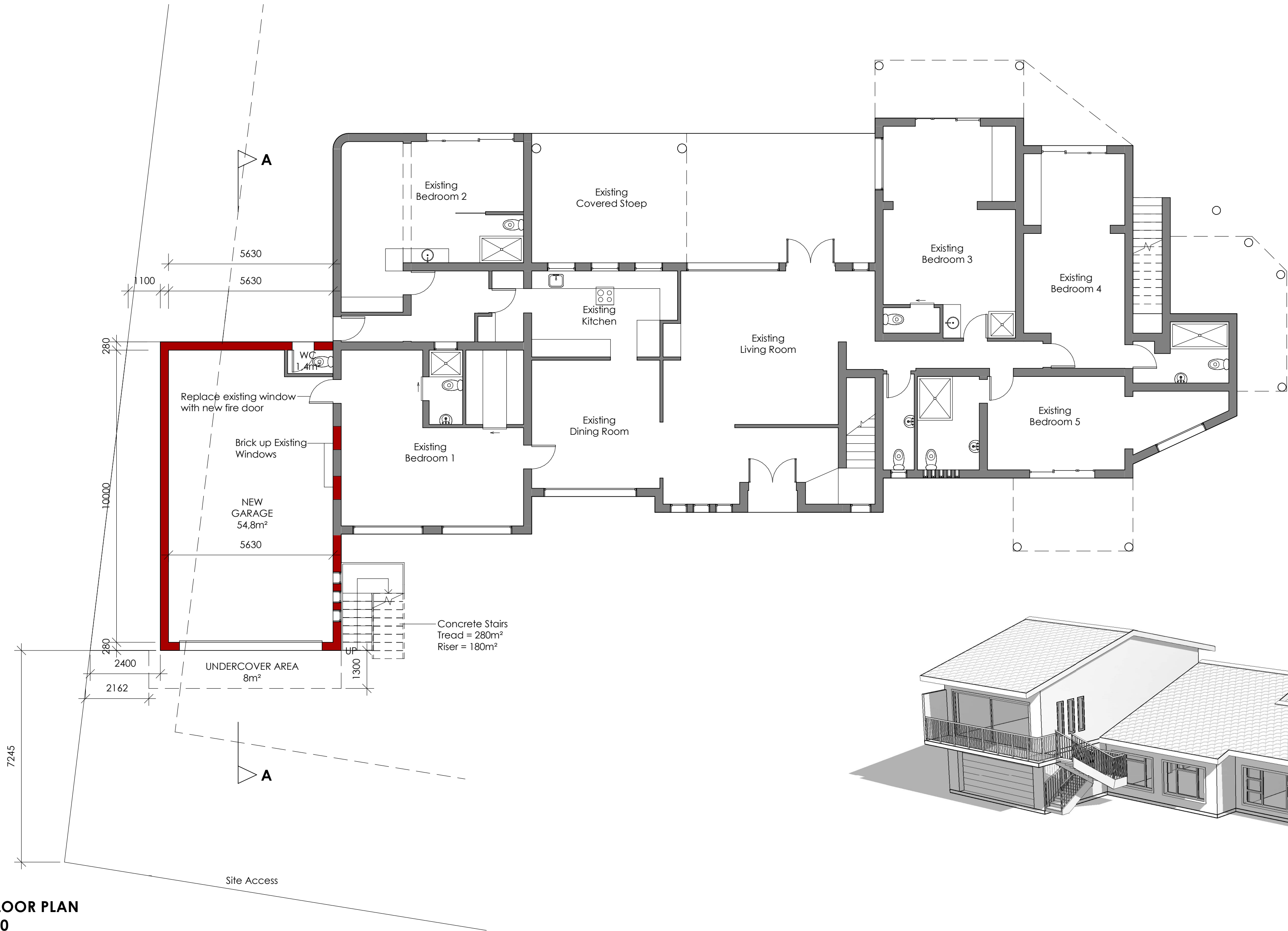
NORTH ELEVATION
Scale 1 : 100



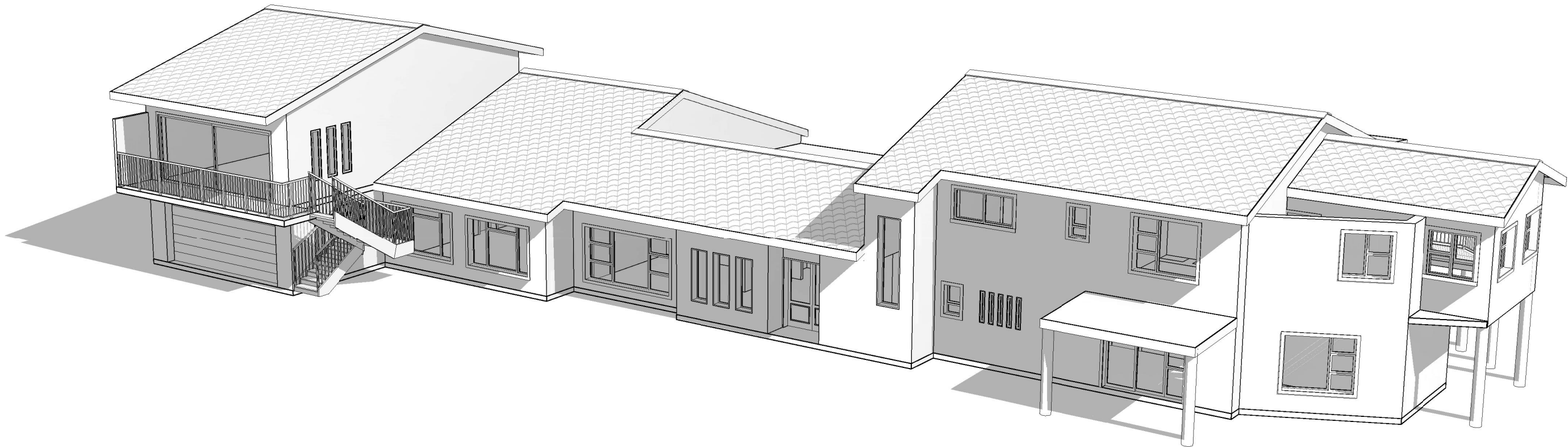
SOUTH ELEVATION
Scale 1 : 100



WEST ELEVATION
Scale 1 : 100



GROUND FLOOR PLAN
Scale 1 : 100



GENERAL NOTES:

- * Contractor is responsible for the correct setting out of the building; all external & internal walls with particular reference to boundaries, building lines, services, etc.
- * Boundary pegs to be identified by the Client. Pegs to be checked by contractor, including all levels, dimensions, steps, etc. Any apparent discrepancies between the site & the drawings are to be brought to the designers attention
- * The contractor is to verify all levels, heights & dimensions on site & to check same against drawings before putting any work in hand.
- * The contractor is to locate & identify existing services on site & is to protect these from damage throughout the duration of the works.
- * Figured dimensions to take preference to scaling.
- * All work to comply with the National Building Regulations(SANS 10400), The applicable SABS codes of conduct & standards as prescribed by the National Building Regulations Council (NBRC).
- * All materials to be SABS or NBRC approved.
- * Foundations to take founding in solid undisturbed ground
- * Concrete to foundation & surface bed to be 20MPa at 28 days.
- * All electrical & plumbing work to be carried out by qualified subcontractors
- * Fill below surface bed to be well compacted in 150mm layers to archive a min of 93% modified AASHTO, ensure suitable material is used, free from clay content.
- * Brickwork to be built in below & above windows level & every forth course in continuous bands.
- * Provide 4mm galvanised wire ties built 5 courses into external brickwork to secure rooftrusses to wall.
- * Provide laminated safety glass to all doors & windows where glazing is within 900mm above F.F.L
- * Wet areas to be tiled or sealed with other waterproofing or feature detail as per client specification
- FIRE PREVENTION:**
 - * Any roof space between garage & habitable areas shall be divided by a wall with 30min fire rating
 - * Any door between garage & habitable areas to be a solid timber core door, 40mm thick.
- FLOOR & WATERPROOFING:**
 - * Ground floor slab: 85mm thick, 20MPa concrete, perfectly level, min. 150mm above N.G.L. on compacted hardcore min 93% modified AASHTO:
 - * 25mm thick screed & finished as indicated.
 - * Structural concrete floors to eng. spec.
- FOUNDATIONS & BRICKWORK:**
 - * All foundations to be 20MPa concrete at least 250 x 750mm, min 255/600 under ground level or to eng. spec
 - * Boundary walls foundation must not encroach over boundary & walls to be finished as per the finishing schedule.
 - *lintels to be supported min 150mm either side for openings up to 3m & at least 220mm for openings up to 4.8m
- STAIRS & BALUSTRADE:**
 - *Stairs to be 110mm min width, treads 300mm min, risers 170mm max, with 6mm max deviation.
- DRAINAGE:**
 - * Any drain not deeper than 450mm under ground level to be protected against loads
 - * All drains to be 100Ø PVC min fall 1:60
 - * Stacks in ducts to be accessible for cleaning purposes
 - * Anti vac traps to all first floor waste fittings.
- GLAZING:**
 - *Glazing of all new windows & doors to be in accordance with part N of SANS 10400
- DRYWALLING:**
 - *To be in accordance with SANS 10400
- TIMBER:**
 - *To be in accordance with SANS 1063. All timber to be CCA Treated
- CHIMNEYS:**
 - *To be in accordance with SANS part V of SANS 10400
- * Any errors, discrepancies or omissions of any nature are to be reported to the designer immediately.
- * Any queries arising from any of the above must be reported to the designer for clarification before any work is put in hand.



Under the mentorship of
ARC
Anuarie Homann
Head of Office
(+27) 64 431 3116
info@arc.co.za

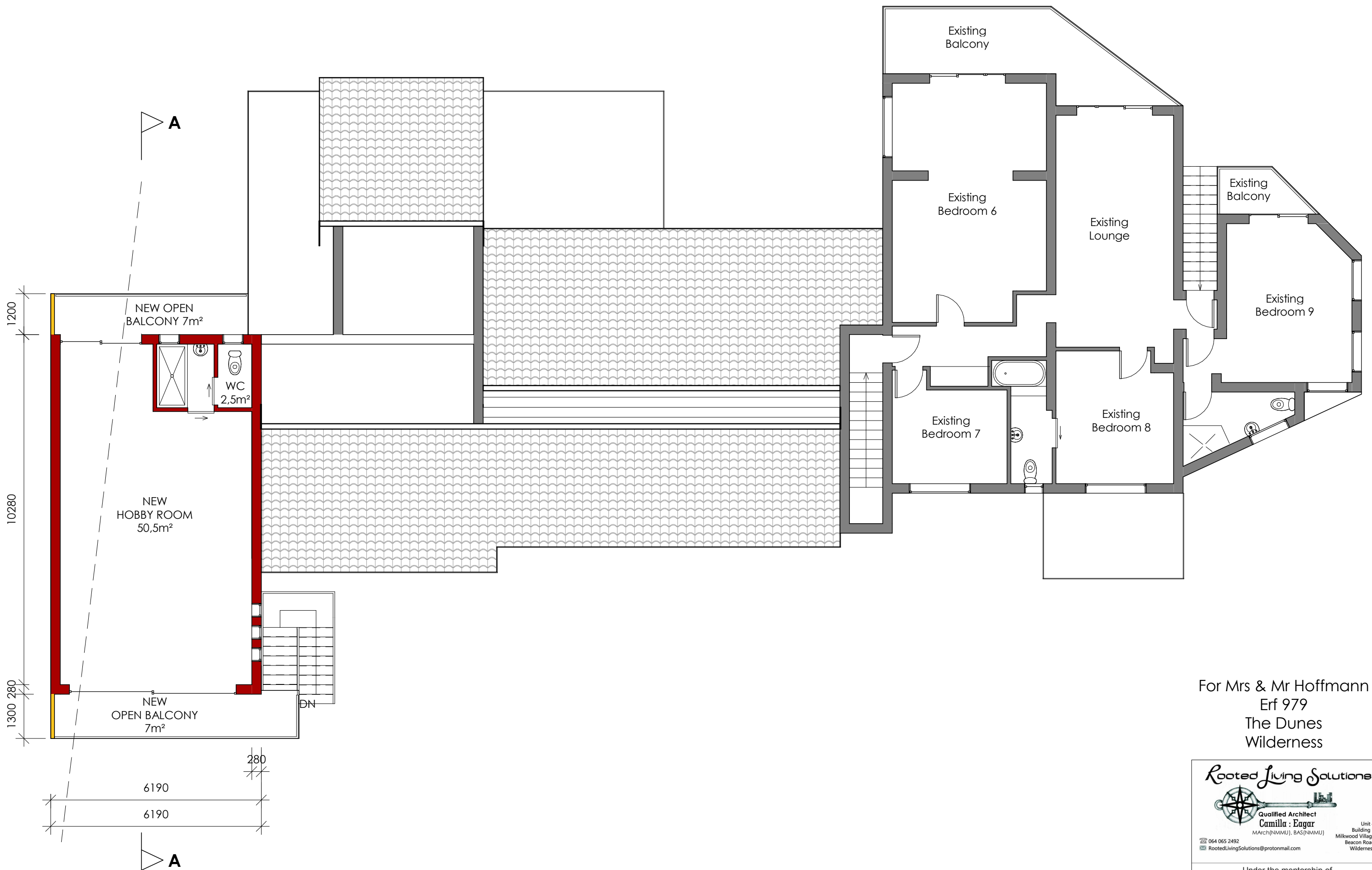
PROJECT
For Mrs & Mr Hoffmann
Erf 979
The Dunes
Wilderness

FOR MUNICIPAL APPROVAL

DATE 01 Nov 2025 **SCALE** As shown

Plan No: C2430 **W** 1

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For Mrs & Mr Hoffmann
Erf 979
The Dunes
Wilderness

Rooted Living Solutions
Qualified Architect
Camilla : Eagar
MARCH(NMMU), BAS(NMMU)
064 065 2492
RootedLivingSolutions@protonmail.com

Unit 4
Building 1
Milkwood Village
Beacon Road
Wilderness

Under the mentorship of

Ansumarie Homann
PrArch 21157 (SACAP)
(+27) 66 431 3116
info@arcco.co.za

ARCCO & CO

FIRST FLOOR PLAN
Scale 1 : 100

Date : 01 Nov 2025
Plan No: C2430

8177

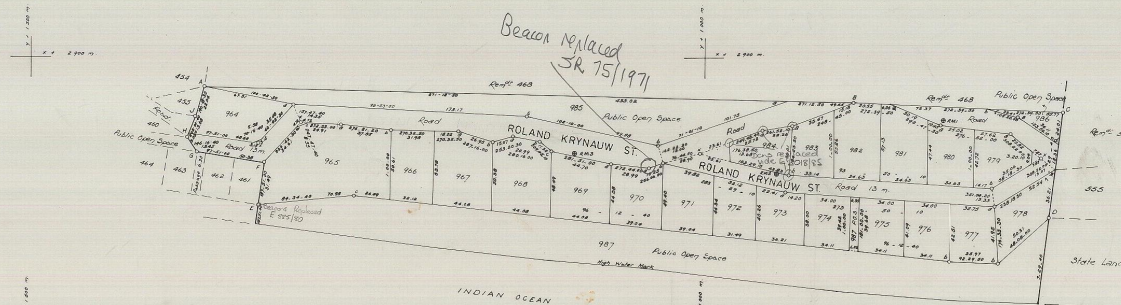
C.D.R.

S.G. No 467/1971

Approved

De la Roche
(Surveyor General)
11.3.71

ERF	DGM. NO
965	8190/73



Coordinate System	
T.M. 23°	
Convergency	Meridians
+37° 00' 00"	+3760 000.00
Main Figure	
A	+1 370.92
B	+1 388.46
C	+1 375.37
D	+1 343.63
E	+1 330.34
F	+1 320.04
G	+1 310.94
H	+1 303.41
J	+1 277.11
Block Corners	
964a	+1 304.79
b	+1 302.27
x	+1 281.00
965a	+1 269.77
b	+1 252.42
c	+1 259.67
x	+1 249.37
966a	+1 180.43
b	+1 176.71
967a	+1 142.28
b	+1 121.63
c	+1 112.92
968a	+1 089.17
969a	+1 040.22
b	+1 030.27
970a	+1 028.52
b	+1 017.02
971a	+1 003.61
b	+1 001.09
972a	+1 001.09
b	+1 001.09
973a	+1 001.09
b	+1 001.09
974a	+1 001.09
b	+1 001.09
975a	+1 001.09
b	+1 001.09
976a	+1 001.09
b	+1 001.09
977a	+1 001.09
b	+1 001.09
978a	+1 001.09
b	+1 001.09
979a	+1 001.09
b	+1 001.09
980a	+1 001.09
b	+1 001.09
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b	+1 001.09
982a	+1 001.09
b	+1 001.09
983a	+1 001.09
b	+1 001.09
984a	+1 001.09
b	+1 001.09
985a	+1 001.09
b	+1 001.09
986a	+1 001.09
b	+1 001.09
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997a	+1 001.09
b	+1 001.09
998a	+1 001.09
b	+1 001.09
999a	+1 001.09
b	+1 001.09
1000a	+1 001.09
b	+1 001.09

ERF No.	Area
964	1980 Sq.M
965	4740
966	1409
967	2255
968	2571
969	2052
970	1775
971	1823
972	1247
973	1264
974	1315
975	1212
976	1418
977	1443
978	1044
979	1429
980	1204
981	1043
982	1201
983	1315
984	1179
985	1315
986	1315
987	1315
988	1315
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993	1315
994	1315
995	1315
996	1315
997	1315
998	1315
999	1315
1000	1315

550 NOTES
1. Erf 970, beacons replaced (to Reg 18(2) SR 75/1971)

In terms of Section 18 of Ordinance No. 28
of 1964, the Surveyor General has caused the map
to be drawn and the beacons to be replaced.
S.G. No. 467/1971
11.3.71

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of 1964, the Surveyor General has caused the map
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S.G. No. 467/1971
11.3.71

FOR TRANSMISSION RECORDS
WITH D.R. DEPARTMENT

T.P.

GENERAL PLAN No 8177

WILDERNESS TOWNSHIP Est. No 4

Wilderness Suburban Area
Comprising 21 erven numbered 964-984, 3 public places
numbered 985-987 & roads situate on

Erf 988 (portion of Erf 468) Wilderness

Local Area of the Wilderness: Administrative District of George
Province Cape of Good Hope

vide Dym No 466/1971 annexed to

Surveyed Nov.-Dec. 1968
June 1970

C.D.R.

Land Surveyor

Original Diagram No 466/1971

S.G. No 3, 1971

Survey Records 2, 1971

Comp. 26-6-2003

2.4

Scale 1:1500

Description of Beacons

A B C D E F J Iron Standard
C 985a 986a Not beacons
D 985a 986a 985a 986a 987a Iron Peg 12 mm dia
H 985a 986a 985a 986a 987a Iron Peg 20 mm dia

All other beacons & block corners are Iron Standards

Reference Marks

R.M. R42 Iron Peg 12 mm dia - 20 cm below ground
R.M. 20 20 20

8177



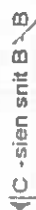
Legend

Erf

Map Center: Lon: 22°35'25.9"E
Lat: 33°59'45"S

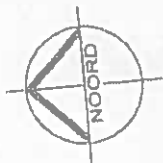
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Date created: August 20, 2025



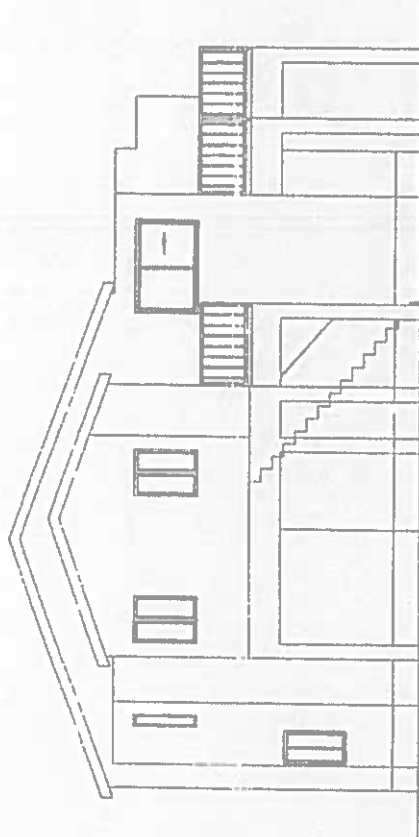
1:100 GRONDVLOER PLAN

NOTA: Alle mates moet op terrein gecontroleer word.

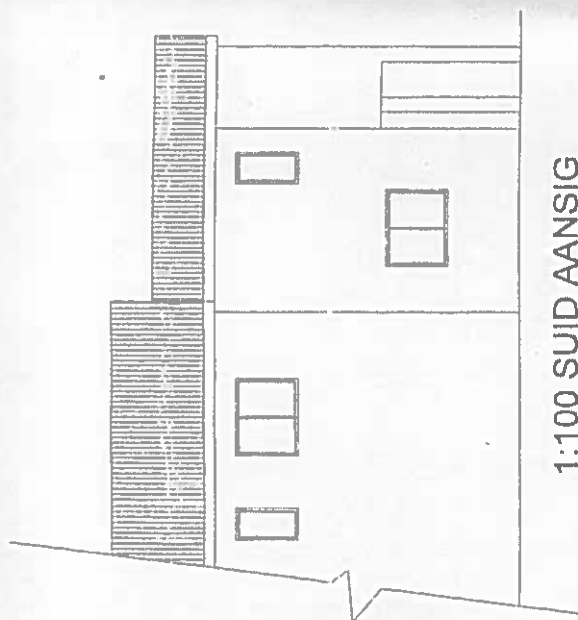


1:200 TERREINPLAN

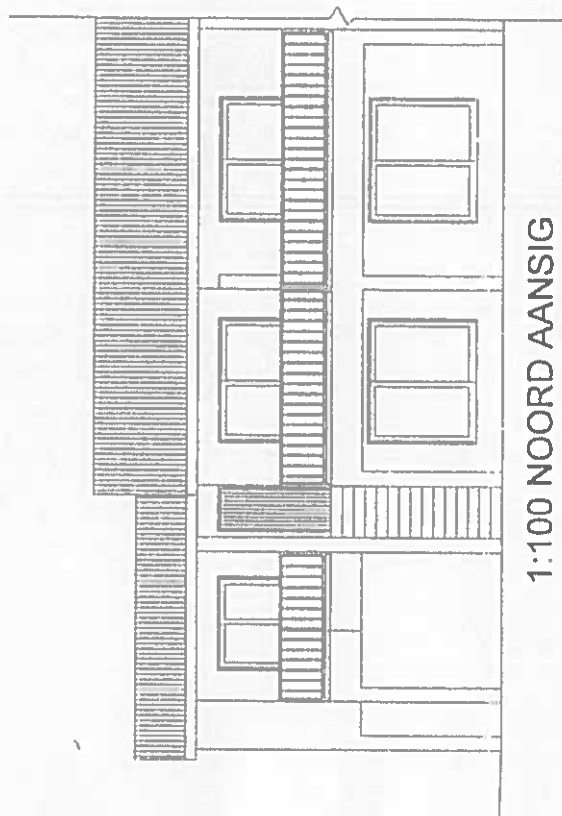
ROLAND KRYNAUWSTRAAT



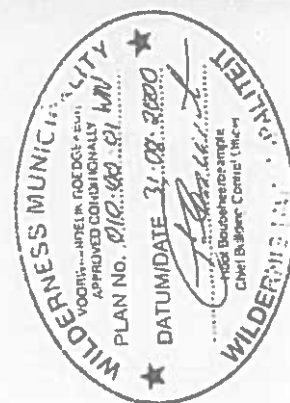
1:100 OOS AANSIG

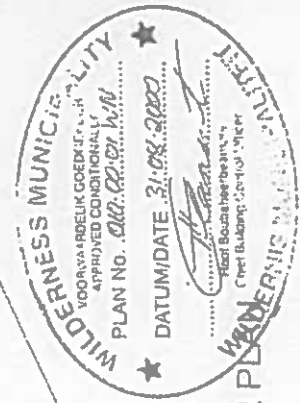
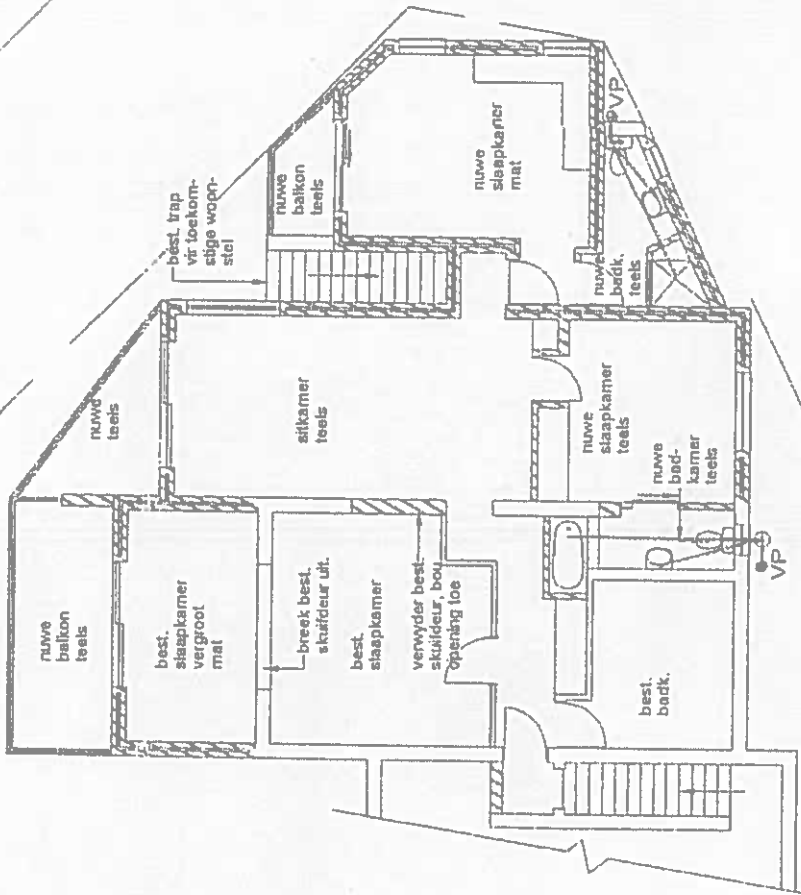


1:100 SUID AANSIG

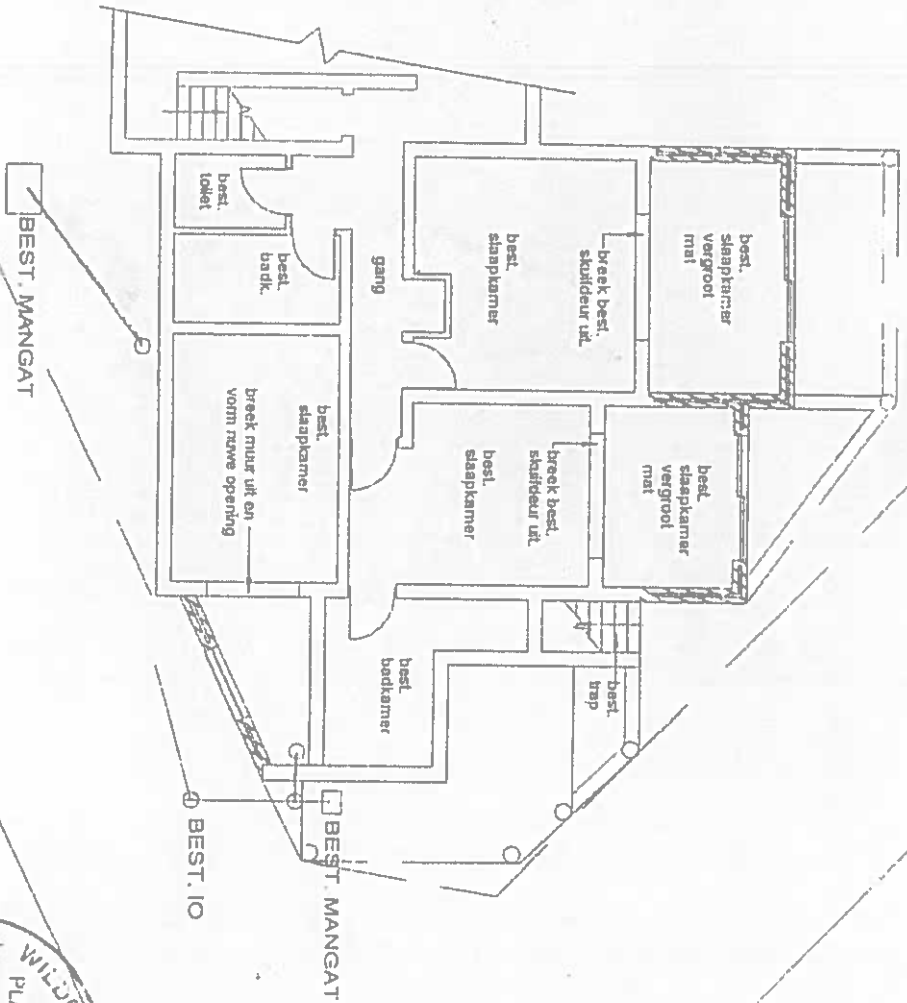


1:100 NOORD AANSIG



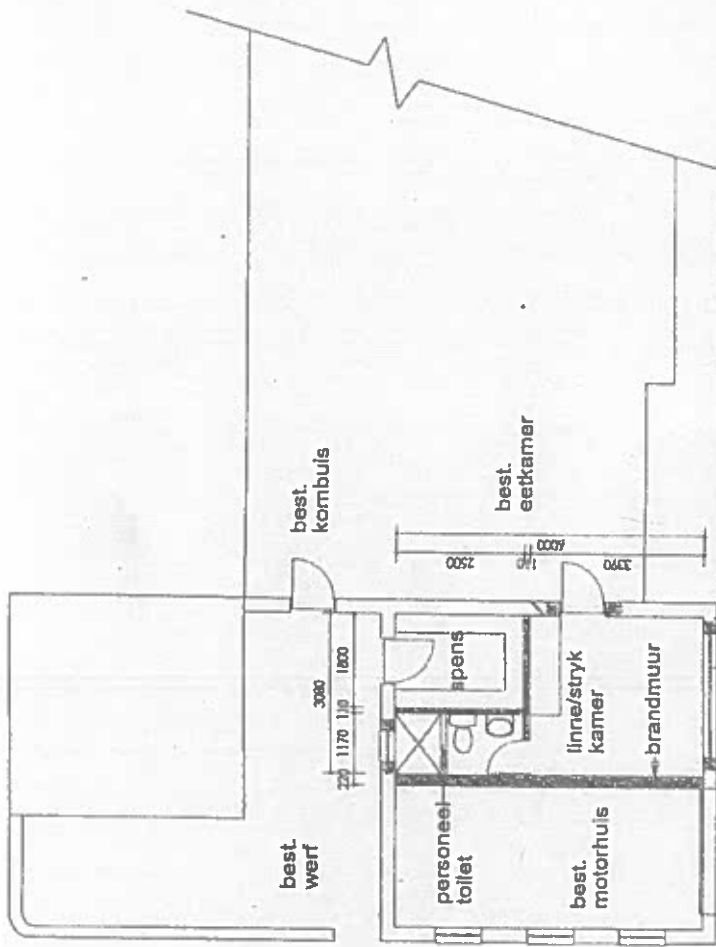
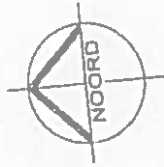


1:100 1STE VLOER PLAN
RIOOL



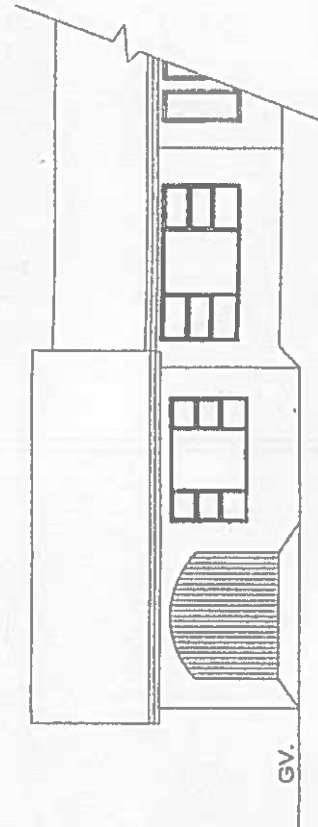
1:100 GRONDVLOER PLAN
RIOOL



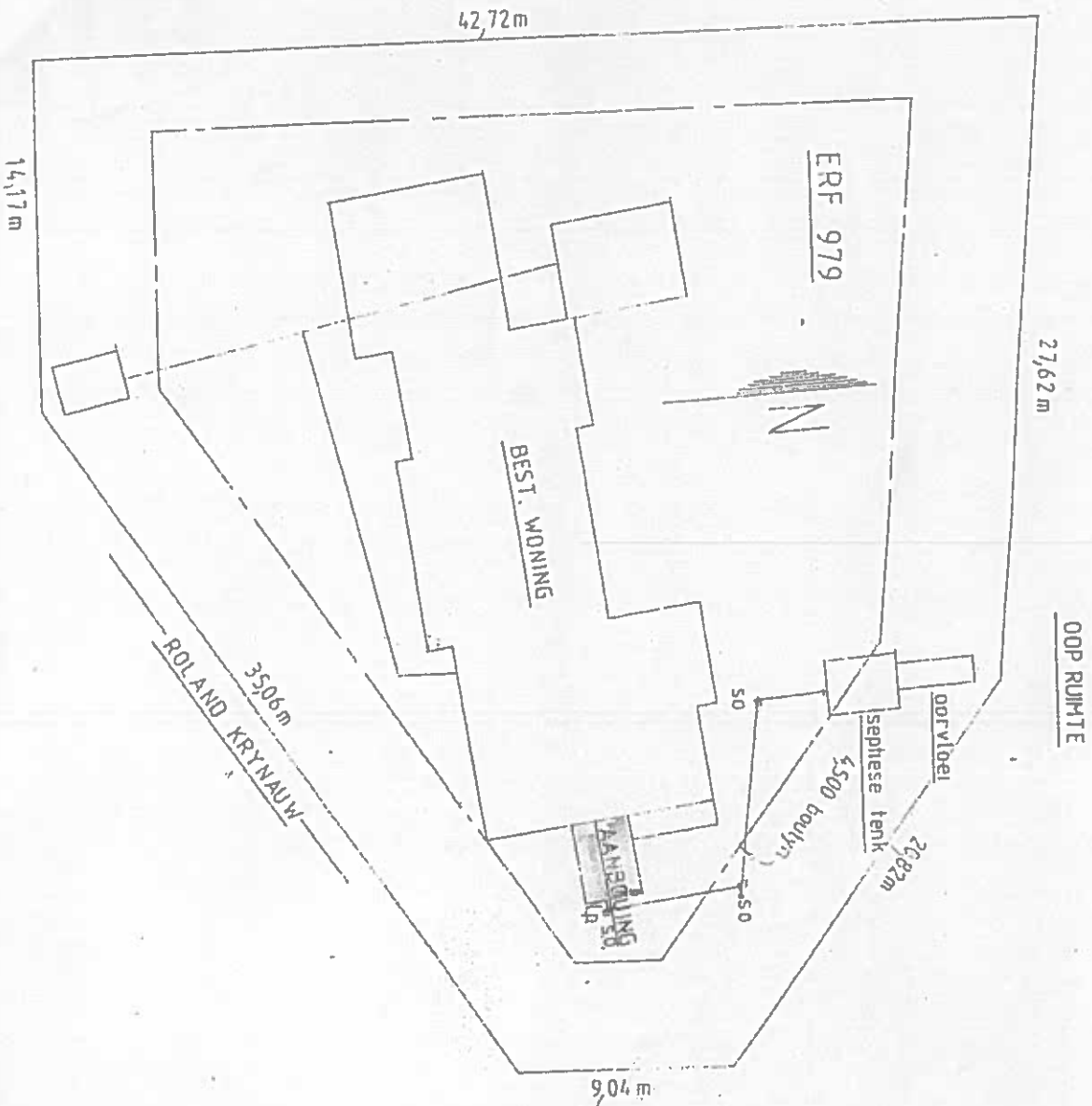


verwyder bestaande motorhuis - deur en bou nuwe venster in.

1:100 PLAN



1:100 SUID AANSIG



No alteration shall imply the creation of a second dwelling unit, nor be made to any building without the approval of the Council. Legal action will be taken against persons who disregard this instruction.

Gaen veranderings aan enige gebou, wat die skepping van 'n tweede woonerheid impliseer mag aangebring word sonder die goewernde koor van die Raad nie. Gereguleerde strukturele ingesiel word teen persone wat nie die instruksie verontagsaam.

APPROVED IN TERMS OF THE NATIONAL BUILDING REGULATIONS AND BUILDING STANDARDS ACT (ACT 103/1977). ANY UNAUTHORIZED DEVIATIONS FROM THIS APPROVED BUILDING PLAN WILL BE SEVERELY PENALIZED.

GOEWERNDERS IN TERME VAN DIE NATIONALE BOUWREGULASIES EN DIE NATIONALE BOUWSTANDARDE (WET 103/1977). ENIGE ONTOEGESTAADE AFWYKINGS VAN DIE GOEWERNDINGSE GOEDKEURDE BOUWPLAN SAL STRENG GEPUNASIEER WORD.



VOORGESTELDE AANBOUING VIR
MEV N TRUTER OP ERF 979
WILDERNIS

