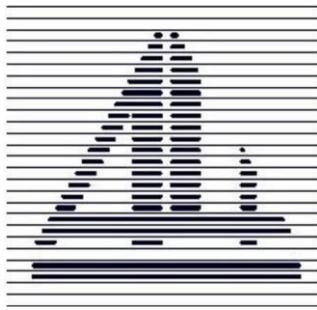


**CONSENT USE IN TERMS OF SECTION 15(2)(o) OF THE LAND USE PLANNING
BY-LAW FOR GEORGE MUNICIPALITY, 2023 TO ALLOW FOR A HOUSE SHOP
ON ERF 1184, BEGONIA STREET , HOEKWIL.**



A4 ARCHITECTURE

1 DAISY STREET LAVALIA GEORGE | TEL: 060 361 9692 | EMAIL: vincent@a4arc.co.za



CONTENT

- 1. PROPOSAL**
- 2. BACKGROUND INFORMATION**
- 3. PROPERTY DETAIL**
- 4. LOCALITY**
- 5. LAND USE PROPOSAL**
- 6. PUBLIC INTEREST**
- 7. CHARACTER OF THE AREA**
- 8. ECONOMIC IMPACT**
- 9. CONCLUSION**

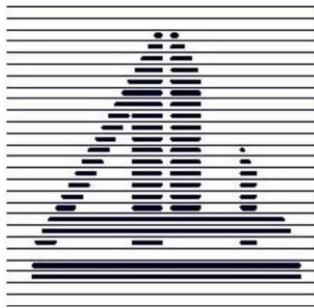
ANNEXURES

- 1. POWER OF ATTORNEY**
- 2. TITLE DEED**
- 3. MUNICIPAL APPLICATION FORM**
- 4. BUILDING PLANS**
- 5. BOND HOLDERS CONSENT**
- 6. BUSINESS AND HEALTH CERTIFICATES**



A4 ARCHITECTURE

1 DAISY STREET LAVALIA GEORGE | TEL: 060 361 9692 | EMAIL: vincent@a4arc.co.za



1. PROPOSAL

Approval for consent use in accordance with Section 15(2)(o) of the Land Use Planning By-Law for the George Municipality, 2023, to permit the establishment of a house shop on Erf 1184, Begonia Street, Hoekwil.

2. BACKGROUND INFORMATION

This property is situated in the scenic suburb of Hoekwil, within the Garden Route District. The residence comprises two bedrooms, a living room, a kitchen, and a bathroom. The home spans 40.11m², while the erf measures 187m².

The property is situated within a Single Residential Zone 3 area and is currently used primarily as a dwelling house. In an effort to improve the functionality and lawful use of the property, the owner intends to demolish the existing illegal structure and replace it with a new, compliant drywall structure. This new building will be rented out to a tenant for use as a shop, creating an opportunity for small-scale economic activity while enhancing the overall utility and value of the property.

The proposed plans have been presented to the affected neighbours, who have provided their written consent, which is attached herein. This demonstrates community support for the initiative. The proposed changes promote responsible property development and reflect the owner's intention to regularize the site while also contributing positively to the local economy through the creation of a rental space for small-scale commercial activity.

Title Deed Restriction: There are no Title Deed restrictions preventing the Proposal.

Vincent Moos on behalf of A4 Architecture has been appointed by the property owner for this application. Please see POA attached herein.

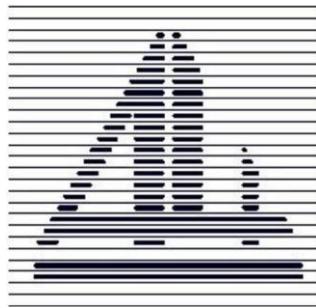
3. PROPERTY DETAILS

This property is registered to Ms Hester Veronica Apples. A copy of the title deed (T000067336/2011) is attached.



A4 ARCHITECTURE

1 DAISY STREET LAVALIA GEORGE | TEL: 060 361 9692 | EMAIL: vincent@a4arc.co.za



4. LOCALITY

This erf is located in Begonia Street, Hoekwil.



5. LAND USE PROPOSAL

Compilation and Submission of a Land Use Application in Terms of Section 15(2)(o) of the Land Use Planning By-Law for George Municipality, 2023, for Consent to Operate a House Shop:

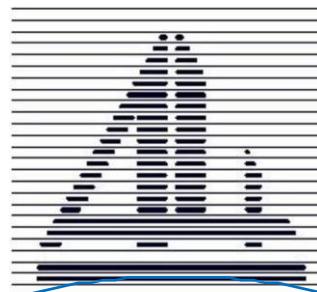
Large House Shop: This category of shop generally has a floor area greater than 20m² (the size of a single garage) but less than 40m² (equivalent to the size of a double garage or a subsidized house).

Consent is hereby requested for the proposed new shop, which is designed to enhance both functionality and convenience. The addition will include a well-appointed open space for the shop area, along with a new bathroom featuring a WC and HWB. This development is intended to improve the overall utility of the property, meet modern standards, and contribute to the local economy by providing a well-structured commercial space.

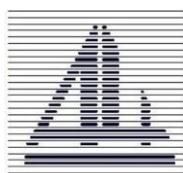
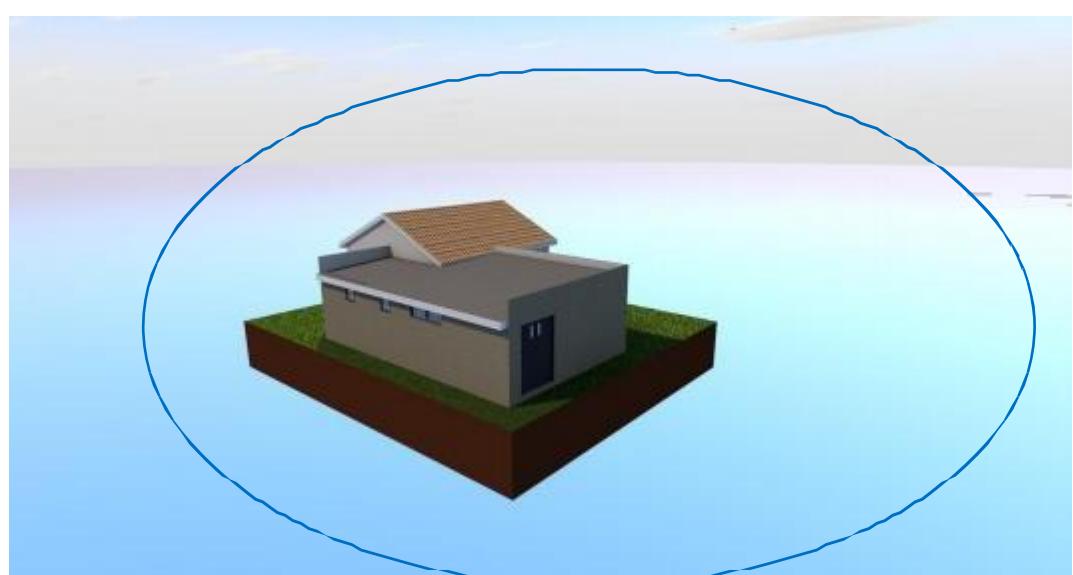
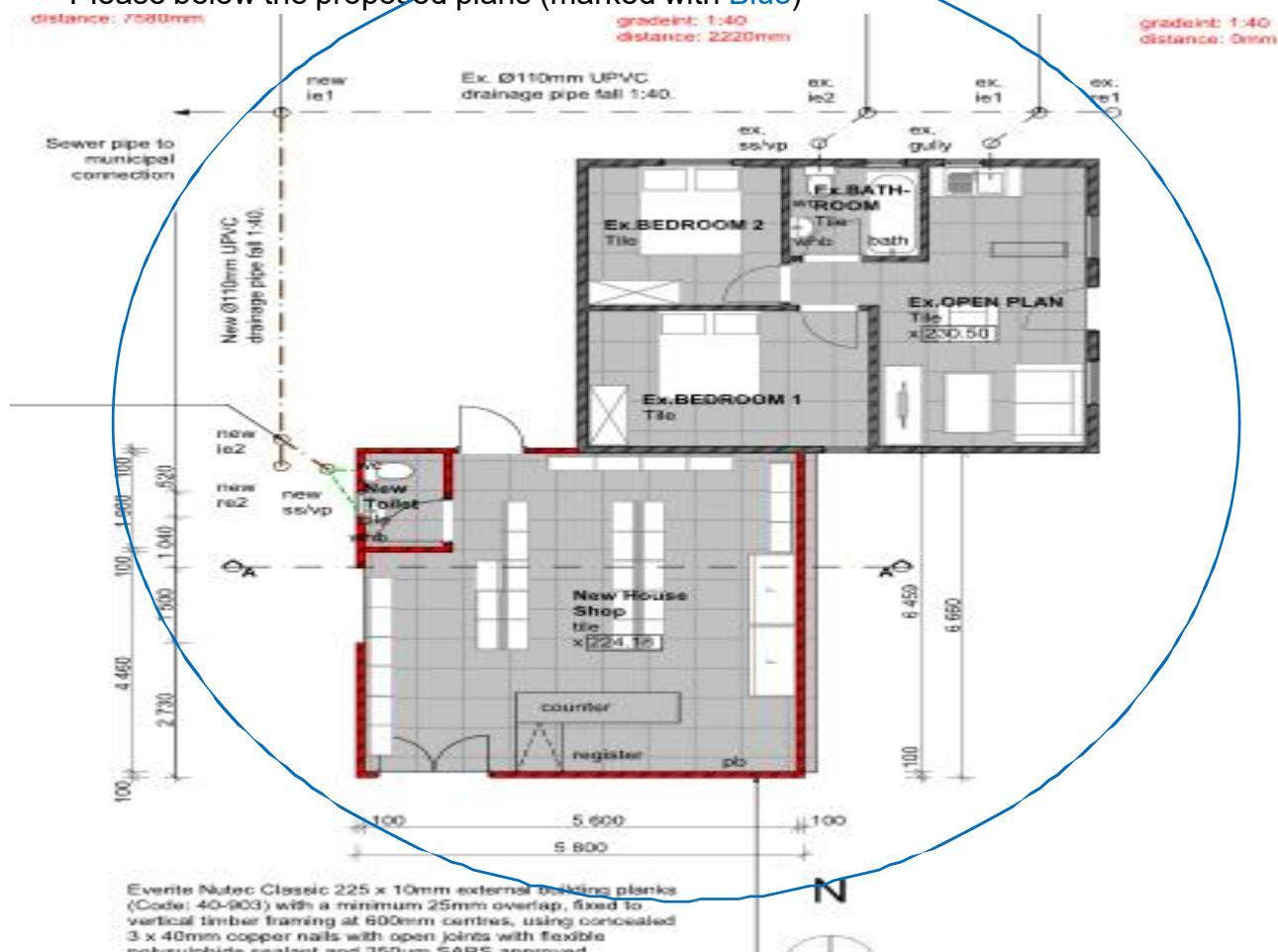


A4 ARCHITECTURE

1 DAISY STREET LAVALIA GEORGE | TEL: 060 361 9692 | EMAIL: vincent@a4arc.co.za

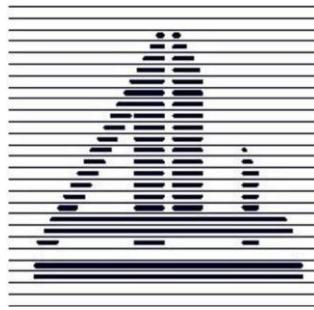


Please below the proposed plans (marked with Blue)



A4 ARCHITECTURE

1 DAISY STREET LAVALIA GEORGE | TEL: 060 361 9692 | EMAIL: vincent@a4arc.co.za



As part of this application for Consent Use in terms of Section 15(2)(o) of the George Municipality Land Use Planning By-Law (2023), I confirm the following guidelines have been reviewed and considered in compiling this motivation:

Category of House Shop

The proposed shop qualifies as a Large House Shop, in line with Section 1.2 of the guidelines:

Size: 40 square meters.

Ownership & Power of Attorney

The applicant is acting with signed Power of Attorney from the owner.

Submission Requirements

Proof of payment of application fee – Await fee.

Public Participation

Adjacent property owners' consent letters have been obtained and included.

Written notice has been provided to the local Ward Councillor – Marlene Barnardt – Ward 4.

6. PUBLIC INTEREST

The proposed house shop is centrally located on Begonia Street and will offer Hoekwil residents convenient access to essential goods and services, especially considering the area's distance from larger commercial centers. By reducing the need for long trips, the shop will contribute to easing traffic congestion and lowering carbon emissions. While parking space may be limited, the shop's central position ensures that most residents can easily walk there, saving both time and transportation costs.

7. CHARACTER OF THE AREA

The property is located in the heart of a well-established residential area in Hoekwil, offering a prime position along the main road that provides dual access to the proposed house shop. This strategic location ensures the shop is easily accessible while preserving the privacy and views of neighboring residents. Hoekwil has experienced steady growth in both its population and local infrastructure, resulting in an increasing demand for convenient retail options within the community. The introduction of this shop aligns with the area's ongoing development and will serve as a valuable resource to meet the needs of the expanding local population. For further details, please refer to the attached plans.

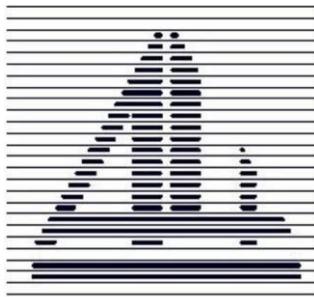
8. ECONOMIC IMPACT

The establishment of this house shop will have a positive impact on the local economy by generating job opportunities for nearby residents, including family members and neighbors. It will support local entrepreneurship and encourage a spirit of self-reliance and community-driven commerce. By providing easy access to everyday goods and services, the shop will motivate residents to shop within their own neighbourhood, helping to



A4 ARCHITECTURE

1 DAISY STREET LAVALIA GEORGE | TEL: 060 361 9692 | EMAIL: vincent@a4arc.co.za



keep money circulating locally instead of flowing to distant retail centres. Furthermore, the reduced need for travel will lead to savings in both time and transport costs—an important advantage for households with limited income

9. CONCLUSION

Based on the motivation and supporting information provided herein, it is evident that the application for:

- Land Use Consent in terms of Section 35 of the Western Cape Land Use Planning Act, 2014, read together with Section 11 of the George Integrated Zoning Scheme By-Law (2023), specifically with reference to Schedule 2: Large House Shop description and development parameters; and
- To permit the operation of a House Shop in accordance with the George Municipality's Town Planning Policy on House Shops, on ERF 1184, Begonia Street, Hoekwil

is considered desirable, and it is therefore recommended that the application be supported by the relevant authorities and approved by Council.

Vincent Moos



A4 ARCHITECTURE

1 DAISY STREET LAVALIA GEORGE | TEL: 060 361 9692 | EMAIL: vincent@a4arc.co.za

POWER OF ATTORNEY

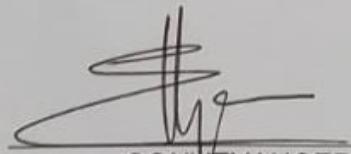
I, the undersigned appointed below Authorised Representative as legal representative for the submission of the application to act on my behalf and take the necessary steps as required by the Local Authority to ensure that the application complies with the conditions contained in the law on the By-Law on Municipal Land Use Planning for George Municipality, 2023, or any other applicable law.

OWNER NAME	Hester Veronica Apples	ID NUMBER	7211020120081	x
ERF	1184	EXTENSION AREA	Hoekwil	
AUTHORISED REPRESENTATIVE	Vincent Moos	ID NUMBER	6007275240082	x
SIGNATURE OF OWNER		DATE	06/08/2025	x
SIGNATURE OF AUTHORISED REPRESENTATIVE		DATE	06/08/2025	

Tel:(044) 871 4881

Roux Attorneys
P O Box 4411
George – East
6539

Prepared by me



CONVEYANCER
EB VAN ROOYEN

FEE

R. 70,00

T 000067336 / 2011

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

EUGENE SCHOEMAN

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, he the said
Appearer being duly authorised thereto by a Power of Attorney signed at
GEORGE on 29 August 2011 and granted to him by

GEORGE MUNICIPALITY

DATA CAPTURED
30 JAN 2012
SIBUSISIWE MBIYI

DATA / VERIFIED
31 JAN 2012
ENELONKE NTOMBI

And the Appearer declared that his said principal had truly and legally sold on 25 July 2011 and that he, the said Appearer, in his capacity aforesaid, did, by these presents, cede and transfer to and on behalf of

HESTER VERONICA APPELS
Identity Number 721102 0120 081
unmarried

her heirs, executors, administrators or assigns in full and free property

Erf 1184 Hoekwil In the Municipality and Division George
Western Cape Province

MEASURING: 187(ONE HUNDRED AND EIGHTY SEVEN)
SQUARE METRES

As will appear from General Plan No 2440/2009 and Held By Certificate of
Registered Title Number. T 10242 / 2011

1. SUBJECT FURTHER to the following endorsement dated 7 January 1972 contained in Deed of Grant No 48/1956, namely:

"Registrasie van Serwituut:

Die binnegemelde grond is onderhewig aan 'n serwituut met betrekking tot verdeling van water in terme van 'n bevel van die Waterhof (Waterhof distrik Nr.3), gedateer 6 Desember 1972 soos meer volledig sal blyk uit gemelde bevel, waarvan afskrif aangeheg is aan K15/1972S."

##

2. SUBJECT FURTHER to the following endorsement dated 10 November 1976 as contained in Deed of Grant No 48/1956, namely:

"Restant

Kragtens Notariële Akte Nr. K1122/1974S gedateer 15 September 1976 is die binnevermelde eiendom onderhewig aan die reg ten gunste van Elektrisiteitsvoorsieningskommissie om elektrisiteit daaroor te lei, tesame met bykomende regte, en onderhewig aan voorwaardes soos vollediger sal blyk uit die gesegde Akte (en Kaart), afskrif waarvan hieraan geheg is."

3. SUBJECT FURTHER to the following endorsement dated 27 February 1986 as contained in Deed of Grant No 48/1956, namely:

"Restant

Kragtens Notariële Akte Nr. K168/1986S is die binnevermelde eiendom onderhewig aan die reg ten gunste van ESKOM SOC Ltd om elektrisiteit daaroor te lei, tesame met bykomende regte, en onderhewig aan voorwaardes soos vollediger sal blyk uit die gesegde Akte (en Kaart), afskrif waarvan hieraan geheg is.

Die roete is nou bepaal en word die middellyn van die elektriese kragleiding serwituit, welke serwituitgebied 11,00 meter wyd strek, nou voorgestel deur die lyn a B C D b op Kaart LG Nr. 1139/1994 geheg aan Notariële Serwitutakte van Roetebepaling Nr. K 204 / 2011 S."

4. SUBJECT to the following condition imposed by the George Municipality for its own benefit:

"Die Transportnemer of sy regsverkrygers mag nie binne 'n typerk van 8 (AGT) jaar vanaf datum van eerste registrasie van hierdie eiendom dit verkoop of andersinds vervreem nie. Indien die transportnemer die eiendom binne die 8 (AGT) jaar wil vervreem is hy/sy verplig om dit sonder enige vergoeding terug aan die Munisipaliteit George te bied."

WHEREFORE the Appearer, renouncing all the right and title which the said

GEORGE MUNICIPALITY

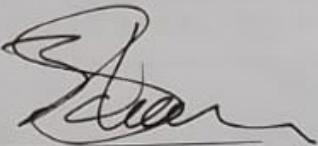
heretofore had to the premises, did in consequence also acknowledge it/he/she/them to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

HESTER VERONICA APPELS
unmarried

her heirs, executors, administrators or assigns now is/are and henceforth shall be entitled thereto conformably to local custom; the State, however, reserving its rights and finally acknowledging the purchase price to be the sum of R 98840.00 (ninety eight thousand eight hundred and forty rands).

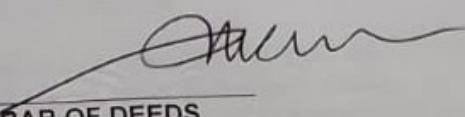
IN WITNESS WHEREOF I, the said REGISTRAR, together with the Appearer q.q., have subscribed to these presents and have caused the Seal of Office to be affixed thereto.

THUS DONE AND EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on 30 NOV 2011



q.q.

In my presence



REGISTRAR OF DEEDS



(HOEKWIL ALLOTMENT AREA)
GENERAL PLAN No. 2440/2009

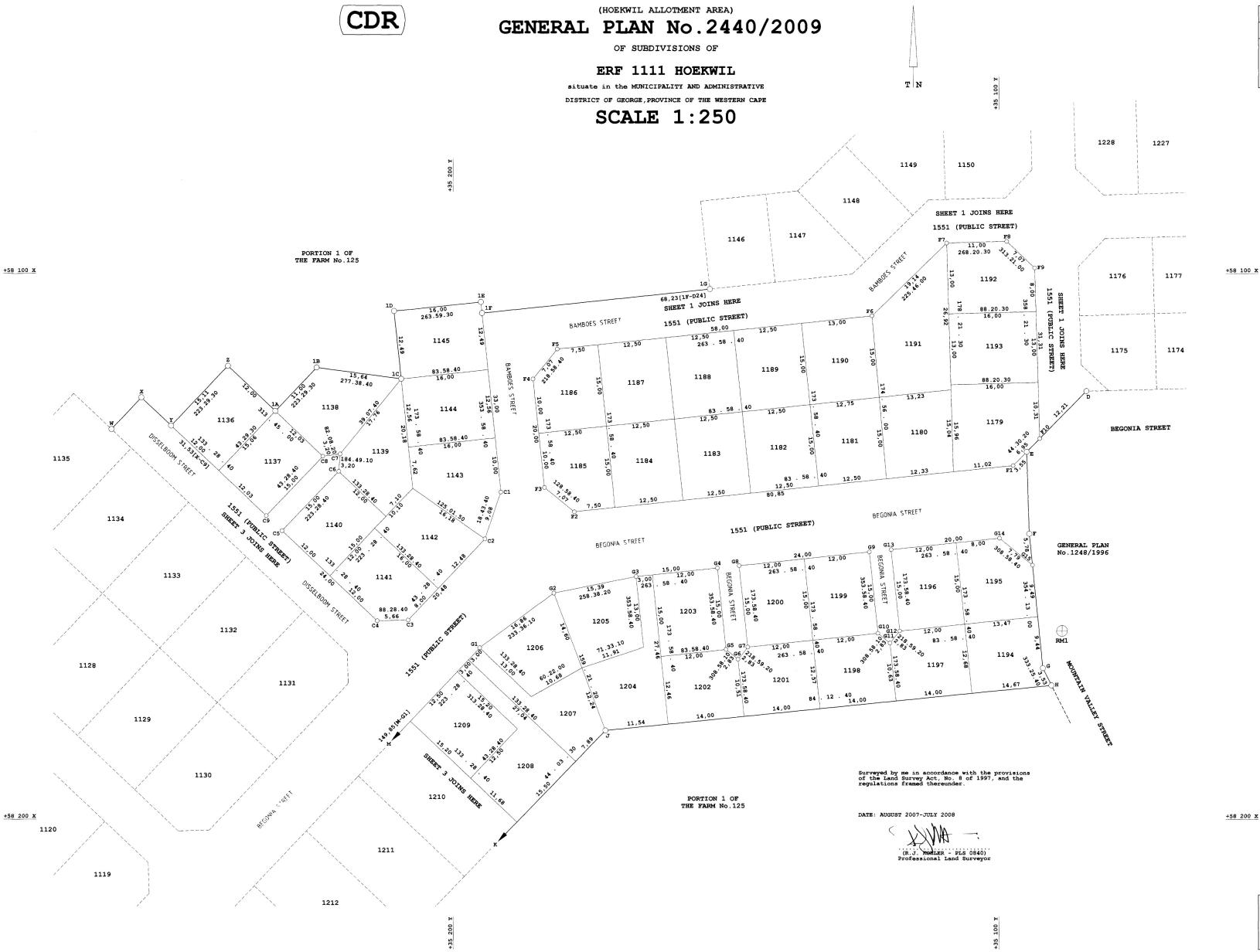
OF SUBDIVISIONS OF

ERF 1111 HOEKWIL
situate in the MUNICIPALITY AND ADMINISTRATIVE

SCALE 1:250

SG NO. 2440/2009
SHEET 2 OF 3 SHEETS
Approved

for Surveyor-General
Dated: 2009.09.17



Surveyed by me in accordance with the provisions of the Land Survey Act, No. 8 of 1997, and the regulations framed thereunder.

DATE: NOVEMBER 2003, PAGE 20

(R.J. WENLER - PLS 084
Professional Land Surveyor

FILE No. Geor 125
S.R. No. 946/2009
COMP: BL-8CCD (6424)
Lpi CO270005



Locality Plan



NEIGHBOURS CONSENT/ COMMENT FORM

TO WHOM IT MAY CONCERN

APPLICATION FOR H.V Appels ON ERF/ FARM 1184

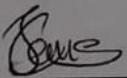
NATURE OF CONSENT GIVEN (Tick whichever is applicable)

I/We the undersigned owner/s of the adjoining property as described below, hereby confirm that I/we have seen the building plans/ site development plans relating to the above application (my neighbour's development proposal). I/we have no objections thereto and I/we would not make any further claims with regard to view obstruction resulting from the approval of said building plans.	<input type="checkbox"/>
I/We the undersigned owner/s of adjoining properties hereby confirm that I/we have seen the building plans / site development plans relating to the above application (my neighbour's development proposal). I/we have no objections thereto subject to the following:	<input type="checkbox"/>

Comment / Conditions

We have no objections

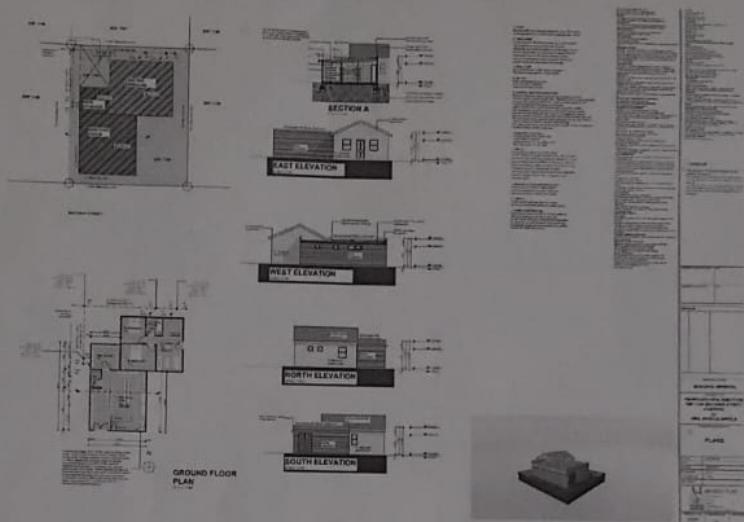
ADJACENT OWNER'S DETAILS

OWNER/S NAME/S	<u>Carolyn James</u>	ID NUMBER	<u>821024 0053085</u>	x
ERF NUMBER	<u>1188</u>	EXTENSION AREA	<u>Bamboes Street Touwsrivier</u>	x
E-MAIL ADDRESS	<u>carolynjames1188@gmail.com</u>	TELEPHONE NUMBER	<u>061 559 7006</u>	x
SIGNATURE OF OWNER		DATE	<u>20/08/2025</u>	x

Reminder: Adjacent owners must also sign and date the related building plan / site development plan

FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:

IS THE SIGNATORY THE OWNER OF THE PROPERTY (CONFIRMED ON SAMRAS)?		YES	NO
CHECKED BY		DATE	



1000

NEIGHBOURS CONSENT/ COMMENT FORM

TO WHOM IT MAY CONCERN

APPLICATION FOR H.V Apples ON ERF/ FARM 1184

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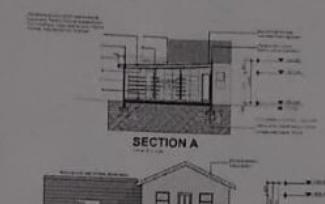
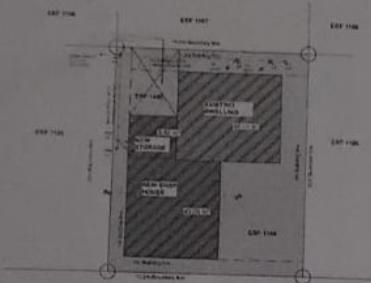
ADJACENT OWNER'S DETAILS

OWNER/S NAME/S	Veronique Buys	ID NUMBER	870217 1107 08 2	x
ERF NUMBER	1183	EXTENSION AREA	1183 Regonia Street	x
E-MAIL ADDRESS	/	TELEPHONE NUMBER		x
SIGNATURE OF OWNER	✓Buys.	DATE	20/02/2025	x

Reminder: Adjacent owners must also sign and date the related building plan / site development plan

FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:

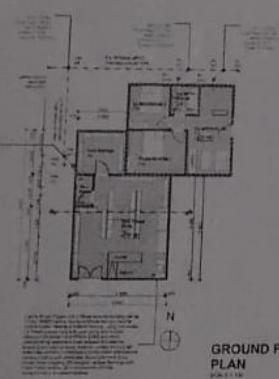
IS THE SIGNATORY THE OWNER OF THE PROPERTY (CONFIRMED ON SAMRAS)?		YES	NO
CHECKED BY		DATE	



EAST ELEVATION



WEST ELEVATION



GROUND FLOOR
PLAN



NORTH ELEVATION



SOUTH ELEVATION

Rodley Johnson

VBsys



PLANS

NEIGHBOURS CONSENT/ COMMENT FORM

TO WHOM IT MAY CONCERN

APPLICATION FOR H.V Appels ON ERF/ FARM 1184

NATURE OF CONSENT GIVEN (Tick whichever is applicable)

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Comment / Conditions

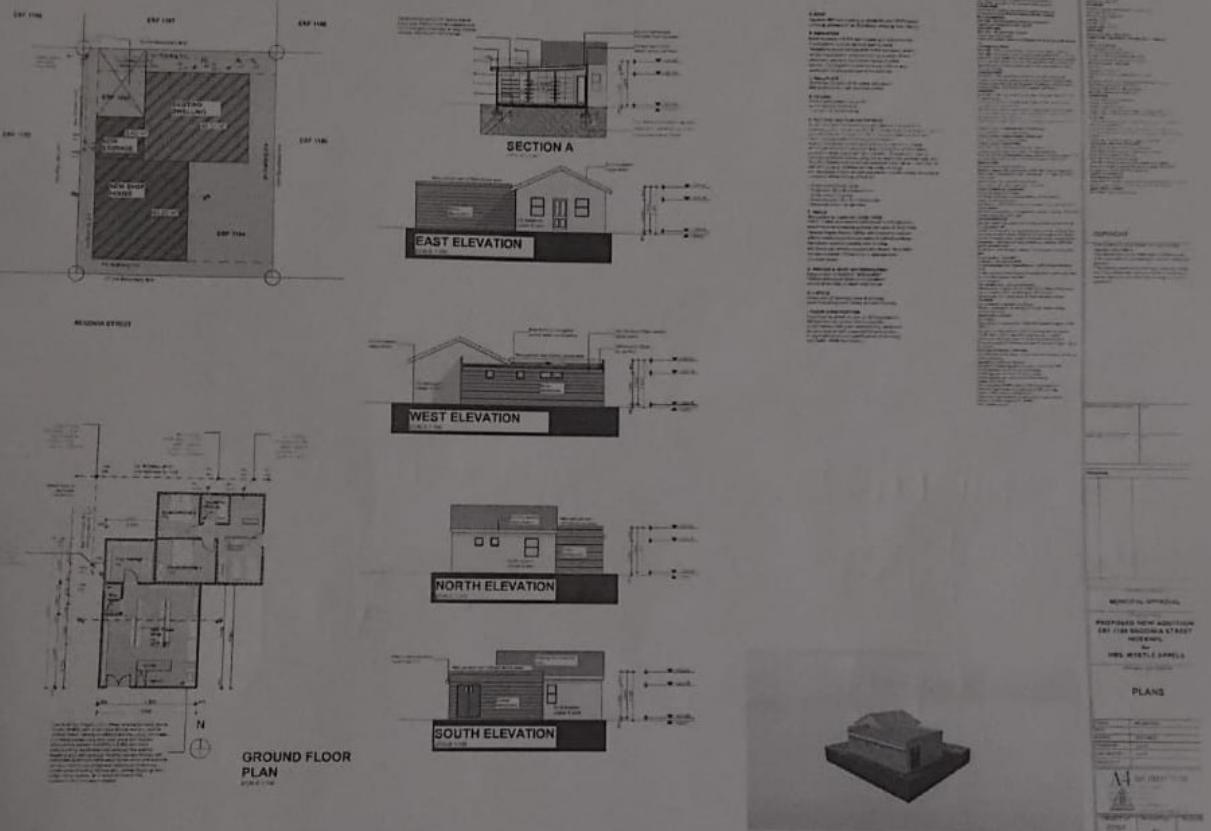
ADJACENT OWNER'S DETAILS

OWNER/S NAME/S	CORNELIUS CYSTER		
ERF NUMBER	1205	ID NUMBER	6604195144087
E-MAIL ADDRESS	/	EXTENSION AREA	BEGONIA Street Touws River
SIGNATURE OF OWNER	Yster	TELEPHONE NUMBER	0689642256
	DATE	20 August 2025	

Reminder: Adjacent owners must also sign and date the related building plan / site development plan

FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:

IS THE SIGNATORY THE OWNER OF THE PROPERTY (CONFIRMED ON SAMBAS)?		YES	NO
CHECKED BY		DATE	



Yates

NEIGHBOURS CONSENT/ COMMENT FORM

TO WHOM IT MAY CONCERN

APPLICATION FOR H.V Appels ON ERF/ FARM 1184

NATURE OF CONSENT GIVEN (Tick whichever is applicable)

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Comment / Conditions

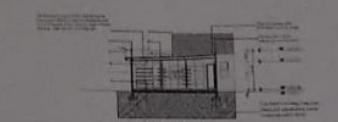
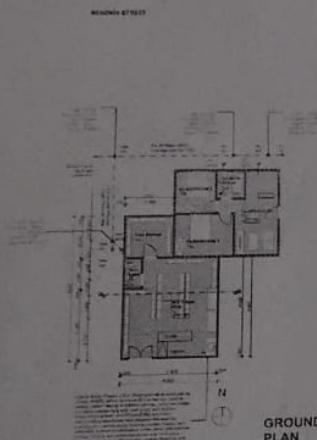
ADJACENT OWNER'S DETAILS

OWNER/S NAME/S	RHAEDELINE Junies	ID NUMBER	7006010895084	x
ERF NUMBER	1185	EXTENSION AREA	BEGonia Street Tallowood	x
E-MAIL ADDRESS	/	TELEPHONE NUMBER	0724282509	x
SIGNATURE OF OWNER	R. Junies	DATE	20 August 2025	x

Reminder: Adjacent owners must also sign and date the related building plan / site development plan

FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:

IS THE SIGNATORY THE OWNER OF THE PROPERTY (CONFIRMED ON SAMRAS)?		YES	NO
CHECKED BY		DATE	



EAST ELEVATION



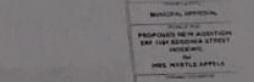
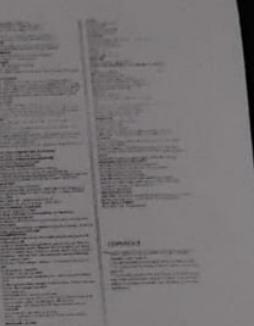
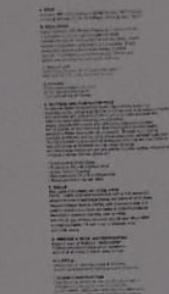
WEST ELEVATION



NORTH ELEV



SOUTH ELEV



MANUFACTURAL APPROVAL
APPROVED FOR ADDITION
TO THE BETHLEHEM STEEL
CATALOGUE
The
H. H. MURKIN APPALIA

PLANE

M. W. WILSON

RT 1139

NEIGHBOURS CONSENT/ COMMENT FORM

TO WHOM IT MAY CONCERN

APPLICATION FOR H.V Appels ON ERF/ FARM 1184

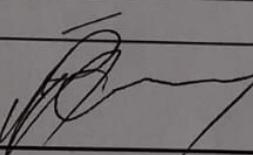
NATURE OF CONSENT GIVEN (Tick whichever is applicable)

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Comment / Conditions

ADJACENT OWNER'S DETAILS

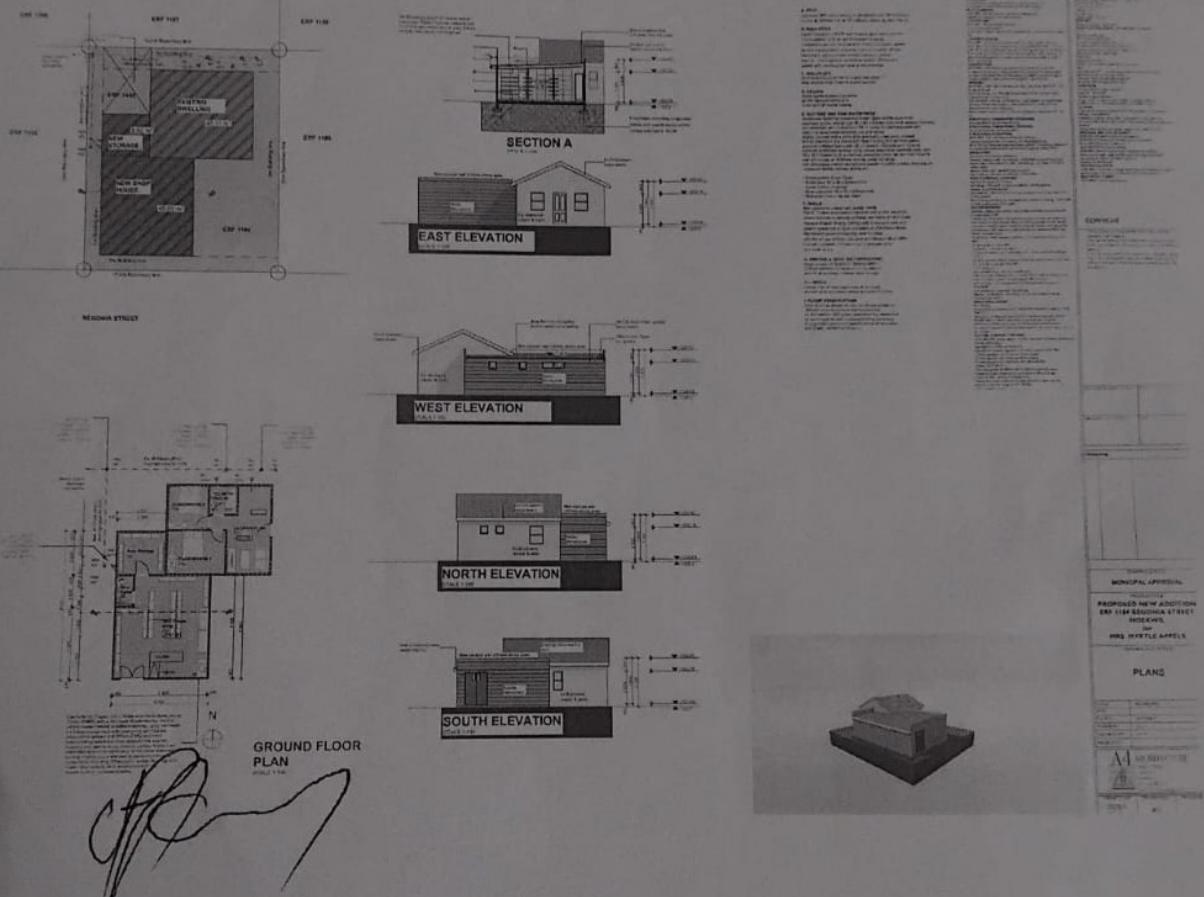
<input checked="" type="checkbox"/> OWNER/S NAME/S	<u>PIETER Aduis</u>		
<input checked="" type="checkbox"/> ERF NUMBER	1187	ID NUMBER	<u>7312235245885</u>
<input checked="" type="checkbox"/> E-MAIL ADDRESS	<u>BAMBOOSSTRAAT</u>		
<input checked="" type="checkbox"/> SIGNATURE OF OWNER		DATE	<u>0689746188</u>
			<u>20/08/25</u>

Reminder: Adjacent owners must also sign and date the related building plan / site development plan

FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:

IS THE SIGNATORY THE OWNER OF THE PROPERTY (CONFIRMED ON SAMRAST)? YES NO

CHECKED BY		DATE	
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NEIGHBOURS CONSENT/ COMMENT FORM

TO WHOM IT MAY CONCERN

APPLICATION FOR	ON ERF / FARM	1184
-----------------	---------------	------

NATURE OF CONSENT GIVEN (Tick whichever is applicable)

We the undersigned owner/s of the adjoining property as described below, hereby confirm that we have seen the building plans/ site development plans relating to the above application (my neighbour's development proposal). We have no objections thereto and we would not make any further claims with regard to view obstruction resulting from the approval of said building plans.

We the undersigned owners of adjoining properties hereby confirm that we have seen the building plans / site development plans relating to the above application (my neighbour's development proposal). We have no objections thereto subject to the following:

Comment / Conditions

ADJACENT OWNER'S DETAILS

OWNER/S NAME/S	LEADER PRINS	ID NUMBER	1613156136081
ERF NUMBER	1186	EXTENSION AREA	PRINSES Street Touwgaarden
E-MAIL ADDRESS	/	TELEPHONE NUMBER	06025 45458
SIGNATURE OF OWNER	SP	DATE	20/01/05

Reminder: Adjacent owners must also sign and date the related building plan / site development plan

FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:

IS THE SIGNATORY THE OWNER OF THE PROPERTY (CONFIRMED ON SAMEAS)?	YES	NO
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CHECKED BY		DATE	
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FIRE SAFETY

Paid into: Fire Safety Inspections: 20220703048944

Name: Andebe Contact 0733711627

Company name: Townfronten

Address: 1184 Beaufort Street

NO.	SERVICES RENDERED	AMOUNT	VAT	TOTAL	<input checked="" type="checkbox"/>
1.	Approval of LP Gas installations at private residential houses inclusive of plan, scrutiny, one pressure test inspection and the flammable certification of the premises	R636.00	R95.40	R731.40	
2.	Approval of LP Gas installations at premises other than those referred to in 1. above, underground tank or above ground tank applications inclusive of plan scrutiny, one site inspection, one pressure test inspection and the flammable certification of the premises	R1908.00	R286.20	R2194.20	
3.	Fire Hazard clearance fee	R583.00	R87.45	R670.45	
4.	Fire safety inspection	R636.00	R95.40	R731.40	X
5.	Re-Inspection fee	R636.00	R95.40	R731.40	
6.	Flammable substance certificate	R424.00	R63.60	R487.60	
7.	Fire safety certificate	R424.00	R63.60	R487.60	X
8.	Site inspection of LP Gas, underground tank and aboveground tank installations if not part of 2.2 above	R424.00	R63.60	R487.60	
9.	Dangerous Goods Certificate	R424.00	R63.60	R487.60	
10.	Population Certificate Occupation	R424.00	R63.60	R487.60	
11.	Building Inspections (Fire safety audit over and above normal fire safety inspection e.g.: inspection to obtain or maintain NOSA rating, certification of compliance for international hotels	R424.00	R63.60	R487.60	
12.	Investigation of flammable liquid or gas leaks	R1378.00	R206.70	R1584.70	
13.	Inspection of premises selling or storing fireworks	R530.00	R79.50	R609.50	
14.	Inspection of a site for fireworks display	R1060.00	R159.00	R1219.00	
15.	Burning Permits	R477.00	R71.55	R548.55	
16.	Fire Investigations	R530.00	R79.50	R609.50	
R1219.00					
Signature			Total		