



DEPARTURE APPLICATION

FOR ERF 720, HOEKWIL

25 September 2025

Contents

1. INTRODUCTION	3
2. BACKGROUND INFORMATION	4
3. PROPERTY INFORMATION.....	4
LOCALITY	5
ZONING	5
BIO-PHYSICAL CONDITIONS	6
4. PROPOSED DEVELOPMENT:	6
DEPARTURE	11
2. CONSIDERATIONS OF THE APPLICATION	11
EXISTING STRUCTURE	11
NATURAL ENVIRONMENT	11
HERITAGE	11
TRAFFIC AND PEDESTRIAN MOVEMENT:.....	11
IMPACT ON NEIGHBOURING PROPERTIES.....	11
PUBLIC PARTICIPATION.....	11
NEED AND DESIRABILITY	12
POLICIES:.....	12
SPATIAL PLANNING AND LAND USE MANAGEMENT ACT, 2013 (SPLUMA)	12
WESTERN CAPE LAND USE PLANNING ACT, 2014 (LUPA)	13
GEORGE MUNICIPALITY: LAND USE PLANNING BY-LAW, 2023.....	13
GEORGE INTEGRATED ZONING SCHEME BY-LAW, 2023 (GIZS).....	13
GEORGE MUNICIPAL SPATIAL DEVELOPMENT FRAMEWORK (GMSDF) (2019)	14
WILDERNESS – LAKES – HOEKWIL – LOCAL SPATIAL DEVELOPMENT FRAMEWORK (WLH LSDF) (2015).....	14
3. CONCLUSION	14

PREPARED BY: SCOTT ARCHITECTS

Client: Sergio-Gennardo Adinolfi,

Architects: Scott Architects

DISCLAIMER:

Every effort has been made to ensure accuracy, using the source material available at the time of assessment. in good faith. Should any changes be made after the completion of the assessment, Scott Architects cannot be held liable for discrepancies as a result thereof. Scott Architects accepts no responsibility for failure to follow or compliance with the recommended measures of mitigation, specifications or recommendations.

LIST OF ANNEXURES

- a) Annexure A: Power of Attorney and Letter of Authority
- b) Annexure B: Title Deed
- c) Annexure C: Approved Plans from 2006
- d) Annexure D: New Proposed plans for as Built and additions, 2025
- e) Annexure E: Application for departure
- f) Annexure F: Neighbours Consent and Signed Site plan

1. INTRODUCTION

Scott Architects has been appointed by Sergio-Gennardo Adinolfi, owner of ERF 720, Hoekwil, to prepare and submit the following application in terms of Section 15(2)(b) and Chapter III of the George Municipality: Land Use By-Law, 2023, to the George Municipality (See Power of Attorney attached Annexure A):

1. Section 15(2)(b): Application for Departure from the provisions of the George Integrated Zoning Scheme By-Law for:

- The Relaxation of the Northern lateral Building line:
 - From 20m to 3.42m
- The Relaxation of the Eastern side Building line:
 - From 20m to 16.404m

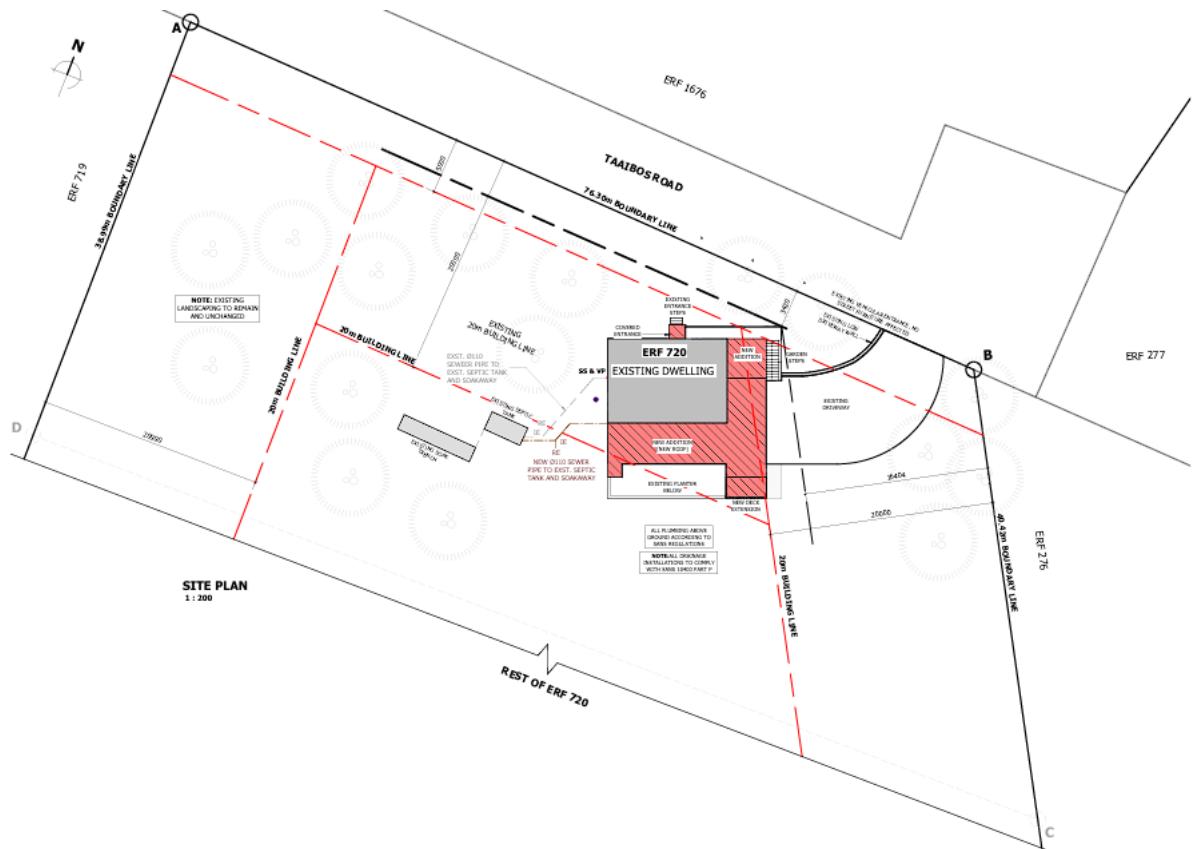


Figure – Screenshot of site plan

2. BACKGROUND INFORMATION

The subject property is located at the end of Taaibos Street and falls within a designated OSCAE area. The existing structure is a two-storey timber dwelling on stilts, with the original plans approved under OSCAE in 2005 and building plans approved in 2006 (refer to attached documentation). The dwelling was constructed in accordance with the approved 5m street building line, as shown in the previously approved drawings.

Scott Architects has now been appointed to propose minor additions aimed at enhancing the liveability and functionality of the home. These include enlarging the existing timber deck and introducing new Garden and entrance steps to get onto the new proposed timber deck.

However, in terms of the George Integrated Zoning Scheme By-Law (2023), the applicable street building line is now 20m and no longer 5m.

And due to the existing house position related to a previous approved building line, there is no practical way to implement these improvements or any other on this building without encroaching beyond the updated building line requirement.

A building line relaxation is therefore being requested to accommodate the proposed modifications, which are modest in scale and sensitive to the existing structure and surrounding context.

3. PROPERTY INFORMATION

Property Description:	ERF 720, Hoekwil
Physical Address:	720, Taaibos Street, Wilderness Heights, Hoekwil
Owner:	Sergio-Gennardo Adinolfi
Title Deed No:	053522320/2004 (Attached as Annexure B)
SG 21 Digit Code:	C02700050000072000000
Bond Holder:	
Size of the property:	3,1181 ha
Land Use:	Smallholding
Zoning:	Agricultural Zone II

LOCALITY

ERF 720 is located in Wilderness Heights, Hoekwil, WC. It has one road access, namely, Taaibos Street (Northern side Access). The Property currently consists of a Single residential dwelling.



Figure – Aerial View – Macro Scale

ZONING

Erf 720, Hoekwil is zoned Agricultural Zone II in terms of George Integrated Zoning Scheme By-Laws (GIZS) and developed with a single residential dwelling. The zoning and use will not change following this land use application.

BIO-PHYSICAL CONDITIONS



The Site begins with a gradual slope at the road access and steepens downwards from there into a valley, which is untouched.

4. PROPOSED DEVELOPMENT:

The current application proposes a series of limited alterations and additions, designed to remain within the spirit of the original architectural intent while ensuring compliance with environmental standards. These include:

1. **Roof Alteration** – A modification to the existing roof structure to improve performance and integration with the updated internal layout.
2. **The legalisation of the existing Basement Level Construction Beneath Stilts** – The addition of a new partial basement area beneath the existing stilted structure, comprising:
 - A masonry generator room
 - A new guest bedroom and guest bathroom (constructed with timber walls to maintain material consistency).

The basement is confined to the area beneath the existing footprint and does not extend beyond the current ground cover.

3. The legalisation of an Existing Ground Floor Extension

Furthermore, it should be noted that the living room and dining room areas on the ground floor have been previously extended. This enclosed area was originally an open, approved timber deck as per the 2006 plan. Although this enclosure occurred prior to the current owner's purchase of the property, it forms part of this application for formal building plan approval. The footprint of this enclosed area remains within the bounds of the original approved deck and does not result in any additional encroachment or land disturbance.

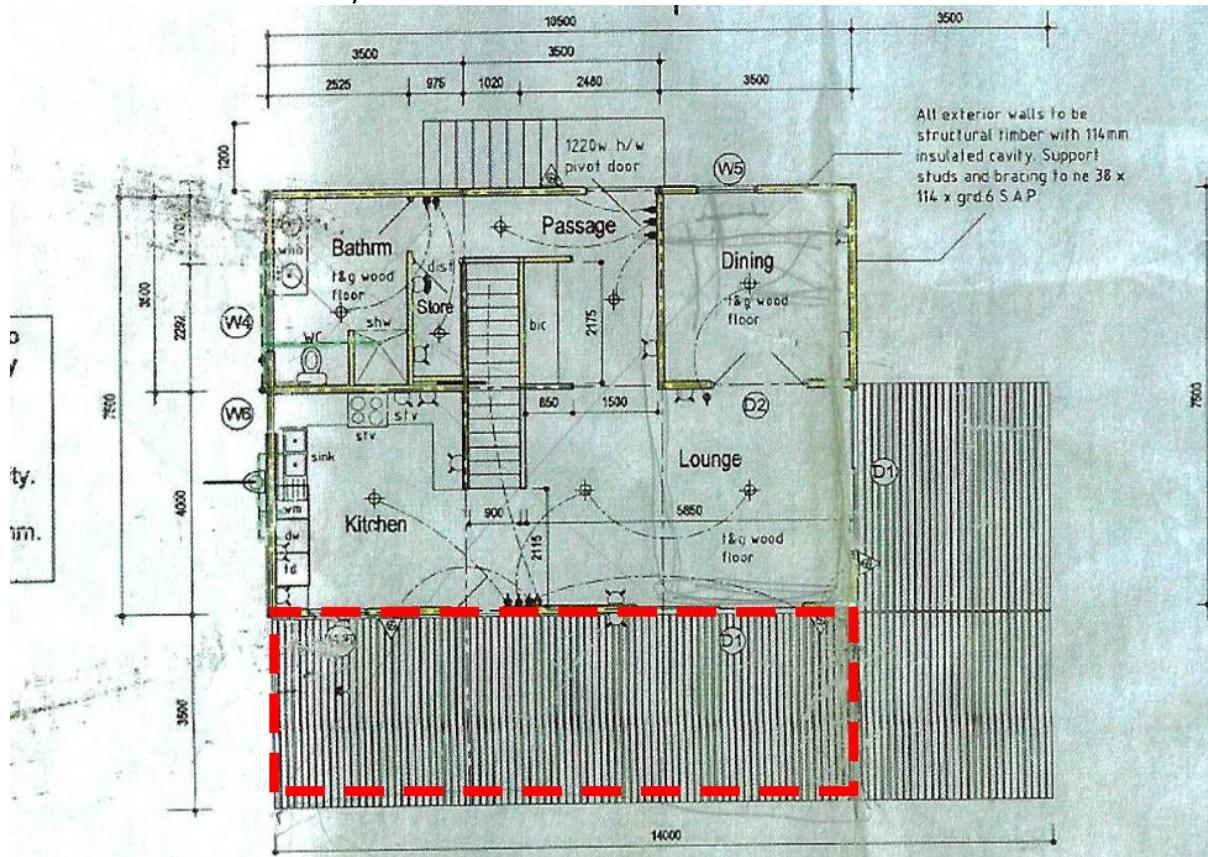


Figure indicating previously approved drawings

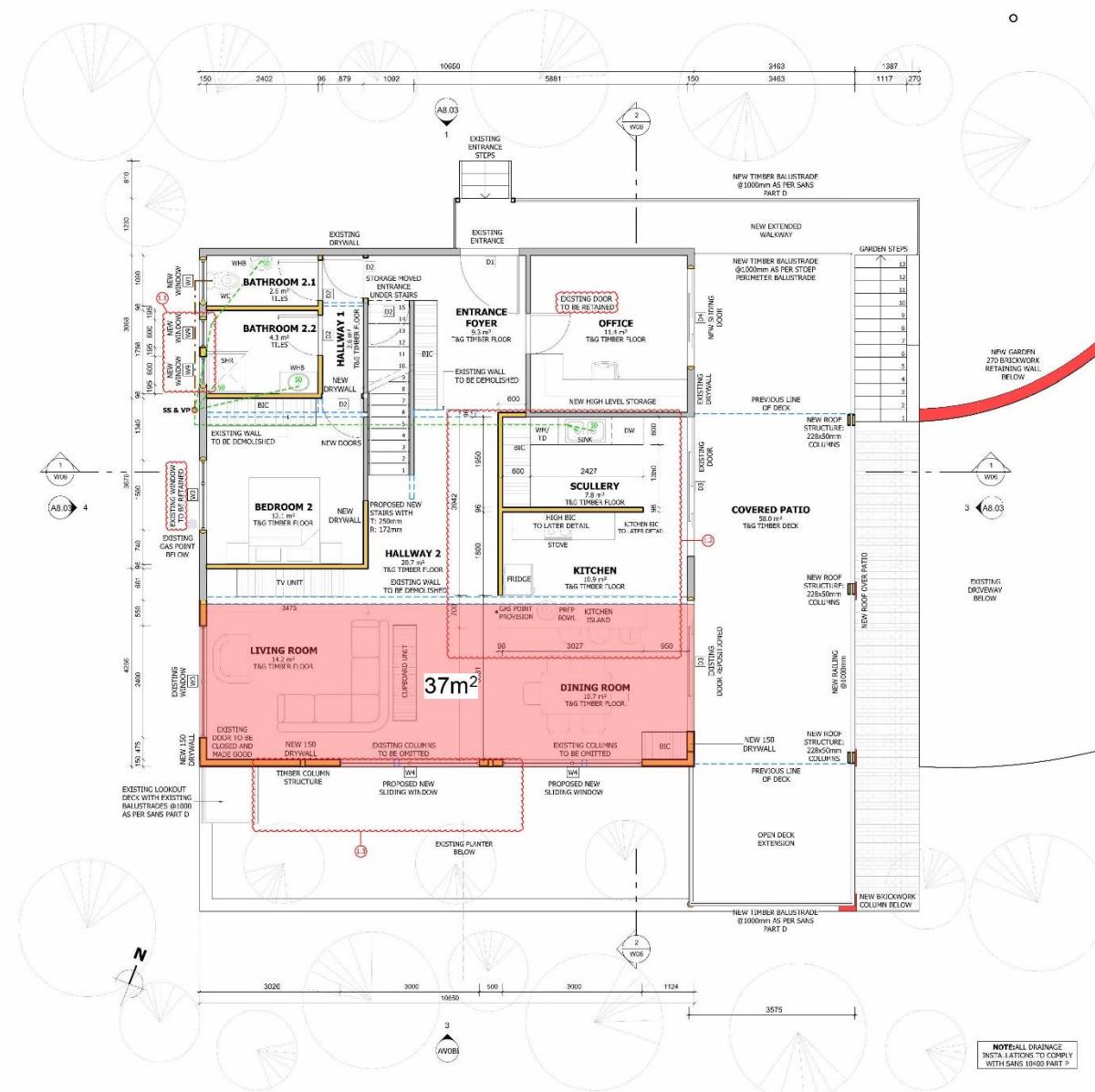
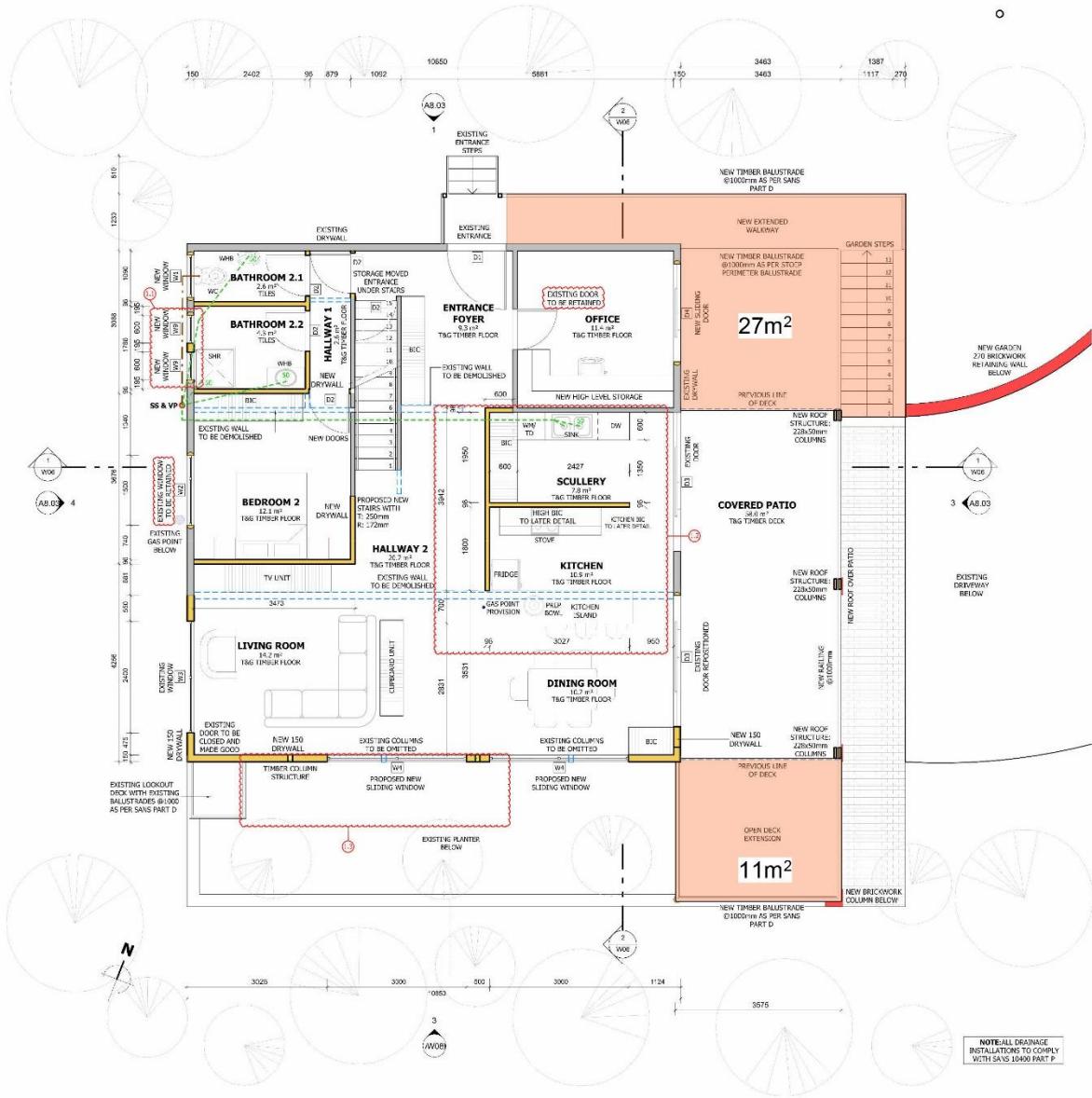
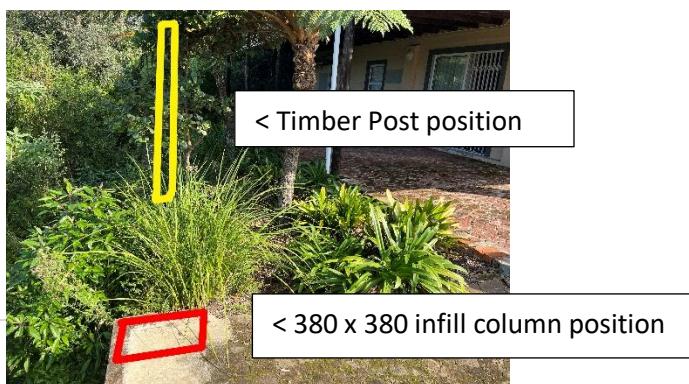


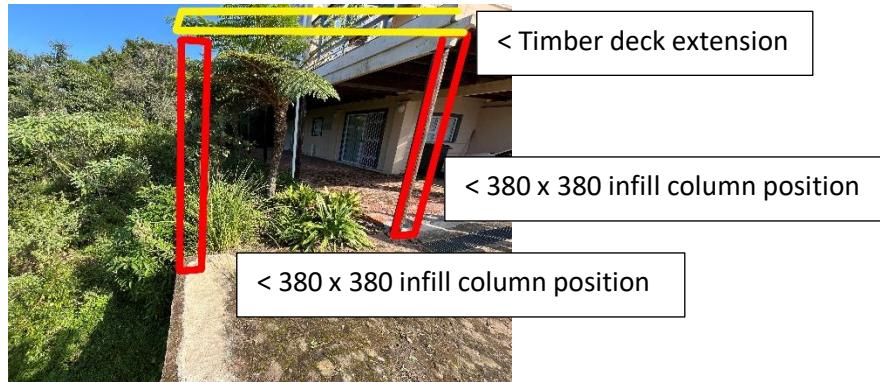
Figure: New Plan indication extension to be legalized

4. Deck Extensions and Stair Reconfiguration



- **Southern Deck Extension (11m²):** Incorporates a single 380x380mm infill concrete column on a 1000x1000x300mm footing, to be placed on an area of existing paving. Additionally, one 125mm diameter timber post will be located within an existing flower bed, avoiding disturbance of natural soil or vegetation.





- **Northern Deck Extension (27m²):** Includes the repositioning of the garden entrance stairs and an extension of the timber deck, which will affect only a previously landscaped flower bed, with no disruption to indigenous flora or terrain.



DEPARTURE

Erf 720 Hoekwil is zoned for Single Residential Zone I and the property measures 31181m² (3.1181 hectares) in extent. Building lines for the property are stipulated in the integrated George Zoning Scheme By-Law and not the Title Deed documents.

Building lines applicable to the property are specified on the table below:

Building Line	Title Deed	George Zoning Scheme By-Law (2017)	Previous approved drawings from 2006
Street	Not mentioned	20m	5m
Lateral	Not mentioned	20m	Not indicated
Rear	Not mentioned	20m	Not indicated

Application for Departure from the provisions of the George Integrated Zoning Scheme By-Law for:

- a. The Relaxation of the Northern lateral Building line:
 - From 20m to 3.42m
- b. The Relaxation of the Eastern side Building line:
 - From 20m to 16.404m

2. CONSIDERATIONS OF THE APPLICATION

EXISTING STRUCTURE

The existing house was constructed within the previous 5m building line and thus any additions or alterations to the existing building would have resulted in a LUA

NATURAL ENVIRONMENT

The proposed alterations are deliberately low-impact and have been planned to align with environmental best practice

HERITAGE

The application has no negative impact on heritage resources and the structure is not older than 60 years. Therefore, no heritage sites will be affected by the proposed building line relaxation.

TRAFFIC AND PEDESTRIAN MOVEMENT:

The development will not have any negative impact on traffic flow, access, or loading activities. No access onto the property will be changed.

IMPACT ON NEIGHBOURING PROPERTIES

The deviation does not obstruct views or cause overshadowing.

PUBLIC PARTICIPATION

Requirements to be confirmed by George Municipality

NEED AND DESIRABILITY

The proposed building line relaxation is necessary due to the property's unique circumstances: the existing dwelling was constructed in accordance with previously approved plans and a 5m street building line under OSCEA (2005–2006). With the updated zoning regulations now enforcing a 20m building line, any functional improvements or additions to the existing structure require a departure application.

The additions — including deck extensions, repositioned stairs, minor roof alterations, and the legalization of an existing enclosed area — are modest in scale, visually compatible with the existing architecture, and environmentally sensitive. The development:

- Improves the **functionality and livability** of the home, especially outdoor access and circulation.
- Makes **efficient use** of the existing footprint and disturbed areas without introducing additional environmental impact.
- Has **no detrimental impact** on adjacent properties, traffic, or scenic views.
- Reflects **desirable residential investment** and upkeep in a manner consistent with the local rural-residential character.

Given the low-impact nature of the proposal, the absence of negative heritage or environmental effects, and the compliance with the principles of spatial sustainability, efficiency, and good administration, the proposed additions are both needed and desirable.

POLICIES:

SPATIAL PLANNING AND LAND USE MANAGEMENT ACT, 2013 (SPLUMA)

In considering the application, the decision-maker needs to be guided by the DEVELOPMENT PRINCIPLES contained in (Chapter II) of Spatial Planning and Land Use Management Act 2013 (Act no 16 of 2013) SPLUMA and Chapter VI of the Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA).

SPLUMA is a framework law, which means that the law provides broad principles for a set of provincial laws that will regulate planning. It does therefore not have much relevance to individual departure applications that are mostly site-specific. The principle of spatial justice for example requires that past spatial and other development imbalances must be redressed through improved access to and use of land. The nature of this application cannot directly contribute to spatial reform. These matters are best addressed through spatial development frameworks and zoning schemes and other management systems.

It can be argued that being compatible with a credible Spatial Development Framework, the proposal will automatically comply with the principles of Spatial Justice, Spatial Sustainability, Spatial Efficiency, and Spatial Resilience. Furthermore, authorization of the new encroaching structures supports the principle of Good Administration.

WESTERN CAPE LAND USE PLANNING ACT, 2014 (LUPA)

In terms of the Western Cape Land Use Planning Act, 2014 (LUPA), local municipalities are required to consider the following factors when evaluating land use applications:

- Relevant spatial development frameworks (SDFs);
- Applicable structure plans;
- The land use planning principles set out in Chapter VI (Section 59), which expand on the five development principles of SPLUMA;
- The **desirability** of the proposed land use; and
- Any guidelines issued by the Provincial Minister regarding the desirability of such land use.

The land use planning principles build upon the foundational development principles of SPLUMA, with a particular emphasis on evaluating the **desirability** of the proposed use, as previously discussed.

Sections 19(1) and 19(2) of LUPA specifically address the importance of ensuring that land use proposals are consistent with and comply with applicable spatial development frameworks or structure plans.

In this regard, the current land use application for **Erf 720, Hoekwil** has been reviewed, and no inconsistencies or conflicts have been identified with the **George Municipal Spatial Development Framework (GMSDF)**.

GEORGE MUNICIPALITY: LAND USE PLANNING BY-LAW, 2023

The general criteria for the consideration of applications in terms of this By-law are included in Section 65 which, *inter alia*, includes:

- Desirability of the proposed utilization of land;
- Impact of the proposed land development on municipal engineering services;
- Integrated development plan, including the municipal spatial development framework, the applicable local spatial development framework and/or local structure plans;
- Relevant municipal policies;
- Western Cape Provincial Spatial Development Framework;
- Section 42 of SPLUMA (public interest, constitutionality);
- Land use planning principles transposed from LUPA;
- Provisions of the applicable zoning scheme.

The above is addressed elsewhere in this motivation report as relevant.

GEORGE INTEGRATED ZONING SCHEME BY-LAW, 2023 (GIZS)

Erf 720, Wilderness, is currently zoned Agricultural Zone II in terms of the George Integrated Zoning Scheme By-law, 2023 (GIZS). The existing zoning and land use will remain unchanged following the approval of this land use application, which seeks specific departures only.

The proposed building line relaxations are considered to have no adverse impact on the character of the area, neighbouring properties, or the surrounding environmental features. Furthermore, all applicable development parameters—including height restrictions and site coverage limits—are fully complied with.

GEORGE MUNICIPAL SPATIAL DEVELOPMENT FRAMEWORK (GMSDF) (2019)

Although Erf 720, Hoekwil is not specifically referenced in the George Municipal Spatial Development Framework (GMSDF), the nature and intent of this land use application are found to be consistent with the objectives of the GMSDF, in accordance with Section 19 of the Land Use Planning Act, 2014 (LUPA).

Further detail regarding the development and management of Wilderness and its associated settlements is provided in the Wilderness–Lakes–Hoekwil Local Spatial Development Framework (WLH LSDF), 2015.

WILDERNESS – LAKES – HOEKWIL – LOCAL SPATIAL DEVELOPMENT FRAMEWORK (WLH LSDF) (2015)

The WLH LSDF offers broad guidelines for evaluating land use applications involving rezoning, departures, consent use, subdivision, and building plan approvals. It emphasizes that land use changes or large-scale infrastructure developments which may negatively affect the **sensitive landscape and visual resources** of the area should be avoided as far as possible.

Erf 720 falls within the study area of the WLH LSDF, which outlines the spatial development vision for the broader region. However, the framework does **not provide site-specific development criteria** for individual erven, and therefore does not directly prescribe evaluation parameters for this particular application.

Given the modest scale of the proposed additions, there is no impact on the landscape character of Wilderness. The alterations do not cause visual intrusion, obstruct scenic views, or result in any noticeable changes to the existing streetscape. Furthermore, an OSCAE exemption application will be submitted in conjunction with this land use application to ensure compliance with local environmental requirements.

In light of this, the proposed development is considered fully consistent with the intent and objectives of the Wilderness–Lakes–Hoekwil Local Spatial Development Framework (WLH LSDF), with no identifiable conflict.

3. CONCLUSION

This land use application for a building line relaxation on ERF 720, Hoekwil, is motivated by the need to legalise and modestly enhance an existing dwelling in a manner that is functional, context-sensitive, and aligned with statutory planning principles.

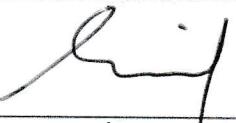
The proposal is:

- **In line with existing policy** frameworks, including SPLUMA, LUPA, and the George Municipal SDF.
- **Non-invasive**, using existing developed or disturbed spaces.
- **Consistent** with the original architectural intent and surrounding rural character.
- **Supportive of good planning practice**, enabling effective use of land and structures without introducing adverse effects.

We therefore respectfully request that the application be supported and approved by the George Municipality.

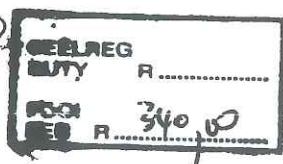
POWER OF ATTORNEY

I, the undersigned appointed below Authorised Representative as legal representative for the submission of the application to act on my behalf and take the necessary steps as required by the Local Authority to ensure that the application complies with the conditions contained in the law on the By-Law on Municipal Land Use Planning for George Municipality, 2015, or any other applicable law.

OWNER NAME	S.G ADINOLFI	ID NUMBER	6401155109087
ERF	ERF 720	EXTENSION AREA	Hoekwil
AUTHORISED REPRESENTATIVE	Robert Stewart Scott	ID NUMBER	6612085182083
SIGNATURE OF OWNER		DATE	06/08/2025
SIGNATURE OF AUTHORISED REPRESENTATIVE		DATE	06/08/2025

14

VAN DER SPUY
en VENNOTE



Prepared by me,
CONVEYANCER
DE W ESTERHUYSE

DEED OF TRANSFER

T 063022320 / 2004

BE IT HEREBY MADE KNOWN:

THAT ~~DE WAAL ESTERHUYSE~~ DE WAAL ESTERHUYSE
appeared before me, Registrar of Deeds
at CAPE TOWN he, the said Appearer, being duly authorised thereto by a Power of
Attorney granted to him by

PHILLIP CALITZ
Identity Number 500825 5088 005
and
ELIZABETH CALITZ
Identity Number 550713 0067 084

- married in community of property to each other -

dated 21st JANUARY 2004

and signed at WELKOM.

AND/....

And the said Appearer declared that his Constituent truly and lawfully sold by private treaty on 1st DECEMBER 2003,

and that he in his capacity aforesaid did, by these presents, cede and transfer to and on behalf of

SERGIO-GENNARO ADINOLFI
Identity Number 640115 5105 087

- married out of community of property -

His Heirs, Executors, Administrators or Assigns,

in full and free property,

ERF 720, a portion of Erf 276 HOEKWIL in the Municipality and Division of GEORGE, Province of the WESTERN CAPE;

MEASURING 3,1181 (THREE comma ONE ONE EIGHT ONE) hectares,

AS WILL appear from the annexed Diagram No 5935/1999; and

HELD by Deed of Transfer No T 43733/1988.

A. SUBJECT/...

A. SUBJECT to the conditions referred to in Deed of Transfer No T 19622/1982:

B. SUBJECT FURTHER to the following endorsement dated 22nd APRIL 1907 and contained in Deed of Transfer No T 4632/1905, which endorsement reads as follows:

By Deeds of Transfer No 2955 and 1956 - April 1907, certain water and other rights have been conceded in favour of the land hereby conveyed as will more fully appear on reference to the said Deed of Transfer.

C. SUBJECT FURTHER to the following special condition contained in an Annexure to Deed of Transfer No T 14200/1920, which condition reads as follows:

"Extract from Power of Attorney dated at Johannesburg, 14 September 1920, to pass transfer from the Wilderness Estate Co Ltd hereinafter called the "Transferor" to the Kerkraad of the Dutch Reformed Church at George hereinafter called the "Transferee".

(a) The properties hereby transferred shall be subject to all conditions restrictions reservations and servitudes mentioned or referred to in or endorsed upon the said Deed of Transfer No 4632 or any prior title or otherwise registered in the Deeds Office and in particular to the conditions and servitudes set out in certain two Deeds of Transfer Nos 2955 and 2956 dated 16th April 1907, and in Deeds of Transfer passed on the 21st February 1918, to the George Forest Timber Company Ltd, and the properties hereby transferred shall be subject to the further condition that the transferor shall be entitled to take from the Silver River or any of its tributaries and the Kaaiman's river at any point on the properties hereby transferred, such quantity of water as the transferor may be entitled to or any obtain under the irrigation and conservation of Waters Act 1912 with the right to lead such waters across the properties hereby transferred, and for that purpose to lay and maintain such pipes as may be necessary and in the event of the Transferor having or acquiring the right to take water from any river or stream above the ground hereby transferred, then the Transferor shall be entitled to a right of way over the properties hereby transferred for such water, with the right to lay pipes over the property hereby transferred and for the purpose of laying and maintaining the pipes and exercising the other rights in this clause mentioned the Transferor shall have the right to ingress and egress to and from the properties hereby transferred, and with the right to make to make such excavations and do and perform such other works to any part of the "Transferor's property, including the said land marked No 497 called Barbiers Kraal, and these conditions are hereby registered as a servitude against the properties hereby transferred.

(b) The/..

(b) The transferor and all persons now or at any time hereafter holding title from or through the Transferor of any portion of the land marked 497 called Barbiers Kraal, in extent 709,2085 hectares, as well as persons at any time frequenting the seaside resort known as the Wilderness shall have full and undisturbed right of way on foot and by means of vehicles over the properties hereby transferred to and from any portion of the said land marked 497 and the said Seaside Resort by the present public roads on the ground hereby transferred and also by a road constructed and made by the Transferor and which has not yet been declared a public road, and by such public roads as may hereafter be constructed and/or declared public roads by any competent authority, and the Transferee shall in so far as and to the extent that the same passes through the properties hereby transferred keep in good order and repair the said road constructed by the Transferor, provided that such repair shall not extend to gravelling, the Transferor on its part undertaking to keep the said road in good repair over the extent that the said road passes through its property."

D. SUBJECT FURTHER to the following condition contained in Certificate of Uniform Title No T 14471/1961 and imposed by the Minister and reserved by the Government:-

- (1) Behoudens die bepalings van die wet op die Ontginning van Voorbehouden Mineralen, 1926, en van die Wet op Edelesteentes, 1927, soos gewysig, word alle regte op alle mineraale, mineraalprodukte, mineraalolies, steenkool, onedele of edele metale of edelgesteentes op of onder die grond ten gunste van die republiek van Suid-Afrika voorbehou (ten opsigte waarvan Sertifikaat van Minerale Regte No 7 gedateer 17 Oktober 1961 uitgereik is).
- (2) Die reg om grond te neem en materiaal te verkry en te verwilder vir die bou en herstel van openbare paaie.

E. SUBJECT FURTHER to a servitude right of way 6,30 metres wide and depicted by the line "e middle of gorge f" which represent the Eastern boundary on Diagram No 9660/1960 as contained in Notarial Deed of Servitude No K 377/1962S and referred to in the endorsement dated 7th JULY 1962 on the Certificate of Uniform Title No T 14471/1961, which endorsement reads as follows:

Kragtens Notariële Akte No 377/1962 gedateer 19 Mei 1962 en hede geregistreer is die plaas Wilderneshoogte groot 1024,1488 Hektaar gehou hieronder onderhewig aan Serwituutreg tot paaie en regte van weg aangedui op Serwituutkaart Nr 1180/1962 weggelê as (Commonage Plan No 121) geskep ten gunste van die Algemene Publiek soos meer ten volle sal blyk uit voormalde Notariële Akte en Serwituutkaart weggelê onder (Commonage Plans No 121).

E. ONDERHEWIG/...

F. SUBJECT FURTHER to the following conditions contained in Deed of Transfer No T 19622/1962 and imposed by the Administrator of the Cape Province by virtue of Section 196 of Ordinance No 15 of 1952, as amended, during the approval of the subdivision of the Farm WILDERNISHOOgte, which can be amended or eased by him:-

- (a) Die mag net vir woon- en landbouëleindes gebruik word;
- (b) Geen geboue uitgesonder een woning vir gebruik deur 'n enkele familie tesame met die buitegeboue wat gewoonlik nodig is om in verband daarmee gebruik te word, mag op hierdie grond opgerig word nie.

G. SUBJECT FURTHER to the stipulations of the servitude endorsement dated 7th January 1972 and contained in Deed of Transfer No T12027/1954 which endorsement reads as follows:-

Die binnek gemelde grond is onderhewig aan 'n serwituut met betrekking tot verdeeling van water in terme van 'n bevel van die Waterhof (Distrik Kaap serwituut 15/1972) gedateer 26 Mei 1971 soos meer volledig sal blyk uit gemelde bevel, waarvan afskrif hieraan geheg is.

H. ENTITLED by virtue of Notarial Deed of Servitude No K.1/2004 S to a Servitude RIGHT OF WAY depicted by the figure A B C D E F on Servitude Diagram No 5930/1999 annexed thereto, over:

ERF 277 HOEKWIL in the Municipality and Division of GEORGE Province of the WESTERN CAPE;

MEASURING 20,6979 (TWENTY comma SIX NINE SEVEN NINE) Hectares;

HELD by virtue of Deed of Transfer No T 1043/1976.

Wherefore/....

Wherefore the Appearer, renouncing all the Right and Title which PHILLIP CALITZ and ELIZABETH CALITZ, Identity numbers and married as aforesaid,

heretobefore had to the premises, did, in consequence also acknowledge them to be entirely dispossessed of, and disentitled to, the same; and that, by virtue of these Presents, the said

SERGIO-GENNARO ADINOLFI

Identity Number and married as aforesaid,

His Heirs, Executors, Administrators or Assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however, reserving its rights, and finally acknowledging the purchase price to be the sum of **R500 000,00 (FIVE HUNDRED THOUSAND RAND)**.

In witness whereof, I the said Registrar of Deeds, together with the Appearer, q.q. have subscribed to these Presents and have caused the Seal of Office to be affixed thereto.

THUS DONE AND EXECUTED, at the Office of the Registrar of Deeds

at CAPE TOWN

on 12 March

2004.

In my presence,


REGISTRAR OF DEEDS


Q.O.

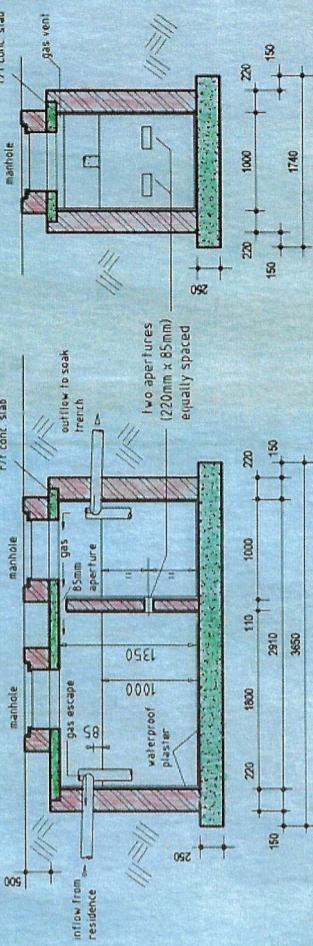
VA 000002258 / 2023

Certified a true copy of the duplicate original
filed of record in this Registry, issued to serve
in place of the original thereof under the
provisions of Deeds Regulation No 68. (1)

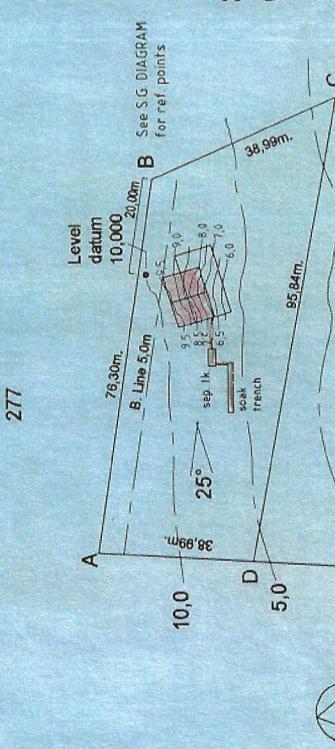
Deeds Registry
Capetown

28 APR 2023

ASST REGISTRAR OF DEEDS

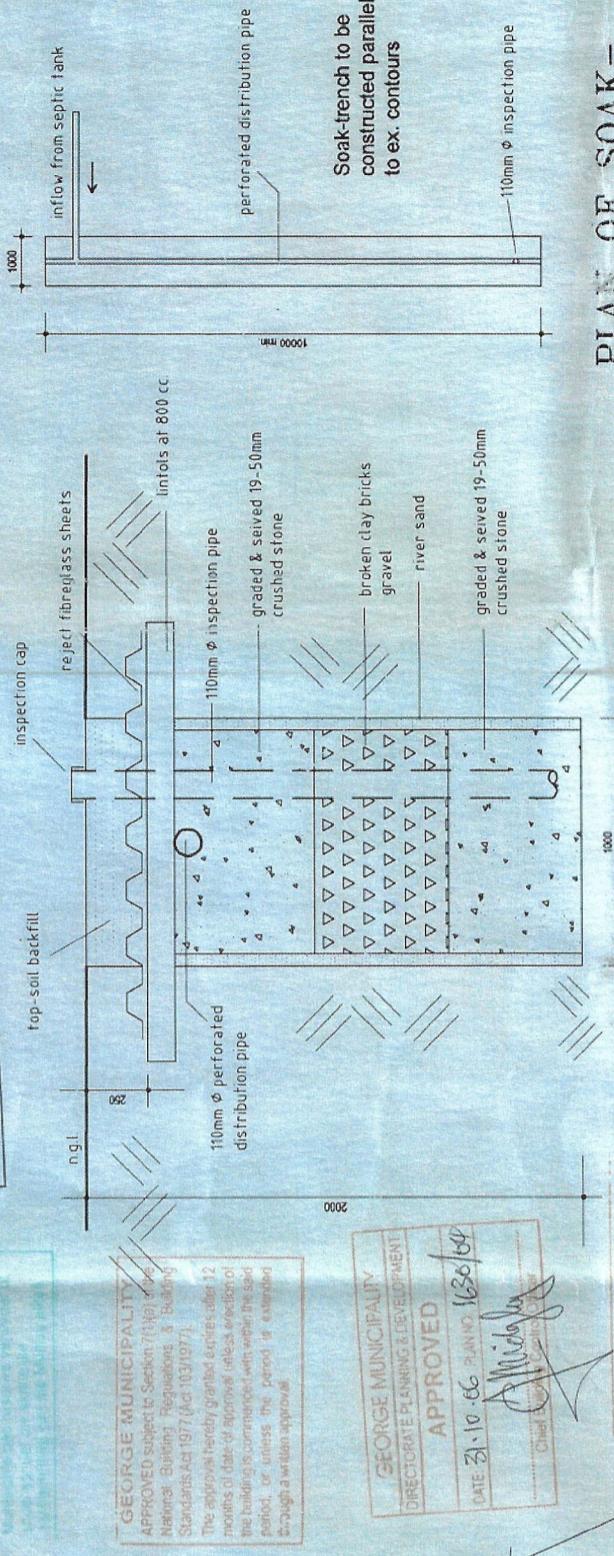


SITE PLAN 1:1000
(see also attached S.G.
Diagram 5935/1999,
specifying bearings,
distances and coordinate



TYPICAL SECTIONS THROUGH SEPTIC TANK
SCALE 1:50

The timber structure is to be erected in accordance with SABS 082 (Code of Practice). Die houtstruktuur moet volgens SABS 082 (Gebruikskode) opgerig word.



PLAN C. 3250
TRENCH 1:100

None condition(s) as of 09/01/05 of OSCA-permit
prior to issuing of occupation certificate
None 254/05

SECTION THROUGH
SOAK-TRENCH 1:20



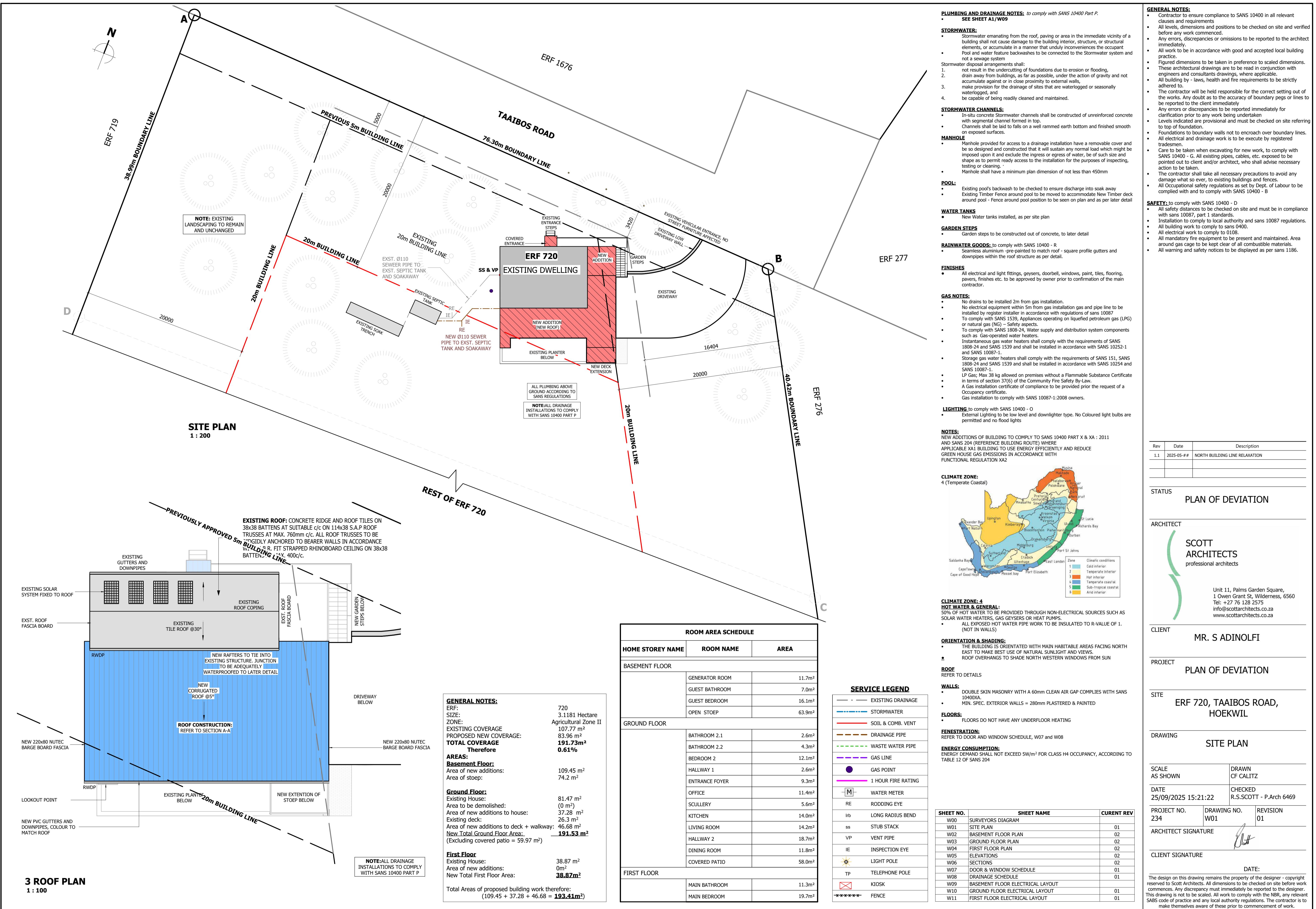
PROPOSED DWELLING
ERF 720 a Portion
of ERF 276 HOEKWIL
MR. S. ADINOLF

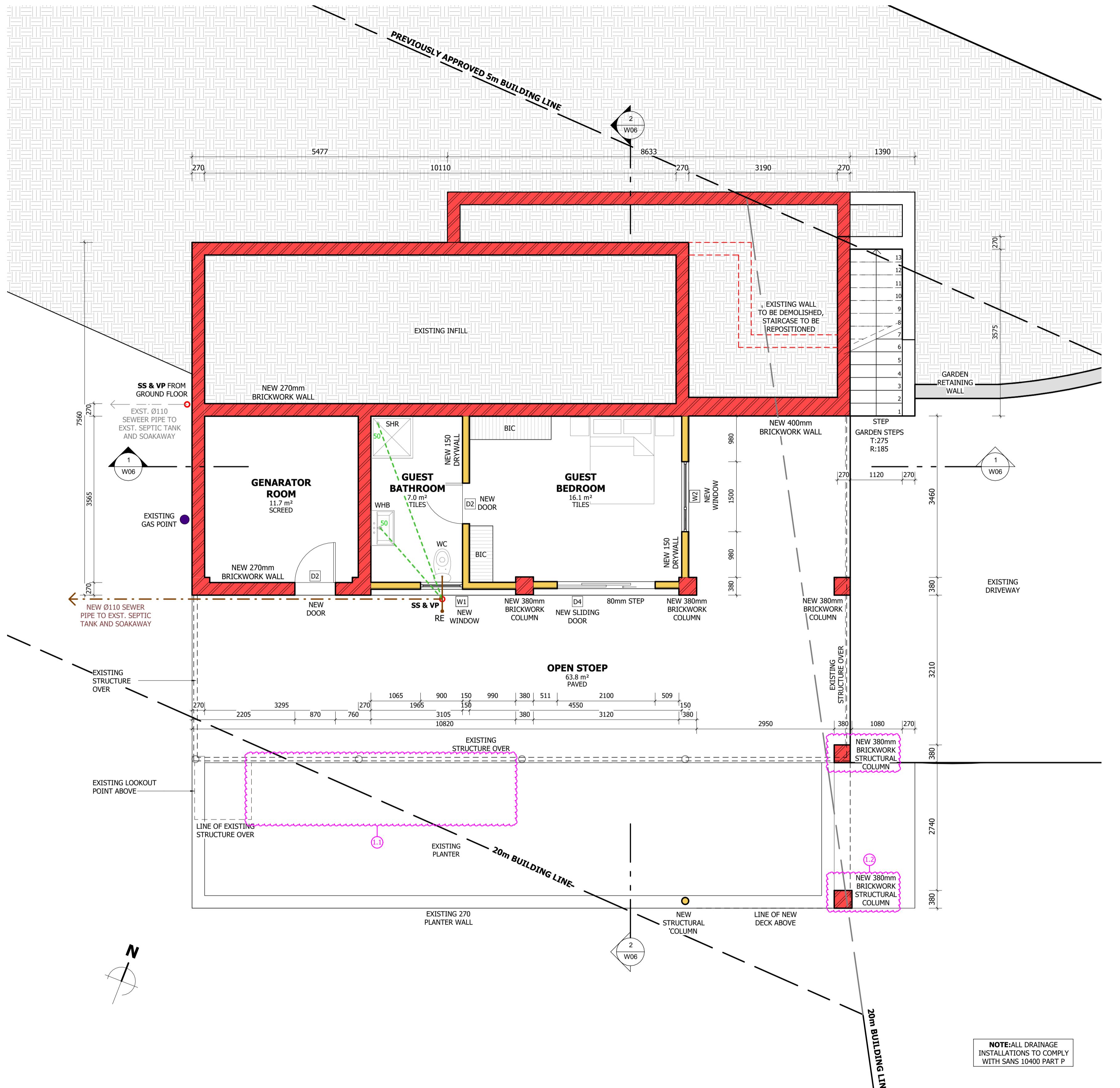
GINEER 1950
VER

275

275

Scanning & Plotting by Marathon Graphics + 27 || 787-1808





-1 BASEMENT FLOOR PLAN

1 : 50

DIMENSIONS:

- All levels, dimensions and positions to be checked on site and verified before any work commenced.
- Any errors, discrepancies or omissions to be reported to the architect immediately.
- Wall dimensions are indicated plaster to plaster and not brick to brick.

FOUNDATIONS:

- To comply with SANS 10400 - H
- All foundations to be constructed as per the Engineers drawings & specifications.
- Foundation walls to concrete filled to underside of 375 micron dpm in walls, to detail.

CONCRETE UNDER BEDS:

- To comply with SANS 10400 - J
- 700mm Thick (minimum 150mpa) concrete slab, a minimum of 170mm above ground level on gunplus sub 250 micron USG green waterproof sheeting sealed at laps with gunplus pressure sensitive tape laid continuous under surface beds as indicated on architects and engineers drawings. 25mm Thick river sand bedding layer on approved hardcore filling compacted to structural engineers specifications. Finish with 30mm cement / oversand (1:4) screed applied to a smooth and even finish to take floor finish.

JOINTS:

- 10mm Joint between new walls and surface beds.

FLOOR FINISH:

- Florolash as noted on floorplan and to finishing schedule, on 40mm screed internal and 30mm screed external.

PLEASE NOTE:

- All Tiled flooring needs to go under Cupboards.

FLOOR TILING:

- Floor tiling to have Aluminium straight edge trim joints at external joints & corners.

WATERPROOF:

- Grouting colour to Owner's specifications.

DECKS:

- Timber construction methods shall comply with SANS 10082.

WOOD AND LAMINATE FLOORING:

- shall be installed in accordance with SANS 10043.

PAVING:

- per pavers to match the corobrick autumn blend and/or similar approved (size 110 x 220mm).

STAIRS:

- To comply with SANS 10400 - M

ALL BUILDING WORK:

- 170mm - 200mm high and 300mm wide no alterations allowed.

BALUSTRADES:

- Balustrades has to comply with SABS 10104, 1 meter high with openings not more than 100mm.

ROOF:

- To comply with SANS 10400 - L

ENHANCEMENTS:

- Enhancements at each stage.

RAINWATER CODES:

- To comply with SANS 10400 - R

SEAMLESS ALUMINIUM:

- Seamless aluminium -pre-painted charcoal colour - square profile gutters and downpipes within the roof structure as per detail.

WATER HEATERS:

- refer to Roof and Drainage Plan.

FASCIA BOARD:

- All Fascia Boards to be painted to match roof unless otherwise specified.

STRUCTURAL TIMBER:

- Unless otherwise stated, structural timber shall be of South African softwood (SAS) complying with the requirements of SABS specification 563 and 1245.

WALLS:

- Cavity walls shall be kept free of all rubbish, mortar droppings and projecting mortar.

ROOF:

- The tops of the walls covered with planks or sacking during weather to prevent rain entering the cavities in construction.

EXTERNAL WALLS:

- External cavity walls are to be provided with galvanized wire ties used every third course for 230 mm brick force galvanized ties used every third course.

WALL TIES:

- Walls have to be spayed evenly.

BOUNDARY WALLS:

- To be max 1.8m High and to be Masonry walls

WALL FINISHES:

- (to finishing schedule)

WALLS:

- Walls to be plastered and painted unless otherwise stated on the drawings.

INTERNAL PAINT AND PLASTERED:

- Paint and plastered Internal walls - one coat plaster, Textured finish, paint and plastered Internal walls - one coat equivalent approved.

ALL TO COMPLY WITH HOA GUIDELINES AND SPECIFICATIONS:

- GLAZING to comply with SANS 10400 - N

GLAZING:

- Glazing in accordance with SANS 10137.

WINDOW SILLS:

- (to detail)

INTERNAL:

- All internal window sills to plastered brick on edge & painted.

EXTERNAL:

- All external window sills to be plastered brickwork with 15° fall with drip mould below, being bedded on a stepped DPC for the width of the sill.

FINISHES:

- All electrical and light fittings, geyser, doorbell, windows, paint, tiles, flooring, panes, finishes etc. to be approved by owner prior to confirmation of the main contractor.

DRAINAGE AND SEWER:

- To comply with SANS 10400 - B & Q

LIGHTING:

- Refer to electrical layout drawing

EXTERNAL LIGHTING:

- External Lighting to be low level and downlighter type. No Coloured light bulbs are permitted and no flood lights

VEGETATION:

- all natural vegetation to be preserved and non - alien vegetation to be introduced

GENERAL NOTES:

- Contractor to ensure compliance to SANS 10400 in all relevant clauses and requirements.
- All levels, dimensions and positions to be checked on site and verified before any work commenced.
- Any errors, discrepancies or omissions to be reported to the architect immediately.
- Wall dimensions are indicated plaster to plaster and not brick to brick.
- Foundations to comply with SANS 10400 - H
- All foundations to be constructed as per the Engineers drawings & specifications.
- Foundation walls to concrete filled to underside of 375 micron dpm in walls, to detail.
- Allow an average depth of 1m below NGL. Contractor to allow for 3 DCP's across the site.
- CONCRETE UNDER BEDS:** To comply with SANS 10400 - J
- 700mm Thick (minimum 150mpa) concrete slab, a minimum of 170mm above ground level on gunplus sub 250 micron USG green waterproof sheeting sealed at laps with gunplus pressure sensitive tape laid continuous under surface beds as indicated on architects and engineers drawings. 25mm Thick river sand bedding layer on approved hardcore filling compacted to structural engineers specifications. Finish with 30mm cement / oversand (1:4) screed applied to a smooth and even finish to take floor finish.
- JOINTS:** 10mm Joint between new walls and surface beds.
- FLOOR FINISH:** Florolash as noted on floorplan and to finishing schedule, on 40mm screed internal and 30mm screed external.
- PLEASE NOTE:** All Tiled flooring needs to go under Cupboards.
- FLOOR TILING:** Floor tiling to have Aluminium straight edge trim joints at external joints & corners.
- WATERPROOF:** Grouting colour to Owner's specifications.
- DECKS:** Timber construction methods shall comply with SANS 10082. Wood and laminate flooring shall be installed in accordance with SANS 10404.
- PAVING:** per pavers to match the corobrick autumn blend and/or similar approved (size 110 x 220mm).
- STAIRS:** To comply with SANS 10400 - M
- All stairs are 170mm - 200mm high and 300mm wide no alterations allowed.
- All electrical work to comply to 0108.
- All mandatory fire equipment to be present and maintained. Area around gas cage to be kept clear of all combustible materials.
- All warning and safety notices to be displayed as per sans 1186.

SAFETY: To comply with SANS 10400 - D

- All safety distances to be checked on site and must be in compliance with sans 10087, part 1 standards.
- Installation to comply to local authority and sans 10087 regulations.
- All building work to comply to sans 0400.
- All electrical work to comply to 0108.
- All mandatory fire equipment to be present and maintained. Area around gas cage to be kept clear of all combustible materials.
- All warning and safety notices to be displayed as per sans 1186.

GAS NOTES:

- No drains to be installed 2m from gas installation.
- No electrical equipment within 5m from gas installation gas and pipe line to be installed by register installer in accordance with regulations of sans 10087.
- SANS 1539, Appliances operating on liquefied petroleum gas (LPG) or natural gas (NG) – Safety aspects.
- SANS 1008-24, Water supply and distribution system components such as Gas-operated water heaters.
- SANS 10087-1, The handling, storage, distribution and maintenance of liquefied petroleum gas in domestic, commercial, and industrial installations – Liquefied petroleum gas installations involving gas storage containers of individual water capacity not exceeding 500 L and a combined water capacity not exceeding 3 000 L per installation.
- Indoor water heaters shall comply with the requirements of SANS 1025-2-1 and SANS 10087-1.
- Storage gas water heaters shall comply with the requirements of SANS 151, SANS 1008-24 and SANS 1539 and shall be installed in accordance with SANS 10254 and SANS 10087-1.

Rev	Date	Description
1.1	2025-05-#	TIMBER STAIR OMITTED FROM DESIGN
1.2	2025-05-#	NEW BRICKWORK STRUCTURAL COLUMNS

STATUS:

PLAN OF DEVIATION

ARCHITECT

SCOTT ARCHITECTS
professional architects

CLIENT

PROJECT

PLAN OF DEVIATION

SITE

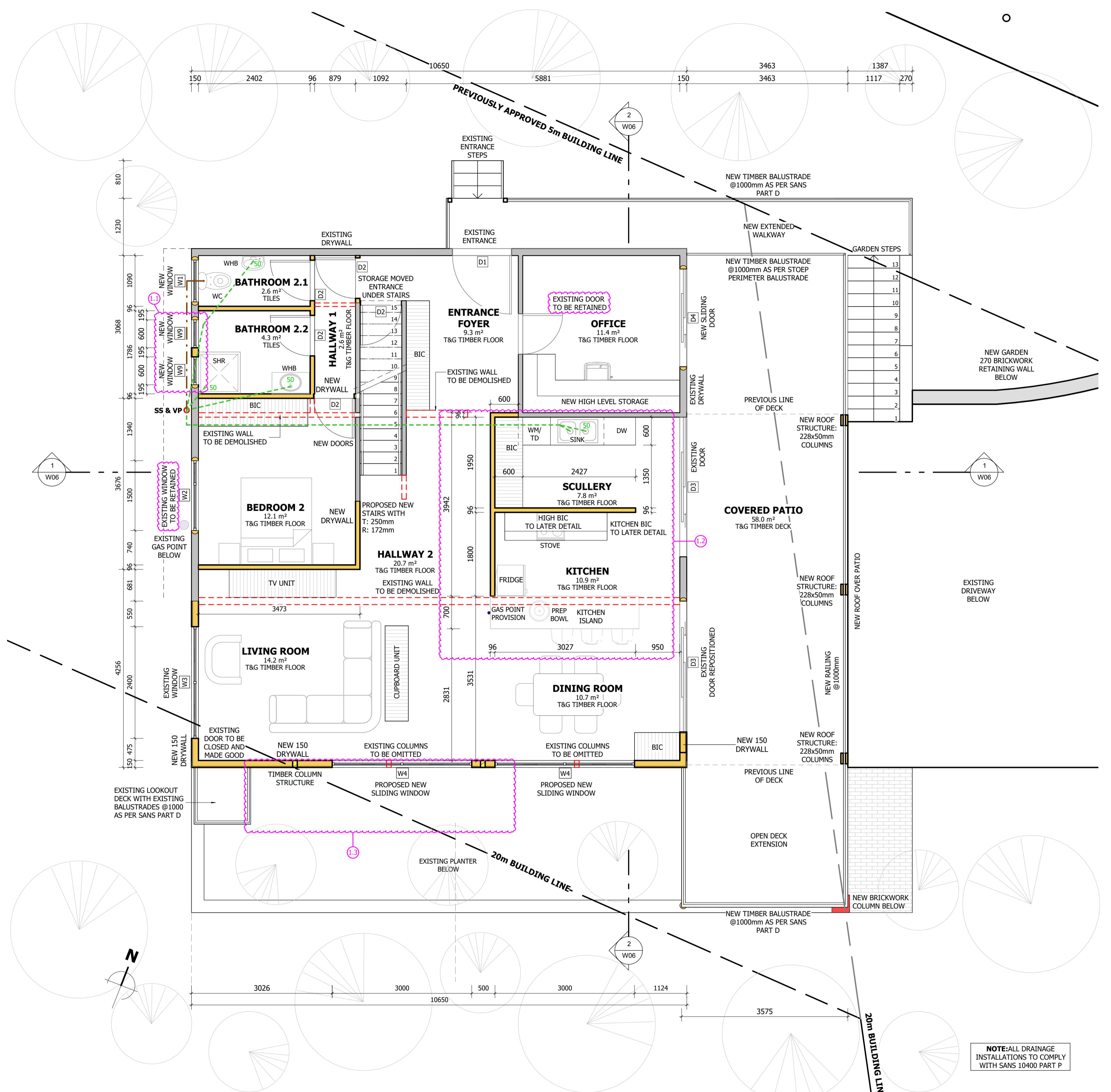
ERF 720, TAAIBOS ROAD, HOEKWIL

DRAWING

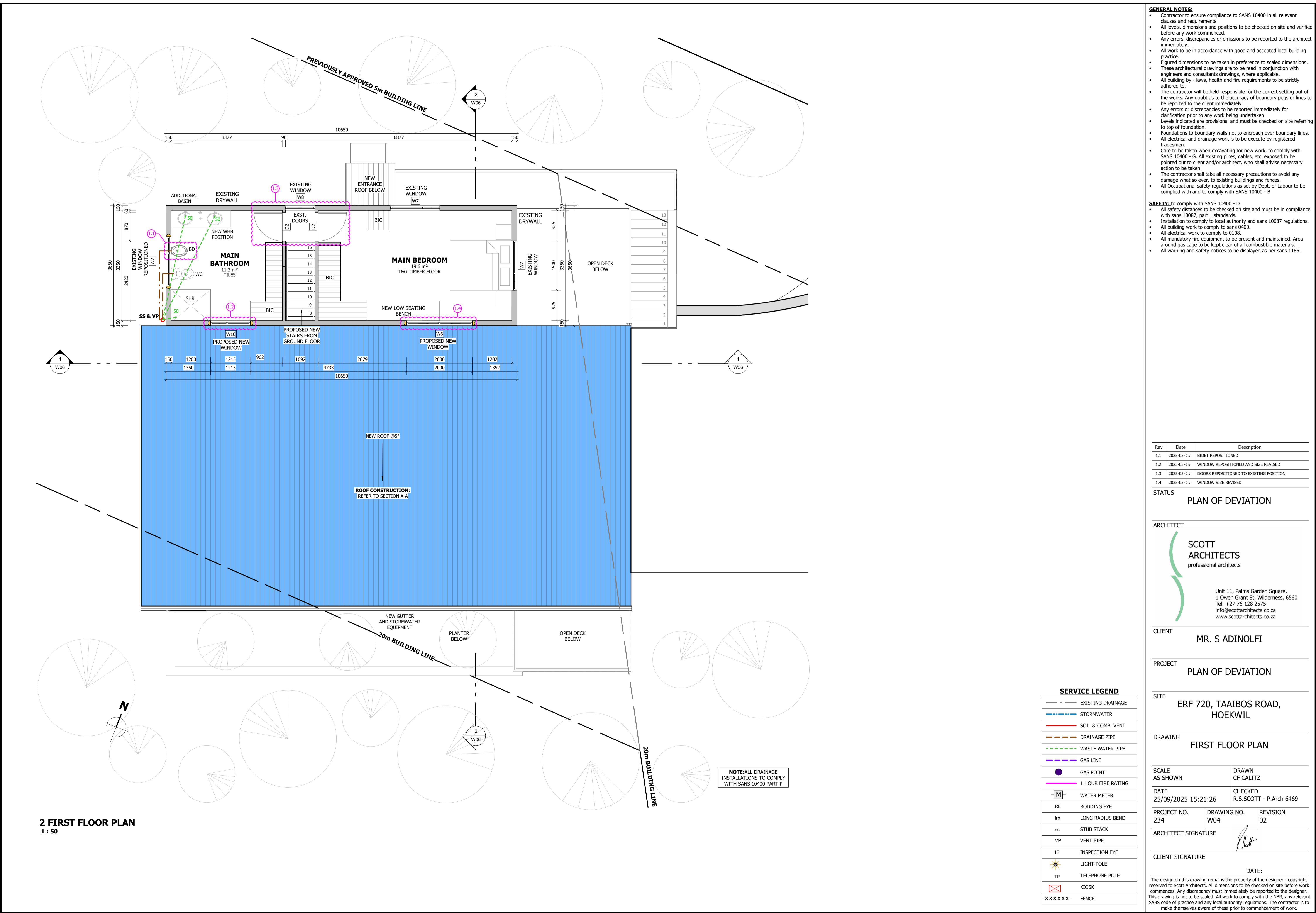
BASEMENT FLOOR PLAN

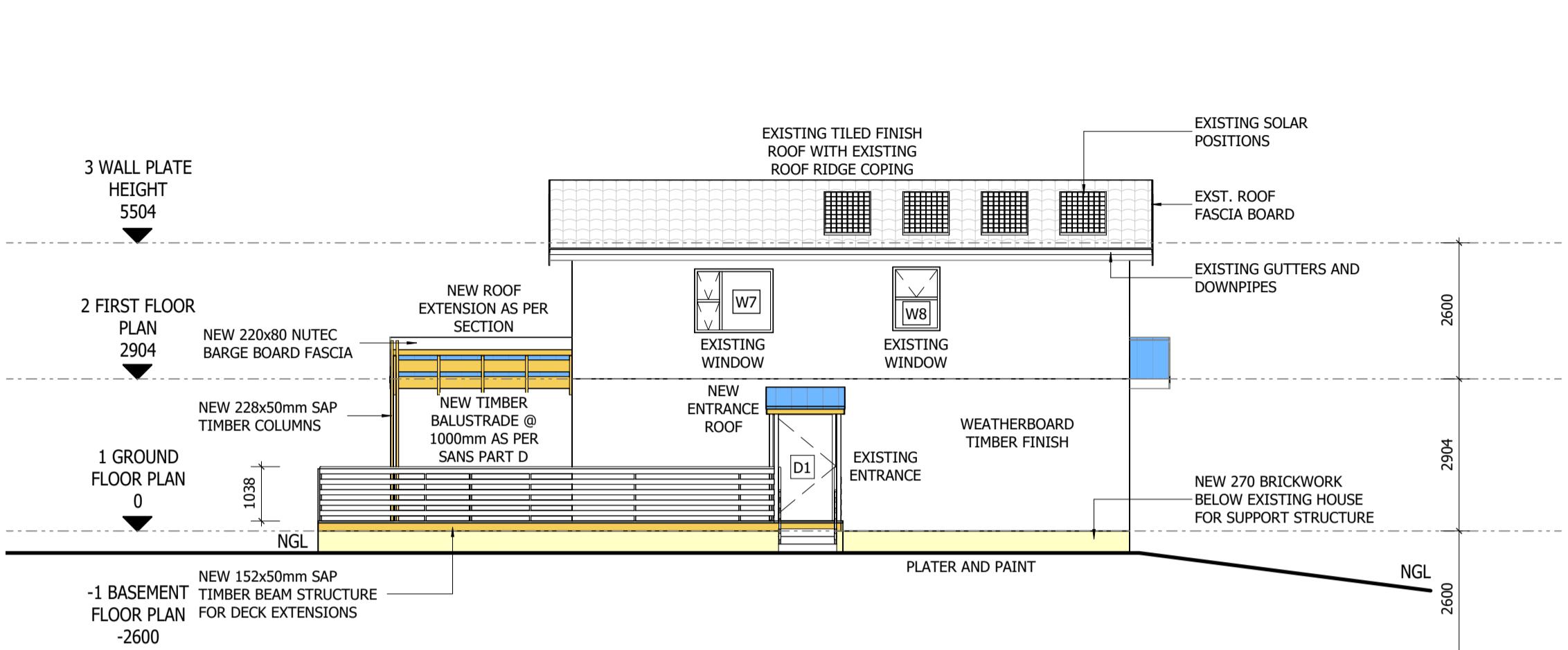
SCALE AS SHOWN	DRAWN CF CALITZ
DATE	25/09/2025 15:21:23
PROJECT NO.	CHECKED R.S.SCOTT - P.Arch 6469
DRAWING NO.	W02
REVISION	02
ARCHITECT SIGNATURE	
CLIENT SIGNATURE	
DATE:	

The design on this drawing remains the property of the designer - copyright reserved to Scott Architects. All dimensions to be checked on site before work commences. Any discrepancy must immediately be reported to the designer. This drawing is controlled. All changes must be made in writing and any relevant SABS code of practice and any authority requirements. The contractor is to make themselves aware of these prior to commencement of work.



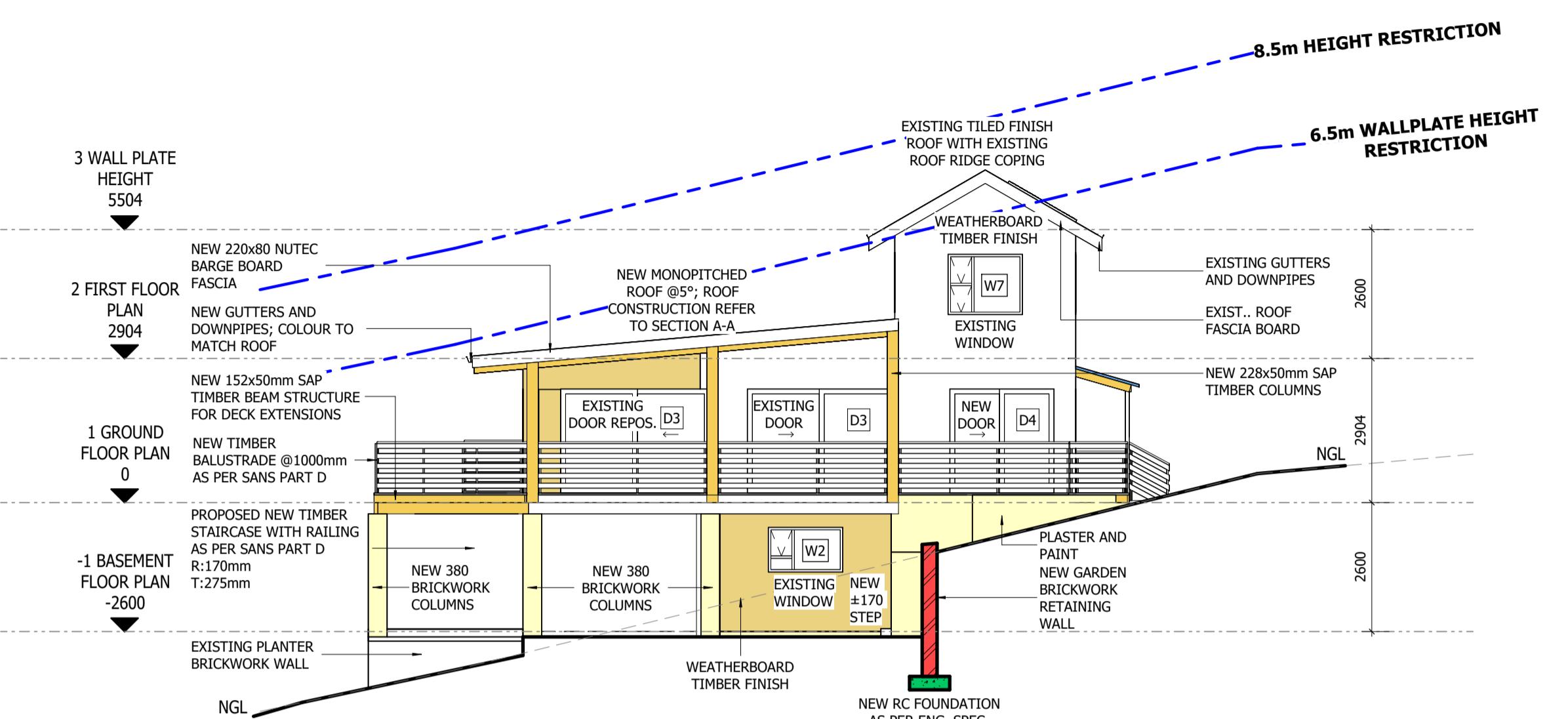
SERVICE LEGEND	
—	EXISTING DRAINAGE
—	STORMWATER
—	SOIL & COMB. VENT
—	DRAINAGE PIPE
—	WASTE WATER PIPE
—	GAS LINE
●	GAS POINT
—	1 HOUR FIRE RATING
[M]	WATER METER
RE	RODDING EYE
Irb	LONG RADIUS BEND
ss	STUB STACK
VP	VENT PIPE
IE	INSPECTION EYE
★	LIGHT POLE
TP	TELEPHONE POLE
✉	KIOSK
*****	FENCE





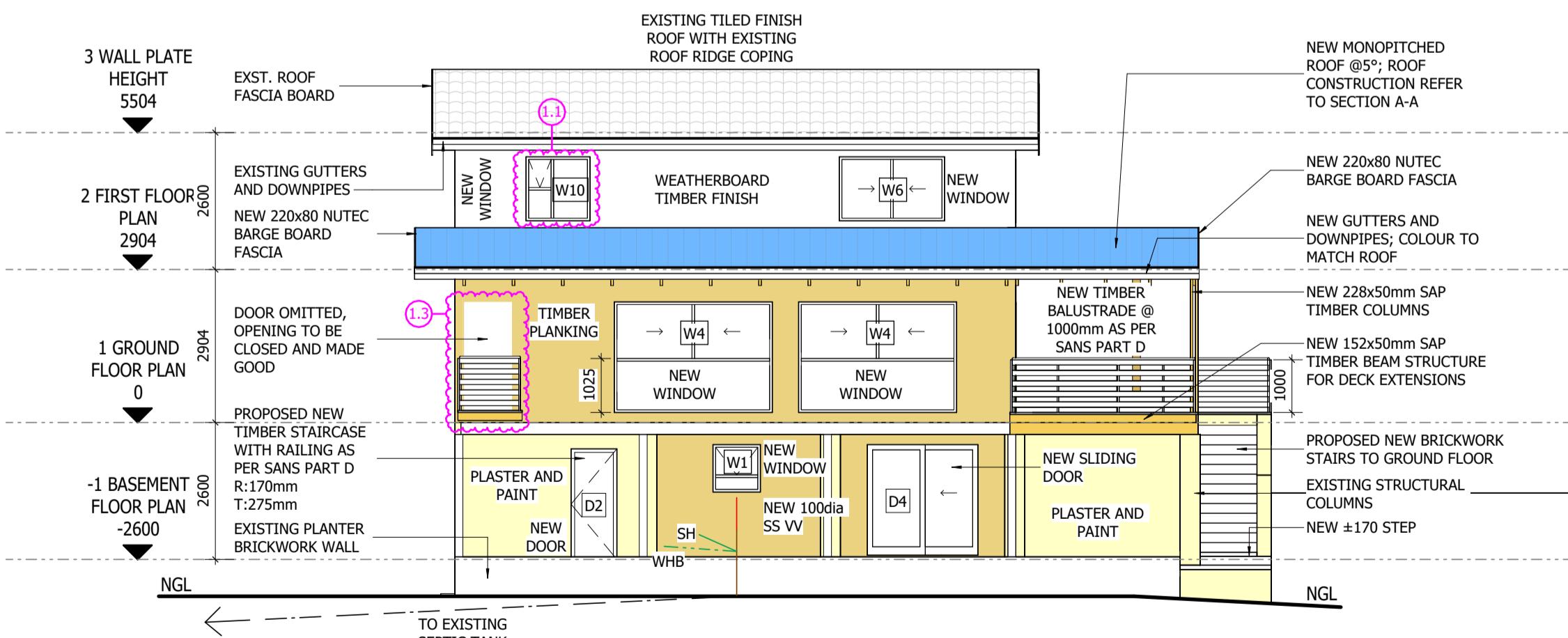
NORTH ELEVATION

1 : 100



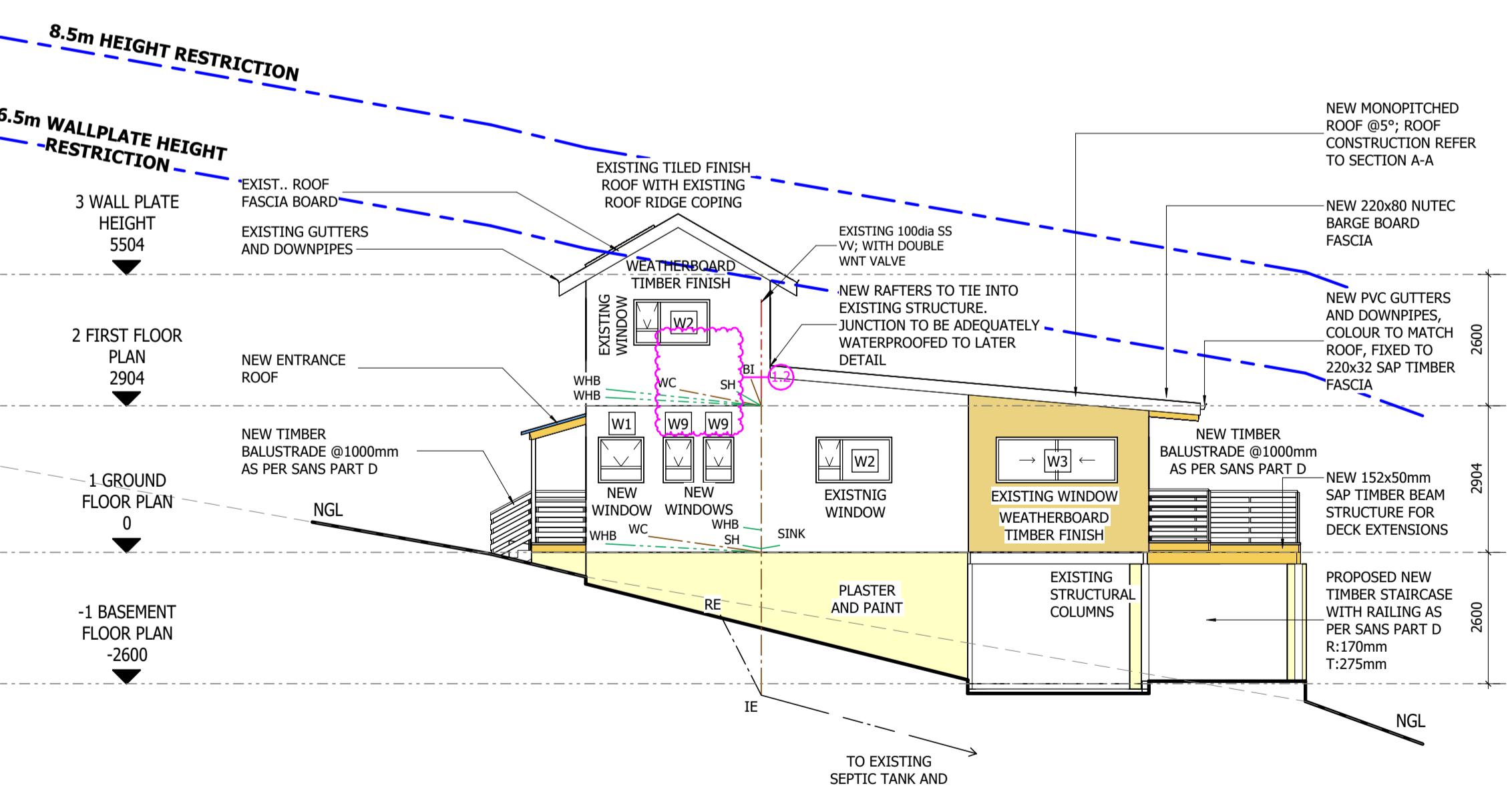
EAST ELEVATION

1 : 100



SOUTH ELEVATION

300
1 : 100



WEST ELEVATION

WEST
1 : 100

GENERAL NOTES:

- Contractor to ensure compliance to SANS 10400 in all relevant clauses and requirements
- All levels, dimensions and positions to be checked on site and verified before any work commenced.
- Any errors, discrepancies or omissions to be reported to the architect immediately.
- All work to be in accordance with good and accepted local building practice.
- Figured dimensions to be taken in preference to scaled dimensions.
- These architectural drawings are to be read in conjunction with engineers and consultants drawings, where applicable.
- All building by - laws, health and fire requirements to be strictly adhered to.
- The contractor will be held responsible for the correct setting out of the works. Any doubt as to the accuracy of boundary pegs or lines to be reported to the client immediately
- Any errors or discrepancies to be reported immediately for clarification prior to any work being undertaken
- Levels indicated are provisional and must be checked on site referring to top of foundation.
- Foundations to boundary walls not to encroach over boundary lines.
- All electrical and drainage work is to be execute by registered tradesmen.
- Care to be taken when excavating for new work, to comply with SANS 10400 - G. All existing pipes, cables, etc. exposed to be pointed out to client and/or architect, who shall advise necessary action to be taken.
- The contractor shall take all necessary precautions to avoid any damage what so ever, to existing buildings and fences.
- All Occupational safety regulations as set by Dept. of Labour to be complied with and to comply with SANS 10400 - B

SAFETY: to comply with SANS 10400 - D

- All safety distances to be checked on site and must be in compliance with SANS 10087, part 1 standards.
- Installation to comply to local authority and SANS 10087 regulations.
- All building work to comply to SANS 0400.
- All electrical work to comply to 0108.
- All mandatory fire equipment to be present and maintained. Area around gas cage to be kept clear of all combustible materials.
- All warning and safety notices to be displayed as per SANS 1186.

Rev	Date	Description
1.1	2025-05-##	WINDOW REPOSITIONED
1.2	2025-05-##	WINDOWS ADDED
1.3	2025-05-##	DOOR OMITTED

STATUS **PLAN OF DEVIATION**

SCOTT
ARCHITECTS

Unit 11, Palms Garden Square,
1 Owen Grant St, Wilderness, 6560
Tel: +27 76 128 2575
info@scottarchitects.co.za
www.scottarchitects.co.za

CLIENT

SITE ERF 720, TAAIBOS ROAD,

DRAWING

SCALE AS SHOWN	DRAWN CF CALITZ	
DATE 25/09/2025 15:21:28	CHECKED R.S.SCOTT - P.Arch 6469	
PROJECT NO. 234	DRAWING NO. W05	REVISION 02

DATE:

DATE:
