



Stewart Scott Architects (Pty) Ltd trading as:
s c o t t } a r c h i t e c t s
professional architects
REF no. of Practice: PS0628081157

Tel: +27 82 447 7228
info@scottarchitects.co.za . www.scottarchitects.co.za
Unit 11, Palms Garden Square,
1 Owen Grant St, Wilderness, 6560

DEPARTURE APPLICATION

FOR ERF 720, HOEKWIL

25 September 2025

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PREPARED BY: SCOTT ARCHITECTS

Client: Sergio-Gennardo Adinolfi,

Architects: Scott Architects

DISCLAIMER:

Every effort has been made to ensure accuracy, using the source material available at the time of assessment. in good faith. Should any changes be made after the completion of the assessment, Scott Architects cannot be held liable for discrepancies as a result thereof. Scott Architects accepts no responsibility for failure to follow or compliance with the recommended measures of mitigation, specifications or recommendations.

LIST OF ANNEXURES

- a) Annexure A: Power of Attorney and Letter of Authority
- b) Annexure B: Title Deed
- c) Annexure C: Approved Plans from 2006
- d) Annexure D: New Proposed plans for as Built and additions, 2025
- e) Annexure E: Application for departure
- f) Annexure F: Neighbours Consent and Signed Site plan

Scott Architects has been appointed by Sergio-Gennardo Adinolfi, owner of ERF 720, Hoekwil, to prepare and submit the following application in terms of Section 15(2)(b) and Chapter III of the George Municipality: Land Use By-Law, 2023, to the George Municipality (See Power of Attorney attached Annexure A):

1. Section 15(2)(b): Application for Departure from the provisions of the George Integrated Zoning Scheme By-Law for:
 - The Relaxation of the Northern lateral Building line:
 - From 20m to 3.42m
 - The Relaxation of the Eastern side Building line:
 - From 20m to 16.404m

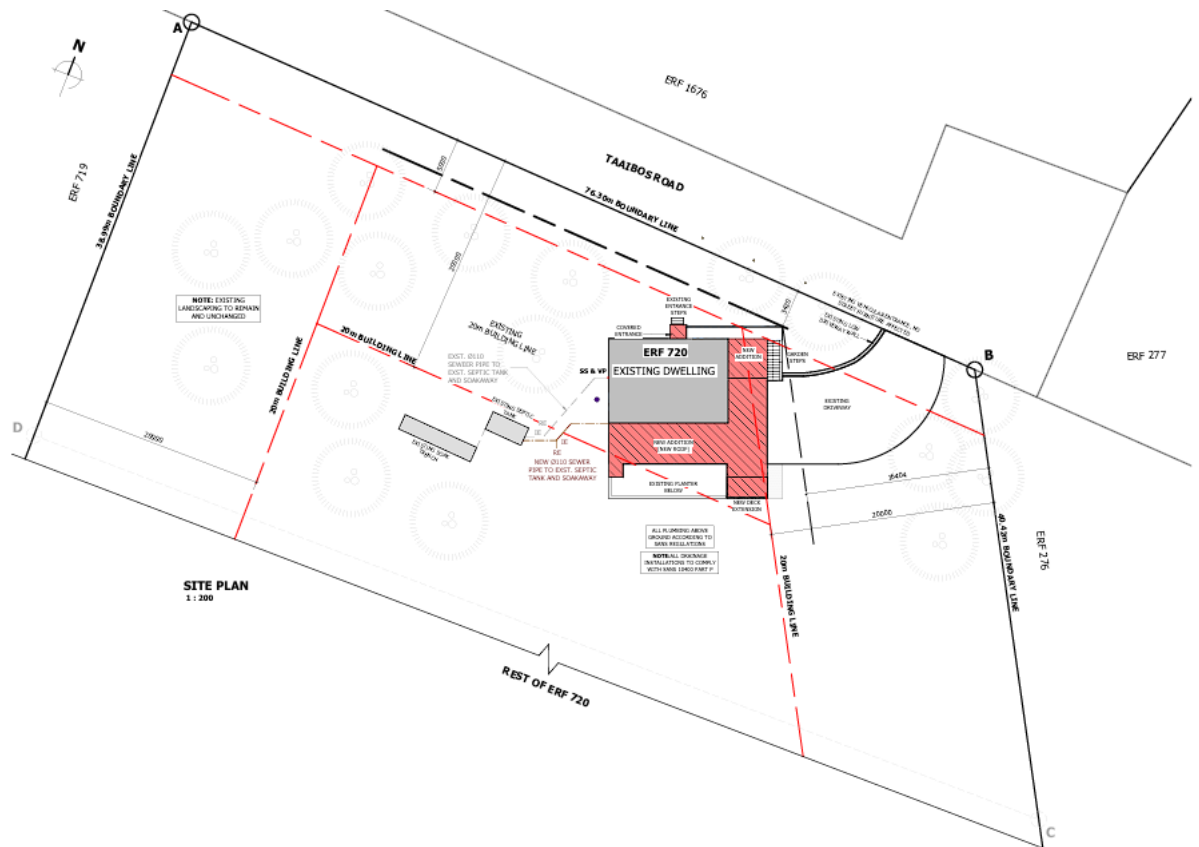


Figure – Screenshot of site plan

2. BACKGROUND INFORMATION

The subject property is located at the end of Taaibos Street and falls within a designated OSCAE area. The existing structure is a two-storey timber dwelling on stilts, with the original plans approved under OSCAE in 2005 and building plans approved in 2006 (refer to attached documentation). The dwelling was constructed in accordance with the approved 5m street building line, as shown in the previously approved drawings.

Scott Architects has now been appointed to propose minor additions aimed at enhancing the liveability and functionality of the home. These include enlarging the existing timber deck and introducing new Garden and entrance steps to get onto the new proposed timber deck.

However, in terms of the George Integrated Zoning Scheme By-Law (2023), the applicable street building line is now 20m and no longer 5m.

And due to the existing house position related to a previous approved building line, there is no practical way to implement these improvements or any other on this building without encroaching beyond the updated building line requirement.

A building line relaxation is therefore being requested to accommodate the proposed modifications, which are modest in scale and sensitive to the existing structure and surrounding context.

3. PROPERTY INFORMATION

Property Description:	ERF 720, Hoekwil
Physical Address:	720, Taaibos Street, Wilderness Heights, Hoewkil
Owner:	Sergio-Gennardo Adinolfi
Title Deed No:	053522320/2004 (Attached as Annexure B)
SG 21 Digit Code:	C02700050000072000000
Bond Holder:	
Size of the property:	3,1181 ha
Land Use:	Smallholding
Zoning:	Agricultural Zone II

LOCALITY

ERF 720 is located in Wilderness Heights, Hoekwil, WC. It has one road access, namely, Taaibos Street (Northern side Access). The Property currently consists of a Single residential dwelling.



Figure – Aerial View – Macro Scale

ZONING

Erf 720, Hoekwil is zoned Agricultural Zone II in terms of George Integrated Zoning Scheme By-Laws (GIZS) and developed with a single residential dwelling. The zoning and use will not change following this land use application.

BIO-PHYSICAL CONDITIONS



The Site begins with a gradual slope at the road access and steepens downwards from there into a valley, which is untouched.

4. PROPOSED DEVELOPMENT:

The current application proposes a series of limited alterations and additions, designed to remain within the spirit of the original architectural intent while ensuring compliance with environmental standards. These include:

1. **Roof Alteration** – A modification to the existing roof structure to improve performance and integration with the updated internal layout.
2. **The legalisation of the existing Basement Level Construction Beneath Stilts** – The addition of a new partial basement area beneath the existing stilted structure, comprising:
 - A masonry generator room
 - A new guest bedroom and guest bathroom (constructed with timber walls to maintain material consistency).

The basement is confined to the area beneath the existing footprint and does not extend beyond the current ground cover.

3. The legalisation of an Existing Ground Floor Extension

Furthermore, it should be noted that the living room and dining room areas on the ground floor have been previously extended. This enclosed area was originally an open, approved timber deck as per the 2006 plan. Although this enclosure occurred prior to the current owner's purchase of the property, it forms part of this application for formal building plan approval. The footprint of this enclosed area remains within the bounds of the original approved deck and does not result in any additional encroachment or land disturbance.

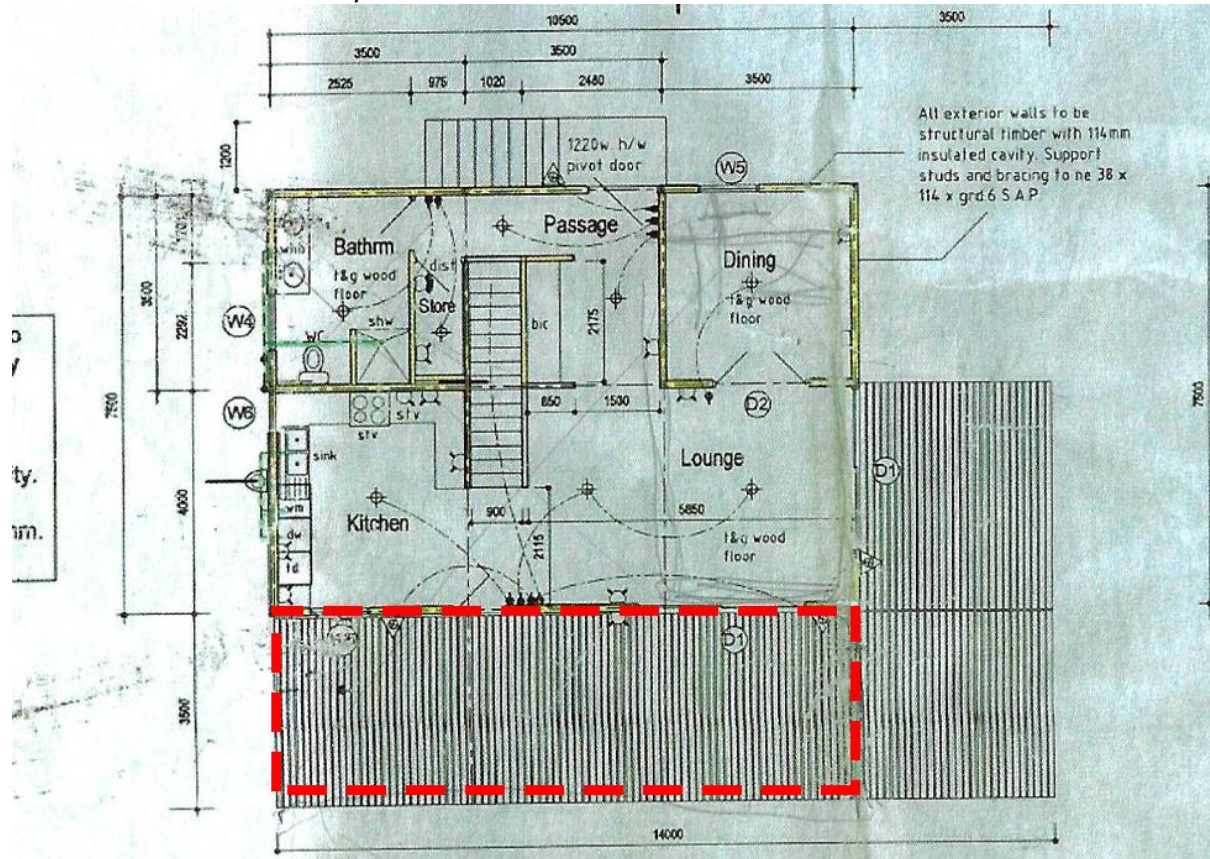


Figure indicating previously approved drawings

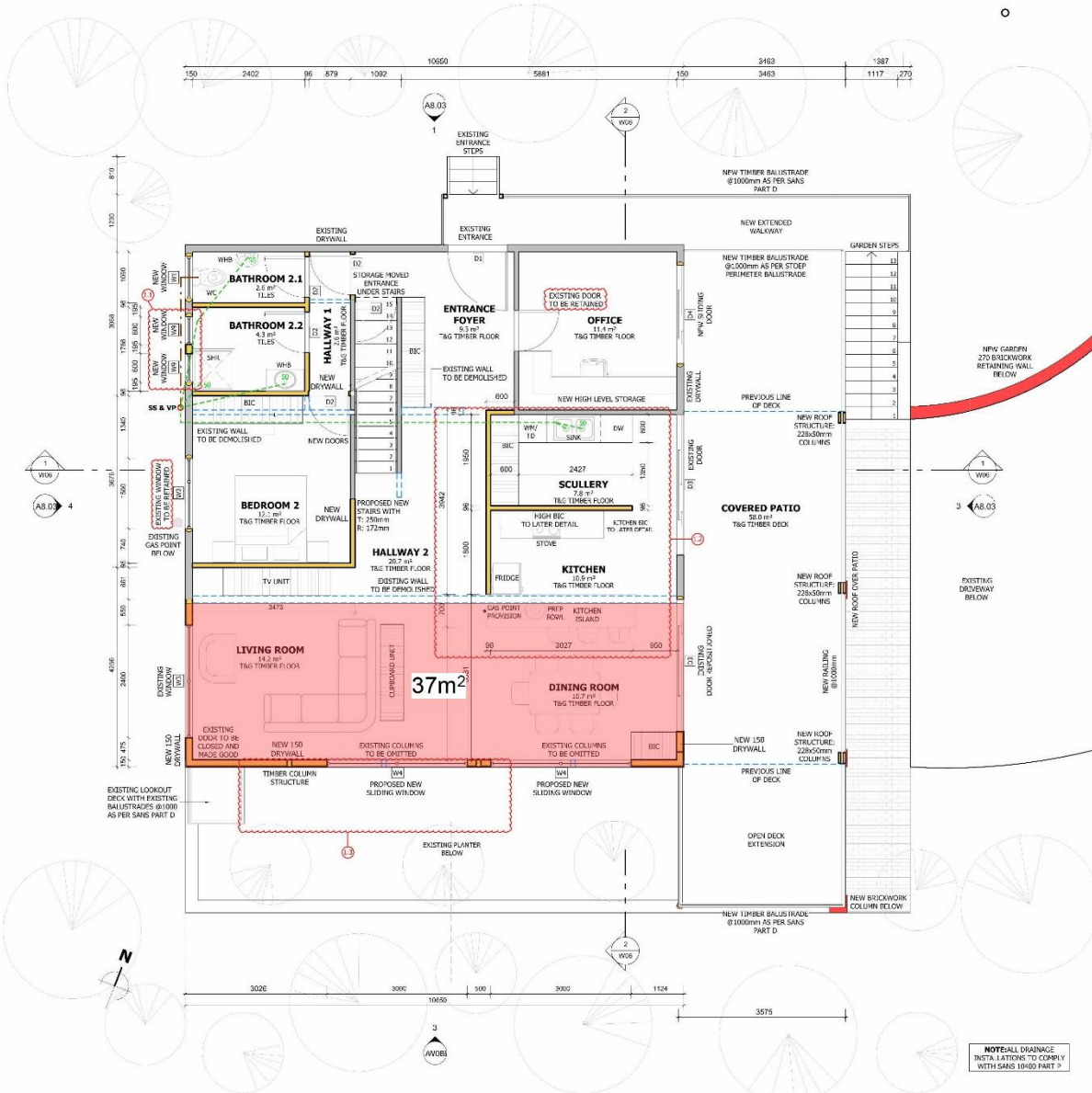
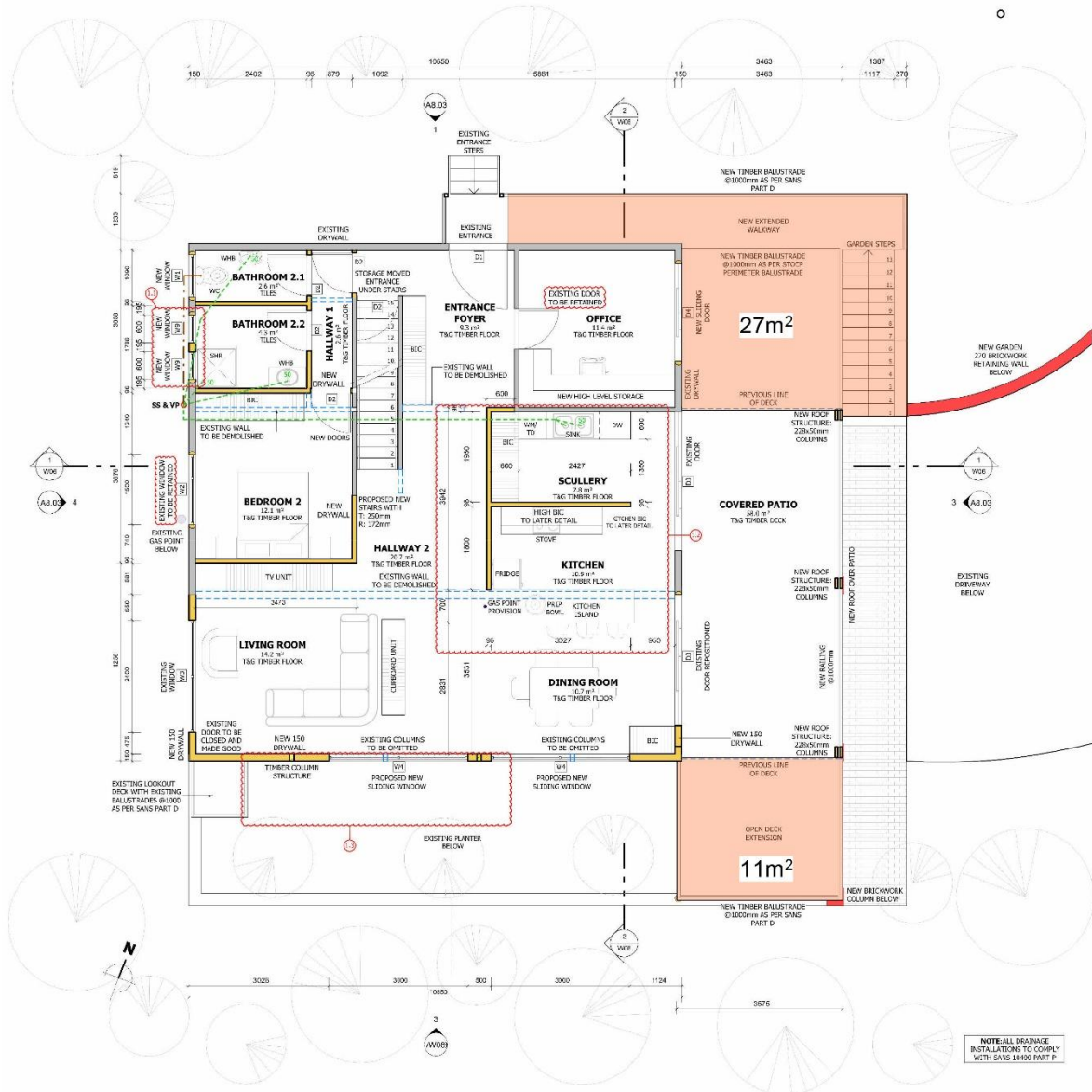
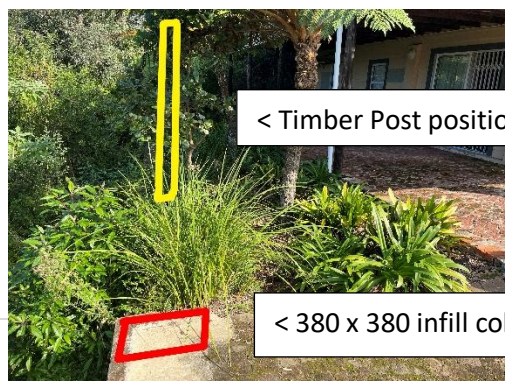


Figure: New Plan indication extension to be legalized

4. Deck Extensions and Stair Reconfiguration

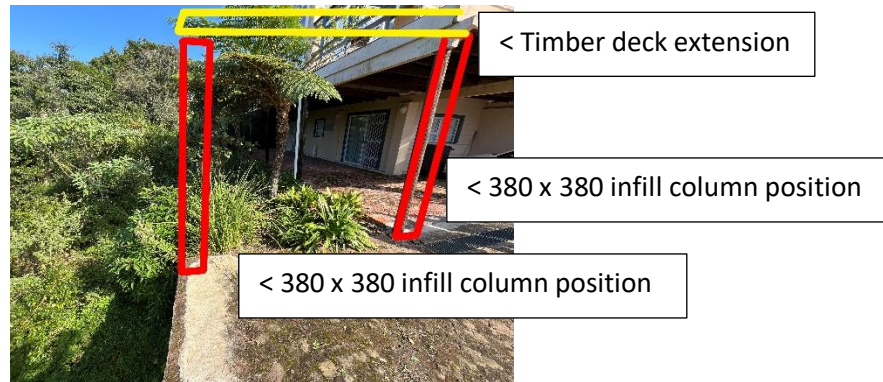


- **Southern Deck Extension (11m²):** Incorporates a single 380x380mm infill concrete column on a 1000x1000x300mm footing, to be placed on an area of existing paving. Additionally, one 125mm diameter timber post will be located within an existing flower bed, avoiding disturbance of natural soil or vegetation.



< Timber Post position

< 380 x 380 infill column position



- **Northern Deck Extension (27m²):** Includes the repositioning of the garden entrance stairs and an extension of the timber deck, which will affect only a previously landscaped flower bed, with no disruption to indigenous flora or terrain.



DEPARTURE

Erf 720 Hoekwil is zoned for Single Residential Zone I and the property measures 31181m² (3.1181 hectares) in extent. Building lines for the property are stipulated in the integrated George Zoning Scheme By-Law and not the Title Deed documents.

Building lines applicable to the property are specified on the table below:

Building Line	Title Deed	George Zoning Scheme By-Law (2017)	Previous approved drawings from 2006
Street	Not mentioned	20m	5m
Lateral	Not mentioned	20m	Not indicated
Rear	Not mentioned	20m	Not indicated

Application for Departure from the provisions of the George Integrated Zoning Scheme By-Law for:

a. The Relaxation of the Northern lateral Building line:

- From 20m to 3.42m

b. The Relaxation of the Eastern side Building line:

- From 20m to 16.404m

2. CONSIDERATIONS OF THE APPLICATION

EXISTING STRUCTURE

The existing house was constructed within the previous 5m building line and thus any additions or alterations to the existing building would have resulted in a LUA

NATURAL ENVIRONMENT

The proposed alterations are deliberately low-impact and have been planned to align with environmental best practice

HERITAGE

The application has no negative impact on heritage resources and the structure is not older than 60 years. Therefore, no heritage sites will be affected by the proposed building line relaxation.

TRAFFIC AND PEDESTRIAN MOVEMENT:

The development will not have any negative impact on traffic flow, access, or loading activities. No access onto the property will be changed.

IMPACT ON NEIGHBOURING PROPERTIES

The deviation does not obstruct views or cause overshadowing.

PUBLIC PARTICIPATION

Requirements to be confirmed by George Municipality

NEED AND DESIRABILITY

The proposed building line relaxation is necessary due to the property's unique circumstances: the existing dwelling was constructed in accordance with previously approved plans and a 5m street building line under OSCAE (2005–2006). With the updated zoning regulations now enforcing a 20m building line, any functional improvements or additions to the existing structure require a departure application.

The additions — including deck extensions, repositioned stairs, minor roof alterations, and the legalization of an existing enclosed area — are modest in scale, visually compatible with the existing architecture, and environmentally sensitive. The development:

- Improves the **functionality and livability** of the home, especially outdoor access and circulation.
- Makes **efficient use** of the existing footprint and disturbed areas without introducing additional environmental impact.
- Has **no detrimental impact** on adjacent properties, traffic, or scenic views.
- Reflects **desirable residential investment** and upkeep in a manner consistent with the local rural-residential character.

Given the low-impact nature of the proposal, the absence of negative heritage or environmental effects, and the compliance with the principles of spatial sustainability, efficiency, and good administration, the proposed additions are both needed and desirable.

POLICIES:

SPATIAL PLANNING AND LAND USE MANAGEMENT ACT, 2013 (SPLUMA)

In considering the application, the decision-maker needs to be guided by the DEVELOPMENT PRINCIPLES contained in (Chapter II) of Spatial Planning and Land Use Management Act 2013 (Act no 16 of 2013) SPLUMA and Chapter VI of the Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA).

SPLUMA is a framework law, which means that the law provides broad principles for a set of provincial laws that will regulate planning. It does therefore not have much relevance to individual departure applications that are mostly site-specific. The principle of spatial justice for example requires that past spatial and other development imbalances must be redressed through improved access to and use of land. The nature of this application cannot directly contribute to spatial reform. These matters are best addressed through spatial development frameworks and zoning schemes and other management systems.

It can be argued that being compatible with a credible Spatial Development Framework, the proposal will automatically comply with the principles of Spatial Justice, Spatial Sustainability, Spatial Efficiency, and Spatial Resilience. Furthermore, authorization of the new encroaching structures supports the principle of Good Administration.

WESTERN CAPE LAND USE PLANNING ACT, 2014 (LUPA)

In terms of the Western Cape Land Use Planning Act, 2014 (LUPA), local municipalities are required to consider the following factors when evaluating land use applications:

- Relevant spatial development frameworks (SDFs);
- Applicable structure plans;
- The land use planning principles set out in Chapter VI (Section 59), which expand on the five development principles of SPLUMA;
- The **desirability** of the proposed land use; and
- Any guidelines issued by the Provincial Minister regarding the desirability of such land use.

The land use planning principles build upon the foundational development principles of SPLUMA, with a particular emphasis on evaluating the **desirability** of the proposed use, as previously discussed.

Sections 19(1) and 19(2) of LUPA specifically address the importance of ensuring that land use proposals are consistent with and comply with applicable spatial development frameworks or structure plans.

In this regard, the current land use application for **Erf 720, Hoekwil** has been reviewed, and no inconsistencies or conflicts have been identified with the **George Municipal Spatial Development Framework (GMSDF)**.

GEORGE MUNICIPALITY: LAND USE PLANNING BY-LAW, 2023

The general criteria for the consideration of applications in terms of this By-law are included in Section 65 which, inter alia, includes:

- Desirability of the proposed utilization of land;
- Impact of the proposed land development on municipal engineering services;
- Integrated development plan, including the municipal spatial development framework, the applicable local spatial development framework and/or local structure plans;
- Relevant municipal policies;
- Western Cape Provincial Spatial Development Framework;
- Section 42 of SPLUMA (public interest, constitutionality);
- Land use planning principles transposed from LUPA;
- Provisions of the applicable zoning scheme.

The above is addressed elsewhere in this motivation report as relevant.

GEORGE INTEGRATED ZONING SCHEME BY-LAW, 2023 (GIZS)

Erf 720, Wilderness, is currently zoned Agricultural Zone II in terms of the George Integrated Zoning Scheme By-law, 2023 (GIZS). The existing zoning and land use will remain unchanged following the approval of this land use application, which seeks specific departures only.

The proposed building line relaxations are considered to have no adverse impact on the character of the area, neighbouring properties, or the surrounding environmental features. Furthermore, all applicable development parameters—including height restrictions and site coverage limits—are fully complied with.

GEORGE MUNICIPAL SPATIAL DEVELOPMENT FRAMEWORK (GMSDF) (2019)

Although Erf 720, Hoekwil is not specifically referenced in the George Municipal Spatial Development Framework (GMSDF), the nature and intent of this land use application are found to be consistent with the objectives of the GMSDF, in accordance with Section 19 of the Land Use Planning Act, 2014 (LUPA).

Further detail regarding the development and management of Wilderness and its associated settlements is provided in the Wilderness–Lakes–Hoekwil Local Spatial Development Framework (WLH LSDF), 2015.

WILDERNESS – LAKES – HOEKWIL – LOCAL SPATIAL DEVELOPMENT FRAMEWORK (WLH LSDF) (2015)

The WLH LSDF offers broad guidelines for evaluating land use applications involving rezoning, departures, consent use, subdivision, and building plan approvals. It emphasizes that land use changes or large-scale infrastructure developments which may negatively affect the **sensitive landscape and visual resources** of the area should be avoided as far as possible.

Erf 720 falls within the study area of the WLH LSDF, which outlines the spatial development vision for the broader region. However, the framework does **not provide site-specific development criteria** for individual erven, and therefore does not directly prescribe evaluation parameters for this particular application.

Given the modest scale of the proposed additions, there is no impact on the landscape character of Wilderness. The alterations do not cause visual intrusion, obstruct scenic views, or result in any noticeable changes to the existing streetscape. Furthermore, an OSCAE exemption application will be submitted in conjunction with this land use application to ensure compliance with local environmental requirements.

In light of this, the proposed development is considered fully consistent with the intent and objectives of the Wilderness–Lakes–Hoekwil Local Spatial Development Framework (WLH LSDF), with no identifiable conflict.

3. CONCLUSION

This land use application for a building line relaxation on ERF 720, Hoekwil, is motivated by the need to legalise and modestly enhance an existing dwelling in a manner that is functional, context-sensitive, and aligned with statutory planning principles.

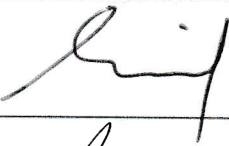

The proposal is:

- **In line with existing policy** frameworks, including SPLUMA, LUPA, and the George Municipal SDF.
- **Non-invasive**, using existing developed or disturbed spaces.
- **Consistent** with the original architectural intent and surrounding rural character.
- **Supportive of good planning practice**, enabling effective use of land and structures without introducing adverse effects.

We therefore respectfully request that the application be supported and approved by the George Municipality.

POWER OF ATTORNEY

I, the undersigned appointed below Authorised Representative as legal representative for the submission of the application to act on my behalf and take the necessary steps as required by the Local Authority to ensure that the application complies with the conditions contained in the law on the By-Law on Municipal Land Use Planning for George Municipality, 2015, or any other applicable law.

OWNER NAME	S.G. APINOLFI	ID NUMBER	6401195109087
ERF	ERF 720	EXTENSION AREA	Hoekwil
AUTHORISED REPRESENTATIVE	Robert Stewart Scott	ID NUMBER	6612085182083
SIGNATURE OF OWNER		DATE	06/08/2025
SIGNATURE OF AUTHORISED REPRESENTATIVE		DATE	06/08/2025

14

VAN DER SPUY
en VENNOTE

DEELREG	R
DUTY	R
POOR	R
REG	R

340.00

Prepared by me,

CONVEYANCER

~~DE W~~

DE W ESTERHUYSE

DEED OF TRANSFER

T 003022320/2004

BE IT HEREBY MADE KNOWN:

THAT ~~DE WAAL ESTERHUYSE~~ DE WAAL ESTERHUYSE
appeared before me, Registrar of Deeds
at CAPE TOWN he, the said Appearer, being duly authorised thereto by a Power of
Attorney granted to him by

PHILLIP CALITZ

Identity Number 500825 5088 005

and

ELIZABETH CALITZ

Identity Number 550713 0067 084

- married in community of property to each other -

dated 21st JANUARY 2004

and signed at WELKOM.

AND/.....

REGISTERED BY ME
DE W ESTERHUYSE

And the said Appearer declared that his Constituent truly and lawfully sold by private treaty on 1st DECEMBER 2003,

and that he in his capacity aforesaid did, by these presents, cede and transfer to and on behalf of

SERGIO-GENNARO ADINOLFI
Identity Number 640115 5105 087

- married out of community of property -

His Heirs, Executors, Administrators or Assigns,

in full and free property,

ERF 720, a portion of Erf 276 HOEKWIL in the Municipality and Division of GEORGE, Province of the WESTERN CAPE;

MEASURING 3,1181 (THREE comma ONE ONE EIGHT ONE) hectares,

AS WILL appear from the annexed Diagram No 5935/1999; and

HELD by Deed of Transfer No T 43733/1988.

A. SUBJECT/...

- A. SUBJECT to the conditions referred to in Deed of Transfer No T 19622/1982:
- B. SUBJECT FURTHER to the following endorsement dated 22nd APRIL 1907 and contained in Deed of Transfer No T 4632/1905, which endorsement reads as follows:

By Deeds of Transfer No 2955 and 1956 - April 1907, certain water and other rights have been conceded in favour of the land hereby conveyed as will more fully appear on reference to the said Deed of Transfer.

- C. SUBJECT FURTHER to the following special condition contained in an Annexure to Deed of Transfer No T 14200/1920, which condition reads as follows:

"Extract from Power of Attorney dated at Johannesburg, 14 September 1920, to pass transfer from the Wilderness Estate Co Ltd hereinafter called the "Transferor" to the Kerkraad of the Dutch Reformed Church at George hereinafter called the "Transferee".

- (a) The properties hereby transferred shall be subject to all conditions restrictions reservations and servitudes mentioned or referred to in or endorsed upon the said Deed of Transfer No 4632 or any prior title or otherwise registered in the Deeds Office and in particular to the conditions and servitudes set out in certain two Deeds of Transfer Nos 2955 and 2956 dated 16th April 1907, and in Deeds of Transfer passed on the 21st February 1918, to the George Forest Timber Company Ltd, and the properties hereby transferred shall be subject to the further condition that the transferor shall be entitled to take from the Silver River or any of its tributaries and the Kaaiman's river at any point on the properties hereby transferred, such quantity of water as the transferor may be entitled to or any obtain under the irrigation and conservation of Waters Act 1912 with the right to lead such waters across the properties hereby transferred, and for that purpose to lay and maintain such pipes as may be necessary and in the event of the Transferor having or exercising the right to take water from any river or stream above the ground hereby transferred, then the Transferor shall be entitled to a right of way over the properties hereby transferred for such water, with the right to lay pipes over the property hereby transferred and for the purpose of laying and maintaining the pipes and exercising the other rights in this clause mentioned the Transferor shall have the right to ingress and egress to and from the properties hereby transferred, and with the right to make to make such excavations and do and perform such other works to any part of the "Transferor's property, including the said land marked No 497 called Barbiers Kraal, and these conditions are hereby registered as a servitude against the properties hereby transferred.

(b) The/..

- (b) The transferor and all persons now or at any time hereafter holding title from or through the Transferor of any portion of the land marked 497 called Barbiers Kraal, in extent 709,2085 hectares, as well as persons at any time frequenting the seaside resort known as the Wilderness shall have full and undisturbed right of way on foot and by means of vehicles over the properties hereby transferred to and from any portion of the said land marked 497 and the said Seaside Resort by the present public roads on the ground hereby transferred and also by a road constructed and made by the Transferor and which has not yet been declared a public road, and by such public roads as may hereafter be constructed and/or declared public roads by any competent authority, and the Transferee shall in so far as and to the extent that the same passes through the properties hereby transferred keep in good order and repair the said road constructed by the Transferor, provided that such repairs shall not extend to gravelling, the Transferor on its part undertaking to keep the said road in good repair over the extent that the said road passes through its property."

D. SUBJECT FURTHER to the following condition contained in Certificate of Uniform Title No T 14471/1961 and imposed by the Minister and reserved by the Government:-

- (1) Behoudens die bepalings van die wet op die Ontginning van Voorbehoude Mineralen, 1926, en van die Wet op Edelgesteentes, 1927, soos gewysig, word alle regte op alle minerale, mineraalprodukte, mineraalolies, steenkool, onedele of edele metale of edelgesteentes op of onder die grond ten gunste van die republiek van Suid-Afrika voorbehou (ten opsigte waarvan Sertifikaat van Minerale Regte No 7 gedateer 17 Oktober 1961 uitgereik is).
- (2) Die reg om grond te neem en materiaal te verkry en te verwyder vir die bou en herstel van openbare paaie.

E. SUBJECT FURTHER to a servitude right of way 6,30 metres wide and depicted by the line "e middle of gorge f" which represent the Eastern boundary on Diagram No 9660/1960 as contained in Notarial Deed of Servitude No K 377/1962S and referred to in the endorsement dated 7th JULY 1962 on the Certificate of Uniform Title No T 14471/1961, which endorsement reads as follows:

Kragtens Notariële Akte No 377/1962 gedateer 19 Mei 1962 en hede geregistreer is die plaas Wilderneshoogte groot 14,1488 Hektaar gehou hieronder onderhewig aan Serwituutreg tot paaie en regte van weg aangedui op Serwituutkaart Nr 1180/1962 weggelê as (Commonage Plan No 121) geskep ten gunste van die Algemene Publiek soos meer ten volle sal blyk uit voormelde Notariële Akte en Serwituutkaart weggelê onder (Commonage Plans No 121).

E. ONDERHEWIG/...

F. SUBJECT FURTHER to the following conditions contained in Deed of Transfer No T 19622/1962 and imposed by the Administrator of the Cape Province by virtue of Section 196 of Ordinance No 15 of 1952, as amended, during the approval of the subdivision of the Farm WILDERNISHOOGTE, which can be amended or eased by him:-

- (a) Die mag net vir woon- en landboudoeleindes gebruik word;
- (b) Geen geboue uitgesonder een woning vir gebruik deur 'n enkele familie tesame met die buitegeboue wat gewoonlik nodig is om in verband daarmee gebruik te word, mag op hierdie grond opgerig word nie.

G. SUBJECT FURTHER to the stipulations of the servitude endorsement dated 7th January 1972 and contained in Deed of Transfer No T12027/1964 which endorsement reads as follows:-

Die binnegemelde grond is onderhewig aan 'n serwituut met betrekking tot verdeling van water in terme van 'n bevel van die Waterhof (Distrik Kaap serwituut 15/1972) gedateer 26 Mei 1971 soos meer volledig sal blyk uit gemelde bevel, waarvan afskrif hieraan geheg is.

H. ENTITLED by virtue of Notarial Deed of Servitude No K.1/2004 S
to a Servitude RIGHT OF WAY depicted by the figure A B C D E F on Servitude Diagram
No 5930/1999 annexed thereto, over:

ERF 277 HOEKWIL in the Municipality and Division of GEORGE Province
of the WESTERN CAPE;

MEASURING 20,6979 (TWENTY comma SIX NINE SEVEN NINE) Hectares;

HELD by virtue of Deed of Transfer No T 1043/1976.

Wherefore/....

Wherefore the Appearer, renouncing all the Right and Title which PHILLIP CALITZ and ELIZABETH CALITZ, Identity numbers and married as aforesaid,

heretobefore had to the premises, did, in consequence also acknowledge them to be entirely dispossessed of, and disentitled to, the same; and that, by virtue of these Presents, the said

SERGIO-GENNARO ADINOLFI

Identity Number and married as aforesaid,

His Heirs, Executors, Administrators or Assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however, reserving its rights, and finally acknowledging the purchase price to be the sum of **R500 000,00 (FIVE HUNDRED THOUSAND RAND)**.

In witness whereof, I the said Registrar of Deeds, together with the Appearer, q.q. have subscribed to these Presents and have caused the Seal of Office to be affixed thereto.

THUS DONE AND EXECUTED, at the Office of the Registrar of Deeds

at **CAPE TOWN**

on *12 March*

2004.

In my presence,


REGISTRAR OF DEEDS

[Signature]
O.O.

000002258 / 2023

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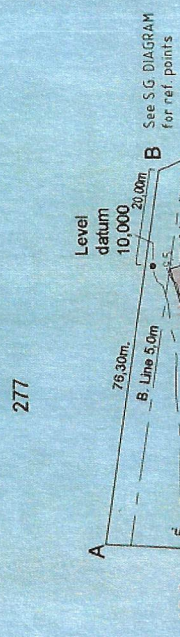
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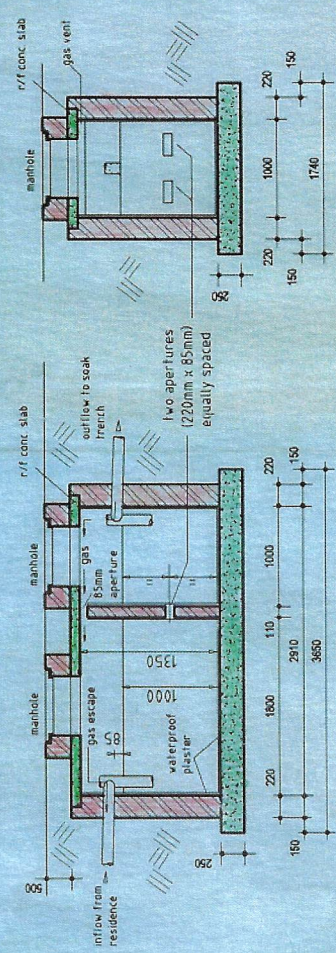
Certified a true copy of the duplicate original
filed of record in this Registry, issued to serve
in place of the original thereof under the
provisions of Deeds Regulation No 68. (1)

Deeds Registry
Copied on
Bals
28 APR 2023

ASST REGISTRAR OF DEEDS



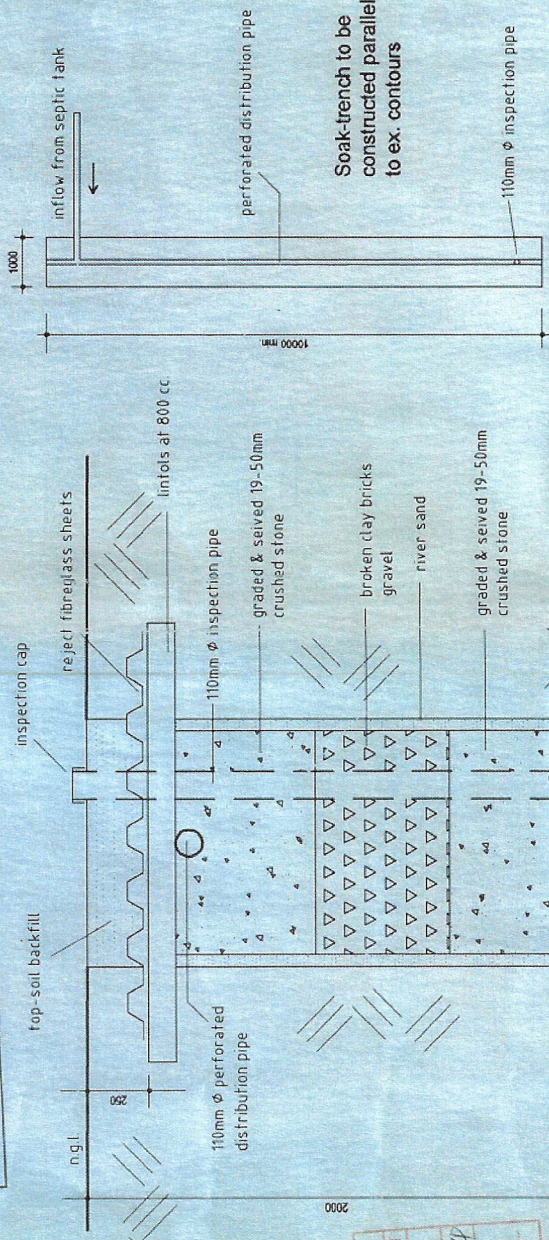
SITE PLAN 1:1000
(see also attached S.G. Diagram 5935/1999, specifying bearings, distances and coordinates)



TYPICAL SECTIONS THROUGH SEPTIC TANK
SCALE 1:50

The timber structure is to be erected in accordance with SABS 082 (Code of Practice) Die houtstruktuur moet volgens SABS 082 (Gebruikskode) opgerig word

Final inspection will be carried out after 24hrs. 30-a Friday



SECTION THROUGH SOAK-TRENCH 1:20

PLAN OF SOAK-TRENCH 1:100

Note condition(s) of OSA-permit prior to issuing of occupation certificate
11/08/06 25/4/06
Director: Planning & Development
Date

PROPOSED DWELLING
ERF 720 a Portion
of ERF 276 HOEKWIL
MR. S. ADINOLFI

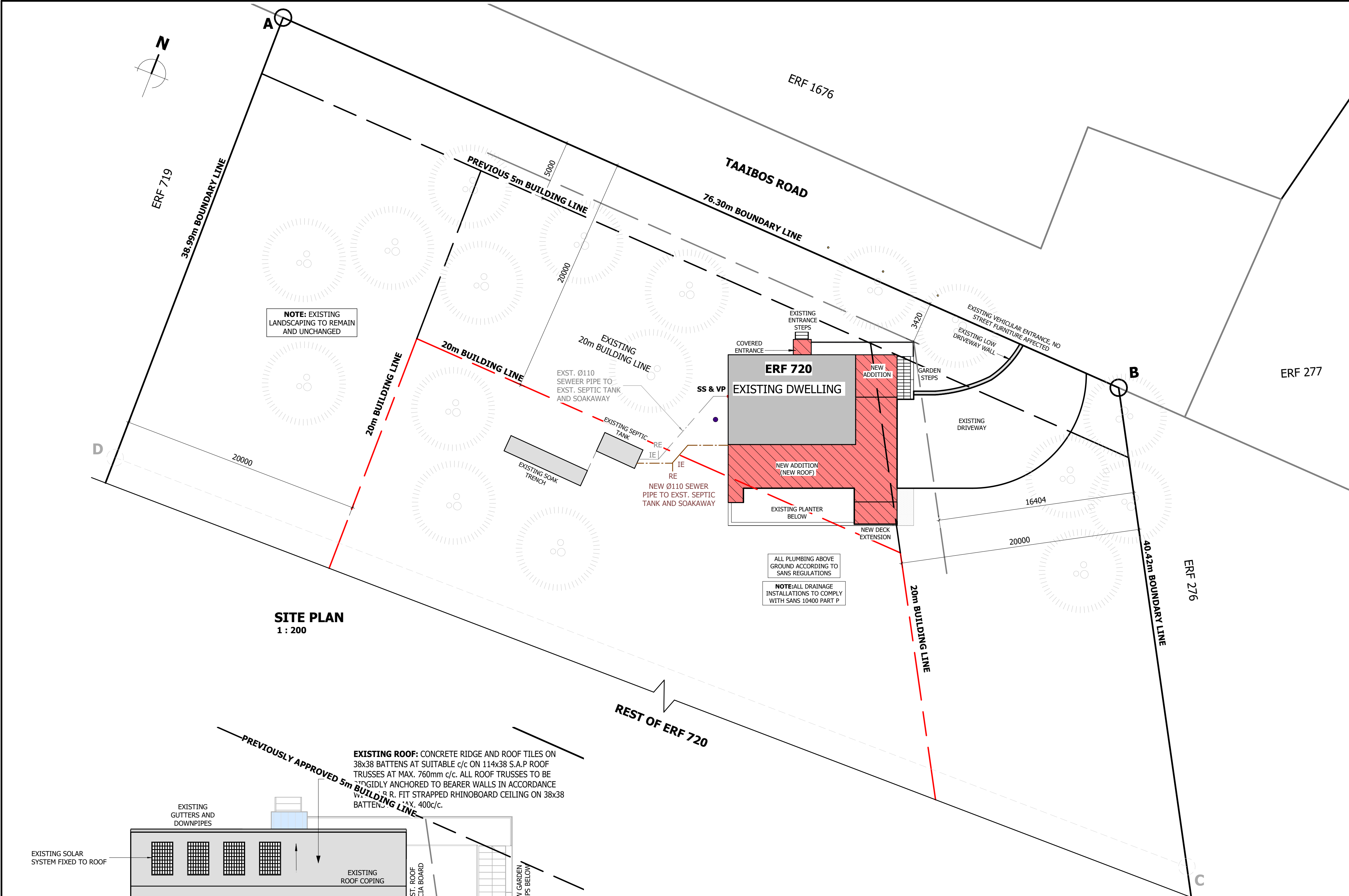
DRAWN R.E. PEARCE
P.O. BOX 1312
CRESTA 2118
(011) 678 1669
(082) 457 4721
T/F

GEORGE MUNICIPALITY
APPROVED subject to Section 7(1)(g) of the National Building Regulations & Building Standards Act 1977 (Act 103 of 1977).
The approval hereby granted expires after 12 months of date of approval unless extension of the building is commenced within the said period, or unless the period is extended through a written approval.

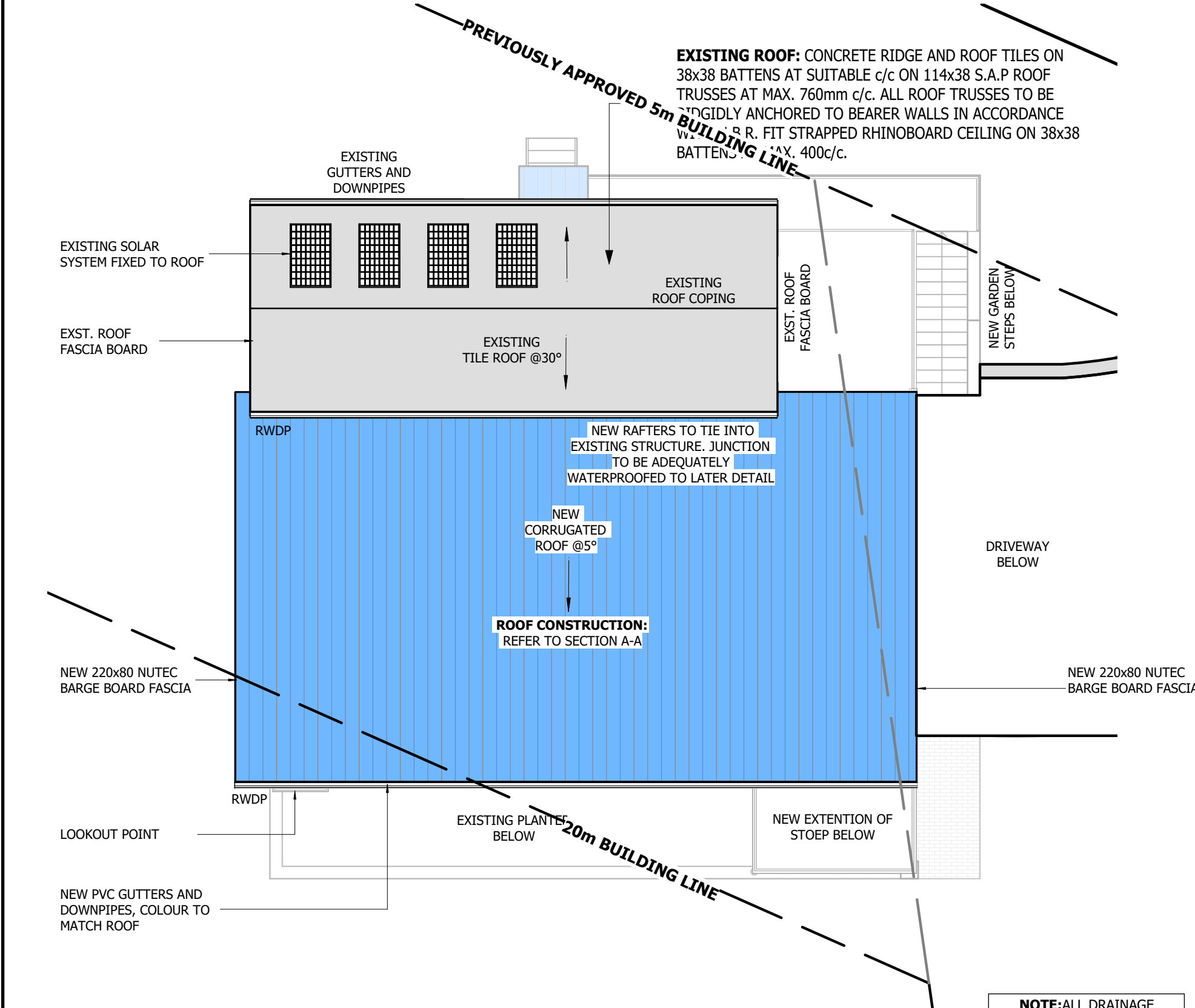
GEORGE MUNICIPALITY
DIRECTORATE PLANNING & DEVELOPMENT
APPROVED
DATE 31.10.06 PLAN NO. 1630/04
Chief Engineer

GEORGE MUNICIPALITY
DIRECTORATE HEALTH SERVICES
APPROVED 26/10/06
Director

ENGINEER
CHIEF ENGINEER
CHIEF ENGINEER



SITE PLAN
1 : 200



3 ROOF PLAN
1 : 100

GENERAL NOTES:

ERF:	720
SIZE:	3.1181 Hectare
ZONE:	Agricultural Zone II
EXISTING COVERAGE	107.77 m ²
PROPOSED NEW COVERAGE:	83.96 m ²
TOTAL COVERAGE	191.73m²
Therefore	0.61%

AREAS:

Basement Floor:	
Area of new additions:	109.45 m ²
Area of stoep:	74.2 m ²

Ground Floor:

Existing House:	81.47 m ²
Area to be demolished:	(0 m ²)
Area of new additions to house:	37.28 m ²
Existing deck:	26.3 m ²
Area of new additions to deck + walkway:	46.68 m ²
New Total Ground Floor Area:	191.53 m²
(Excluding covered patio = 59.97 m ²)	

First Floor

Existing House:	38.87 m ²
Area of new additions:	0m ²
New Total First Floor Area:	38.87m²

Total Areas of proposed building work therefore:
(109.45 + 37.28 + 46.68 = **193.41m²**)

ROOM AREA SCHEDULE		
HOME STOREY NAME	ROOM NAME	AREA
BASEMENT FLOOR	GENERATOR ROOM	11.7m ²
	GUEST BATHROOM	7.0m ²
	GUEST BEDROOM	16.1m ²
	OPEN STOEP	63.9m ²
GROUND FLOOR	BATHROOM 2.1	2.6m ²
	BATHROOM 2.2	4.3m ²
	BEDROOM 2	12.1m ²
	HALLWAY 1	2.6m ²
	ENTRANCE FOYER	9.3m ²
	OFFICE	11.4m ²
	SCULLERY	5.6m ²
	KITCHEN	14.0m ²
	LIVING ROOM	14.2m ²
	HALLWAY 2	18.7m ²
	DINING ROOM	11.8m ²
FIRST FLOOR	COVERED PATIO	58.0m ²
	MAIN BATHROOM	11.3m ²
	MAIN BEDROOM	19.7m ²

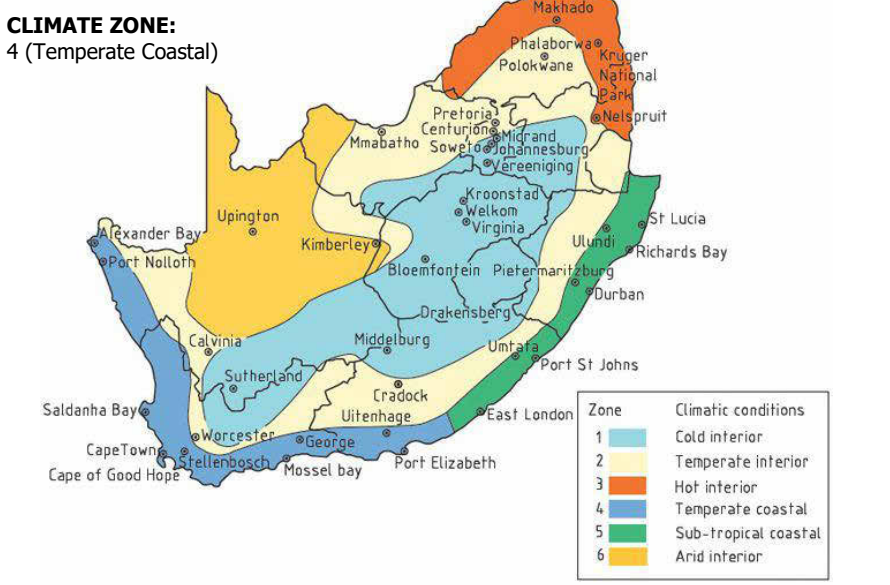
SERVICE LEGEND

---	EXISTING DRAINAGE
---	STORMWATER
---	SOIL & COMB. VENT
---	DRAINAGE PIPE
---	WASTE WATER PIPE
---	GAS LINE
●	GAS POINT
---	1 HOUR FIRE RATING
[M]	WATER METER
RE	RODDING EYE
lrb	LONG RADIUS BEND
ss	STUB STACK
VP	VENT PIPE
IE	INSPECTION EYE
TP	TELEPHONE POLE
[K]	KIOSK
*****	FENCE

- PLUMBING AND DRAINAGE NOTES:** to comply with SANS 10400 Part P.
- SEE SHEET A1/W09
- STORMWATER:**
- Stormwater emanating from the roof, paving or area in the immediate vicinity of a building shall not cause damage to the building interior, structure, or structural elements, or accumulate in a manner that unduly inconveniences the occupant
 - Pool and water feature backwashes to be connected to the Stormwater system and not a sewage system
 - Stormwater disposal arrangements shall:
 - not result in the undercutting of foundations due to erosion or flooding,
 - drain away from buildings, as far as possible, under the action of gravity and not accumulate against or in close proximity to external walls,
 - make provision for the drainage of sites that are waterlogged or seasonally waterlogged, and
 - be capable of being readily cleaned and maintained.
- STORMWATER CHANNELS:**
- In-situ concrete Stormwater channels shall be constructed of unreinforced concrete with segmental channel formed in top.
 - Channels shall be laid to falls on a well rammed earth bottom and finished smooth on exposed surfaces.
- MANHOLE**
- Manhole provided for access to a drainage installation have a removable cover and be so designed and constructed that it will sustain any normal load which might be imposed upon it and exclude the ingress or egress of water, be of such size and shape as to permit ready access to the installation for the purposes of inspecting, testing or cleaning.
 - Manhole shall have a minimum plan dimension of not less than 450mm
- POOL:**
- Existing pool's backwash to be checked to ensure discharge into soak away
 - Existing Timber Fence around pool to be moved to accommodate New Timber deck around pool - Fence around pool position to be seen on plan and as per later detail
- WATER TANKS**
- New Water tanks installed, as per site plan
- GARDEN STEPS**
- Garden steps to be constructed out of concrete, to later detail
- RAINWATER GOODS:** to comply with SANS 10400 - R
- Seamless aluminium - pre-painted to match roof - square profile gutters and downpipes within the roof structure as per detail.
- FINISHES**
- All electrical and light fittings, geysers, doorbell, windows, paint, tiles, flooring, pavers, finishes etc. to be approved by owner prior to confirmation of the main contractor.
- GAS NOTES:**
- No drains to be installed 2m from gas installation.
 - No electrical equipment within 5m from gas installation gas and pipe line to be installed by register installer in accordance with regulations of sans 10087
 - To comply with SANS 1539, Appliances operating on liquefied petroleum gas (LPG) or natural gas (NG) - Safety aspects.
 - To comply with SANS 1808-24, Water supply and distribution system components such as Gas-operated water heaters.
 - Instantaneous gas water heaters shall comply with the requirements of SANS 1808-24 and SANS 1539 and shall be installed in accordance with SANS 10252-1 and SANS 10087-1.
 - Storage gas water heaters shall comply with the requirements of SANS 151, SANS 1808-24 and SANS 1539 and shall be installed in accordance with SANS 10254 and SANS 10087-1.
 - LP Gas: Max 38 kg allowed on premises without a Flammable Substance Certificate in terms of section 37(6) of the Community Fire Safety By-Law.
 - A Gas installation certificate of compliance to be provided prior the request of a Occupancy certificate.
 - Gas installation to comply with SANS 10087-1:2008 owners.
- LIGHTING** to comply with SANS 10400 - O
- External Lighting to be low level and downlighter type. No Coloured light bulbs are permitted and no flood lights

NOTES:

NEW ADDITIONS OF BUILDING TO COMPLY TO SANS 10400 PART X & XA : 2011 AND SANS 204 (REFERENCE BUILDING ROUTE) WHERE APPLICABLE XA1 BUILDING TO USE ENERGY EFFICIENTLY AND REDUCE GREEN HOUSE GAS EMISSIONS IN ACCORDANCE WITH FUNCTIONAL REGULATION XA2



- CLIMATE ZONE:** 4 (Temperate Coastal)
- CLIMATE ZONE: 4**
- HOT WATER & GENERAL:**
- 50% OF HOT WATER TO BE PROVIDED THROUGH NON-ELECTRICAL SOURCES SUCH AS SOLAR WATER HEATERS, GAS GEYSERS OR HEAT PUMPS.
 - ALL EXPOSED HOT WATER PIPE WORK TO BE INSULATED TO R-VALUE OF 1. (NOT IN WALLS)
- ORIENTATION & SHADING:**
- THE BUILDING IS ORIENTATED WITH MAIN HABITABLE AREAS FACING NORTH EAST TO MAKE BEST USE OF NATURAL SUNLIGHT AND VIEWS.
 - ROOF OVERHANGS TO SHADE NORTH WESTERN WINDOWS FROM SUN

- ROOF**
- REFER TO DETAILS
- WALLS:**
- DOUBLE SKIN MASONRY WITH A 60mm CLEAN AIR GAP COMPLIES WITH SANS 10400XA.
 - MIN. SPEC. EXTERIOR WALLS = 280mm PLASTERED & PAINTED
- FLOORS:**
- FLOORS DO NOT HAVE ANY UNDERFLOOR HEATING
- FENESTRATION:**
- REFER TO DOOR AND WINDOW SCHEDULE, W07 and W08
- ENERGY CONSUMPTION:**
- ENERGY DEMAND SHALL NOT EXCEED 5W/m² FOR CLASS H4 OCCUPANCY, ACCORDING TO TABLE 12 OF SANS 204

SHEET NO.	SHEET NAME	CURRENT REV
W00	SURVEYORS DIAGRAM	
W01	SITE PLAN	01
W02	BASEMENT FLOOR PLAN	02
W03	GROUND FLOOR PLAN	02
W04	FIRST FLOOR PLAN	02
W05	ELEVATIONS	02
W06	SECTIONS	02
W07	DOOR & WINDOW SCHEDULE	01
W08	DRAINAGE SCHEDULE	01
W09	BASEMENT FLOOR ELECTRICAL LAYOUT	
W10	GROUND FLOOR ELECTRICAL LAYOUT	01
W11	FIRST FLOOR ELECTRICAL LAYOUT	01

- GENERAL NOTES:**
- Contractor to ensure compliance to SANS 10400 in all relevant clauses and requirements
 - All levels, dimensions and positions to be checked on site and verified before any work commenced.
 - Any errors, discrepancies or omissions to be reported to the architect immediately.
 - All work to be in accordance with good and accepted local building practice.
 - Figured dimensions to be taken in preference to scaled dimensions.
 - These architectural drawings are to be read in conjunction with engineers and consultants drawings, where applicable.
 - All building by - laws, health and fire requirements to be strictly adhered to.
 - The contractor will be held responsible for the correct setting out of the works. Any doubt as to the accuracy of boundary pegs or lines to be reported to the client immediately
 - Any errors or discrepancies to be reported immediately for clarification prior to any work being undertaken
 - Levels indicated are provisional and must be checked on site referring to top of foundation.
 - Foundations to boundary walls not to encroach over boundary lines.
 - All electrical and drainage work is to be execute by registered tradesmen.
 - Care to be taken when excavating for new work, to comply with SANS 10400 - G. All existing pipes, cables, etc. exposed to be pointed out to client and/or architect, who shall advise necessary action to be taken.
 - The contractor shall take all necessary precautions to avoid any damage what so ever, to existing buildings and fences.
 - All Occupational safety regulations as set by Dept. of Labour to be complied with and to comply with SANS 10400 - B
- SAFETY:** to comply with SANS 10400 - D
- All safety distances to be checked on site and must be in compliance with sans 10087, part 1 standards.
 - Installation to comply to local authority and sans 10087 regulations.
 - All building work to comply to sans 0400.
 - All electrical work to comply to 0108.
 - All mandatory fire equipment to be present and maintained. Area around gas cage to be kept clear of all combustible materials.
 - All warning and safety notices to be displayed as per sans 1186.

Rev	Date	Description
1.1	2025-05-##	NORTH BUILDING LINE RELAXATION

STATUS

PLAN OF DEVIATION

ARCHITECT

SCOTT ARCHITECTS
professional architects

Unit 11, Palms Garden Square,
1 Owen Grant St, Wilderness, 6560
Tel: +27 76 128 2575
info@scottarchitects.co.za
www.scottarchitects.co.za

CLIENT

MR. S ADINOLFI

PROJECT

PLAN OF DEVIATION

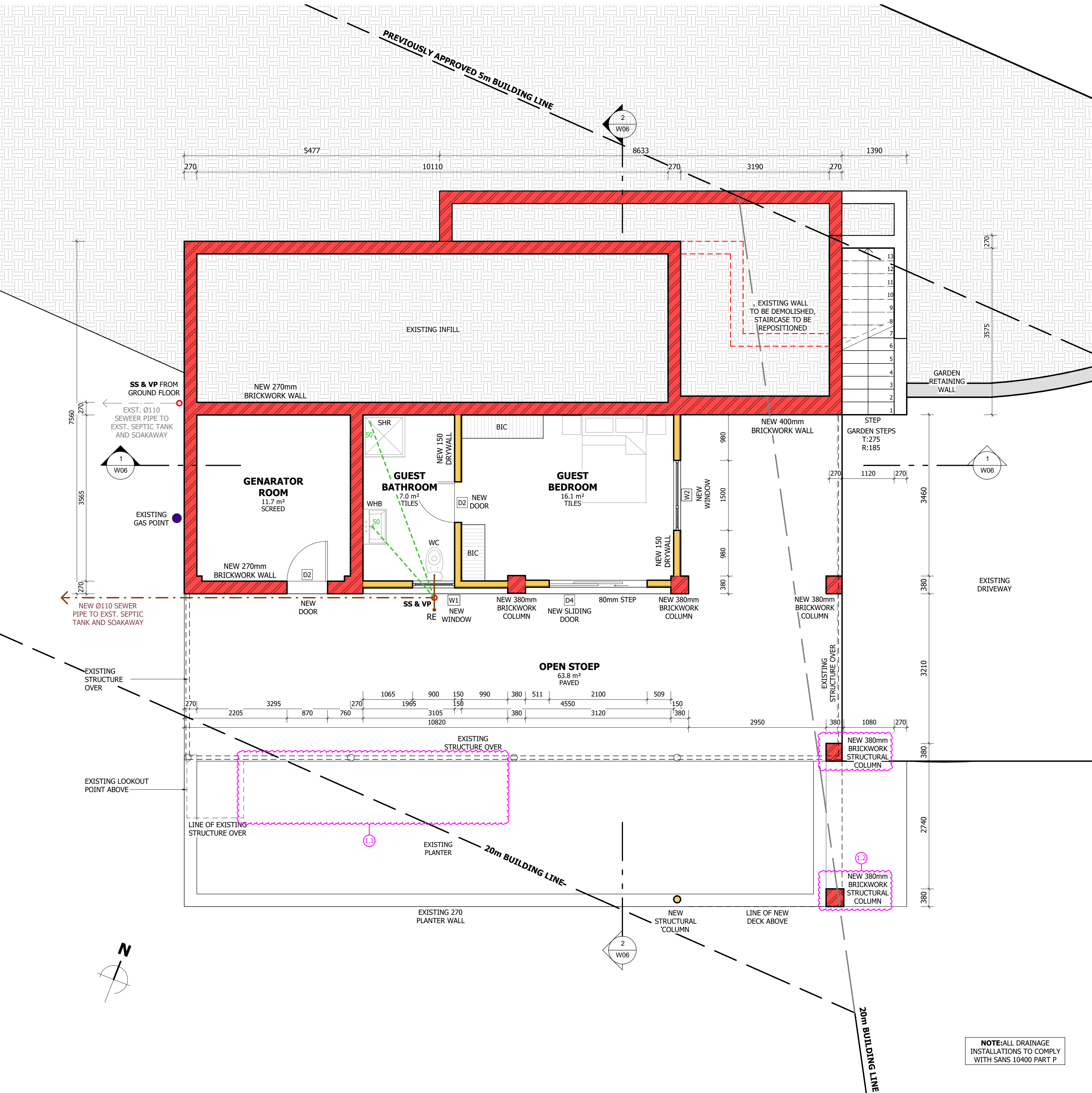
SITE

ERF 720, TAAIBOS ROAD,
HOEKWIL

DRAWING

SITE PLAN

SCALE AS SHOWN		DRAWN CF CALITZ	
DATE 25/09/2025 15:21:22		CHECKED R.S.SCOTT - P.Arch 6469	
PROJECT NO. 234	DRAWING NO. W01	REVISION 01	
ARCHITECT SIGNATURE			
CLIENT SIGNATURE			
DATE:			
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-1 BASEMENT FLOOR PLAN
1 : 50

- DIMENSIONS:**
- All levels, dimensions and positions to be checked on site and verified before any work commenced.
 - Any errors, discrepancies or omissions to be reported to the architect immediately.
 - Wall dimensions are indicated plaster to plaster and not brick to brick
- FOUNDATIONS:** To comply with SANS 10400 - H
- All foundations to be constructed as per the Engineers drawings & specifications.
 - Foundation walls to be concrete filled to underside of 375 micron dpm in walls, to detail.
 - Allow an average depth of 1m below NGL. Contractor to allow for 3 DCP's across the site
- CONCRETE SURFACE BED:** To comply with SANS 10400 - J
- 70mm Thick (minimum 15mPa) concrete slab, a minimum of 170mm above ground level on gunplus usb 250 micron USB green waterproof sheeting sealed at laps with gunplus pressure sensitive tape laid continuous under surface beds as indicated on architects and engineers drawings. 25mm Thick river sand blinding layer on approved hardcore filling compacted to structural engineers specifications. Finish with 30mm cement / riversand (1:4) screed applied to a smooth and even finish to take floor finish.
 - 10mm Joints Between all walls and surfacebeds.
- FLOOR FINISH:** To comply with SANS 10400 - J
- Floor finish as noted on floorplan and to finishing schedule, on 40mm screed internal and 30mm screed external.
 - Please Note : All Tiled flooring needs to go under Cupboards.**
 - Floor tiling to have Aluminium straight edge trim joints at external joints & corners.
 - The contractor shall take all necessary precautions to avoid any damage what so ever, to existing buildings and fences.
 - All Occupational safety regulations as set by Dept. of Labour to be complied with and to comply with SANS 10400 - B
- PAVING**
- paving bricks to match the corobrick autumn blend and/or similar approved (size 110 x 220mm)
- STAIRS:** To comply with SANS 10400 - M
- All stairs are 170mm - 220mm high and 300mm wide no alterations allowed.
- BALUSTRADES:**
- Balustrades has to comply with SABS 10104, 1 meter high with openings not more than 100mm.
- ROOF:** To comply with SANS 10400 - L
- Roof to be structural timber roofs and to be specified and inspected by Engineer at each stage.
- RAINWATER GOODS:** To comply with SANS 10400 - R
- Seamless aluminium - pre-painted charcoal colour - square profile gutters and downpipes within the roof structure as per detail.
 - refer to Roof and Drainage Plan.
- FASCIA BOARD**
- All Fascia Boards to be painted to match roof unless otherwise specified.
- STRUCTURAL TIMBER:**
- Unless otherwise stated, structural timber shall be of South African softwood (pine) complying with the requirements of SABS specification 563 and 1245
- WALLS:** to comply with SANS 10400 - K
- Cavity walls shall be kept free of all rubbish, mortar droppings and projecting mortar.
 - The tops of the walls covered with planks or sacking during wet weather to prevent rain entering the cavities in construction.
 - External cavity walls are to be provided with galvanized wire wall ties at every third course for 230 mm brick force galvanized ties used every third course.
 - Weep Holes to be evenly spaced.
- BOUNDARY WALLS:**
- To be max 1.8m High and to be Masonary walls
- WALL FINISHES:** (to finishing schedule)
- Walls to be plastered and painted unless otherwise stated on the drawings.
 - Internal paint and plastered walls to be TWO coat plaster , smooth finish painted with PLASCON CASHMERE or equivalent approved , Colour - as per owner's specifications.
 - Paint and plastered External walls - one coat plaster, Textured finish, painted with PLASCON MICATEX or equivalent approved.
- ALL TO COMPLY WITH HOA GUIDELINES AND SPECIFICATIONS**
- GLAZING** to comply with SANS 10400 - N
- Glazing in accordance with SABS 10137.
- WINDOW SILLS:** (to detail)
- All internal window sills to plastered brick on edge & painted.
 - All external window sills to be plastered brickwork with 15° fall with drip mould below, being bedded on a stepped DPC for the width of the sill.
- FINISHES:**
- All electrical and light fittings, geysers, doorbell, windows, paint, tiles, flooring, pavers, finishes etc. to be approved by owner prior to confirmation of the main contractor.
- DRAINAGE AND SEWER:** To comply with SANS 10400 - B & Q
- Refer to drainage and services drawings - Sheet W08.
- LIGHTING** to comply with SANS 10400 - O
- Refer to electrical layout drawing
 - External Lighting to be low level and daylighttype type. No Coloured light bulbs are permitted and no flood lights
- VEGETATION:**
- all natural vegetation to be preserved and non - alien vegetation to be introduced
- GENERAL NOTES:**
- Contractor to ensure compliance to SANS 10400 in all relevant clauses and requirements
 - All levels, dimensions and positions to be checked on site and verified before any work commenced.
 - Any errors, discrepancies or omissions to be reported to the architect immediately.
 - All work to be in accordance with good and accepted local building practice.
 - Figured dimensions to be taken in preference to scaled dimensions.
 - These architectural drawings are to be read in conjunction with engineers and consultants drawings, where applicable.
 - All building by - laws, health and fire requirements to be strictly adhered to.
 - The contractor will be held responsible for the correct setting out of the works. Any doubt as to the accuracy of boundary pegs or lines to be reported to the client immediately
 - Any errors or discrepancies to be reported immediately for clarification prior to any work being undertaken
 - Levels indicated are provisional and must be checked on site referring to top of foundation.
 - Foundations to boundary walls not to encroach over boundary lines.
 - All electrical and drainage work is to be execute by registered tradesmen.
 - Care to be taken when excavating for new work, to comply with SANS 10400 - G. All existing pipes, cables, etc. exposed to be pointed out to client and/or architect, who shall advise necessary action to be taken.
 - The contractor shall take all necessary precautions to avoid any damage what so ever, to existing buildings and fences.
 - All Occupational safety regulations as set by Dept. of Labour to be complied with and to comply with SANS 10400 - B
- SAFETY:** to comply with SANS 10400 - D
- All safety distances to be checked on site and must be in compliance with sans 10087, part 1 standards.
 - Installation to comply to local authority and sans 10087 regulations.
 - All building work to comply to sans 0400.
 - All electrical work to comply to 0108.
 - All mandatory fire equipment to be present and maintained. Area around gas cage to be kept clear of all combustible materials.
 - All warning and safety notices to be displayed as per sans 1186.
- GAS NOTES:**
- No drains to be installed 2m from gas installation.
 - No electrical equipment within 5m from gas installation gas and pipe line to be installed by register installer in accordance with regulations of sans 10087
 - SANS 1539, Appliances operating on liquefied petroleum gas (LPG) or natural gas (NG) - Safety aspects.
 - SANS 1808-24, Water supply and distribution system components such as Gas-operated water heaters.
 - SANS 10087-1, The handling, storage, distribution and maintenance of liquefied petroleum gas in domestic, commercial, and industrial installations - Liquefied petroleum gas installations involving gas storage containers of individual water capacity not exceeding 500 L and a combined water capacity not exceeding 3 000 L per installation.
 - Instantaneous gas water heaters shall comply with the requirements of SANS 1808-24 and SANS 1539 and shall be installed in accordance with SANS 10252-1 and SANS 10087-1.
 - Storage gas water heaters shall comply with the requirements of SANS 151, SANS 1808-24 and SANS 1539 and shall be installed in accordance with SANS 10254 and SANS 10087-1.

Rev	Date	Description
1.1	2025-05-#	TIMBER STAIR OMITTED FROM DESIGN
1.2	2025-05-#	NEW BRICKWORK STRUCTURAL COLUMNS

STATUS

PLAN OF DEVIATION

ARCHITECT

SCOTT ARCHITECTS
professional architects

Unit 11, Palms Garden Square,
1 Owen Grant St, Wilderness, 6560
Tel: +27 76 128 2575
info@scottarchitects.co.za
www.scottarchitects.co.za

CLIENT

MR. S ADINOLFI

PROJECT

PLAN OF DEVIATION

SITE

**ERF 720, TAAIBOS ROAD,
HOEKWIL**

DRAWING

BASEMENT FLOOR PLAN

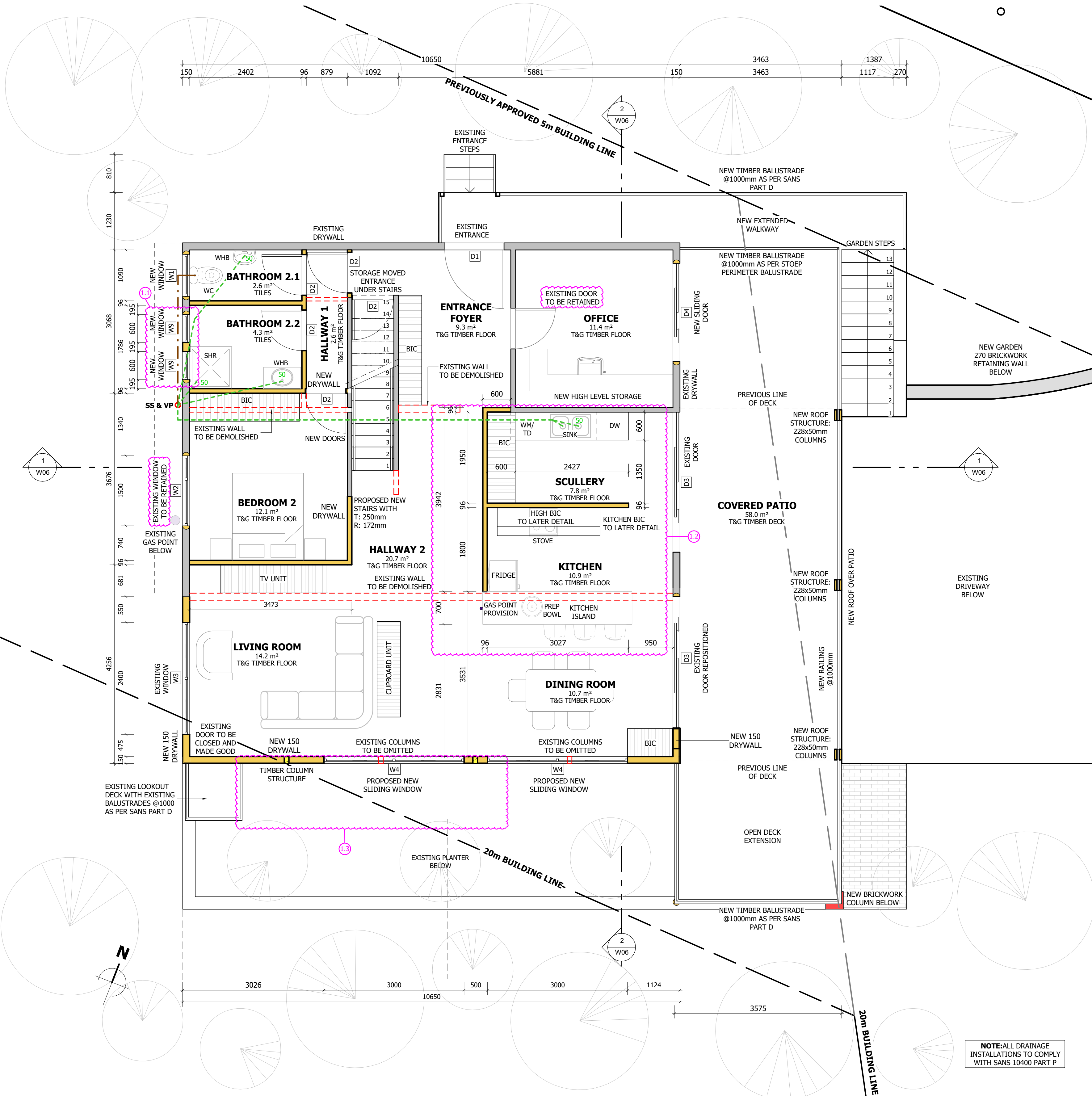
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PROJECT NO. 234	DRAWING NO. W02	REVISION 02	

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CLIENT SIGNATURE

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1 GROUND FLOOR PLAN
1 : 50

PLUMBING AND DRAINAGE NOTES: to comply with SANS 10400 Part P.

- All Soil Waste pipes to be 1100 uPVC pipe.
- All waste pipes to be 500 uPVC pipe, to be connected to main sewer line.
- Municipal Connection and Main to be 25mm tee of 22mm and reduced to 15mm just before fixtures.
- All waste pipes to be accessible over their entire length.
- Drainage installations under building work must be protected and comply in terms of Part P of SANS 10400 (4.22.2).
- All soil pipes under building or footings to be encased in concrete of min. 300mm thickness all around pipe.
- Drainage installations under building work must be installed in terms of Part P of SANS 10400 (4.19.4).
- Drainage installations under building work must be protected in terms of Part P of SANS 10400 (4.22.2).
- Waste pipes under floors to be sleeved.
- No drainage bends or junctions in or under floor.
- All plumbing to be built into walls where exposed, and concealed with removable 10x150 mm Classic (plain) Nutec building planks to be fixed as per product specifications (with 20mm gap between planks), painted to match wall colour.
- Discharge pipes located within a building to be enclosed within a duct and to be of a shape and size readily accessed for cleaning in terms of SANS 10400 Part P, 4.18.2.
- I.E.'s (inspection eyes) at all bends and junctions of drains, with marked covers at ground level. Provide I.E.'s at each end of encased drain where same passes underneath the building as nearest possible foundations.
- Provide R.E.'s at a max of 20m apart.
- Pre-sealing traps to all waste water fittings (two pipe system).
- Waste pipes on single pipe system will be fitted with 65mm deep seal traps and each fitting will be anti-siphoned
- Gully shall be fitted with a removable grating and be connected to a suitable grease, petrol or oil interceptor (or a combination of two or more of these) in accordance with the requirements of SANS 50858-1 or SANS 10252-2
- Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.21).
- All toilets to have internal Stop-stops
- All exposed Hot Water Piping must be adequately lagged.
- Installation to be done in accordance with the requirements of the local authority and SANS 10252:1 (Water Installation for Buildings), SANS 10400(National Building Regulations) and SANS 10254:2012(were Hot Water Cylinders are required). SANS XA 204 shall also apply.
- Heat Pumps and associated Vessels and equipment shall be installed by an Approved and Licenced Supplier and Installer and shall be done in accordance with SANS 1332.
- Width of trench to be wide enough for workman to work in comfortably. Continuous bedding to be selected granular, non cohesive material and compacted to a depth of min. 100 mm. The pipe must be back filled immediately after laying, leaving joints exposed for testing.
- uPVC pipes and fittings are manufactured to SABS No. 791-1986. uPVC pipes are designed for normal and heavy duty and jointing can be either solvent weld or rubber joint O-rings.

NOTE:
All materials used shall be SABS and be installed in accordance with the manufacturers specification. Design based on minimum sustainable supply pressure of 5.0 bar. Pressure must be checked by the plumber prior to commencement of work. Work to be carried out by a approved Licensed Plumbing Contractor that is Licenses and Registered with the P.I.R.B. Certificate of Compliances and to be signed by same on completion of work.

BUILDING INSPECTOR TO SIGN OFF DRAINAGE INSTALLATION BEFORE CLOSING UP.

MANHOLE

- Manhole provided for access to a drainage installation have a removable cover and be so designed and constructed that it will sustain any normal load which might be imposed upon it and exclude the ingress or egress of water, be of such size and shape as to permit ready access to the installation for the purposes of inspecting, testing or cleaning.
- Manhole shall have a minimum plan dimension of not less than 450mm

WATER PIPING:

- All piping in the ground is to be MEPLA or similar approved.
- All hot water pipes must be isolated with approved pipe isolation.

ISOLATING VALVES:

- Isolating valves must be provided at all important points & junctions.No stop cocks are to be used on hot water reticulation.

GENERAL NOTES:

- Contractor to ensure compliance to SANS 10400 in all relevant clauses and requirements
- All levels, dimensions and positions to be checked on site and verified before any work commenced.
- Any errors, discrepancies or omissions to be reported to the architect immediately.
- All work to be in accordance with good and accepted local building practice.
- Figured dimensions to be taken in preference to scaled dimensions.
- These architectural drawings are to be read in conjunction with engineers and consultants drawings, where applicable.
- All building by - laws, health and fire requirements to be strictly adhered to.
- The contractor will be held responsible for the correct setting out of the works. Any doubt as to the accuracy of boundary pegs or lines to be reported to the client immediately
- Any errors or discrepancies to be reported immediately for clarification prior to any work being undertaken
- Levels indicated are provisional and must be checked on site referring to top of foundation.
- Foundations to boundary walls not to encroach over boundary lines.
- All electrical and drainage work is to be execute by registered tradesmen.
- Care to be taken when excavating for new work, to comply with SANS 10400 - G. All existing pipes, cables, etc. exposed to be pointed out to client and/or architect, who shall advise necessary action to be taken.
- The contractor shall take all necessary precautions to avoid any damage what so ever, to existing buildings and fences.
- All Occupational safety regulations as set by Dept. of Labour to be complied with and to comply with SANS 10400 - B

SAFETY: to comply with SANS 10400 - D

- All safety distances to be checked on site and must be in compliance with sans 10087, part 1 standards.
- Installation to comply to local authority and sans 10087 regulations.
- All building work to comply to sans 0400.
- All electrical work to comply to 0108.
- All mandatory fire equipment to be present and maintained. Area around gas cage to be kept clear of all combustible materials.
- All warning and safety notices to be displayed as per sans 1186.

Rev	Date	Description
1.1	2025-05-##	NEW WINDOWS ADDED
1.2	2025-05-##	KITCHEN LAYOUT REVISED
1.3	2025-05-##	TIMBER STAIR OMITTED FROM DESIGN

STATUS

PLAN OF DEVIATION

ARCHITECT

SCOTT ARCHITECTS
professional architects

Unit 11, Palms Garden Square,
1 Owen Grant St, Wilderness, 6560
Tel: +27 76 128 2575
info@scottarchitects.co.za
www.scottarchitects.co.za

CLIENT

MR. S ADINOLFI

PROJECT

PLAN OF DEVIATION

SITE

**ERF 720, TAAIBOS ROAD,
HOEKWIL**

DRAWING

GROUND FLOOR PLAN

SCALE

AS SHOWN

DRAWN

CF CALITZ

DATE

25/09/2025 15:21:25

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R.S.SCOTT - P.Arch 6469

PROJECT NO.

234

DRAWING NO.

W03

REVISION

02

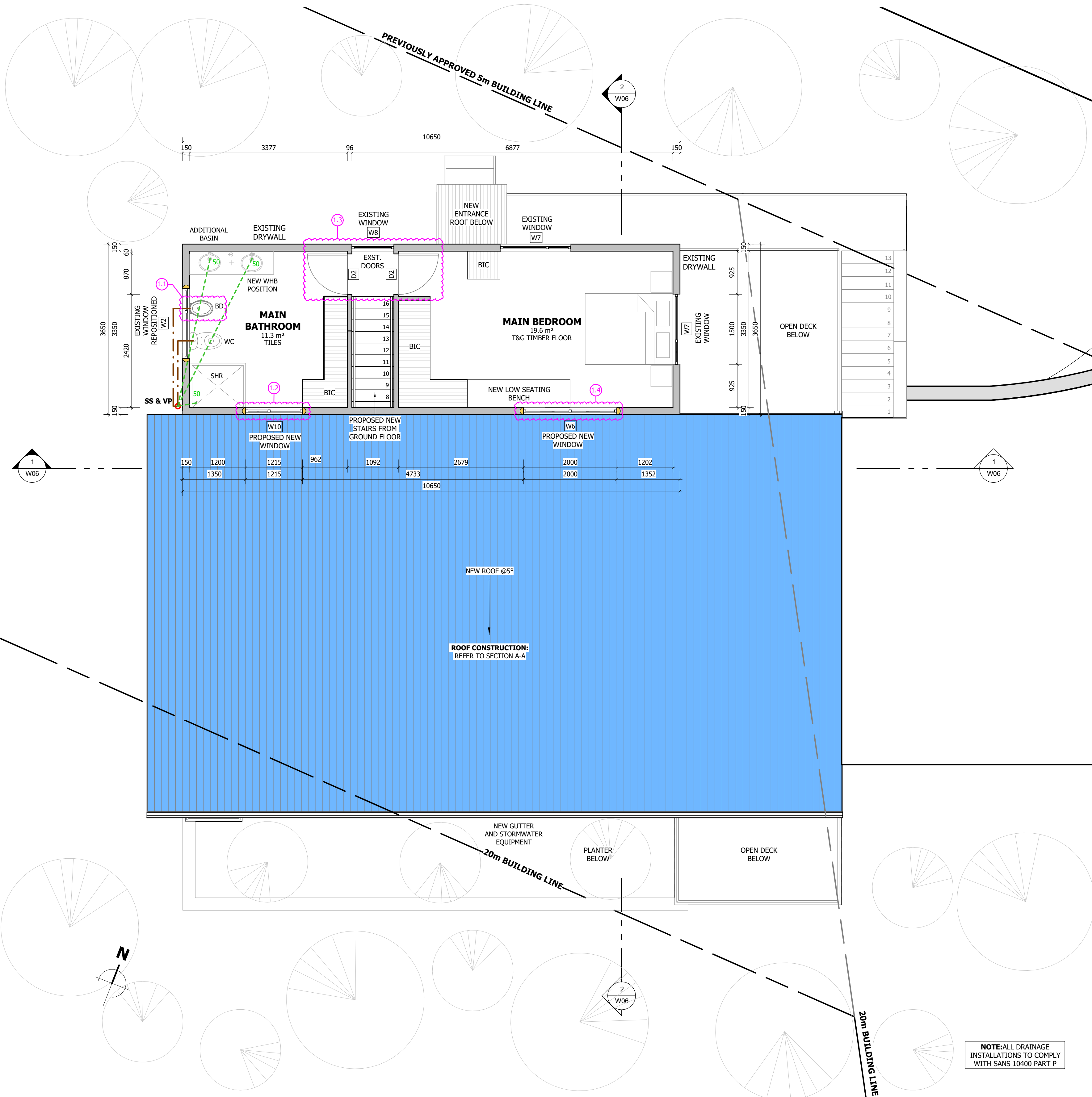
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- GENERAL NOTES:**
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- SAFETY:** to comply with SANS 10400 - D
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 - All building work to comply to sans 0400.
 - All electrical work to comply to 0108.
 - All mandatory fire equipment to be present and maintained. Area around gas cage to be kept clear of all combustible materials.
 - All warning and safety notices to be displayed as per sans 1186.

Rev	Date	Description
1.1	2025-05-##	BIDET REPOSITIONED
1.2	2025-05-##	WINDOW REPOSITIONED AND SIZE REVISED
1.3	2025-05-##	DOORS REPOSITIONED TO EXISTING POSITION
1.4	2025-05-##	WINDOW SIZE REVISED

STATUS

PLAN OF DEVIATION

ARCHITECT

SCOTT ARCHITECTS
professional architects

Unit 11, Palms Garden Square,
1 Owen Grant St, Wilderness, 6560
Tel: +27 76 128 2575
info@scottarchitects.co.za
www.scottarchitects.co.za

CLIENT

MR. S ADINOLFI

PROJECT

PLAN OF DEVIATION

SITE

**ERF 720, TAAIBOS ROAD,
HOEKWIL**

DRAWING

FIRST FLOOR PLAN

SCALE AS SHOWN		DRAWN CF CALITZ	
DATE 25/09/2025 15:21:26		CHECKED R.S.SCOTT - P.Arch 6469	
PROJECT NO. 234	DRAWING NO. W04	REVISION 02	

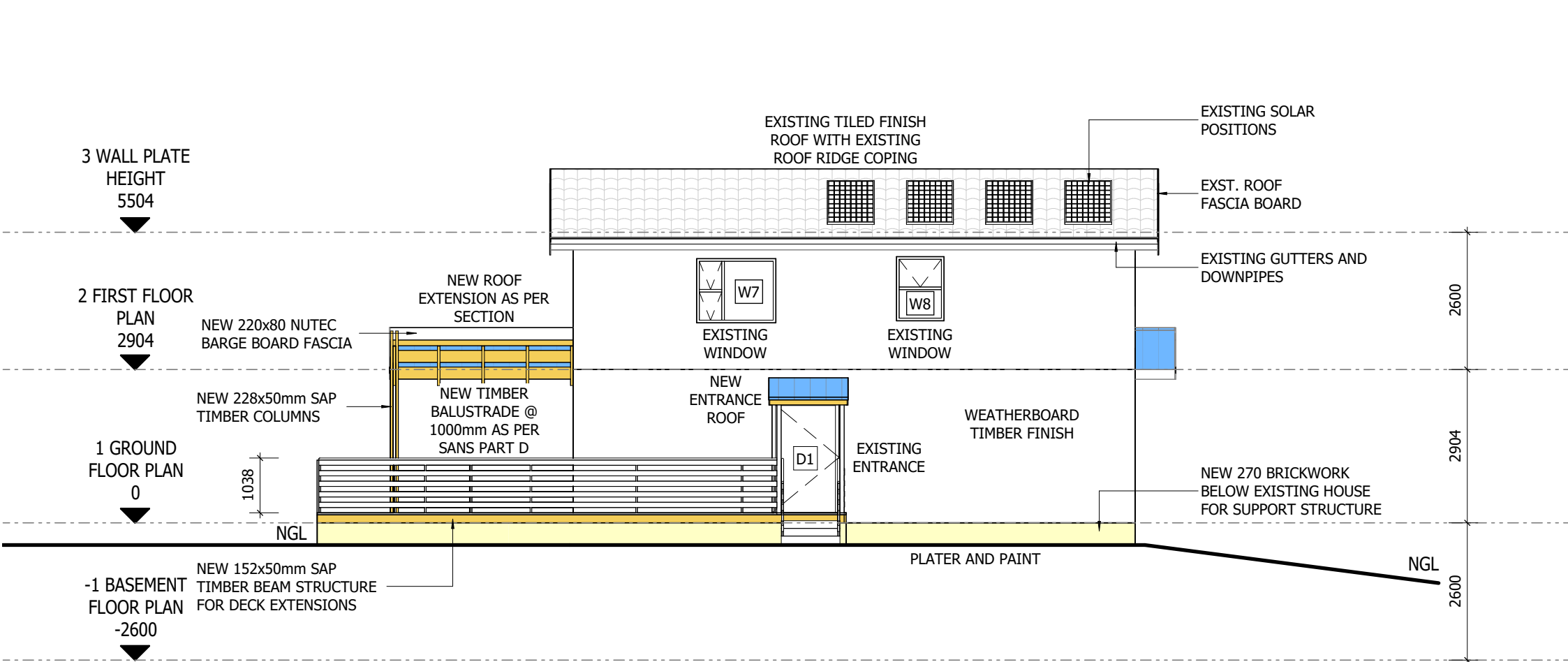
ARCHITECT SIGNATURE

CLIENT SIGNATURE

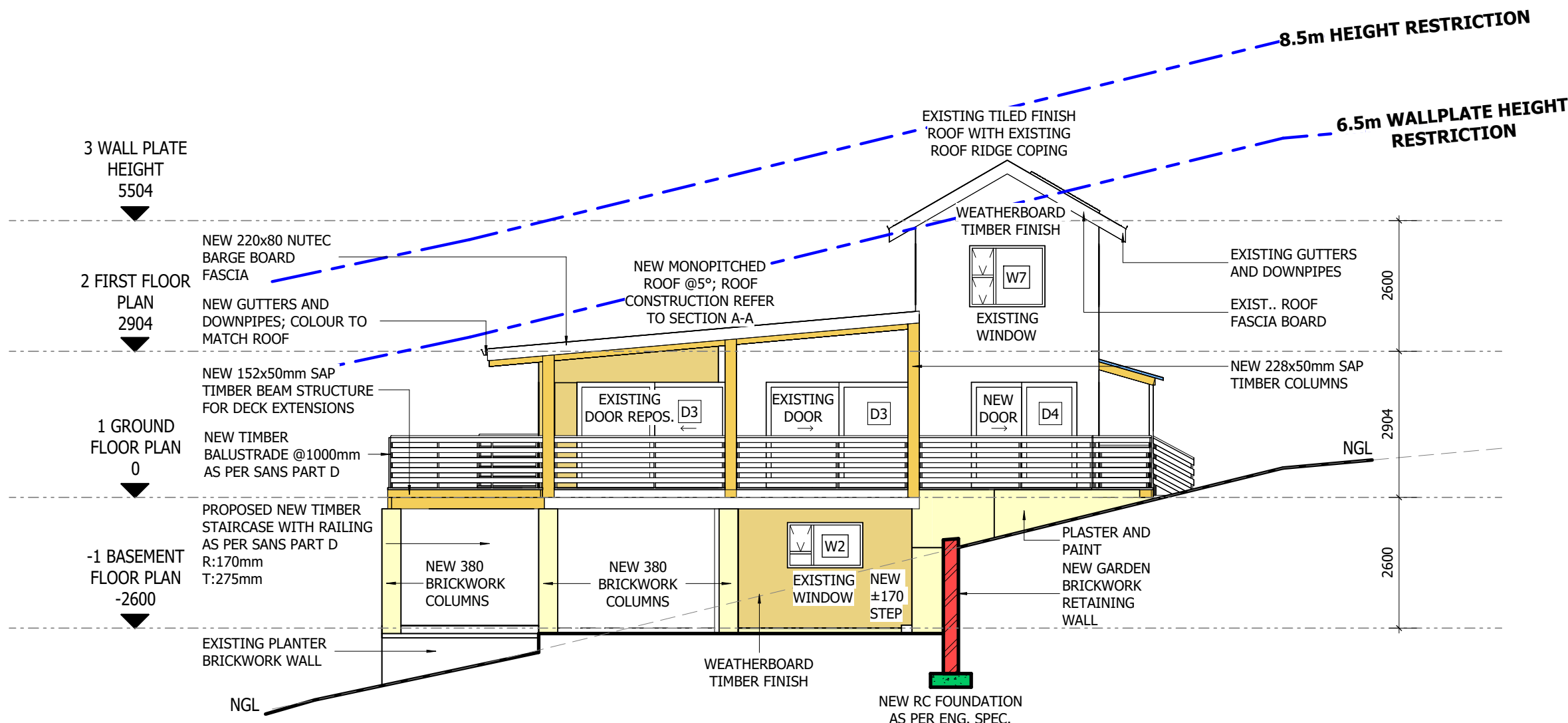
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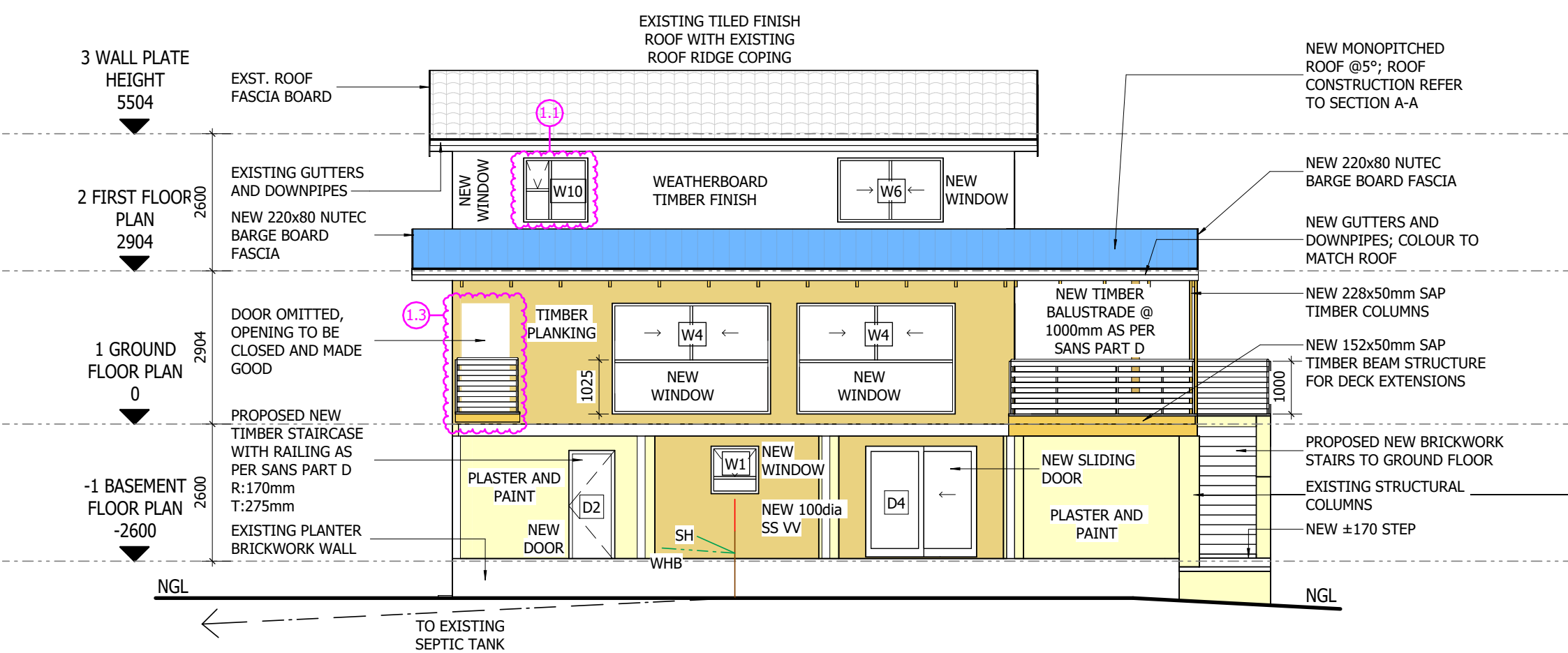
SERVICE LEGEND	
---	EXISTING DRAINAGE
---	STORMWATER
---	SOIL & COMB. VENT
---	DRAINAGE PIPE
---	WASTE WATER PIPE
---	GAS LINE
●	GAS POINT
---	1 HOUR FIRE RATING
[M]	WATER METER
RE	RODDING EYE
lrb	LONG RADIUS BEND
ss	STUB STACK
vp	VENT PIPE
IE	INSPECTION EYE
☀	LIGHT POLE
TP	TELEPHONE POLE
✉	KIOSK
*****	FENCE



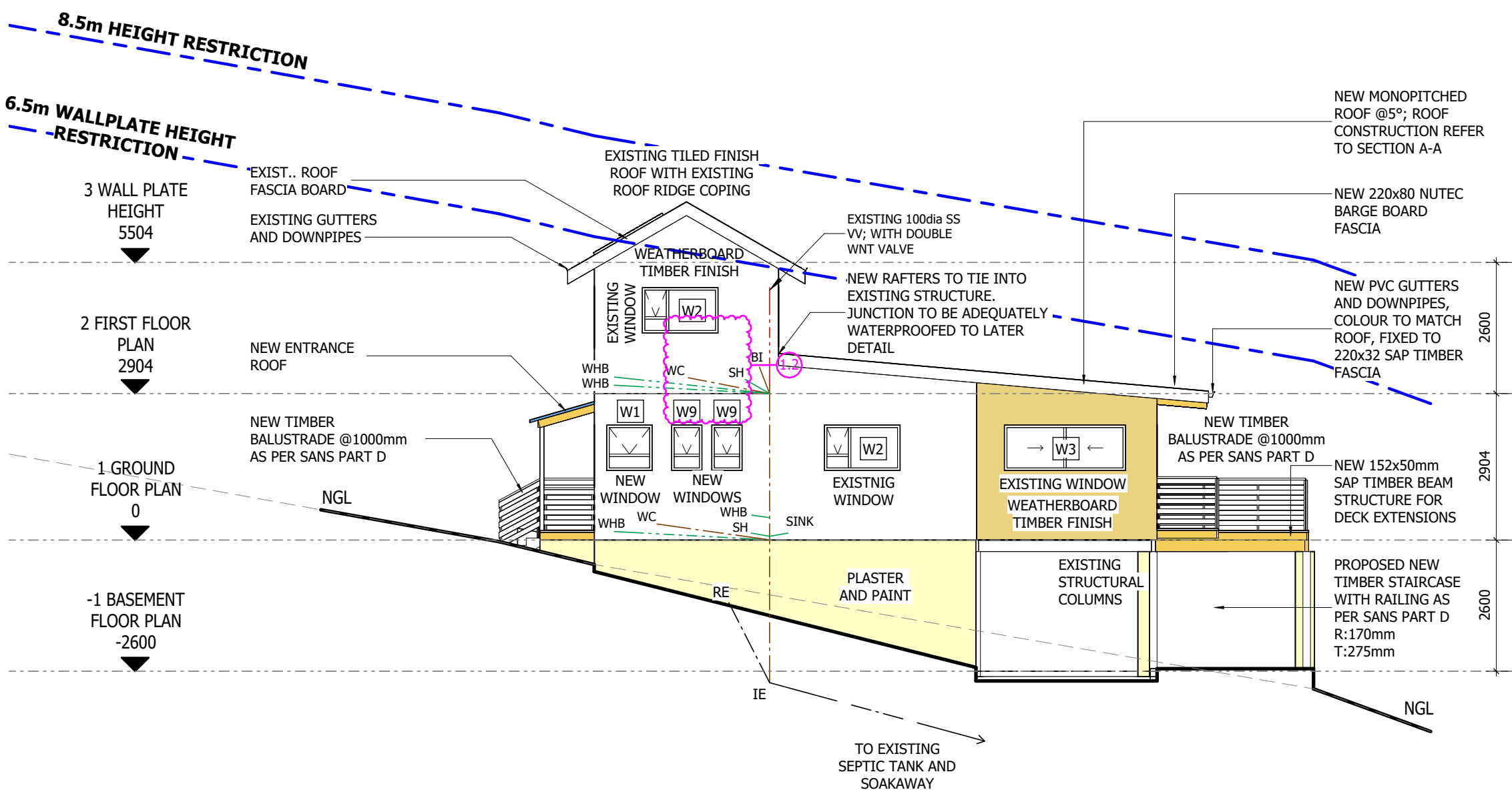
NORTH ELEVATION
1 : 100



EAST ELEVATION
1 : 100



SOUTH ELEVATION
1 : 100



WEST ELEVATION
1 : 100

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Rev	Date	Description
1.1	2025-05-##	WINDOW REPOSITIONED
1.2	2025-05-##	WINDOWS ADDED
1.3	2025-05-##	DOOR OMITTED

STATUS

PLAN OF DEVIATION

ARCHITECT

SCOTT ARCHITECTS
professional architects

Unit 11, Palms Garden Square,
1 Owen Grant St, Wilderness, 6560
Tel: +27 76 128 2575
info@scottarchitects.co.za
www.scottarchitects.co.za

CLIENT

MR. S ADINOLFI

PROJECT

PLAN OF DEVIATION

SITE

**ERF 720, TAAIBOS ROAD,
HOEKWIL**

DRAWING

ELEVATIONS

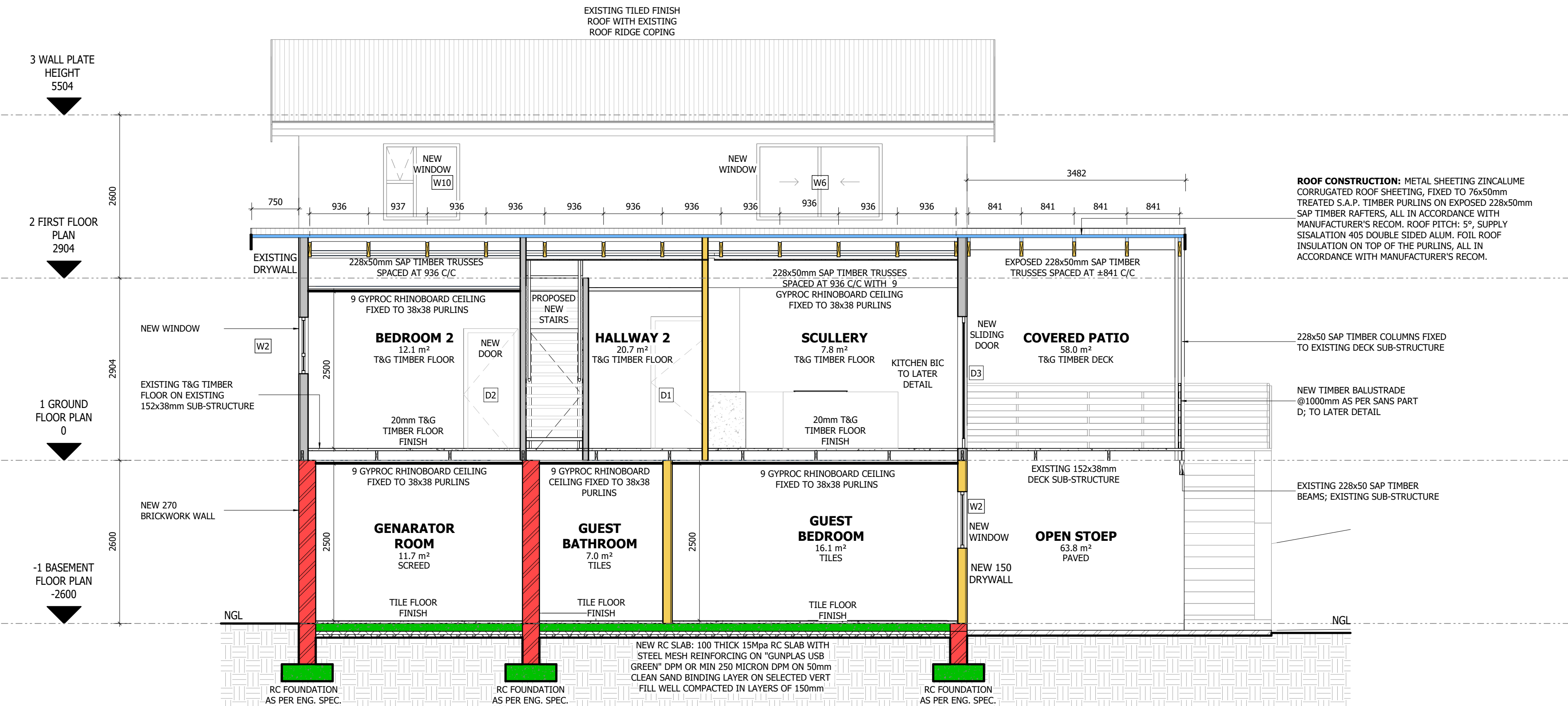
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DATE 25/09/2025 15:21:28		CHECKED R.S.SCOTT - P.Arch 6469	
PROJECT NO. 234	DRAWING NO. W05	REVISION 02	

ARCHITECT SIGNATURE

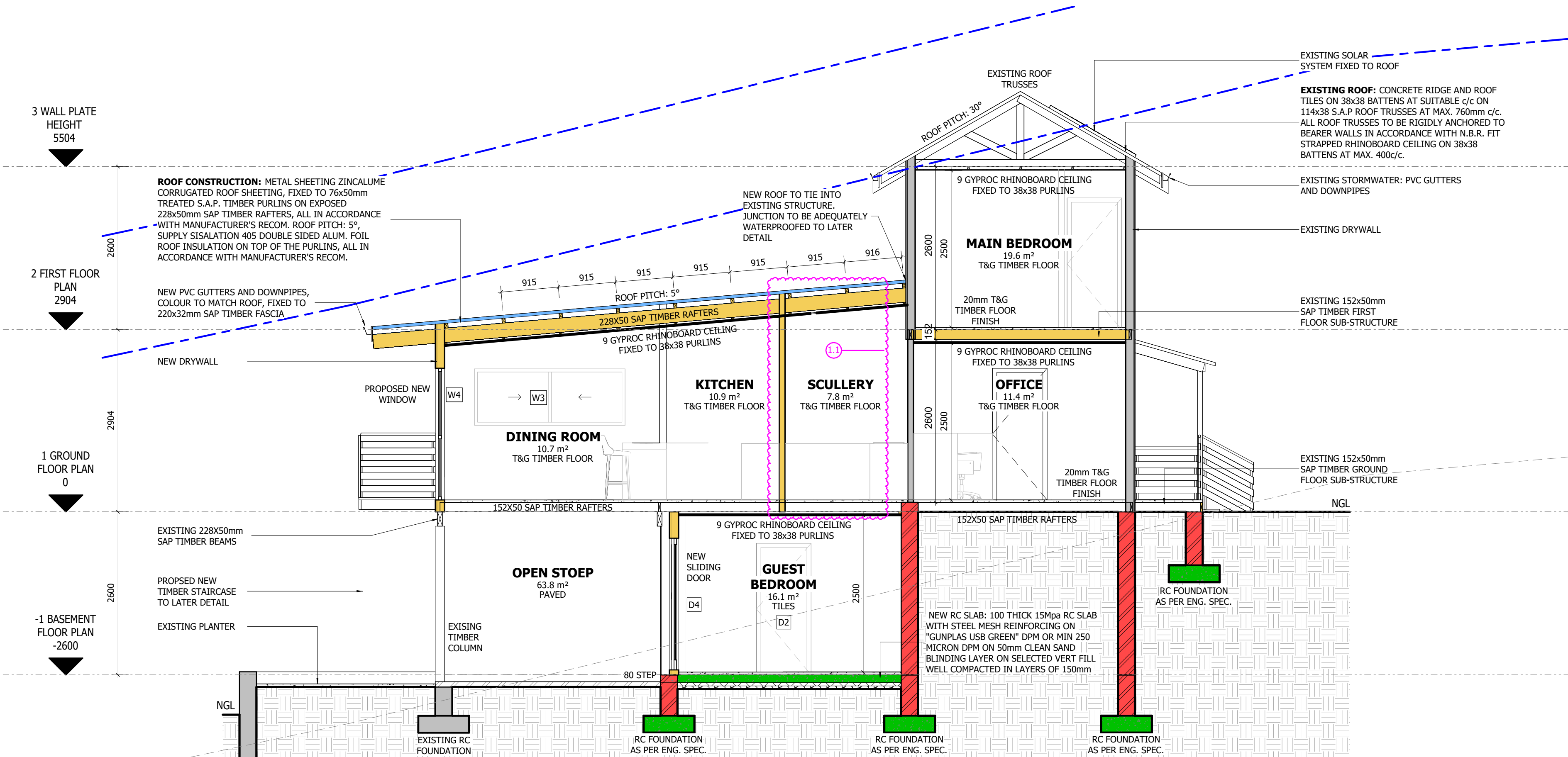
CLIENT SIGNATURE

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SECTION A-A
1 : 50



SECTION B-B
1 : 50

GENERAL NOTES:

- FOUNDATIONS:** to comply with SANS 10400 - H
 - All foundations to be constructed as per the Engineers drawings & specifications.
 - Foundation walls to be concrete filled to underside of 375 micron dpm in walls, to detail.
 - Allow an average depth of 1m below NGL. Contractor to allow for 3 DCP's across the site.
 - 10mm Jointex Between all walls and surfacebeds

- CONCRETE SURFACE BED:** to comply with SANS 10400 - J
 - 70mm Thick (minimum 15Mpa) concrete slab, a minimum of 170mm above ground level on gunplas usb 250 micron USB green waterproof sheeting sealed at laps with gunplus pressure sensitive tape laid continuous under surface beds as indicated on architects and engineers drawings. 25mm Thick river sand blinding layer on approved hardcore filling compacted to structural engineers specifications. Finish with 30mm cement / rivesand (1:4) screed applied to a smooth and even finish to take floor finish.
 - Floor finish as noted on floorplan, on 40mm screed internal and 30mm screed external

CONCRETE SLAB AND CONCRETE STRUCTURAL WORK:

- To Engineer's specification and drawings

FLOOR FINISH:

- to comply with SANS 10400 - J
 - Floor finish as noted on floorplan and to finishing schedule, on 40mm screed internal and 30mm screed external.
 - All Tiled flooring needs to go under Cupboards.**

WALLS:

- to comply with SANS 10400 - K
 - Walls to be plastered and painted unless otherwise stated on the drawings.
 - Cavity walls shall be kept free of all rubbish, mortar droppings and projecting mortar.
 - The tops of the walls covered with planks or sacking during wet weather to prevent rain entering the cavities
 - External cavity walls are to be provided with galvanized wire wall ties at every third course for 230 mm brick force galvanized ties used every third course
 - Weep Holes to be evenly spaced

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- Foundation walls to be concrete filled to underside of 375 micron dpm in walls, to detail.
- Allow an average depth of 1m below NGL. Contractor to allow for 3 DCP's across the site.

STAIRS:

- to comply with SANS 10400 - M
 - All stairs are 170mm - 200mm high and 300mm wide no alterations allowed.

BALUSTRADES AND RAILINGS:

- Balustrades has to comply with SABS 10104, 1 meter high with openings not more than 100mm.

CHIMNEY:

- Chimney not less than 1 meter in height above junction to roof.
- Chimneys to be stainless steel, where indicated, and factory painted, to match roof, doors and windows.
- Installation to comply with NBR

ROOF:

- to comply with SANS 10400 - L
 - Roof to be structural timber roofs and to be specified and inspected by Engineer at each stage.

RAINWATER GOODS:

- to comply with SANS 10400 - R
 - Seamless aluminium - pre-painted charcoal colour - square profile gutters and downpipes within the roof structure as per detail.
 - refer to Roof and Drainage Plan.

FASCIA BOARD

- All Fascia Boards to be painted to match roof unless otherwise specified.

STRUCTURAL TIMBER:

- Unless otherwise stated, structural timber shall be of South African softwood (pine) complying with the requirements of SABS specification 563 and 1245

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Rev	Date	Description
1.1	2025-05-#	KITCHEN LAYOUT REVISED

STATUS

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professional architects

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CLIENT

MR. S ADINOLFI

PROJECT


PLAN OF DEVIATION

SITE

ERF 720, TAAIBOS ROAD,
HOEKWIL

DRAWING

SECTIONS

SCALE AS SHOWN		DRAWN CF CALITZ	
DATE 25/09/2025 15:21:30		CHECKED R.S.SCOTT - P.Arch 6469	
PROJECT NO. 234	DRAWING NO. W06	REVISION 02	
ARCHITECT SIGNATURE			
			
CLIENT SIGNATURE			

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