



TOWN PLANNING

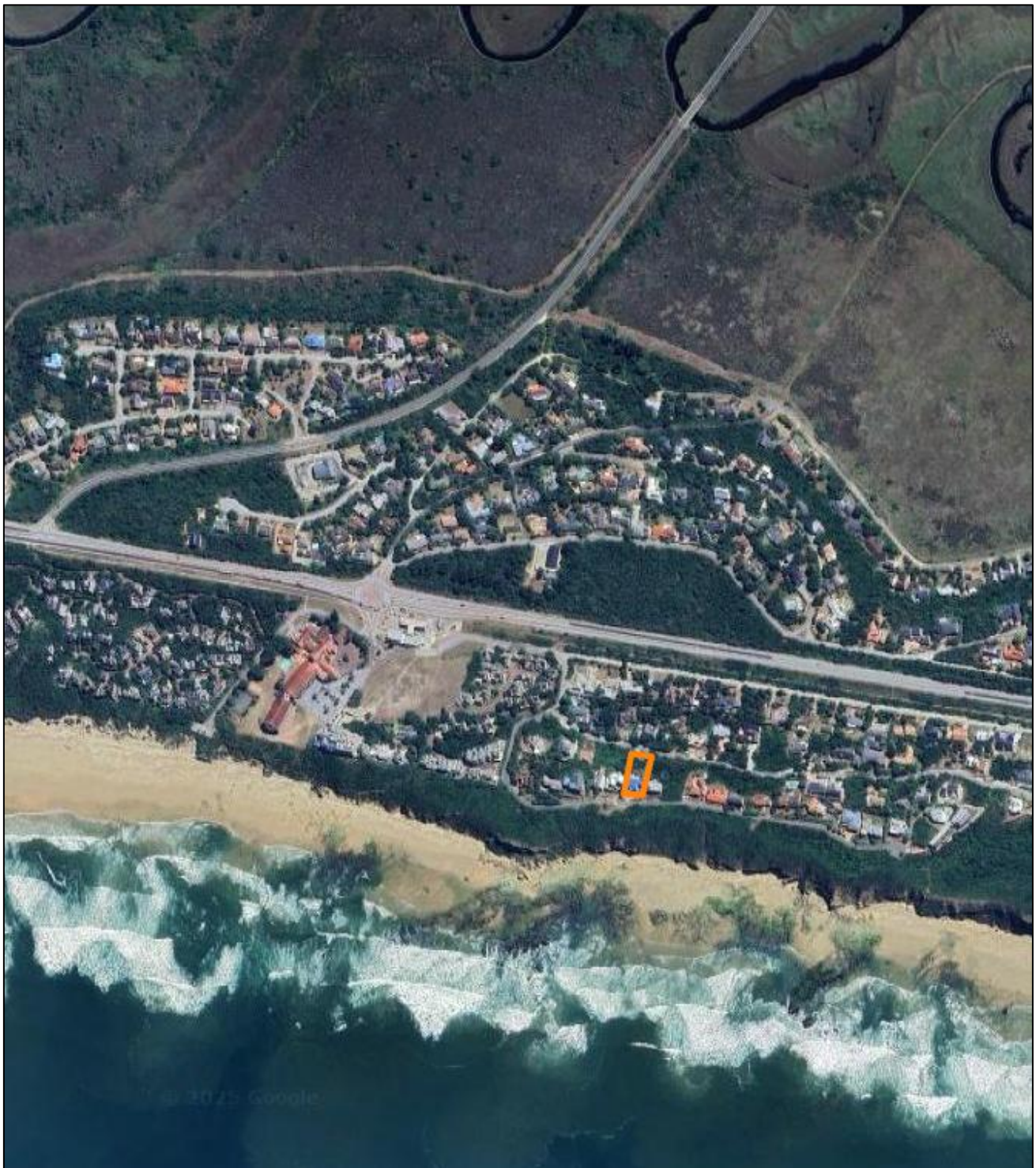
Marlize de Bruyn  
[marlize@mdbplanning.co.za](mailto:marlize@mdbplanning.co.za)  
076 634 0150

Denise Janse van Rensburg  
[denise@mdbplanning.co.za](mailto:denise@mdbplanning.co.za)  
067 817 3733

DEVELOPMENT MANAGEMENT CONSULTING

**PROPOSED CONSENT USE, PERMANENT DEPARTURES & ADMINISTRATOR'S CONSENT  
FOR M PELLMANN**

**ERF 859, 6TH AVENUE, WILDERNESS  
GEORGE MUNICIPALITY & DIVISION**



## **CONTENTS**

<b>1. BACKGROUND INFORMATION &amp; PROPERTY DETAILS.....</b>	<b>4</b>
<b>2. APPLICATION.....</b>	<b>4</b>
<b>3. LOCALITY, CHARACTER OF THE PROPERTY, ZONING.....</b>	<b>5</b>
<b>4. DEVELOPMENT PROPOSAL .....</b>	<b>7</b>
4.1 ADMINISTRATOR’S CONSENT .....	9
4.2 MUNICIPAL ENGINEERING SERVICES & ACCESS .....	10
4.3 IMPACT ON NEIGHBOURING PROPERTIES .....	11
4.4 ENVIRONMENTAL CONSIDERATIONS.....	11
4.5 PRE-APPLICATION .....	11
<b>5. NEED &amp; DESIRABILITY .....</b>	<b>13</b>
<b>6. LEGISLATION &amp; POLICIES .....</b>	<b>14</b>
6.1 SPATIAL PLANNING & LAND USE MANAGEMENT ACT, 2013 (SPLUMA) .....	14
6.2 WESTERN CAPE LAND USE PLANNING ACT, 2014 (LUPA) .....	15
6.3 GEORGE MUNICIPALITY: LAND USE PLANNING BY-LAW, 2023 .....	15
6.4 GEORGE INTEGRATED ZONING SCHEME BY-LAW, 2023 (GIZS) .....	16
6.5 GEORGE MUNICIPAL SPATIAL DEVELOPMENT FRAMEWORK (GMSDF) (2023) .....	16
<b>6.5.1. WILDERNESS-LAKES-HOEKWIL LOCAL SPATIAL DEVELOPMENT FRAMEWORK (WLH LSDF) (2015) ..</b>	<b>16</b>
<b>7. CONCLUDING .....</b>	<b>17</b>

## **Annexures**

- 1. Power of Attorney**
- 2. Copy of Title Deed**
- 3. Bondholder’s consent**
- 4. Surveyor-General Diagram**
- 5. Previous land use approval (Administrator’s Consent & Permanent Departure)**
- 6. Conveyancer’s Certificate**
- 7. Approved building plans**
- 8. Locality plan**
- 9. Site survey 2023**
- 10. Site development plan**
- 11. Floor plans & Elevations**
- 12. Pre-application**

**Authors of this report:**

M de Bruyn	Professional Planner A/1477/2011	B. Art. et. Scien. Planning
D Janse van Rensburg	Professional Planner A/3594/2025	MSc. Urban & Regional Planning

**Aerial images:**

<https://gis.elsenburg.com/apps/cfm/#>

<https://gis.george.gov.za/portal/apps/webappviewer/index.html?id=0283eccf869641e0a4362cb099290fca>

<https://www.google.com/earth/>

**Copyright**

Copyright © 2025 by DMC Town Planning except where expressly transferred by written agreement to the Client and the Municipality. Any unauthorised reproduction, adaptation, alteration, translation, publication, distribution or dissemination (including, but not limited to, performances in public, broadcasting and causing the work to be transmitted in a diffusion service) of the whole or any part of this Document in any manner, form or medium (including, but not limited to, electronic, oral, aural, visual and tactile media) whatsoever will constitute an act of copyright infringement in terms of the Copyright Act 98 of 1978 and will make the Doer/Transgressor liable to civil action and may in certain circumstances make the Doer/Transgressor liable to criminal prosecution. All trademarks and registered trademarks mentioned in this document are the property of their respective owners. Nothing contained in this document should be construed as granting any license or right to use any trademarks without the prior written permission of DMC Town Planning.

---

**PROPOSED CONSENT USE, PERMANENT DEPARTURES & ADMINISTRATOR'S CONSENT :**  
**ERF 859, 6TH AVENUE, WILDERNESS EAST**  
**GEORGE MUNICIPALITY & DIVISION**

---

## 1. BACKGROUND INFORMATION & PROPERTY DETAILS

Erf 859 Wilderness is a developed residential beachfront property located in Wilderness East. The current owner purchased the property with four existing guest rooms that was approved about 25 years ago under the former Wilderness Zoning Scheme Regulations (1984). The new owner has significantly upgraded the structure and wishes to use 5 rooms for guest accommodation purposes.

DMC Town Planning was appointed to address the land use requirements for this land use proposal. The power of attorney attached as **Annexure 1** to this report and the table to follow includes relevant information regarding Erf 859 Wilderness.

<b>Property Description:</b>	Erf 859 Wilderness
<b>Physical Address:</b>	859 6th Avenue, Wilderness (East)
<b>Owner:</b>	M Pellmann
<b>Title Deed No:</b>	T24829/2025 ( <b>Annexure 2</b> )
<b>Bond:</b>	Standard Bank ( <b>Annexure 3</b> )
<b>Size of the property:</b>	1307m <sup>2</sup>
<b>SG Diagrams</b>	8096/1953 ( <b>Annexure 4</b> )
<b>Zoning</b>	Single Residential Zone I (dwelling house)

The architect for the renovations of the existing dwelling house obtained approval for building line relaxation and Administrator's Consent per letter dated 12 January 2024 (**Annexure 5**). Building plans were later approved accordingly and final, updated plans following construction was approved during August 2025 with the occupation certificate issued 2 months later. See **Annexure 7** for the approved building plans.

The conveyancer certificate confirms that there are no conditions in the title deed that restricts this land use application except for the building lines addressed as Administrator's Consent as discussed later in this report. The conveyancer's certificate is attached hereto as **Annexure 6**.

## 2. APPLICATION

This land use application in terms of Section 15(2) of the George Municipality: Land Use Planning By-law (2023) for Erf 859 Wilderness entails the following:

- **Administrator's Consent** in terms of Section 39(4) of the Western Cape Land Use Planning Act, 2014 for the relaxation of Paragraph C(4)(d) of T24829/2025 for all existing concrete stairs (with connecting garden steps) 1.0m from the eastern side boundary.



- **Consent use** in terms of Section 15(2)(o) of the George Municipality: Land Use Planning By-law (2023) for a 5-bedroom guest house.
- **Permanent departure** in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-law (2023) for the following:
  - reduction in the parking provision from 8 bays to 6 bays.
  - relaxation of eastern side building line from 3.0m to 1.0m at the closest point for existing concrete steps.

### 3. LOCALITY, CHARACTER OF THE PROPERTY, ZONING

Erf 859 Wilderness is a recently upgraded Single Residential Zone I (SRZI)-property, surrounded by other SRZI-properties, in the coastal neighbourhood south of Wilderness East, south of the N2-route. The property is beachfront, with no properties laid out to its south, offering unobstructed views of the Indian Ocean. A locality map is attached hereto as **Annexure 8**.

The zoning and the land use of the subject property will not change following this land use application. Previous owners operated the house as a 4-bedroom guest house. The current owner wishes to continue but with 5 guest rooms. Guest accommodation is a general occurrence along 6<sup>th</sup> Avenue.

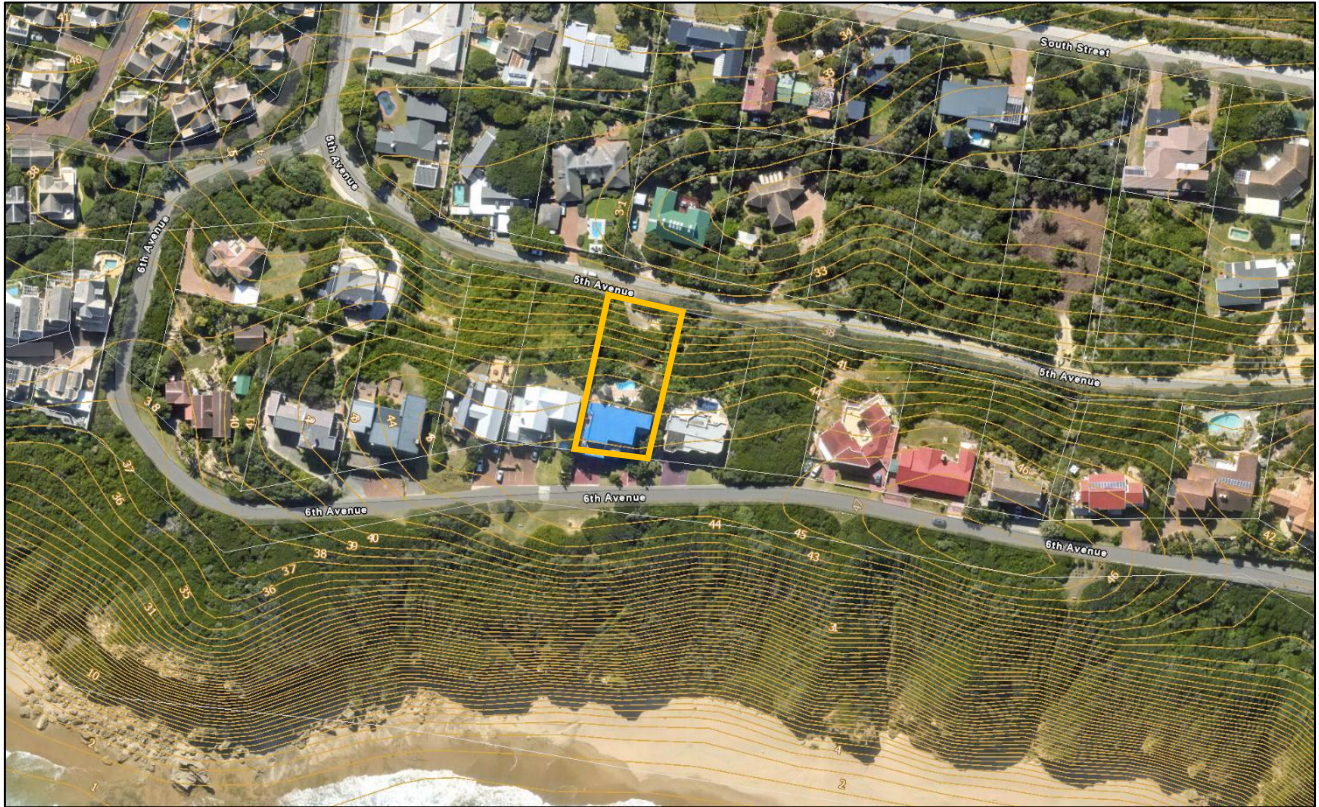


The upgrading of Erf 859 Wilderness has upgraded the streetscape from what is seen on the photo left to the photo to the right below.



Erf 859 Wilderness is 1307m<sup>2</sup> and is characterised by a gradual slope. The properties between 5th and 6th Avenues are situated partly on the natural plateau above the steep coastal cliffs that form the separation between the neighbourhood and the beach below (south). See the aerial photo on the following page with contours.





The area is characterised by dwelling houses with a variety of guest accommodations, including self-catering units, bed & breakfast establishments, guest houses, etc. The image below highlights some of the known guest accommodations in the area in yellow and Erf 859 Wilderness is shown in red.





The property has 5.0m building lines on its northern and southern street boundaries and 3.0m building lines on both its side boundaries. The house is situated up to 0.0m from the southern street boundary, 2.78m from the eastern side boundary, and 2.0m from the western side boundary (in accordance with the previous land use approval).

The house is 3 storeys, but the lowest level is situated below the natural ground level (NGL). It was cut in when the dwelling house was constructed more than 25 years ago to be level with the road level. As such, the structure complies with the 6.5m height restriction when measured from NGL. From the north, the house presents as a double-storey structure, and from the south it appears as three storeys. Fortunately, there are no residential properties located to the south, and the combination of the building setbacks beyond the road position and the steep cliffs ensures that the houses in 6<sup>th</sup> Avenue are not visible from the beach below.

5<sup>th</sup> Avenue, the northern boundary of the property, is located lower than 6<sup>th</sup> Avenue. A parking area was created here by previous owners with retaining structures. Garden stairs are to be created to link the existing concrete steps in the retaining structure to the existing concrete steps on the eastern side of the swimming pool area.



#### 4. DEVELOPMENT PROPOSAL

About 25 years ago a guest house with four guest rooms was approved as a consent use for Erf 859 Wilderness under the former Wilderness Zoning Scheme Regulations. As stated earlier, the new owner wishes to expand the guest accommodation offering to 5 guest rooms. The property was surveyed (**Annexure 8**) in 2023 which formed the basis of the building plans to follow. Encroachments were removed to ensure compliance and to reach the 2024-land use approval as well as the subsequent building plan approvals. Parking provision within the road reserve, created when the guest house first obtained approval, was removed and are now landscaped. The swimming pool has been replaced and the thatch roof lapa removed.

The site development plan indicating the relevant building lines, dimensions and proposed garden steps is attached to this report as **Annexure 10**. The floor plans and elevations are attached as **Annexure 11**.

The approved building plans (**Annexure 7**) indicate the double garage on the lower ground level with the manager's accommodation consisting of two rooms and a bathroom. Storage space is also provided, a services area and a lift and stairs connecting with the floors above.



The ground floor accommodates the master suite (guest room 1), the living, dining and kitchen areas as well as a braai room. A storeroom & office space are also provided next to the kitchen. The swimming pool is also on this level, on the northern side of the dwelling house. On the first floor the remaining 4 guest rooms (2 – 5) is provided with a lounge area.





As shown, the guest house manager resides on the lower level of this dwelling house as the property owner does not reside permanently in South Africa. Therefore, when the property owner visits the property, he will use one of the 5 guest rooms, with only 4 available then for guests.

Parking is provided in the double garage and then on the northern side of the property. This parking area (see the photo on p. 7 above) will have to be expanded to accommodate 4 vehicles (**Annexure 10**). Garden steps will be created between the natural, indigenous vegetation leading from this parking area to the ground floor of the dwelling house. No formal landscaping is needed due to the natural, indigenous vegetation. These garden steps will not be a construction as the stairs provided by the previous owner which was removed for safety reasons. This land use application includes a departure for all the existing concrete steps 1.0m from the eastern boundary (zoning scheme and Administrator's Consent) at the closest point. The same will apply to the garden steps. On the southern side of the dwelling house, concrete steps are also found linking the 6<sup>th</sup> Avenue side with the ground floor. The different levels of the property must be accessible on foot. Stairs in any form, is a necessity.

The minimal expansion of the parking area is proposed to limit cut into the slope of the property and to protect the natural vegetation. This land use application therefore requires a reduction in parking requirement from 8 to 6 due to the limitation in level space for parking. The parking area on the northern side can be expanded to accommodate more vehicles, but due to environmental considerations and true need, it is proposed not to do unnecessary earthworks. The property owner does not live here permanently as stated. The manager and his wife attend to the daily operation of the guest house and has one vehicle. Therefore, practically when the guest house is at full capacity (also when the property owner visits), only 6 vehicles need to be accommodated.

#### 4.1 ADMINISTRATOR'S CONSENT

Paragraph C(4)(d) of the title deed was imposed by the Administrator in 1953-1954 when Wilderness Extension 2 was approved. As determined by Section 39(4) of the Western Cape Land Use Planning Act (2014), the Municipality is now the Administrator. The Administrator may suspend or relax the content of these paragraphs. As described in this report, concrete steps are found along the eastern boundary of this property linking the dwelling house with the northern and southern side of the property. Garden steps will link the concrete steps.

These concrete steps have been in existence from long before the current owner purchased the property. It seems to not have been addressed with the previous land use application addressed by the architect. For the sake of completeness, we include it now. See the extract from the title deed (**Annexure 2**) to follow:

- C. **SUBJECT FURTHER** to the special conditions contained in Deed of Transfer Number T12648/1958, imposed by the Administrator of the Province of Cape of Good Hope in terms of Ordinance Number 33 of 1934 when approving of the establishment of Wilderness Township Extension Number 2, namely :-

4. This erf shall be subject to the following further conditions, provided especially that where, in the opinion of the Administrator after consultation with the Townships Board and the Local Authority, it is expedient that the restriction in any such condition should at any time be suspended or relaxed, he may authorise the necessary suspension or relaxation subject to compliance with such conditions as he may impose:-
- (d) no building or structure or any portion thereof except boundary walls and fences, shall be erected nearer than 4,72 metres to the street line which forms a boundary of this erf nor within 3,15 metres of the rear or 3,15 metres of the lateral boundary common to any adjoining erf, provided that with the consent of the Local Authority, an outbuilding not exceeding 3,05 metres in height, measured from the floor to the wall plate and no portion of which will be used for human habitation, may be erected within the above prescribed space. On consolidation of any two or more erven this condition shall apply to the consolidated area as one erf;

## 4.2 MUNICIPAL ENGINEERING SERVICES & ACCESS

The municipal engineering services provided to this property will continue to be used as at present. Access along 6<sup>th</sup> Avenue has been altered to comply with the provisions of the zoning by-law and parking bays within the road reserve were removed. The parking provision on the northern side also complies regarding dimensions and manoeuvrability. As discussed in paragraph 4 above, parking is provided in the double garage with access from 6<sup>th</sup> Avenue.

Then on the northern side of the property, another 4 parking bays can be provided with the minimal expansion of the existing parking area. As described, the minimal expansion of the parking area is proposed to limit cut into the slope of the property and to protect the natural vegetation. The reduction in parking requirement from 8 to 6 bays is requested due to environmental considerations and true need.

The property owner does not live here permanently as stated. The manager and his wife attend to the daily operation of the guest house and has one vehicle. Therefore, practically when the guest house is at full capacity (also when the property owner visits), only 6 vehicles need to be accommodated.

The zoning by-law determines that one parking bay is to be provided per guest room, two for the owner / manager and one for visitors/staff. The latter is unnecessary as the manager and his wife, attending to the operation of the guest house, already reside here. One parking bay per guest room and one for the owner / manager is more than ample considering the facts of this property.

#### 4.3 IMPACT ON NEIGHBOURING PROPERTIES

The public interest in this application is regarded as minimal, as no physical development or external alterations are proposed and the property has been used for guest accommodation purposes for more than two decades. The property has been upgraded which enhances the streetscape and adds value to the area, to the benefit of all property owners in the area.

#### 4.4 ENVIRONMENTAL CONSIDERATIONS

As no new development is proposed, there are no expected added environmental impacts. The existing house will be used for guest accommodation and the existing open and paved area in the north will be used for parking with minimal expansion proposed. See the discussion earlier in this report.

#### 4.5 PRE-APPLICATION

The pre-application consultation took place on 27 October 2025, and the feedback ([Annexure 12](#)) was as follows:

FEEDBACK	RESPONSE
<b>Town Planning</b>	
To note that consent uses in terms of applications prior to 2015 Planning By-Law cannot lapse.	Noted.
Need to address compliance with MSDF of 2023, LSDF, SPLUMA, Zoning Scheme etc.	See the relevant paragraphs of this report.
Necessary departures to be applied for where applicable.	See the relevant paragraphs of this report as well as the annexures.
Access and parking need to be addressed in the motivation report.	
All areas and dimensions (parking, access and manoeuvring space) to be shown on the site layout.	
The site layout to clearly indicates the respective uses (guest rooms vs area for the owner's use).	The report states that the property owner does not live in South Africa permanently. The manager and his wife attend to the day-to-day operations of the guest house and lives in the two rooms on the lower ground level (See <a href="#">Annexure 10</a> & <a href="#">11</a> ). The report and plans attached ( <a href="#">Annexure 11</a> ) shows the 5 guest rooms (1 on ground floor and 2 – 5 on the first floor) with the owner to use one of these rooms when visiting his property.

The owner is reminded of their duty of care in terms of Section 28 of the National Environmental Management Act, 1998 (Act No. 107 of 1998), to take all reasonable measures to prevent environmental degradation and to protect the coastal environment.	Noted.
In terms of the National Forests Act, 1998 (Act No. 84 of 1998), no person may cut, disturb, damage, destroy, or remove any protected tree species, including White Milkwood ( <i>Sideroxylon inerme</i> ), without a licence issued by the Department of Forestry, Fisheries and the Environment (DFFE). Any proposed pruning or removal of protected trees or tree clumps must be formally authorised through the granting of such a licence prior to commencement of any activity.	Noted.

FEEDBACK	RESPONSE
<b>Civil Engineering Services (CES)</b>	
Access be restricted via Sixth Avenue/Fifth Avenue	Noted.
Access should comply to the GIZS 2023, alternatively any deviation should be included within a land use application.	Access to comply. See the site development plan attached hereto as <b>Annexure 10</b> .
All parking must be provided on-site, in compliance with the GIZS 2023 parking requirements	All parking is provided within the boundaries of the property. Encroachments by previous property owners have been removed. The reduction in parking provision from 6 bays to 6 bays are motivated in the relevant paragraphs of this report, primarily regarding environmental considerations and true need.
No parking is allowed within the road reserve, and the owner may be held liable for any costs incurred to prevent unauthorized parking in this area.	
Normal parking ration applies	
All vehicle mobility should be done on site and must be indicated on the layout plan.	The dimensions included indicate ample manoeuvring space and compliance with the provisions of the zoning by-law.
Normal Development Charges (DCs), if applicable, will be levied in accordance with the DC policy and the applicable By-law and or policy.	Noted.
Municipal water and/or sanitation is limited and available, subject to network &/or treatment capacity required confirmation.	No added capacity is needed.
The location of existing municipal services must be confirmed on site.	Municipal services are existing.
The developer must ensure full compliance with the relevant Stormwater By-law.	Noted.



FEEDBACK	RESPONSE
<b>ETS</b>	
To discuss with ETS.	The electricity provision is existing, and no expansion / changes needed.

## 5. NEED & DESIRABILITY

### Need

Need from a planning perspective depends on the nature of the proposal and is guided by the principle of sustainability. This land use report demonstrates that the requested consent use for a guest house with 5 guest rooms on Erf 859 Wilderness is responsive to the property's potential, specific locality in a popular holiday area where guest accommodation is in very high demand. In our opinion this land use application does not have any negative impacts on the environment, visual, or any surrounding property owners as no new development is proposed and the land use will technically be staying the same as it has been for decades. The approval of this application will fulfil the owner's need regarding his property.

### Desirability

Desirability from a planning perspective, is defined as the degree of acceptability of a proposed development on a property. The relevant factors include the physical characteristics of the property, existing planning in the area, character of the area, the locality and accessibility of the property as well as the provision of services.

### Physical characteristics of the properties

No physical characteristics of the property will be changed or affected by proposal as the structures are existing elements. The property owner has made changes to ensure compliance with the provisions of the zoning by-law.

### Existing planning in the area

As indicated later in this land use report, this land use application is not found to be in conflict with the George Municipal Spatial Development Framework (GMSDF, 2023) or the Wilderness – Lakes – Hoekwil Local Spatial Development Framework (WLH LSDF, 2015).

### Character of the area

The consent use will not negatively affect the character of the area. The area is already characterised by a significant amount of guest accommodations in many different typologies. Wilderness has always been a coastal holiday settlement.

### Provision of services

Municipal engineering services are already available on the property and will continue to be used as at present.

### Economic impact

This land use application cannot have a negative economic impact. It creates employment and adds value to the area.

### **Direct impact on surrounding properties**

No neighbours are expected to be impacted negatively by the proposed additions as discussed earlier in this report. Erf 859 Wilderness has been used for guest accommodation purposes for many decades.

It is our view that the need and desirability of the proposed consent use and permanent departure on Erf 859 Wilderness, show no negative impacts.

## **6. LEGISLATION & POLICIES**

The criteria for the consideration of land use applications as per the Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013) (SLPUMA), the Western Cape Land Use Planning Act, (Act 3 of 2014) (LUPA) and the George Municipality: By-law on Municipal Land Use Planning (2023) builds on each other. SLPUMA introduced legislative and procedural changes to the management of land use planning in South Africa. The Western Cape Province followed with LUPA and thereafter George Municipality with the Municipal Land Use Planning By-law (2023). What is relevant to this land use application is discussed in the paragraphs to follow.

### **6.1 SPATIAL PLANNING & LAND USE MANAGEMENT ACT, 2013 (SPLUMA)**

Section 7 of this Act sets out the five development principles that are applicable to spatial planning, land development and land use management and section 42 of SPLUMA then refers to the factors that must be considered by a municipal tribunal when considering a land use planning application, which include but are not limited to:

- Five SPLUMA development principles;
- Public interest;
- Constitutional transformation;
- Respective rights and obligations of all those affected;
- State and impact of engineering services, social infrastructure and open space requirements;
- Compliance with environmental legislation.

Relevant aspects not addressed in the earlier paragraphs of this land use report, are addressed below. The five development principles of SPLUMA, namely spatial justice, spatial sustainability, efficiency, spatial resilience, and good administration are not all directly relevant to this land use application.

Spatial justice as described in Section 7(a) of SPLUMA is not fully relevant to this land use application.

Spatial sustainability as described in Section 7(b) of SPLUMA is relevant as follows:

- The proposed application holds no expected negative environmental impact.
- An existing structure was upgraded, enhancing the urban environment, removing encroachments, and ensuring the use of its maximum potential.
- The effective and equitable functioning of land markets is not negatively affected by this application.
- No negative impacts are expected for surrounding properties as discussed earlier in this report.

Efficiency as described in Section 7(c) of SPLUMA is not fully relevant to this application, but it can be stated that the property is used to its maximum potential and capacity, ensuring efficiency. Utilising the 5<sup>th</sup> room for guest purposes when the property owner is not in South Africa, reflects a degree of efficiency.

Spatial resilience as described in Section 7(d) of SPLUMA is not fully relevant to this application.

Good Administration as described in Section 7(e) of SPLUMA indicates the responsibilities of all involved in any land use matter.

The paragraphs above show that the land use application for Erf 859 Wilderness supports the relevant development principles of SPLUMA.

## 6.2 WESTERN CAPE LAND USE PLANNING ACT, 2014 (LUPA)

LUPA requires that local municipalities consider the following when deciding on land use applications:

- Applicable spatial development frameworks;
- Applicable structure plans;
- Land use planning principles referred to in Chapter VI (Section 59) which is an expansion of the five development principles of SPLUMA;
- Desirability of the proposed land use; and
- Guidelines that may be issued by the Provincial Minister regarding the desirability of proposed land use.

The land use planning principles expands on the five development principles of SPLUMA and desirability which is discussed in foregoing paragraphs.

Section 19(1) and (2) of LUPA refers to **consistency** and **compliance** of a land use proposal regarding spatial development frameworks or structure plans. Considering the aim of this land use application for Erf 859 Wilderness, no conflict was found with the George Municipal Spatial Development Framework (GMSDF).

## 6.3 GEORGE MUNICIPALITY: LAND USE PLANNING BY-LAW, 2023

The general criteria for the consideration of applications in terms of this By-law are included in Section 65 which, inter alia, includes:

- Desirability of the proposed utilisation of land;
- Impact of the proposed development on municipal engineering services;
- Integrated development plan, including the municipal spatial development framework, the applicable local spatial development framework and/or local structure plans;
- Relevant municipal policies;
- Western Cape Provincial Spatial Development Framework;
- Section 42 of SPLUMA (public interest, constitutionality);

- Land use planning principles transposed from LUPA; and
- Provisions of the applicable zoning scheme.

The above is addressed elsewhere in this land use report as relevant.

#### **6.4 GEORGE INTEGRATED ZONING SCHEME BY-LAW, 2023 (GIZS)**

Erf 859 Wilderness is a Single Residential Zone I (dwelling house) property according to the George Integrated Zoning Scheme By-law (GIZS) (2023) and developed accordingly with a dwelling house thereon. The property's zoning will not change. As discussed, it is proposed to use 5 bedrooms in the house as guest rooms for transient guests. Up to 6 guest bedrooms is a consent use under SRZI. With the former Wilderness Zoning Scheme Regulations (1984), up to 4 guest rooms was a consent use.

The parking requirements are 1 bay per guest room, 2 bays for the owner / manager and 1 bay for visitors. This proposal therefore requires a total of 8 parking bays. As described in, a reduction in the parking requirement from 8 bays to 6 bays is requested. See the discussion and motivation in paragraph 4 of this report.

The building lines for the property is 5.0m from the street boundaries and 3.0m from the sides. The building lines have already been relaxed (see [Annexure 5](#)) for the existing structure. We have added a permanent departure for building line relaxation (and an Administrator's Consent) with this land use application to address all stairs / steps along the eastern side of the property. See paragraph 4 for the detailed discussion thereof.

All other relevant development parameters for the property are complied with.

#### **6.5 GEORGE MUNICIPAL SPATIAL DEVELOPMENT FRAMEWORK (GMSDF) (2023)**

Erf 859 Wilderness is not addressed specifically in the GMSDF. It is a residential property in Wilderness East, within the urban edge and in a demarcated residential area. Wilderness is described as a secondary service centre with a tourism related function with the Wilderness – Lakes - Hoekwil Local Spatial Development Framework (WLH LSDF) taking direction from the GMSDF.

Tourism is an important element of the GMSDF. The use of Erf 859 Wilderness for guest accommodation purposes is therefore consistent with the GMSDF as required in terms of Section 19 of the Land Use Planning Act, 2014 (LUPA).

##### **6.5.1. WILDERNESS-LAKES-HOEKWIL LOCAL SPATIAL DEVELOPMENT FRAMEWORK (WLH LSDF) (2015)**

Erf 859 Wilderness is not addressed specifically in the WLH LSDF. It is a dwelling house within the Wilderness East residential area. The principle of guest accommodation in its various forms are not in conflict with the WLH LSDF.



This 2015-spatial plan includes a discussion focussed on guest houses in residential areas. It states amongst other points that development parameters should not be relaxed for guest houses. What must be kept in mind is that this property was used a guest house since about 15 years before this spatial plan was adopted. It is an existing structure use for this purposed and permanent departures an building plans were recently approved for this property.

The land use application for Erf 859 Wilderness is not found to be in conflict with the WLH LSDF (2015).

## 7. CONCLUDING

From this land use report, it is our opinion that this land use application for Erf 859 Wilderness for a guest house with 5 guest rooms, permanent departure for the relaxation of the eastern building line for existing steps and the related Administrator' Consent, is found to be consistent with all the relevant considerations as prescribed by the planning legislation. It does not create conflict with the overall spatial objectives for the area as included in the GMSDF.

The direct and greater area is characterised by guest accommodation, and this proposal is directly in line with that character. As no new development is required, there are no environmental impacts expected.



MARLIZE DE BRUYN Pr. Pln.



DENISE JANSE VAN RENSBURG Pr. Pln.

DECEMBER 2025

### Power of Attorney

I, **Markus Pellmann** (27/01/1976), the registered owner of *Erf 859 Wilderness, George Municipality & Division*, hereby authorise *Marlize de Bruyn and Denise Janse van Rensburg* from *DMC Town Planning* to submit the required land use application in terms of Section 15(2) of the George Municipality: Land Use Planning By-law (2023) for the properties.



**M Pellmann**

17/11/25

Date



Witness

17.11.2025

Date

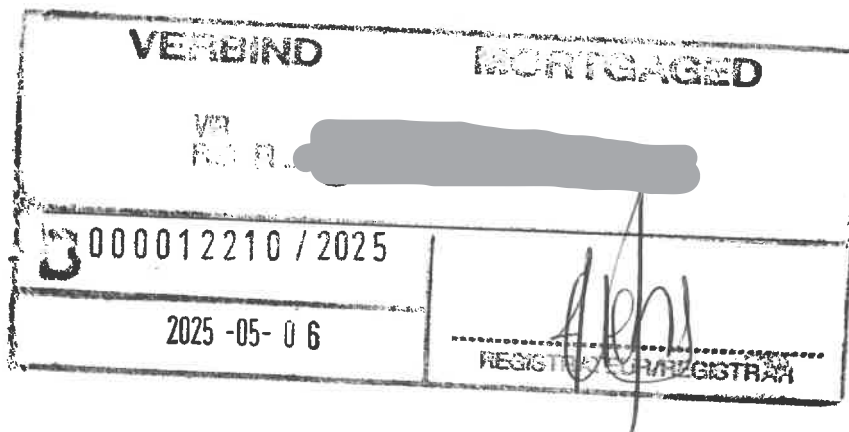


Sharon Prinsloo Attorneys  
3 Varing Street  
Windsor Park Block G4  
George  
6529

Prepared by me

  
CONVEYANCER  
JANINE FOUCHE (LPCM Number 60411)

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R.....	R.....
Reason for exemption	Category Exemption.....	Exemption i to. Sec/Reg..... Act/Proc.....



T000024829 / 2025

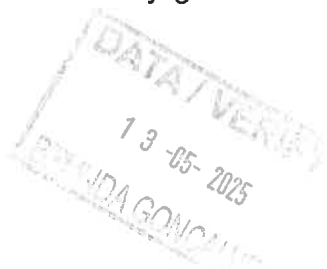
## DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

**JANINE FOUCHE (LPCM60411)**

appeared before me, REGISTRAR OF DEEDS: WESTERN CAPE at CAPE TOWN,  
the said appearer being duly authorised thereto by a Power of Attorney granted to  
him/her by

**The Trustees for the time being of the  
SCHUSTER'S RIVER TRUST NO. 2  
Registration Number IT63/1996**



which said Power of Attorney was signed at WILDERNESS on 07 FEBRUARY 2025.

And the appearer declared that his/her said principal had, on 21 January 2025, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

**MARKUS PELLMANN**

**Born on 27 January 1976**

**Married, which marriage is governed by the laws of GERMANY**

his Heirs, Executors, Administrators or Assigns,

**ERF 859 WILDERNESS** in the Municipality and Division of George  
Province of the Western Cape

**IN EXTENT 1307 (ONE THOUSAND THREE HUNDRED AND SEVEN)**  
Square metres

FIRST TRANSFERRED by Deed of Transfer Number T12648/1958 with  
Diagram Number 1178/1958 relating thereto and held by Deed of Transfer  
Number T21116/2023.

- A. **SUBJECT** to the conditions referred to in Certificate of Registered Title  
Number T19388/1954.
- B. **ENTITLED** to the benefits in the following special condition contained in  
Deeds of Transfer No.'s T9379/1908, T9380/1908 and T9381/1908, all  
dated 29 December 1908, namely:

"That the two lakes on the remaining extent of the aforesaid farm called  
Klein Krantz shall remain for the joint use of al the Appearer's  
Constituents, that is to say, for those who receive title upon partition of  
deducted portions, and those to receive undivided shares in the  
remaining extent."



C. **SUBJECT FURTHER** to the special conditions contained in Deed of Transfer Number T12648/1958, imposed by the Administrator of the Province of Cape of Good Hope in terms of Ordinance Number 33 of 1934 when approving of the establishment of Wilderness Township Extension Number 2, namely :-

- "1. Any words and expressions used in the following conditions shall have the same meaning as may have been assigned to them by the regulations published under Provincial Administration Notice Number 401 dated 17<sup>th</sup> October 1935, and in the memorandum which accompanied the said regulations.
2. The owner of this erf shall without compensation, be obliged to allow electricity and water mains and the sewage and drainage including stormwater of any other erf or erven within or without this Township, to be conveyed across this erf, if deemed necessary to be conveyed across this erf, if deemed necessary by the Local Authority, and in such manner and position as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time in order to construct, maintain, alter, remove or inspect any sewer, manhole, channel, conduit or other works pertaining thereto.
3. The owner of this erf shall be obliged, without compensation, to receive the material or permit such excavation on the erf, as may be required to allow use of the full width of the street and provide a safe and proper slope to its bank owing to the difference between the levels of the street as finally constructed and the erf, unless he elects to build retaining walls to the satisfaction of and within a period to be determined, by the local Authority.
4. This erf shall be subject to the following further conditions, provided especially that where, in the opinion of the Administrator after consultation with the Townships Board and the Local Authority, it is expedient that the restriction in any such condition should at any time be suspended or relaxed, he may authorise the necessary suspension or relaxation subject to compliance with such conditions as he may impose:-

- (a) it shall not be subdivided;
- (b) it shall be used only for the purpose of erecting thereon one dwelling together with such outbuildings as are ordinarily required to be used therewith;
- (c) not more than half the area thereof shall be built upon;
- (d) no building or structure or any portion thereof except boundary walls and fences, shall be erected nearer than 4,72 metres to the street line which forms a boundary of this erf nor within 3,15 metres of the rear or 3,15 metres of the lateral boundary common to any adjoining erf, provided that with the consent of the Local Authority, an outbuilding not exceeding 3,05 metres in height, measured from the floor to the wall plate and no portion of which will be used for human habitation, may be erected within the above prescribed space. On consolidation of any two or more erven this condition shall apply to the consolidated area as one erf;
- (e) notwithstanding the provisions of Condition (d) above, a garage intended as an adjunct to the dwelling may, where the slope of the erf up from the level of the abutting street is such that in the opinion of the local authority it cannot reasonably be sited at a distance of 4,72 metres from the street line, be erected at such lesser distance therefrom as the local authority may approve, provided that not more than 50 percent of the cubic measure of such garage may project above natural ground level and that in no event shall any such garage be erected at less than 3,15 metres from the street line;
- (f) In the event of the provisions of a Town Planning Scheme being made applicable to this erf, which provisions are more restrictive than the provisions contained in the above, then the provisions of such scheme shall apply.

- D. SUBJECT FURTHER to the following special conditions contained in Deed of Transfer Number T12648/1958 imposed by the Wilderness (1921) Limited for the benefit of all purchasers and their successors in title of the erven existing of Wilderness Township Extension Number 2 and for the benefit of the said Company and its successors in Title as owners of the remainder extent of the said Township held by it under the said Certificate of Registered Title Number T19388/1954, namely:-

**"DEFINITIONS**

1. The term "Seller" in these conditions shall be deemed to include the successors in title of the Seller to the remainder of the land held under the aforesaid Certificate of Registered Title Number 19388 dated 24<sup>th</sup> November 1954.

The term "Purchaser" shall be deemed to include the heir, Executors, Administrators or assigns, of the Purchaser of the Property hereby sold.

2. No sand or gravel shall be dug or removed from the lot except in the way of excavating for the foundations of any building to be erected thereon, or for use in such building or in preparing or laying out gardens to be occupied therewith, and no brick, tiles, clay or lime shall at any time be manufactures or burnt upon the lot.
3. All buildings and/or alterations erected on this lot shall be constructed of brick, stone or concrete, and no building shall be erected on the lot until the site and elevation plans thereof and the site of any offices or buildings together with the sanitation plans in relation thereto, shall have been approved by the Seller in writing. No such building shall, after erection, be altered without the like previous consent in writing. The Purchaser shall provide the Seller with plans in duplicate to the Seller's satisfaction.

4. The Seller shall be entitled to call upon the Purchaser to screen suitably any outbuildings erected on the lot.
5. All walls, fences, live hedges or like structures abutting upon any road or pathway, shall be of a type approved of by the Seller. The Seller shall not be liable to contribute to the cost of any party or dividing fence, or wall, nor to the cost of repair thereof, but he may call upon the Purchaser to enclose the said lot. This provision eliminating any contribution by the Seller to the cost or repair of any party or dividing fence or wall shall not extend to any adjoining lot which the Seller may sell or dispose of subsequent to the date hereof, and the Purchaser of such lot adjoining the lot hereby sold shall in all respects be subject to the laws governing contributions to such party or dividing fences or walls.
6. No wind driven appliance or windmill or wireless aerial and poles shall be erected by the Purchaser without the specific written approval thereof and permission of the Seller.
7. All buildings or structures, fences, live hedges or the like erected on the lot shall be reasonably maintained externally by the Purchaser in good order and repair, the intention being that adjoining lots shall not be depreciated by any shabby, uncared for or dilapidated buildings, structures, fences or live hedges.
8. Should any buildings or structures be erected out of compliance with these conditions, the Seller shall have the right to insist upon the demolition thereof, and the Seller shall at all reasonable times, through its proper officers, have the right of access to and inspection of any building operations conducted by the Purchaser on the lot.
9. Pending the establishment of a Local Authority the Seller retains the right and power to enforce the observance of proper sanitation and orderly neatness and cleanliness upon this lot, as well as the right to construct, use and maintain across the lot any pipelines for waterleading, sewerage or drainage, and any poles or structures for the conduct of any electricity for light or power.

10. In respect of any lot upon the sea front, purchasers shall not cut down or otherwise destroy the natural bush growth on the sea front and so endanger any plot to erosion by the sea or to shifting sands. Seller reserves the right to prescribe the level at which all buildings shall be placed on such lots, or any of them, and if called upon to do so by the Seller, Purchaser shall be obliged to plant and maintain suitable turf on any clear or open portions of such lots to guard against shifting sands.
11. The lot shall not be occupied either for building purposes or as a place of human residence or resort, whether by means of buildings thereon or tents or camps erected or placed thereon for any period, unless the said lot shall have previously been provided with water flush sanitation accommodation for the use of persons so residing or resorting upon the said lot. Such sanitation accommodation shall at all times be maintained in efficient working order by the owner of the plot.
12. The Purchaser agrees to be bound not to clear or destroy the trees and bush on the lot without first consulting the Seller, the intention being that it is desirable in the general interest that the scenery shall not be marred by excessive or undue clearing of the bush and trees and especially as it is the Seller's intention to avoid cutting of any lines or squares or angles which will show marked patterns on the scenic effect of the Township, but it is not the intention to interfere unreasonably with the Purchaser's full use and enjoyment of the said lot, and the Seller agrees that the frontage of any premises other than domestic should have a clear and uninterrupted view.
13. The Purchaser agrees to observe uniformity in respect of fencing line for all fences, walls, hedges or structures that may abut on to any road, pathway, open space or property of the Seller, and to maintain all boundary fences, walls, hedges or structures of the lot in good order and repair.



WHEREFORE the said Appearer, renouncing all rights and title which the said

**The Trustees for the time being of the  
SCHUSTER'S RIVER TRUST NO. 2  
Registration Number IT63/1996**


heretofore had to the premises, did in consequence also acknowledge them to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

**MARKUS PELLMANN, Married as aforesaid**


his Heirs, Executors, Administrators or Assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of [REDACTED] [REDACTED] ).

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS:  
WESTERN CAPE at CAPE TOWN on 16 May 2025

  
q.q.

In my presence

  
\_\_\_\_\_  
REGISTRAR OF DEEDS

**MR M PELLMANN**  
**5 LEEDAN HEIGHTS, 26 12 DHEEDA**  
**D'LEEDON**  
**2679**

16 July 2025

Dear Sir/Madam

**Consent use for guest house with 5 guest rooms and alteration and additions**

**Bond By : Mr M Pellmann**  
**Bond Over : Erf 859 Wilderness**  
**Account Number : 538148616**

We refer to the above and advise that Standard Bank has no objection subject to our rights being protected and the following conditions:

- Local Authority approval
- All municipal by laws must be adhered to.
- The bank is not committing to finance new development.
- No buildings to be demolished without the Bank's consent.
- The building must comply with SBSA minimum specifications, should there be any further development.
- The bank reserves the right to review the rates on the account once the property is converted.
- The correct Insurance must be applied.
- Residential component not to be compromised.
- Please note that the bank holds the right to withdraw or amend the given consent.
- Client must advise bank when building works are done so that we can revalue/reinsure.
- No further lending (Re-advance / further advances & Access Bond) will be considered / policy if used for any other purpose than single residential

Kind regards



**Technology and Operations Home Services SA**  
**Consultant After Sales**  
**Customer Contact Centre : +27 0860 123 001**

**Standard Bank Centre** 1<sup>st</sup> Floor 5 Simmonds Street Johannesburg 2001 PO Box 61690 Marshalltown 2107 South Africa  
Tel. Switchboard: +27 (0)11 636 9112 [www.standardbank.co.za](http://www.standardbank.co.za)

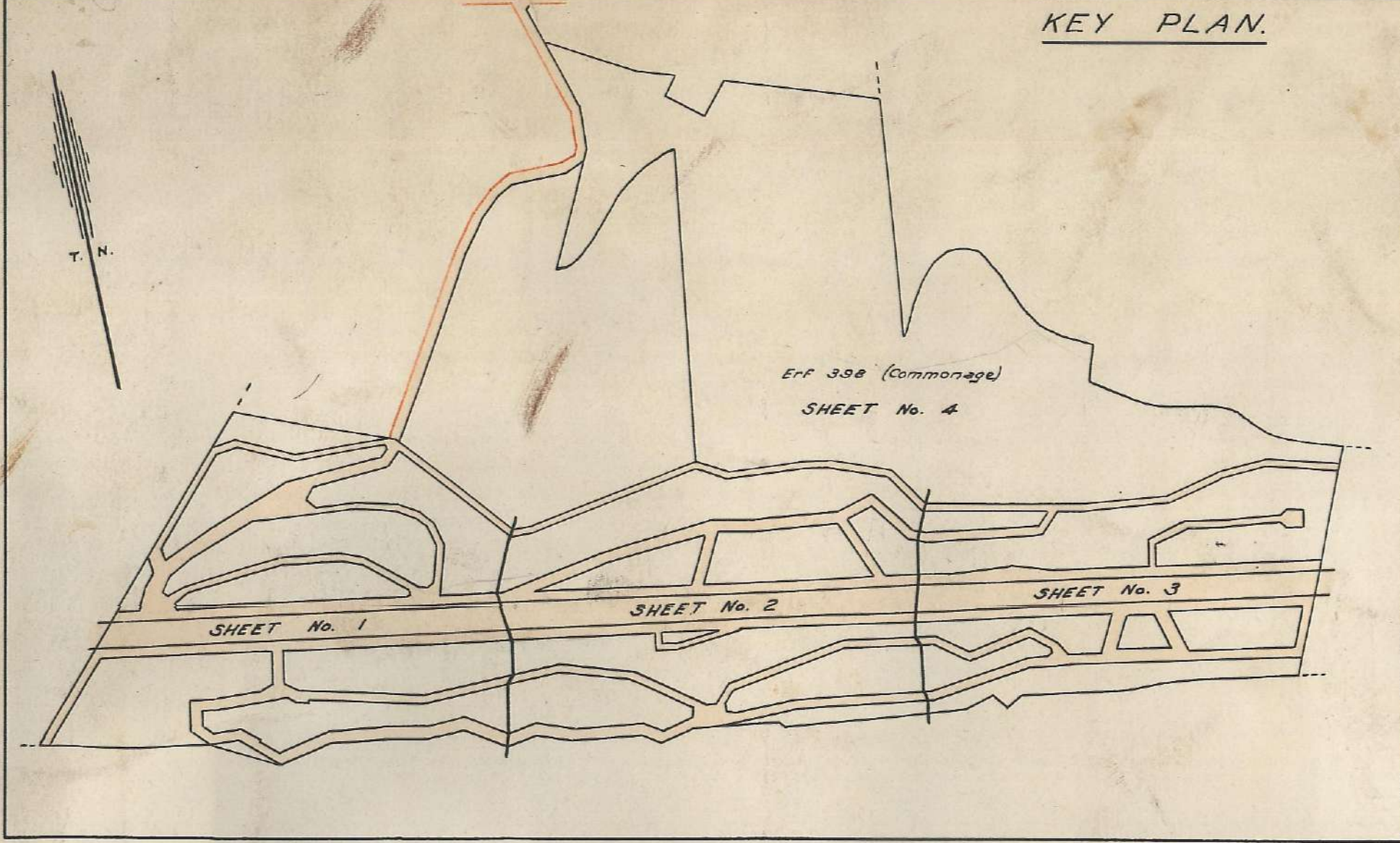
**The Standard Bank of South Africa Limited (Reg. No. 1962/000738/06) Authorised financial services and registered credit provider (NCRCP15)**

**Directors:** NMC Nyembezi (Chairman) SK Tshabalala\* (Chief Executive Officer) LL Bam PLH Cook A Daehnke\* OA David-Borha<sup>1</sup> GJ Fraser-Moleketi GMB Kennealy BJ Kruger  
LI LP JH Maree NNA Matyumza ML Oduor-Otieno<sup>2</sup> RN Ogega<sup>3</sup> Fenglin Tian<sup>2</sup>

**Company Secretary:** K Froneman - 2025/04/08

<sup>\*</sup>Executive Director <sup>1</sup> Nigerian <sup>2</sup> Chinese <sup>3</sup> Kenyan





This plan comprises 5 sheets. **WILDERNESS A/A. GENERAL PLAN 1065 L.D. OF WILDERNESS TOWNSHIP EXTENSION NO. 2.**

SHEET No. 1.

No. 8036/1953

Approved

*B. B. B. B.*  
SURVEYOR-GENERAL.

In terms of Section 13 of Ordinance No. 85 of 1954, the Administrator has granted the application to establish this Township.  
See Prov. Sec. Minute 2-24-5-1953  
date 20/10/1953 T.P. File No. 8036/1953

Notified as an Approved Township in terms of Section 13 of Ordinance No. 85 of 1954.  
See Notice No. 373 dated 10-12-54  
Prov. Sec. No. 2732 dated 10-12-54

C.D.R.

ERF 565 comprising 374 even numbered 1-373 & 398, Public Places 374-397 and Thoroughfares, situated on PORTION 22 (a portion of Portion 21) of the Farm KLEIN KRANTZ, in the DIVISION OF GEORGE, PROVINCE OF GOOD HOPE. Vide Dgm. No. 3015/1953, annexed to D/T 1954-1958

The beacons of each erf represented on this plan are in accordance with regulations, and have been placed under our personal supervision.

Surveyed in May 1950 - July 1951 by us

*J. J. J. J.*  
LAND SURVEYORS.

Proposed closure of fig 5 (A) & 5 (B) (for STATUS REPORT)  
Proposed closure of fig 5 5/8/92/s p 136

ENDORSEMENTS - GENERAL COMMENTS.					
No.	ENDORSEMENT	REMARKS	DATE	INITIALS	DATE
1	Portion of Road closed	Ref 2094	1959-12-02	<i>RAT</i>	
2	Portion of Road closed	Ref 2163	1959-11-11	<i>RAT</i>	
3	Portion of Road closed	Ref 2346	2003-11-22	<i>PJ Hut</i>	2003-11-22
4	Portion of road closed	Ref 2418	2005-07-15	<i>PJ Hut</i>	2005-07-15
5	Portion of road closed	Ref 2253 & 2254	2005-07-15	<i>PJ Hut</i>	2005-07-15
6	Portion of Grants Place closed	Ref 2646	2004-02-25	<i>PJ Hut</i>	2004-02-25

SG OFFICE NOTES  
See 6th 5. for notes 1-14.  
15. Erf 601, beacons replaced to Reg 18(2) see SR2008/1953  
16. Erf 728 & 2253 included in consal vide Dgm 773/2010 Erf 773  
17. Erf 729 & 2254 included in consal vide Dgm 771/2010 Erf 771  
18. ERF834, beacons replaced to Reg 18(2) vide sr2008/1953 as well as change in beacon descriptions. See S/8692/5 V2 Pages 228-229.  
19. Erven 777 & 859, beacons replaced vide SR830/2023  
20. Erf 946 framed vide Dgm 1865/2025

Continued from Sheet 5

ENDORSEMENTS : CONTINUED FROM ABOVE				
No.	ENDORSEMENT	ADDITION	AUTHORITY	DATE
1	PORTIONS OF NORTH STREET CLOSED	Erven 2657 & 2658	L/A consent dated 19/10/00 Ref: Erf 565 Wilderness File: S/8692/5 V2 p 200	4/1/2001

Orig Dgm No. 3015/1953.  
S.G. File S. 8692/5.  
Srv. Rds. E. 2008/53.  
Dep. Srv. AL-4CC, AL-6CD,  
AL-2AA, AL-2AB,  
E. 2001/53  
14/10/00

Numbered under the Provisions of the Deeds Registries Act No. 47 of 1937.  
for SURVEYOR-GENERAL  
18-3-1970





## CONVEYANCER CERTIFICATE

I the undersigned, **J.J. VAN DER BERG (LPCM61135)**, in my capacity as conveyancer and attorney practising at Oosthuizen Marais & Pretorius Attorneys in Mossel Bay certify that a search was conducted in the Deeds Registry, Cape Town, regarding the following property (including both current and earlier title deeds / pivot deeds / deeds of transfer):

### **ERF 859 WILDERNESS**

**IN THE MUNICIPALITY AND DIVISION OF GEORGE,  
PROVINCE OF THE WESTERN CAPE;**

IN EXTENT: 1307 (ONE THOUSAND THREE HUNDRED AND SEVEN) Square Metres

Held by Deed of Transfer Number T24829/2025

In respect of which it was found that there are restrictive conditions registered against such property, namely:

“C. **SUBJECT FURTHER** to the special conditions contained in the Deed of Transfer Number T12648/1958, imposed by the Administrator of the Province of Cape of Good Hope in terms of Ordinance Number 33 of 1934 when approving of the establishment of Wilderness Township Extension Number 2, namely : -

4. (b) it shall only for the purpose of erecting thereon one dwelling together with such outbuildings as are ordinarily required to be used therewith;
4. (d) no building or structure or any portion thereof except boundary walls and fences, shall be erected nearer than 4,72 metres to the street line which forms a boundary of this erf nor within 3,15 metres of the rear or 3,15 metres of the lateral boundary common to any adjoining erf, provided that with the consent of the Local Authority, an outbuilding not exceeding 3,05 metres in height, measured from the floor to the wall plate and no portion of which will be used for human habitation, may be erected within the above prescribed space. On consolidation of any two or more erven this condition shall apply to the consolidated area as one erf;”

In respect of which no further restrictive conditions prohibiting the proposed Administrator's Consent, Consent Use and Permanent Departure as further elaborated on in the accompanying application. It is further confirmed that a mortgage bond is registered over such property under B12210/2025, for which the Mortgagee's consent is attached to the accompanying application.

DATED and SIGNED at MOSSEL BAY on the 15<sup>th</sup> day of DECEMBER 2025.



---

**CONVEYANCER**

**J.J. VAN DER BERG**

**OOSTHUIZEN, MARAIS & PRETORIUS INC.**

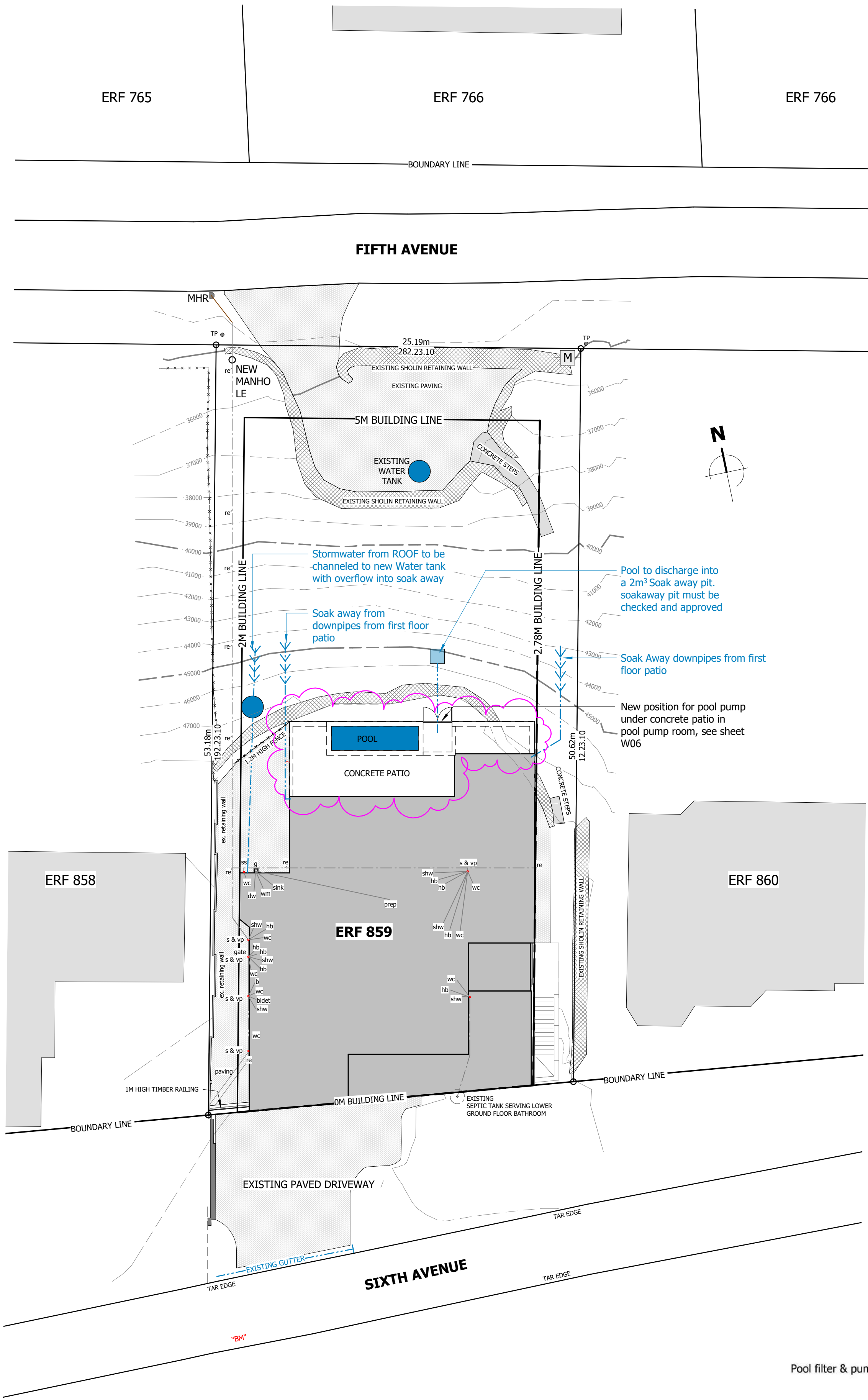
**SIOUX BUILDING**

**16 SIOUX STREET**

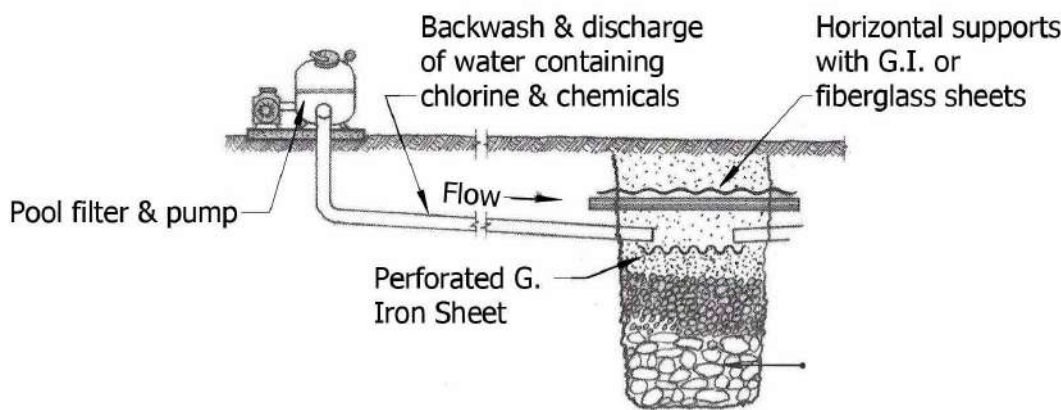
**VOORBAAI**

**MOSSEL BAY**





SITE PLAN \_ As built  
1 : 200



POOL TO SOAKAWAY

**PLUMBING AND DRAINAGE NOTES:** to comply with SANS 10400 Part P.  
• **SEE SHEET A1/W09**

**STORMWATER:**

- Stormwater emanating from the roof, paving or area in the immediate vicinity of a building shall not cause damage to the building interior, structure, or structural elements, or accumulate in a manner that unduly inconveniences the occupant.
- Pool and water feature backwashes to be not to be connected to sewage system

- Stormwater disposal arrangements shall:
- not result in the undercutting of foundations due to erosion or flooding,
  - drain away from buildings, as far as possible, under the action of gravity and not accumulate against or in close proximity to external walls,
  - make provision for the drainage of sites that are waterlogged or seasonally waterlogged, and
  - be capable of being readily cleaned and maintained.

**STORMWATER CHANNELS:**

- In-situ concrete Stormwater channels shall be constructed of unreinforced concrete with segmental channel formed in top.
- Channels shall be laid to falls on a well rammed earth bottom and finished smooth on exposed surfaces.

**MANHOLE**

- Manhole provided for access to a drainage installation have a removable cover and be so designed and constructed that it will sustain any normal load which might be imposed upon it and exclude the ingress or egress of water, be of such size and shape as to permit ready access to the installation for the purposes of inspecting, testing or cleaning.
- Manhole shall have a minimum plan dimension of not less than 450mm

**NEW POOL:**

- Concrete and brickwork structure to be designed by Engineer, and finished with fiber glass lining.
- A **glass (barrier) balustrade of 1.2m** shall be provided by the owner of a 144 site which contains a swimming pool or a swimming bath to ensure that no person can have access to such pool from any street or public place or any adjoining site other than through:
  - a self-closing and self-latching gate with provision for locking in such glass balustrade,
  - a building where such building forms part of barrier
- Backwash to be connected and discharged to SOAK AWAY**
- Clear water chlorinator
- Pump to be installed under concrete patio in pool pump house as indicated
- Pipe size to be 50mm Diameter PVC HI- Pressure pipes to be concealed
- Circulation system to be designed and built by pool specialist

**WATER TANKS**

- Water tanks installed, as per site plan

**RAINWATER GOODS:** to comply with SANS 10400 - R

- Seamless aluminium -pre-painted to match roof - square profile gutters and downpipes within the roof structure as per detail.

**FINISHES**

- All electrical and light fittings, geysers, doorbell, windows, paint, tiles, flooring, pavers, finishes etc. to be approved by owner prior to confirmation of the main contractor.

**GAS NOTES:**

- No drains to be installed 2m from gas installation.
- No electrical equipment within 5m from gas installation gas and pipe line to be installed by register installer in accordance with regulations of sans 10087
- To comply with SANS 1539, Appliances operating on liquefied petroleum gas (LPG) or natural gas (NG) – Safety aspects.
- To comply with SANS 1808-24, Water supply and distribution system components such as Gas-operated water heaters.
- Instantaneous gas water heaters shall comply with the requirements of SANS 1808-24 and SANS 1539 and shall be installed in accordance with SANS 10252-1 and SANS 10087-1.
- Storage gas water heaters shall comply with the requirements of SANS 151, SANS 1808-24 and SANS 1539 and shall be installed in accordance with SANS 10254 and SANS 10087-1.
- LP Gas; Max 38 kg allowed on premises without a Flammable Substance Certificate
- in terms of section 37(6) of the Community Fire Safety By-Law.
- A Gas installation certificate of compliance to be provided prior the request of a Occupancy certificate.
- Gas installation to comply with SANS 10087-1:2008 owners.

**LIGHTING** to comply with SANS 10400 - O

- External Lighting to be low level and downlighter type. No Coloured light bulbs are permitted and no flood lights

**SERVICE LEGEND**

EXISTING DRAINAGE	RE	RODDING EYE
STORMWATER	ltb	LONG RADIUS BEND
SOIL & COMB. VENT	ss	STUB STACK
DRAINAGE PIPE	VP	VENT PIPE
WASTE WATER PIPE	IE	INSPECTION EYE
GAS LINE	☀	LIGHT POLE
GAS POINT	TP	TELEPHONE POLE
1 HOUR FIRE RATING	☒	KIOSK
WATER METER	*****	FENCE

COVERAGE SCHEDULE	
ZONING	Single Residential Zone 1
SITE AREA	1307m²
COVERAGES AREAS	
EXISTING	409 m²
NEW ADDITIONS TO DWELLING COVERAGE POOL PUMP ROOM	5 m²
COVERAGE %	32%

AREA SCHEDULE	
LOWER GROUND FLOOR:	
EXISTING	124 m²
NEW	0 m²
GROUND FLOOR:	
EXISTING	0 m²
NEW	0 m²
FIRST FLOOR:	
EXISTING	221 m²
NEW	0 m²
NEW POOL PUMP ROOM:	
NEW	5 m²

REVISION - SITE PLAN
Existing pool removed, new pool added with pool pump room
Approved Timber deck changed to concrete slab
Slight alteration to stormwater layout

REVISION - LOWER GROUND FLOOR:
Single Garage changed back into ensuite bedroom, as per previously approved drawings
Window and door changes
Gas bottles added

REVISION - GROUND FLOOR:
Room enclosed and use changed into "Storeroom" and additional prep bowl removed
Bath removed from master bathroom
Guest bathroom layout changed
Changes in windows and doors
Gas geyser added

REVISION - FIRST FLOOR:
Internal wall and door added
Roof over entrance changed from "soft" roof to concrete slab that acts as a patio for bedroom 05
En-suite bathroom of bedroom 03 reconfigured
En-suite bathroom of bedroom 05 reconfigured
Changes to windows and doors
Gas geyser added

REVISION - ROOF PLAN:
Existing roof replaced, HOWEVER overhangs and coverage to remain as per previously approved drawings

STATUS  
MUNICIPAL SUBMISSION

ARCHITECT

Stewart Scott Architects (Pty) Ltd trading as:

SCOTT ARCHITECTS

professional architects

REF no. of Practice: PS0628081157

Unit 11, Palms Garden Square,  
1 Owen Grant St, Wilderness, 6560  
Tel: (+27)82 447 7228  
info@scottarchitects.co.za  
www.scottarchitects.co.za

CLIENT  
MARKUS PELLMANN

PROJECT  
ALTERATIONS TO EXISTING DWELLING

SITE  
ERF 859, 6TH AVENUE, WILDERNESS

DRAWING  
SITE PLAN

SCALE (@ A1)  
As indicated

DRAWN  
G.SCOTT - P.AT 64685972

DATE  
27/05/2025 11:57:55

CHECKED  
R.S.SCOTT - P.Arch 6469

PROJECT NO.  
241

DRAWING NO.  
W01

REVISION  
A

ARCHITECT SIGNATURE

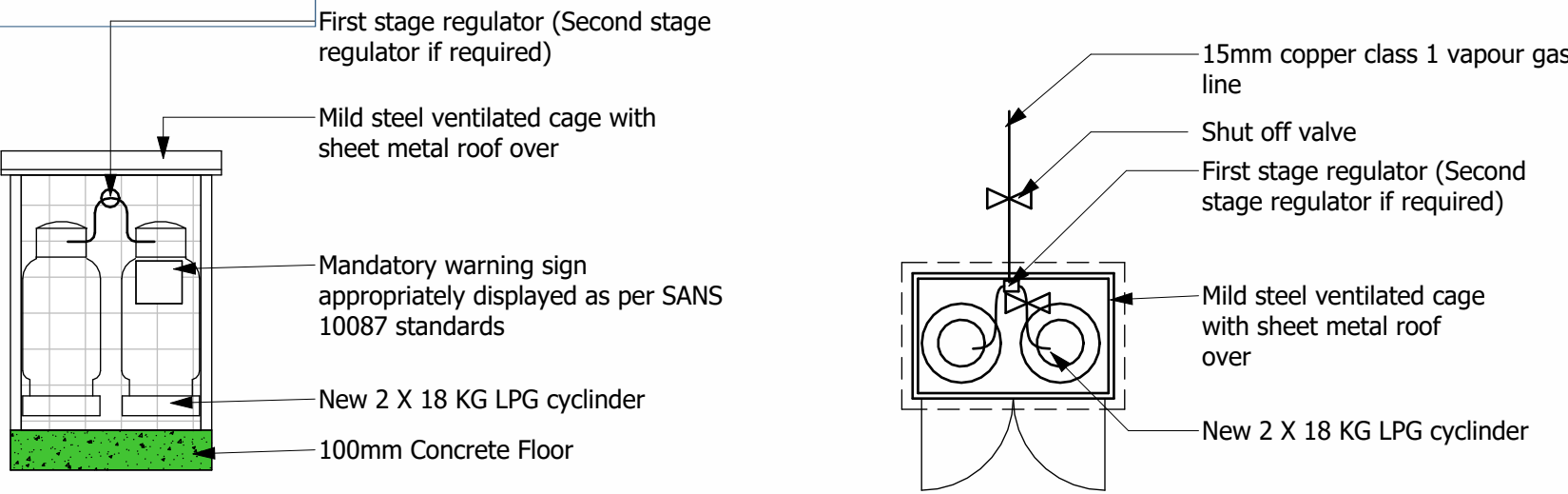
CLIENT SIGNATURE

DATE:

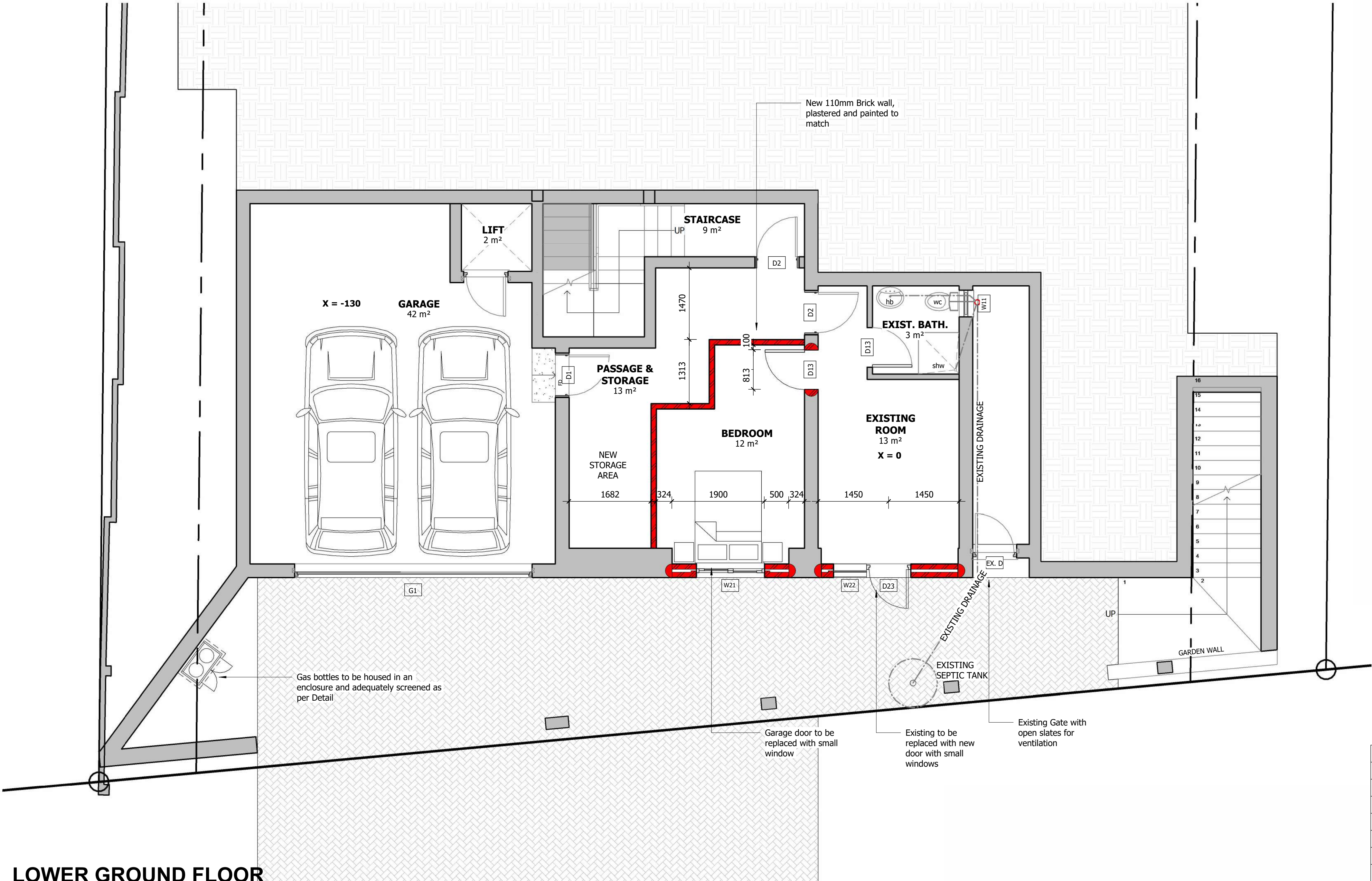
The design on this drawing remains the property of the designer - copyright reserved to Scott Architects. All dimensions to be checked on site before work commences. Any discrepancy must immediately be reported to the designer. This drawing is not to be scaled. All work to comply with the NBR, any relevant SABS code of practice and any local authority regulations. The contractor is to make themselves aware of these prior to commencement of work.



BOUBEHEER BEAMPT/BUILDING CONTROL OFFICIAL



GAS BOTTLE ENCLOSURE DETAIL



LOWER GROUND FLOOR

1 : 50

WALLS to comply with SANS 10400 - K

- Joining to existing walls: Use Jointex expansion joint with hoop irons (galvanized, minimum 600mm long at 400mm vertical centres) fixed into existing brickwork with epoxy anchors.
- Provide adequate damp-proofing where walls meet the ground
- Cavity walls shall be kept free of all rubbish, mortar droppings and projecting mortar.
- The tops of the walls covered with planks or sacking during wet weather to prevent rain entering the cavities in construction.
- External cavity walls are to be provided with galvanized wire wall ties at every third course for 230 mm brick force galvanized ties used every third course.
- Weep Holes to be evenly spaced.
- Walls to be plastered and painted unless otherwise stated on the drawings.

GAS NOTES:

- No drains to be installed 2m from gas installation.
- No electrical equipment within 5m from gas installation gas and pipe line to be installed by register installer in accordance with regulations of SANS 10087
- To comply with SANS 1539, Appliances operating on liquefied petroleum gas (LPG) or natural gas (NG) – Safety aspects.
- LP Gas; Max 38 kg allowed on premises without a Flammable Substance Certificate
- in terms of section 37(6) of the Community Fire Safety By-Law.
- A Gas installation certificate of compliance to be provided prior the request of a Occupancy certificate.
- Gas installation to comply with SANS 10087-1:2008 owners.

GENERAL NOTES:

- Contractor to ensure compliance to SANS 10400 in all relevant clauses and requirements
- All levels, dimensions and positions to be checked on site and verified before any work commenced.
- Any errors, discrepancies or omissions to be reported to the architect immediately.
- All work to be in accordance with good and accepted local building practice.
- Figured dimensions to be taken in preference to scaled dimensions.
- These architectural drawings are to be read in conjunction with engineers and consultants drawings, where applicable.
- All building by - laws, health and fire requirements to be strictly adhered to.
- The contractor will be held responsible for the correct setting out of the works. Any doubt as to the accuracy of boundary pegs or lines to be reported to the client immediately
- Any errors or discrepancies to be reported immediately for clarification prior to any work being undertaken
- Levels indicated are provisional and must be checked on site referring to top of foundation.
- Foundations to boundary walls not to encroach over boundary lines.
- All electrical and drainage work is to be execute by registered tradesmen.
- Care to be taken when excavating for new work, to comply with SANS 10400 - G. All existing pipes, cables, etc. exposed to be pointed out to client and/or architect, who shall advise necessary action to be taken.
- The contractor shall take all necessary precautions to avoid any damage what so ever, to existing buildings and fences.
- All Occupational safety regulations as set by Dept. of Labour to be complied with and to comply with SANS 10400 - B
- The contractor to keep a full set of drawings on site

REVISION D - Lower Ground floor

- Single Garage changed back into ensuite bedroom, as per previously approved drawings
- Window and door changes
- Gas bottles added

STATUS

MUNICIPAL SUBMISSION

ARCHITECT

Stewart Scott Architects (Pty) Ltd trading as:  
**SCOTT ARCHITECTS**  
professional architects  
REF no. of Practice: PS0628081157

Unit 11, Palms Garden Square,  
1 Owen Grant St, Wilderness, 6560  
Tel: (+27)82 447 7228  
info@scottarchitects.co.za  
www.scottarchitects.co.za

CLIENT

MARKUS PELLMANN

PROJECT

ALTERATIONS TO EXISTING DWELLING

SITE

ERF 859, 6TH AVENUE, WILDERNESS

DRAWING

LOWER GROUND FLOOR

SCALE (@ A1)  
As indicated

DRAWN  
G.SCOTT - P.AT 64685972

DATE  
27/05/2025 11:58:00

CHECKED  
R.S.SCOTT - P.Arch 6469

PROJECT NO.  
241

DRAWING NO.  
W02

REVISION

ARCHITECT SIGNATURE

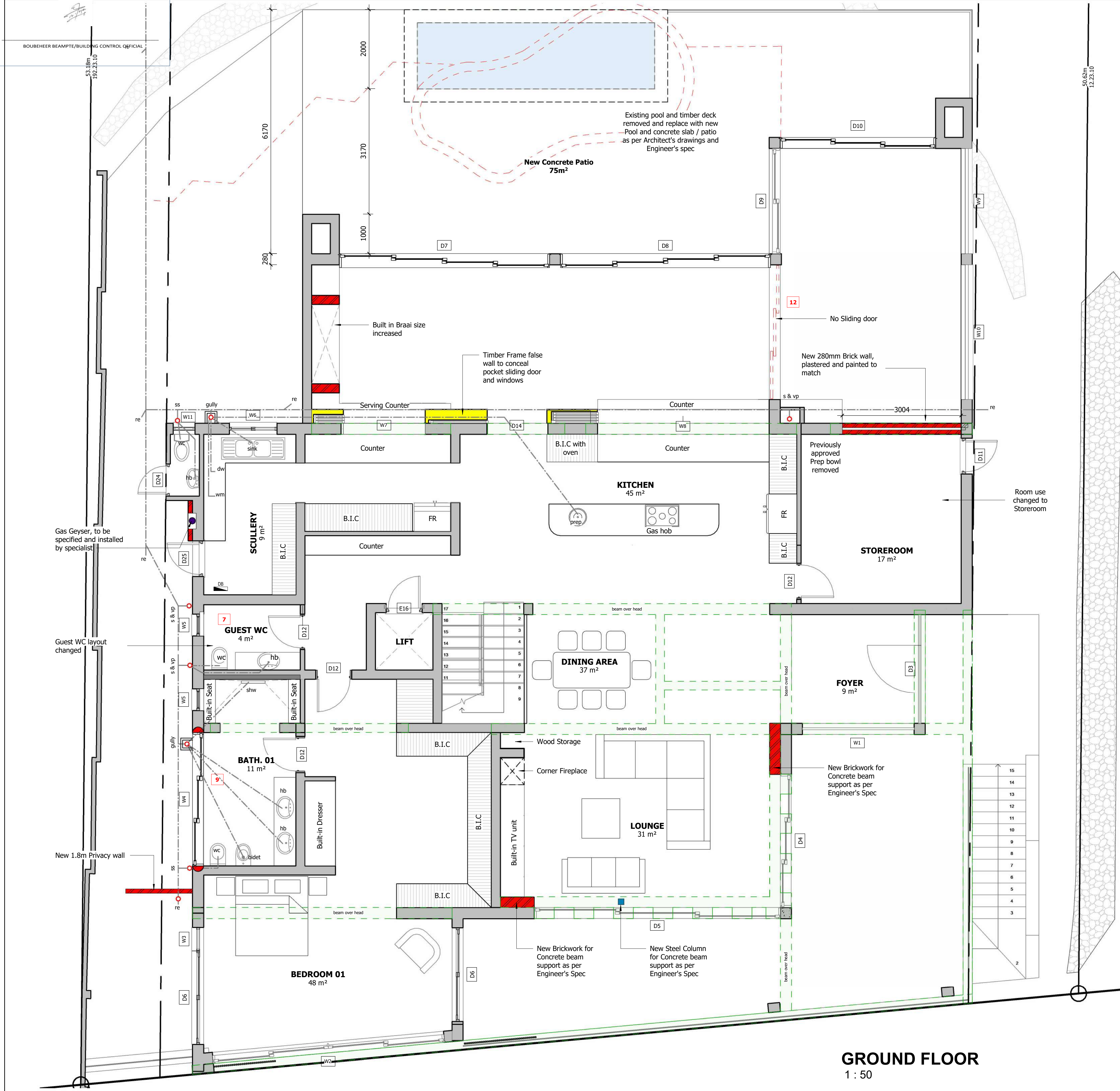
CLIENT SIGNATURE

DATE:

The design on this drawing remains the property of the designer - copyright reserved to Scott Architects. All dimensions to be checked on site before work commences. Any discrepancy must immediately be reported to the designer. This drawing is not to be scaled. All work to comply with the NBR, any relevant SABS code of practice and any local authority regulations. The contractor is to make themselves aware of these prior to commencement of work.

27/05/2025 11:58:00





- WALLS** to comply with SANS 10400 - K
- Joining to existing walls: Use **Jointex expansion joint with hoop irons** (galvanized, minimum 600mm long at 400mm vertical centres) fixed into existing brickwork with epoxy anchors.
  - Provide adequate damp-proofing where walls meet the ground
  - Cavity walls shall be kept free of all rubbish, mortar droppings and projecting mortar.
  - The tops of the walls covered with planks or sacking during wet weather to prevent rain entering the cavities in construction.
  - External cavity walls are to be provided with galvanized wire wall ties at every third course for 230 mm brick force galvanized ties used every third course.
  - Weep Holes to be evenly spaced.
  - Walls to be plastered and painted unless otherwise stated on the drawings.

- GENERAL NOTES:**
- Contractor to ensure compliance to SANS 10400 in all relevant clauses and requirements
  - All levels, dimensions and positions to be checked on site and verified before any work commenced.
  - Any errors, discrepancies or omissions to be reported to the architect immediately.
  - All work to be in accordance with good and accepted local building practice.
  - Figured dimensions to be taken in preference to scaled dimensions.
  - These architectural drawings are to be read in conjunction with engineers and consultants drawings, where applicable.
  - All building by - laws, health and fire requirements to be strictly adhered to.
  - The contractor will be held responsible for the correct setting out of the works. Any doubt as to the accuracy of boundary pegs or lines to be reported to the client immediately
  - Any errors or discrepancies to be reported immediately for clarification prior to any work being undertaken
  - Levels indicated are provisional and must be checked on site referring to top of foundation.
  - Foundations to boundary walls not to encroach over boundary lines.
  - All electrical and drainage work is to be execute by registered tradesmen.
  - Care to be taken when excavating for new work, to comply with SANS 10400 - G. All existing pipes, cables, etc. exposed to be pointed out to client and/or architect, who shall advise necessary action to be taken.
  - The contractor shall take all necessary precautions to avoid any damage what so ever, to existing buildings and fences.
  - All Occupational safety regulations as set by Dept. of Labour to be complied with and to comply with SANS 10400 - B
  - The contractor to keep a full set of drawings on site

- REVISION D - Ground floor**
- Room enclosed and use changed into "Storeroom" and additional prep bowl removed
  - Bath removed from master bathroom
  - Guest bathroom layout changed
  - Changes in windows and doors
  - Master bathroom - add seats in shower
  - New Fridge Position
  - Gas geyser added
  - Existing pool replaced with new pool and concrete patio/ surface bed

STATUS  
MUNICIPAL SUBMISSION

ARCHITECT  
SCOTT ARCHITECTS  
professional architects  
REF no. of Practice: PS0628081157  
Unit 11, Palms Garden Square,  
1 Owen Grant St, Wilderness, 6560  
Tel: (+27)82 447 7228  
info@scottarchitects.co.za  
www.scottarchitects.co.za

CLIENT  
MARKUS PELLMANN

PROJECT  
ALTERATIONS TO EXISTING DWELLING

SITE  
ERF 859, 6TH AVENUE, WILDERNESS

DRAWING  
GROUND FLOOR PLAN

SCALE (@ A1)  
As indicated

DRAWN  
G.SCOTT - P.AT 64685972

DATE  
27/05/2025 11:58:06

CHECKED  
R.S.SCOTT - P.Arch 6469

PROJECT NO.  
241

DRAWING NO.  
W03

REVISION

ARCHITECT SIGNATURE

CLIENT SIGNATURE

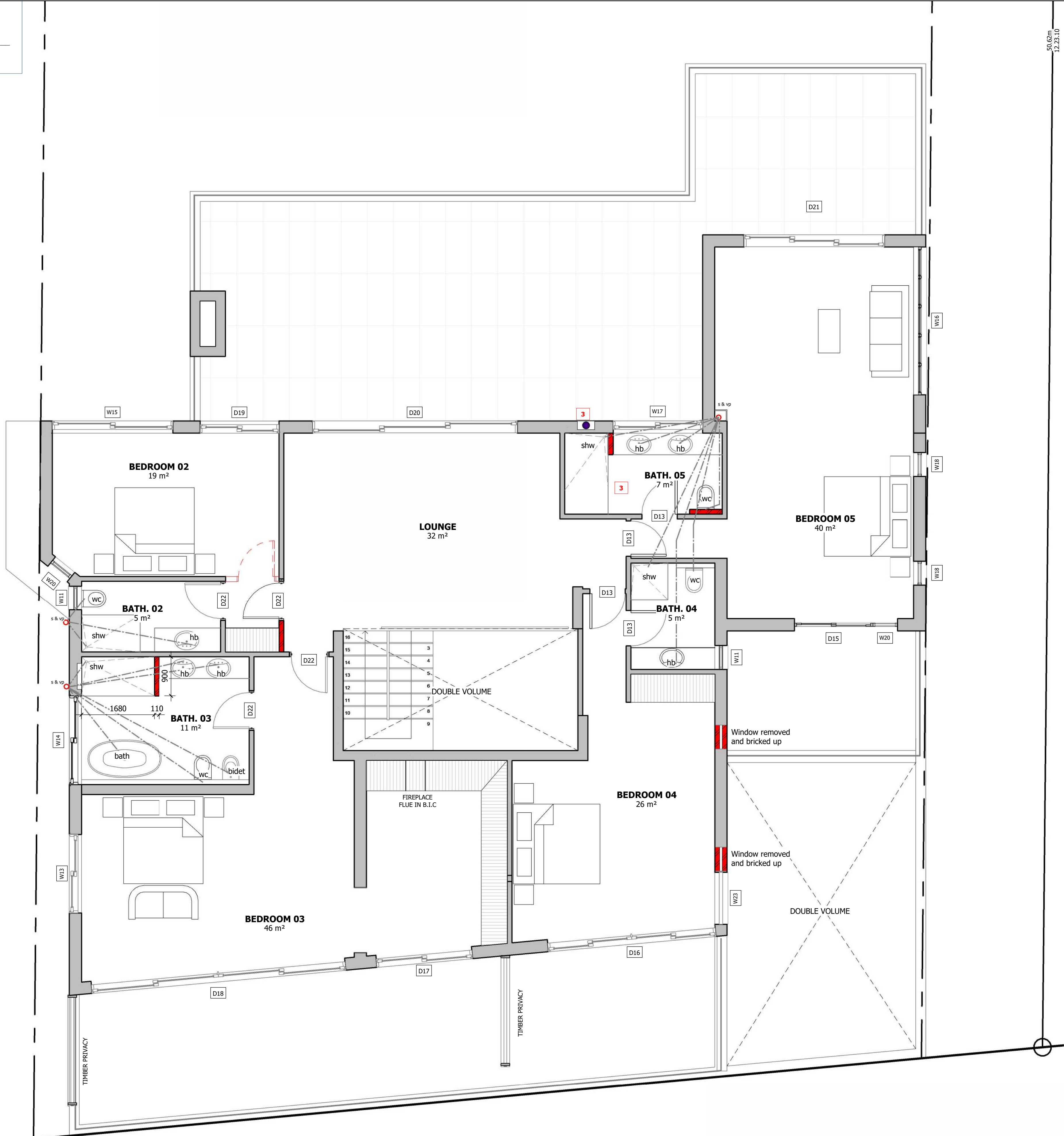
DATE:

The design on this drawing remains the property of the designer - copyright reserved to Scott Architects. All dimensions to be checked on site before work commences. Any discrepancy must immediately be reported to the designer. This drawing is not to be scaled. All work to comply with the NBR, any relevant SABS code of practice and any local authority regulations. The contractor is to make themselves aware of these prior to commencement of work.

SERVICE LEGEND		
---	EXISTING DRAINAGE	RE RODDING EYE
---	STORMWATER	lrb LONG RADIUS BEND
---	SOIL & COMB. VENT	ss STUB STACK
---	DRAINAGE PIPE	VP VENT PIPE
---	WASTE WATER PIPE	IE INSPECTION EYE
---	GAS LINE	LP LIGHT POLE
---	GAS POINT	TP TELEPHONE POLE
---	1 HOUR FIRE RATING	KIOSK
---	WATER METER	***** FENCE

GROUND FLOOR  
1 : 50





FIRST FLOOR  
1 : 50

SERVICE LEGEND		
	EXISTING DRAINAGE	RE RODDING EYE
	STORMWATER	lrb LONG RADIUS BEND
	SOIL & COMB. VENT	ss STUB STACK
	DRAINAGE PIPE	VP VENT PIPE
	WASTE WATER PIPE	IE INSPECTION EYE
	GAS LINE	⚡ LIGHT POLE
	GAS POINT	TP TELEPHONE POLE
	1 HOUR FIRE RATING	⊠ KIOSK
	WATER METER	***** FENCE

- GENERAL NOTES:**
- Contractor to ensure compliance to SANS 10400 in all relevant clauses and requirements
  - All levels, dimensions and positions to be checked on site and verified before any work commenced.
  - Any errors, discrepancies or omissions to be reported to the architect immediately.
  - All work to be in accordance with good and accepted local building practice.
  - Figured dimensions to be taken in preference to scaled dimensions.
  - These architectural drawings are to be read in conjunction with engineers and consultants drawings, where applicable.
  - All building by - laws, health and fire requirements to be strictly adhered to.
  - The contractor will be held responsible for the correct setting out of the works. Any doubt as to the accuracy of boundary pegs or lines to be reported to the client immediately
  - Any errors or discrepancies to be reported immediately for clarification prior to any work being undertaken
  - Levels indicated are provisional and must be checked on site referring to top of foundation.
  - Foundations to boundary walls not to encroach over boundary lines.
  - All electrical and drainage work is to be execute by registered tradesmen.
  - Care to be taken when excavating for new work, to comply with SANS 10400 - G. All existing pipes, cables, etc. exposed to be pointed out to client and/or architect, who shall advise necessary action to be taken.
  - The contractor shall take all necessary precautions to avoid any damage what so ever, to existing buildings and fences.
  - All Occupational safety regulations as set by Dept. of Labour to be complied with and to comply with SANS 10400 - B
  - The contractor to keep a full set of drawings on site

REVISION D - First floor

- Internal wall and door added
- Roof over entrance changed from "soft" roof to concrete slab that acts as a patio for bedroom 05
- En-suite bathroom of bedroom 03 reconfigured
- En-suite bathroom of bedroom 05 reconfigured
- Changes to windows and doors
- Gas geyser added

STATUS  
MUNICIPAL SUBMISSION

ARCHITECT

SCOTT ARCHITECTS

professional architects

REF no. of Practice: P50628081157

Unit 11, Palms Garden Square,  
1 Owen Grant St, Wilderness, 6560  
Tel: (+27)82 447 7228  
info@scottarchitects.co.za  
www.scottarchitects.co.za

CLIENT  
MARKUS PELLMANN

PROJECT  
ALTERATIONS TO EXISTING DWELLING

SITE  
ERF 859, 6TH AVENUE, WILDERNESS

DRAWING  
FIRST FLOOR

SCALE (@ A1)  
As indicated

DRAWN  
G.SCOTT - P.AT 64685972

DATE  
27/05/2025 11:58:11

CHECKED  
R.S.SCOTT - P.Arch 6469

PROJECT NO.  
241

DRAWING NO.  
W04

REVISION

ARCHITECT SIGNATURE

CLIENT SIGNATURE

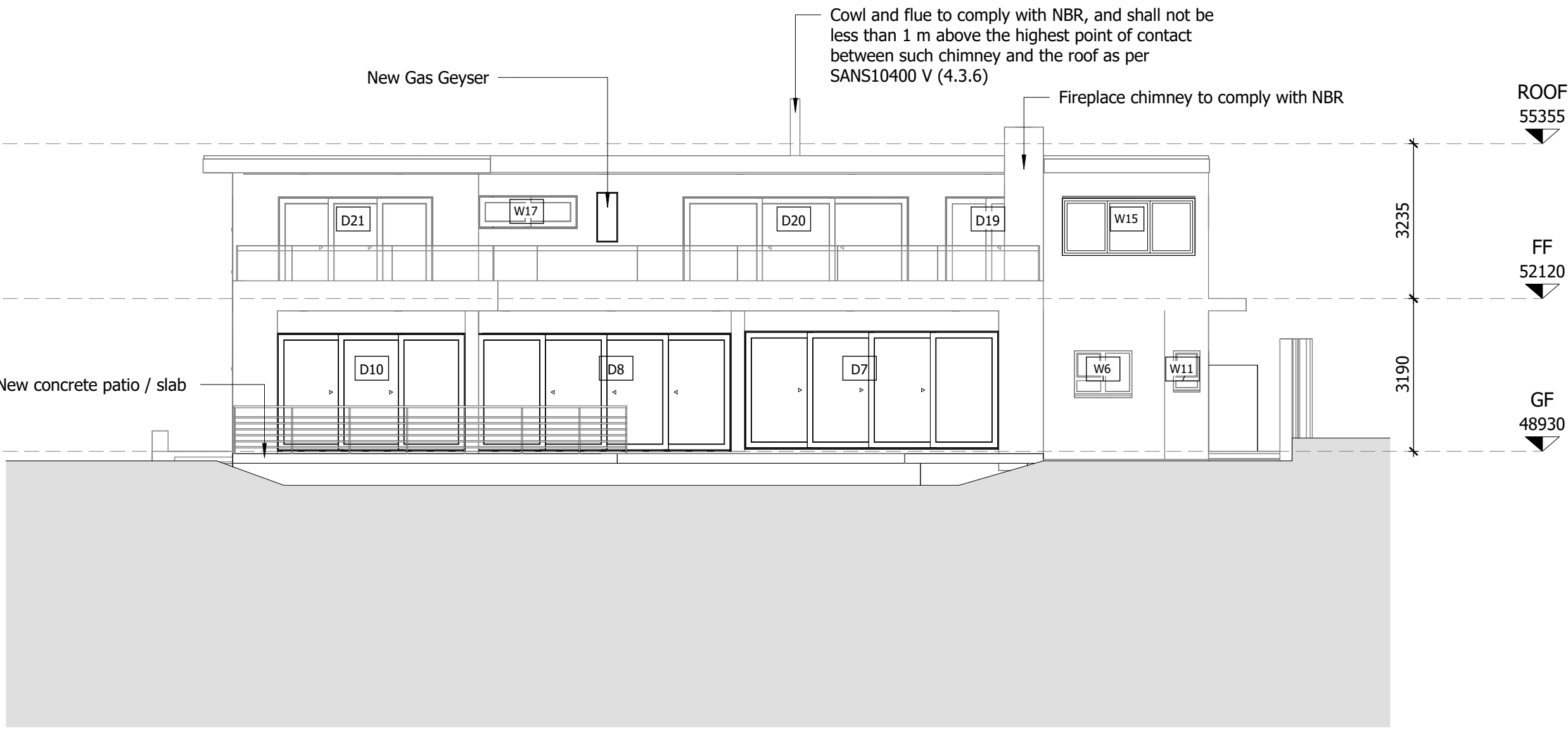
DATE:

The design on this drawing remains the property of the designer - copyright reserved to Scott Architects. All dimensions to be checked on site before work commences. Any discrepancy must immediately be reported to the designer. This drawing is not to be scaled. All work to comply with the NBR, any relevant SABS code of practice and any local authority regulations. The contractor is to make themselves aware of these prior to commencement of work.

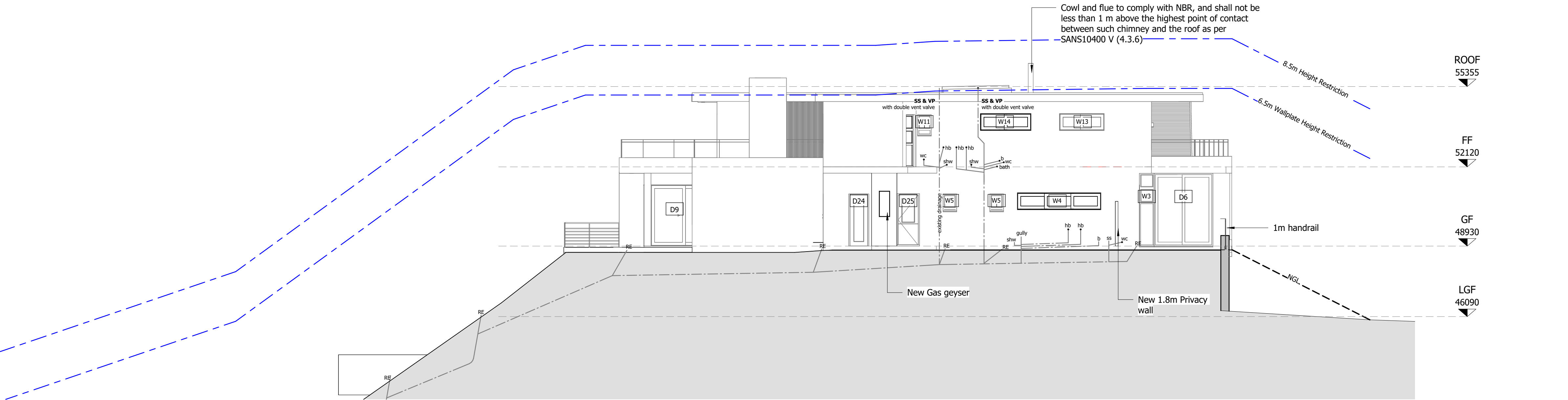




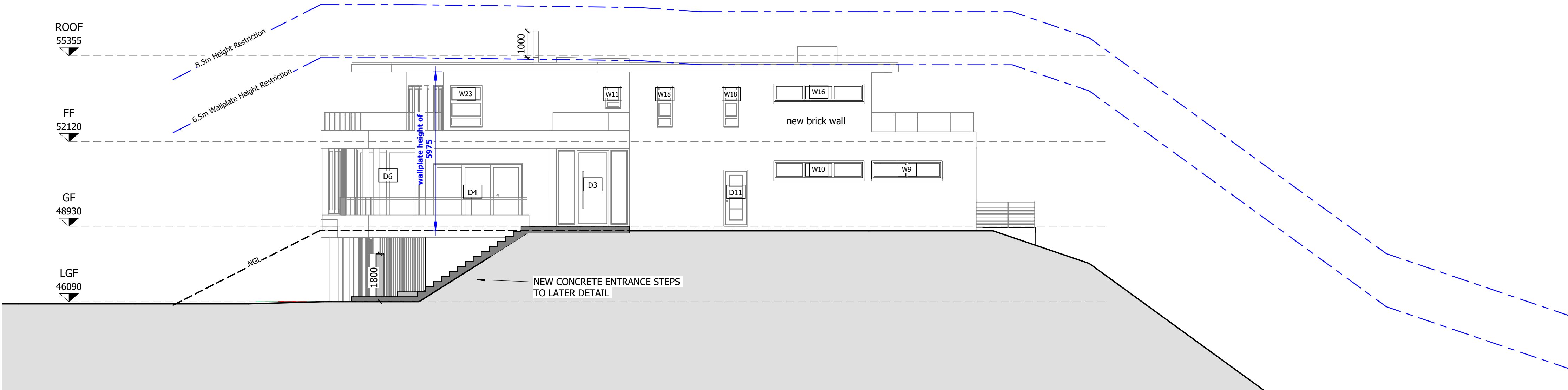
SOUTH ELEVATION  
1 : 100



NORTH ELEVATION  
1 : 100



WEST ELEVATION  
1 : 100



EAST ELEVATION  
1 : 100

GENERAL NOTES:

- FOUNDATIONS:** to comply with SANS 10400 - H
- All foundations to be constructed as per the Engineers drawings & specifications.
  - Foundation walls to be concrete filled to underside of 375 micron dpm in walls, to detail.
  - Allow an average depth of 1m below NGL. Contractor to allow for 3 DCP's across the site.
  - 10mm Jointex Between all walls and surfacebeds

- CONCRETE SURFACE BED:** to comply with SANS 10400 - J
- 70mm Thick (minimum 15mPa) concrete slab, a minimum of 170mm above ground level on gunplus usb 250 micron USB green waterproof sheeting sealed at laps with gunplus pressure sensitive tape laid continuous under surface beds as indicated on architects and engineers drawings. 25mm Thick river sand blinding layer on approved hardcore filling compacted to structural engineers specifications. Finish with 30mm cement / riversand (1:4) screed applied to a smooth and even finish to take floor finish.
  - Floor finish as noted on floorplan, on 40mm screed internal and 30mm screed external

- CONCRETE SLAB AND CONCRETE STRUCTURAL WORK:**
- To Engineer's specification and drawings

- BALUSTRADES:**
- Balustrades has to comply with SABS 10104, 1 meter high with openings not more than 100mm.

- CHIMNEY:**
- Chimney not less than 1 meter in height above junction to roof.
  - Chimneys to be stainless steel, where indicated, and factory painted, to match roof, doors and windows.
  - Installation to comply with NBR

- ROOF:** to comply with SANS 10400 - L
- Roof to be structural timber roofs and to be specified and inspected by Engineer at each stage.

- RAINWATER GOODS:** to comply with SANS 10400 - R
- Seamless aluminium -pre-painted charcoal colour - square profile gutters and downpipes within the roof structure as per detail.
  - refer to Roof and Drainage Plan.

- FASCIA BOARD**
- All Fascia Boards to be painted to match roof unless otherwise specified.

- STRUCTURAL TIMBER:**
- Unless otherwise stated, structural timber shall be of South African softwood (pine) complying with the requirements of SABS specification 563 and 1245

STATUS  
MUNICIPAL SUBMISSION

ARCHITECT  
Stewart Scott Architects (Pty) Ltd trading as:  
**SCOTT ARCHITECTS**  
professional architects  
REF no. of Practice: PS0628081157  
Unit 11, Palms Garden Square,  
1 Owen Grant St, Wilderness, 6560  
Tel: (+27)82 447 7228  
info@scottarchitects.co.za  
www.scottarchitects.co.za

CLIENT  
MARKUS PELLMANN

PROJECT  
ALTERATIONS TO EXISTING DWELLING

SITE  
ERF 859, 6TH AVENUE, WILDERNESS

DRAWING  
ELEVATIONS

SCALE (@ A1)  
1 : 100  
DRAWN  
G.SCOTT - P.AT 64685972

DATE  
27/05/2025 11:58:17  
CHECKED  
R.S.SCOTT - P.Arch 6469

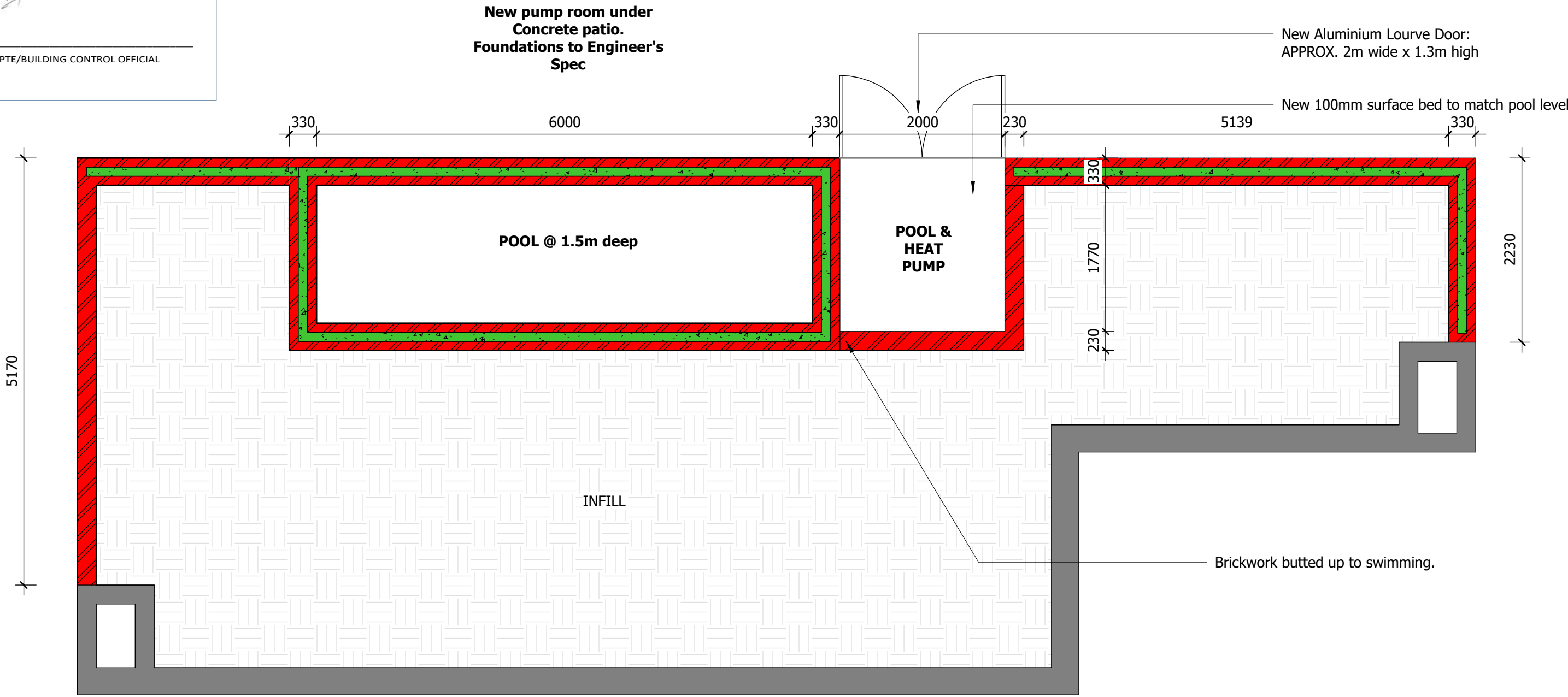
PROJECT NO.  
241  
DRAWING NO.  
W05  
REVISION

ARCHITECT SIGNATURE  
[Signature]

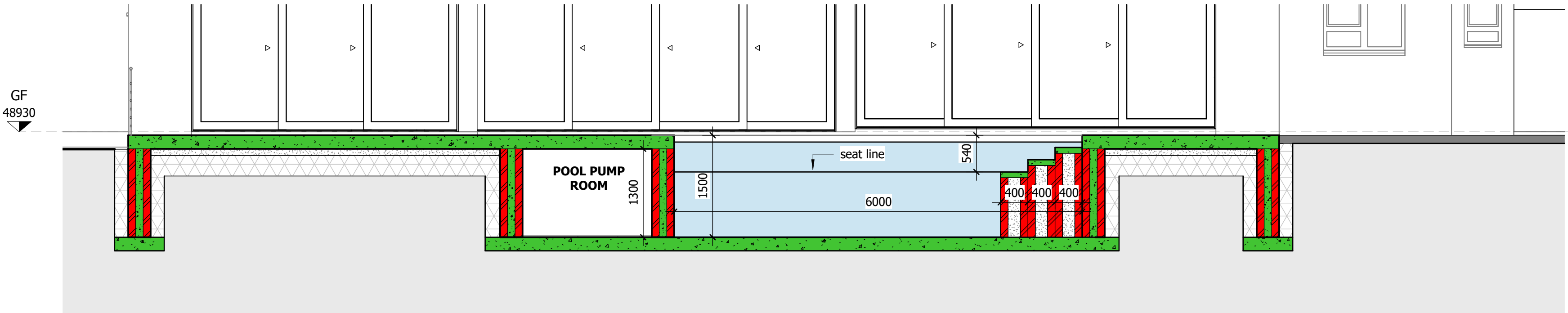
CLIENT SIGNATURE  
[Signature]

DATE:  
The design on this drawing remains the property of the designer - copyright reserved to Scott Architects. All dimensions to be checked on site before work commences. Any discrepancy must immediately be reported to the designer. This drawing is not to be scaled. All work to comply with the NBR, any relevant SABS code of practice and any local authority regulations. The contractor is to make themselves aware of these prior to commencement of work.

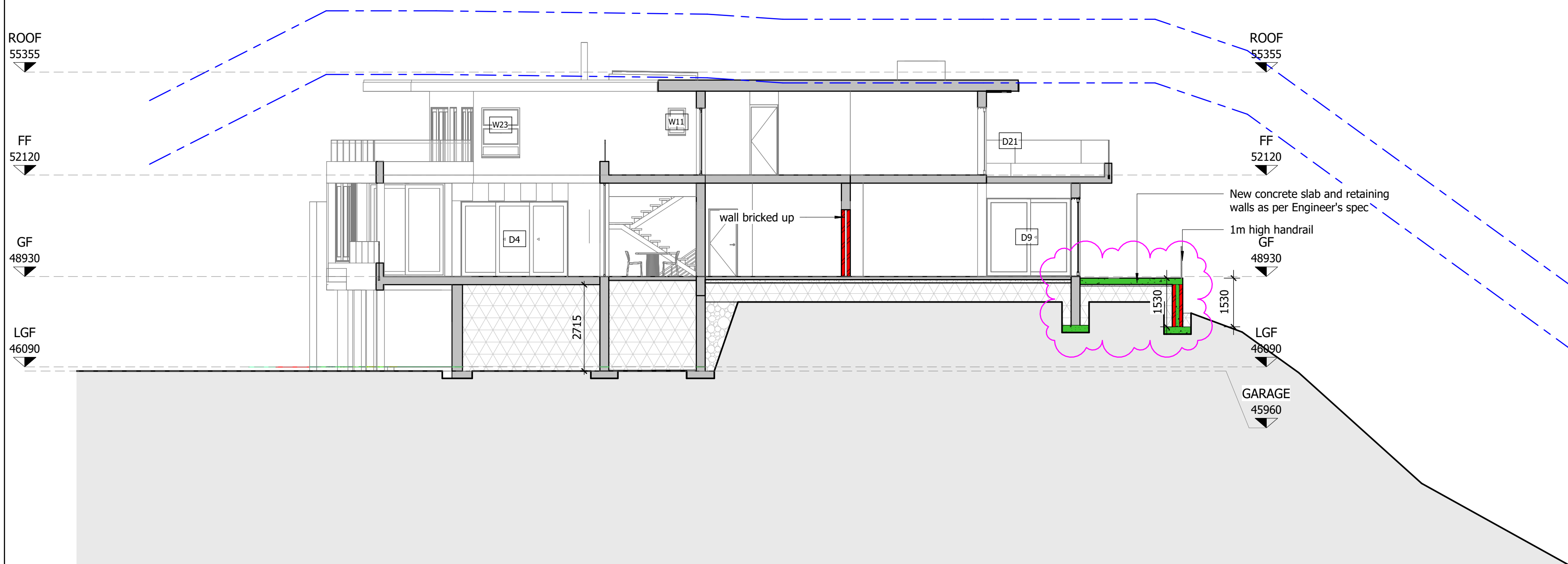




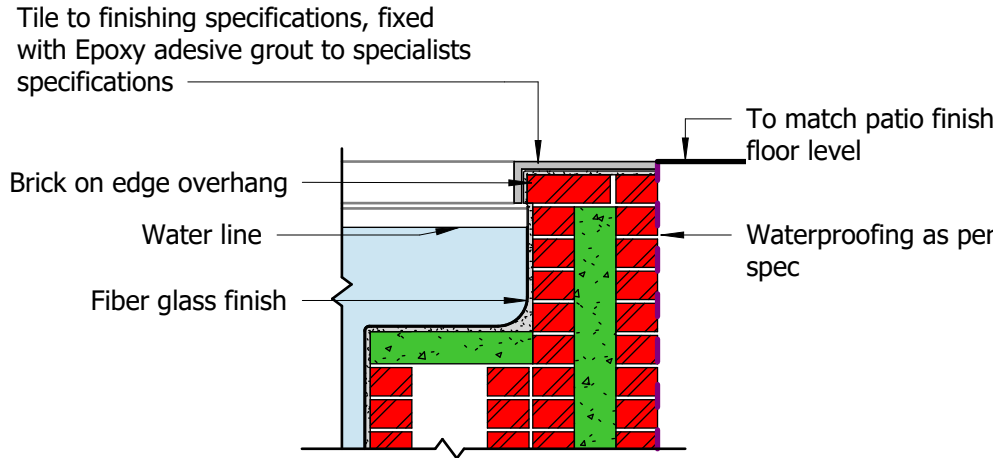
POOL PUMP ROOM  
1 : 50



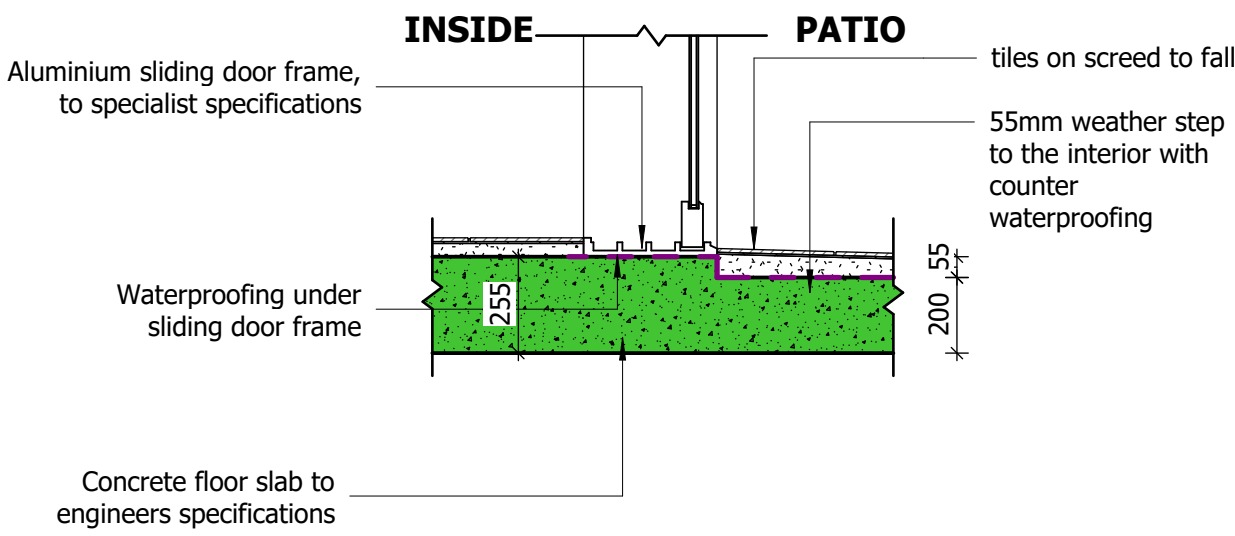
POOL SECTION  
1 : 50



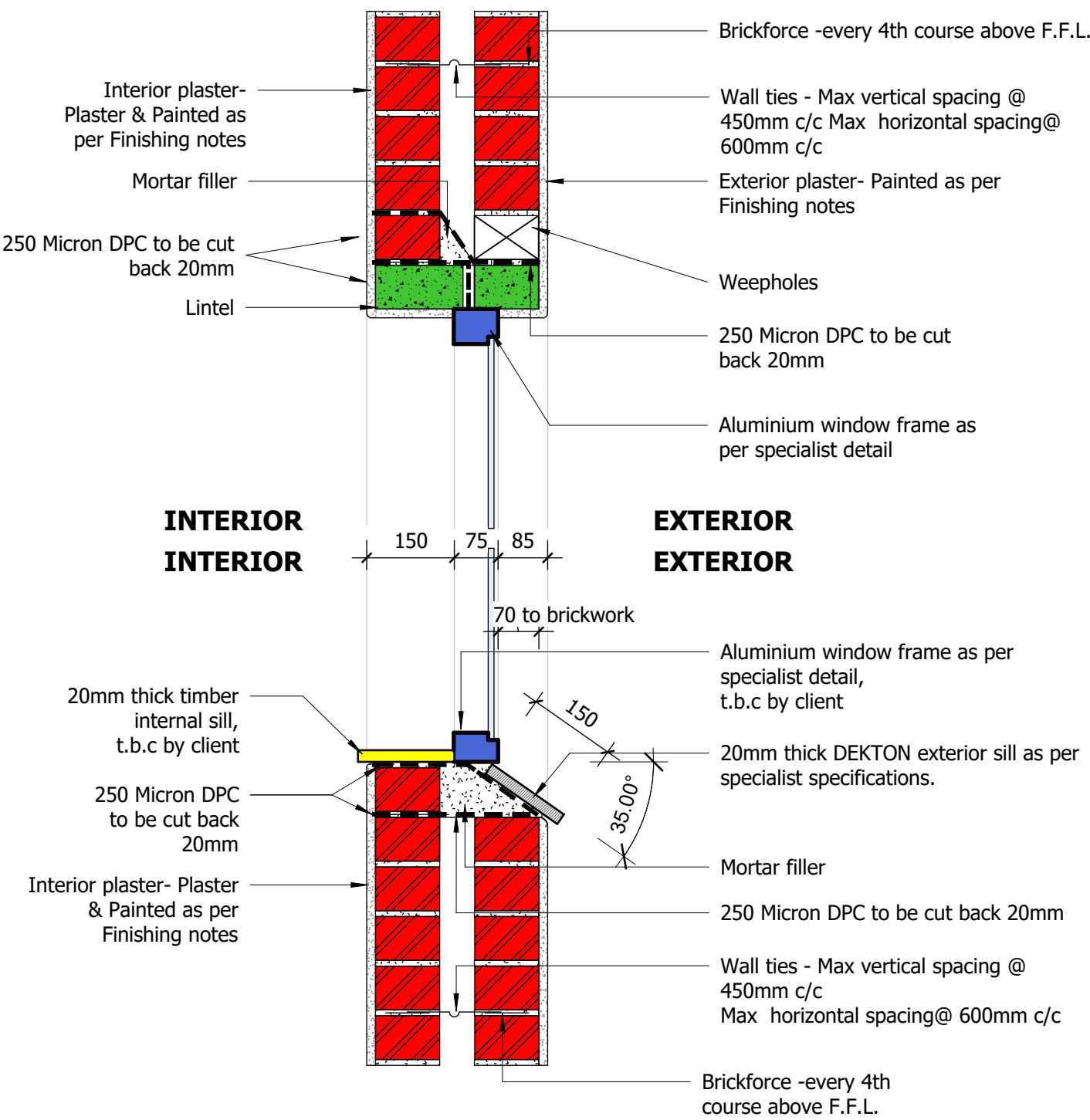
SECTION A  
1 : 100



POOL DETAIL  
1 : 20



DOOR WATERPROOFING  
1 : 20



SILL AND LINTEL DETAIL  
1 : 10

- EXCAVATION & FOUNDATION**
- Excavate to required depth for pool pump enclosure, ensuring stable ground conditions.
  - Ensure proper drainage around the enclosure to prevent water accumulation.
- FOUNDATIONS:** to comply with SANS 10400 - H
- All foundations to be constructed as per the Engineers drawings & specifications.
  - Foundation walls to be concrete filled to underside of 375 micron dpm in walls, to detail.
  - Allow an average depth of 1m below NGL. Contractor to allow for 3 DCP's across the site.
- CONCRETE SURFACE BED:** to comply with SANS 10400 - J
- 100mm Thick (minimum 15mPa) concrete slab, a minimum of 170mm above ground level on gunplus usb 250 micron USB green waterproof sheeting sealed at laps with gunplus pressure sensitive tape laid continuous under surface beds as indicated on architects and engineers drawings. 25mm Thick river sand blinding layer on approved hardcore filling compacted to structural engineers specifications. Finish with 30mm cement / riversand (1:4) screed applied to a smooth and even finish to take floor finish.
- 10mm Jointex Between all walls and surfacebeds.**
- WALLS:** to comply with SANS 10400 - K
- New walls pool Pump walls:** 230mm to be in line with existing retaining walls pool walls.
  - Joining to existing walls:** Use **Jointex expansion joint with hoop irons** (galvanized, minimum 600mm long at 400mm vertical centres) fixed into existing brickwork with epoxy anchors.
  - Provide adequate damp-proofing where walls meet the ground
  - Walls to be plastered and painted unless otherwise stated on the drawings.
- CONCRETE SLAB & LINTELS**
- Lintels:** Install **precast concrete lintels** above the pump enclosure opening, ensuring sufficient bearing length (min. 200mm on each side).
  - Slab:** Cast **reinforced concrete slab** over lintels, with reinforcing mesh as per structural engineer's specification.
  - Provide a smooth, weatherproof finish to the exposed top of the slab.
  - Screed to fall on new concrete patio
- POOL CONSTRUCTION**
- Pool to be constructed using reinforced concrete shell with brick support walls where required for edge or seating features.
  - Structural design of pool to be per engineer's drawings
  - Entire pool interior to be finished with a fiberglass lining system, as per specialist
  - Surface to be cleaned, ground, and primed before fiberglass application to ensure adhesion.
  - Fiberglass lining to include waterproof resin topcoat (gelcoat) and anti-slip treatment on steps.
  - Expansion and movement joints to be installed as per engineer's direction.
  - Plumbing for pool (inlets, outlets, skimmer box, pump line) to be pressure tested before backfilling.
  - Backfill with clean material and compact in layers around pool walls to prevent settlement.
- ACCESS & VENTILATION**
- New door into pump room to have louvers for adequate ventilation

STATUS		
MUNICIPAL SUBMISSION		
ARCHITECT		
Stewart Scott Architects (Pty) Ltd trading as: <b>SCOTT ARCHITECTS</b> professional architects REF no. of Practice: PS0628081157		
Unit 11, Palms Garden Square, 1 Owen Grant St, Wilderness, 6560 Tel: (+27)82 447 7228 info@scottarchitects.co.za www.scottarchitects.co.za		
CLIENT		
MARKUS PELLMANN		
PROJECT		
ALTERATIONS TO EXISTING DWELLING		
SITE		
ERF 859, 6TH AVENUE, WILDERNESS		
DRAWING		
POOL, SECTION & DETAILS		
SCALE (@ A1) As indicated		DRAWN G.SCOTT - P.AT 64685972
DATE 27/05/2025 11:58:21		CHECKED R.S.SCOTT - P.Arch 6469
PROJECT NO. 241	DRAWING NO. W06	REVISION A
ARCHITECT SIGNATURE		
CLIENT SIGNATURE		
DATE:		
The design on this drawing remains the property of the designer - copyright reserved to Scott Architects. All dimensions to be checked on site before work commences. Any discrepancy must immediately be reported to the designer. This drawing is not to be scaled. All work to comply with the NBR, any relevant SABS code of practice and any local authority regulations. The contractor is to make themselves aware of these prior to commencement of work.		



DOOR SCHEDULE - scale 1:100

Purpose made doors with standard ironmongery.

D1 X 1 - SOLID TIMBER DOOR WITH 1 HOUR FIRE RATING, NO SILL	D2 X 2 - SOLID TIMBER DOOR WITH 1 HOUR FIRE RATING, NO SILL	D3 X 1 - SOLID FRONT DOOR WITH SIDE LIGHTS, WITH SILL	D4 X 1 - 3 PANEL, ONE DIRECTION ALUMINIUM SLIDING DOOR, WITH SILL	D5 X 1 - 3 PANEL, ONE DIRECTION ALUMINIUM SLIDING DOOR, WITH SILL	D6 X 2 - 2 PANEL, ONE DIRECTION ALUM. SLIDING DOOR, WITH SILL	D7 X 1 - TWO WAY SLIDING ALUM. DOOR, WITH SILL	D8 X 1 - TWO WAY SLIDING ALUM. DOOR, WITH SILL
D9 X 1 - 2 PANEL, ONE DIRECTION ALUM. SLIDING DOOR, WITH SILL	D10 X 1 - 3 PANEL SLIDING ALUM. DOOR, WITH SILL	D11 X 1 - ALUM. GLASS PANEL DOOR, WITH SILL	D12 X 4 - HOLLOW CORE TIMBER DOOR, NO SILL	D13 X 11 - HOLLOW CORE TIMBER DOOR, NO SILL	D14 X 1 - ALUM. SINGLE LEAF POCKET SLIDER, NO SILL	D15 X 1 - 2 PANEL, ONE DIRECTION ALUM. SLIDING DOOR, NO SILL	D16 X 1 - 4 PANEL, TWO DIRECTION ALUM. SLIDING DOOR, WITH SILL
D17 X 1 - 2 PANEL, ONE DIRECTION ALUM. SLIDING DOOR, WITH SILL	D18 X 1 - 4 PANEL, TWO DIRECTION ALUM. SLIDING DOOR, WITH SILL	D19 X 2 - 2 PANEL, ONE DIRECTION ALUM. SLIDING DOOR, WITH SILL	D20 X 1 - 3 PANEL SLIDING ALUM. DOOR, WITH SILL	D21 X 1 - 3 PANEL SLIDING ALUM. DOOR, NO SILL	D22 X 4 - HOLLOW CORE TIMBER DOOR, NO SILL	G1 X 1 - ROLL UP GARAGE DOOR	D23 X 1 - ALUMIMIUM GLASS DOOR. WITH SILL
D24 X 1 - ALUMIMIUM GLASS DOOR, FROSTED GLASS. WITH SILL	D25 X 1 - ALUMIMIUM BARN STYLE DOOR WITH GLASS PANEL & SILL						

WINDOW SCHEDULE - scale 1:100

Purpose made windows with standard ironmongery.

W1 X 1 - FIXED GLASS PANEL WINDOW	W2 X 1 - BI PARTING SLIDING WINDOW WITH FIXED BOTTOM PANELS	W3 X 1 - TOP HUNG WINDOW	W4 X 1 - SLIDER ( TWO WAY)	W5 X 2 - TOP HUNG WINDOW	W6 X 1 - REPLACEMENT OF EXISTING WINDOW	W7 X 1 - HORIZONTAL POCKET SLIDING WINDOW	W8 X 1 - HORIZONTAL POCKET SLIDING WINDOW	W9 X 1 - SLIDER (2 WAY)
W10 X 1 - SLIDER (TO WAY)	W11 X 4 - REPLACEMENT OF EXISTING WINDOWS	W12 X 1 - REPLACEMENT OF EXISTING WINDOW	W13 X 1 - SLIDER	W14 X 1 - SLIDER	W15 X 1 - SLIDER	W16 X 1 - SLIDER	W17 X 1 - SLIDING WINDOW	W18 X 2 - REPLACING EXISTING WINDOWS
W20 X 1 - REPLACING EXISTING WINDOW	W21 X 1 - ALUMINIUM CASEMENT WINDOW	W22 X 1 - ALUMINIUM CASEMENT WINDOW	W23 X 1 - ALUMINIUM CASEMENT WINDOW					

WINDOW LEGEND

1 : 100

- GLAZING** to comply with SANS 10400 - N
- Glazing shall be executed in strict conformance with Glass Manufacturers recommendations and in accordance with all SANS 10400 & SANS 204 regulations that is applicable to Glazing & Fenestration.
  - Must be able to withstand wind loads in accordance with SANS 10400-B and shall not deflect more than 1/175 of their span
  - Glass panes in partitions within 2100mm above floor level shall be minimum thickness of 6mm safety glazing.
  - The panes of all safety glazing shall be permanently marked by the installer in such a manner that the marking are visible in each individual frame after installation
  - Safety glazing that complies with SANS 1263-1 shall be used

**WINDOW & DOOR NOTE:**

- All openings larger than 1,5m to be as per engineers specifications
- All measurements must be verified on site before any construction of any kind commences.
- Please note all gates to be lockable
- If anything is not clear or if there are any discrepancies on the plan or schedules the contractor must get clarification from the architect before the manufacturing of any component.
- All glazing products must comply with the Performance Test Criteria as per SANS 613
- All gates design per final approval by Client**
- IRONMONGERY as per schedule**

STATUS

MUNICIPAL SUBMISSION

ARCHITECT

Stewart Scott Architects (Pty) Ltd trading as:  
**SCOTT ARCHITECTS**  
professional architects  
REF no. of Practice: PS0628081157  
  
Unit 11, Palms Garden Square,  
1 Owen Grant St, Wilderness, 6560  
Tel: (+27)82 447 7228  
info@scottarchitects.co.za  
www.scottarchitects.co.za

CLIENT

MARKUS PELLMANN

PROJECT

ALTERATIONS TO EXISTING DWELLING

SITE

ERF 859, 6TH AVENUE, WILDERNESS

DRAWING

DOOR & WINDOW SCHEDULE

SCALE (@ A1)  
1 : 100

DRAWN  
G.SCOTT - P.AT 64685972

DATE  
27/05/2025 11:58:22

CHECKED  
R.S.SCOTT - P.Arch 6469

PROJECT NO.  
241

DRAWING NO.  
W07

REVISION

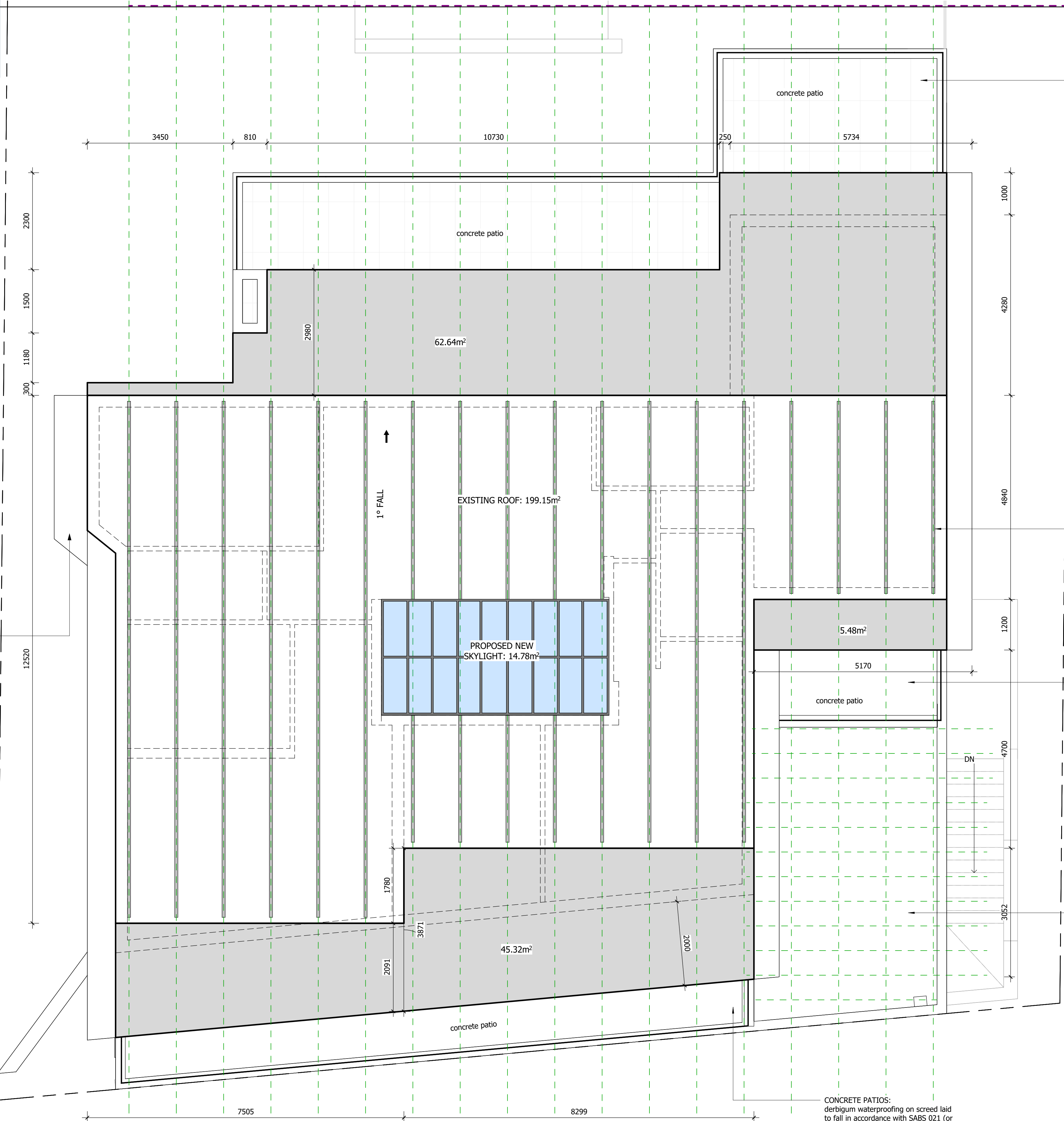
ARCHITECT SIGNATURE

CLIENT SIGNATURE

DATE:

The design on this drawing remains the property of the designer - copyright reserved to Scott Architects. All dimensions to be checked on site before work commences. Any discrepancy must immediately be reported to the designer. This drawing is not to be scaled. All work to comply with the NBR, any relevant SABS code of practice and any local authority regulations. The contractor is to make themselves aware of these prior to commencement of work.

27/05/2025 11:58:22



ROOF PLAN  
1 : 50

- GENERAL NOTES:**
- ROOF:** to comply with SANS 10400 - L
    - Roof to be structural timber roofs and to be specified and inspected by Engineer at each stage.
  - STRUCTURAL TIMBER:** to be confirmed by Engineer
    - Unless otherwise stated, structural timber shall be of South African softwood (pine) complying with the requirements of SABS specification 563 and 1245
    - All timber must be treated according to SANS 10005 for resistance against termites and decay.
  - TIMBER SIZES:**
    - Rafters: Minimum size as specified in the structural drawings.
    - Purlins: Spacing and size to be as per engineer's specifications, but typically 76mm x 50mm.
    - Timber Connections: All connections to be made using galvanized steel nails, bolts, or screws according to SANS 10163-2. Ensure all joints are properly secured.
  - ROOF SHEETING**
    - Kliplok Sheeting: Install Kliplok sheeting according to the manufacturer's instructions. Sheets to be fixed with the recommended clips and fasteners.
    - Sheet Overlap: Ensure a minimum overlap of 150mm for all sheeting.
    - Fixing: Use stainless steel or zinc-aluminum coated self-drilling screws. Fixing pattern and spacing to comply with manufacturer's recommendations and SANS 10400-L.
  - ROOF PITCH**
    - Minimum Pitch: Kliplok sheeting to be installed at a minimum roof pitch for proper water drainage as per SANS 10400-K.
  - INSULATION**
    - Thermal Insulation: Install thermal insulation in the roof cavity to comply with SANS 10400-XA for energy efficiency.
  - FLASHING AND WATERPROOFING**
    - Flashings: Install flashings at all roof junctions, penetrations, and edges to prevent water ingress. Flashings to comply with SANS 10400-L.
    - Waterproofing: Use a suitable waterproof membrane under the sheeting where required.
  - FASCIA BOARD**
    - All Fascia Boards to be painted to match roof unless otherwise specified.
  - STORMWATER MANAGEMENT**
    - RAINWATER GOODS: to comply with SANS 10400 - R
    - Gutters and Downpipes: Install gutters and downpipes to direct stormwater away from the building. Size and design to comply with SANS 10400-R.
    - Rainwater Disposal: Ensure proper disposal of rainwater in accordance with SANS 10400-R to prevent soil erosion and foundation damage.
  - FIRE SAFETY**
    - Fire Resistance: Ensure that the roof assembly complies with the fire resistance requirements of SANS 10400-T.
  - CHIMNEY:**
    - Chimney not less than 1 meter in height above Junction to roof.
    - Chimneys to be stainless steel, where indicated, and factory painted, to match roof, doors and windows.
    - Installation to comply with NBR
  - INSPECTION**
    - Schedule regular inspections by the structural engineer at key stages of the construction to ensure compliance with the design and standards.

STATUS

MUNICIPAL SUBMISSION

ARCHITECT

Stewart Scott Architects (Pty) Ltd trading as:  
**SCOTT ARCHITECTS**  
professional architects  
REF no. of Practice: PS0628081157

Unit 11, Palms Garden Square,  
1 Owen Grant St, Wilderness, 6560  
Tel: (+27)82 447 7228  
info@scottarchitects.co.za  
www.scottarchitects.co.za

CLIENT

MARKUS PELLMANN

PROJECT

ALTERATIONS TO EXISTING DWELLING

SITE

ERF 859, 6TH AVENUE, WILDERNESS

DRAWING

ROOF PLAN

SCALE (@ A1)  
1 : 50

DRAWN  
G.SCOTT - P.AT 64685972

DATE  
27/05/2025 11:58:24

CHECKED  
R.S.SCOTT - P.Arch 6469

PROJECT NO.  
241

DRAWING NO.  
W08

REVISION

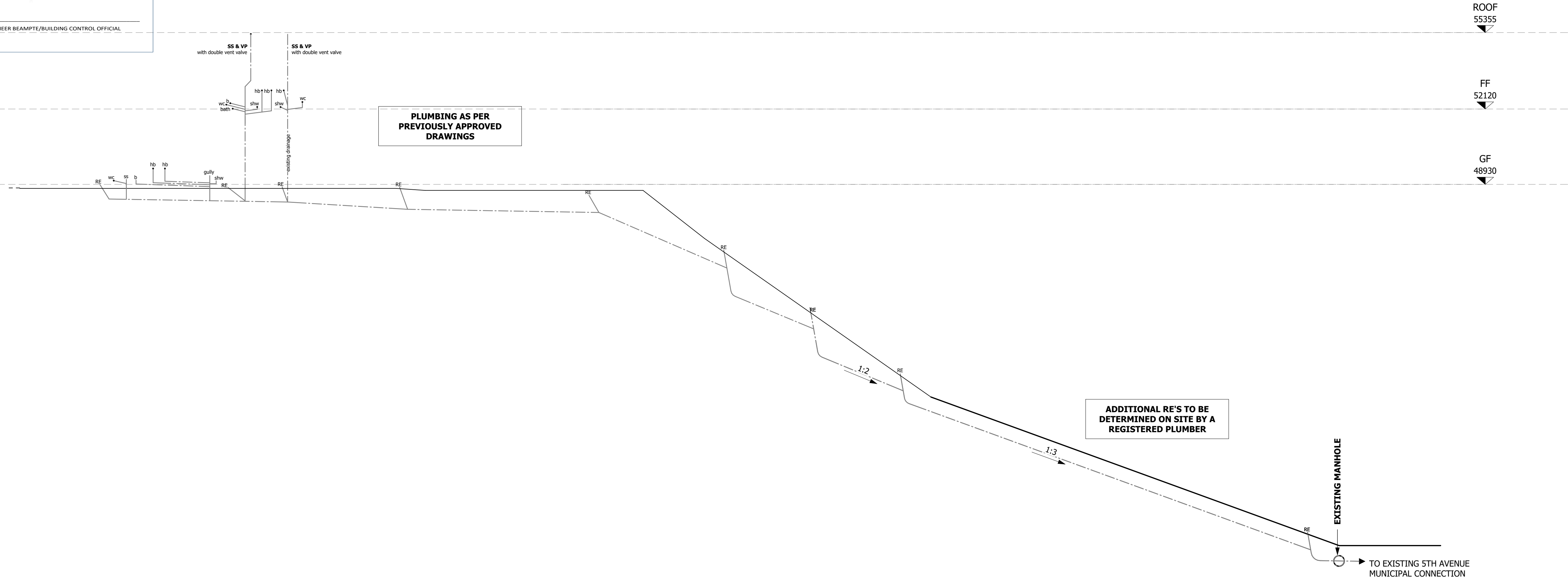
ARCHITECT SIGNATURE

CLIENT SIGNATURE

DATE:

The design on this drawing remains the property of the designer - copyright reserved to Scott Architects. All dimensions to be checked on site before work commences. Any discrepancy must immediately be reported to the designer. This drawing is not to be scaled. All work to comply with the NBR, any relevant SABS code of practice and any local authority regulations. The contractor is to make themselves aware of these prior to commencement of work.

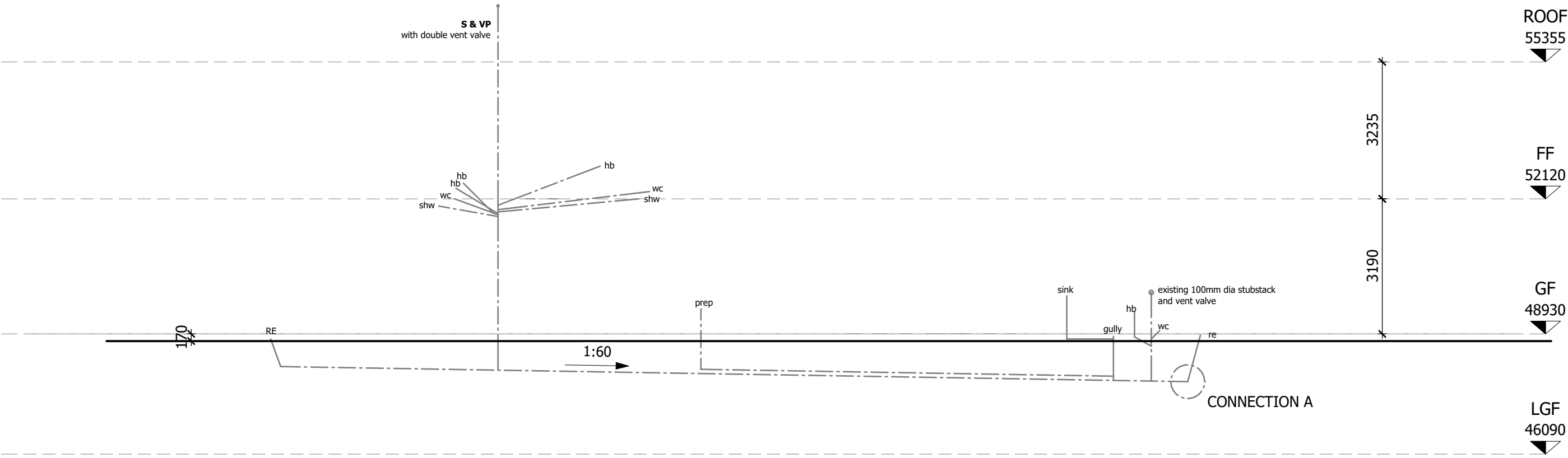




NAME	RE / SS	STUB STACK	STUB STACK SS & VP / RE	RE	RE	RE	RE	RE	RE	EXISTING MANHOLE
COVER LEVEL	48760	48760	48760	48760	48316	46082	43511	40811		34078
TRENCH DEPTH	450	521	527	576	850	517	590	592	560	593
INVERT LEVEL	48310	48239	48233	48184	47910	47799	45492	42919	40251	33485

DRAINAGE 01

1 : 100



NAME	RE	SS & VP / RE	GULLY	STUB STACK	SS & VP / RE
COVER LEVEL	48760	48760	48760	48760	48760
TRENCH DEPTH	600	687	929	944	850
INVERT LEVEL	48160	48073	47831	47816	47910

DRAINAGE 02

1 : 100

- PLUMBING AND DRAINAGE NOTES:** to comply with SANS 10400 Part P.
- All Soil Waste pipes to be 110Ø uPVC pipe.
  - All waste pipes to be 50Ø uPVC pipe, to be connected to main sewer line.
  - Municipal Connection and Main to be 25mm tee of to 22mm and reduced to 15mm just before Fixtures.
  - All waste pipes to be accessible over their entire length.
  - Drainage installations under building work must be protected and comply in terms of Part P of SANS 10400 (4.22.2).
  - All soil pipes under building or footings to be encased in concrete of min. 300mm thickness all around pipe.
  - Drainage installations under building work must be installed in terms of Part P of SANS 10400 (4.19.4)
  - Drainage installations under building work must be protected in terms of Part P of SANS 10400 (4.22.2)
  - Waste pipes under floors to be sleeved.
  - No drainage bends or junctions in or under floor.
  - All plumbing to be built into walls where exposed, and concealed with removable 10x150 mm Classic (plain) Nutec building planks to be fixed as per product specifications (with 20mm gap between planks), painted to match wall colour.
  - Discharge pipes located within a building to be enclosed within a duct and to be of a shape and size readily accessed for cleaning in terms of SANS 10400 Part P, 4.18.2.
  - I.E.'s (inspection eyes) at all bends and junctions of drains, with marked covers at ground level. Provide I.E.'s at each end of encased drain where same passes underneath the building as nearest possible foundations.
  - Provide R.E.'s at a max of 20m apart.
  - Pre-sealing traps to all waste water fittings (two pipe system).
  - Waste pipes on single pipe system will be fitted with 65mm deep seal traps and each fitting will be anti-siphoned
  - Gully shall be fitted with a removable grating and be connected to a suitable grease, petrol or oil interceptor (or a combination of two or more of these) in accordance with the requirements of SANS 50858-1 or SANS 10252-2
  - Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.21).
  - All stack pipes and Vent pipes to be adequately accessible
  - All toilets to have internal Stop-taps.
  - The Hot Water Circulating Ring must be installed such that no air traps are created in accordance with SANS 10252:1(6.7.2)
  - All exposed Hot Water Piping must be adequately lagged.
  - Installation to be done in accordance with the requirements of the local authority and SANS 10252:1 (Water Installation for Buildings), SANS 10400(National Building Regulations) and SANS 10254:2012(were Hot Water Cylinders are required). SANS XA 204 shall also apply.
  - Width of trench to be wide enough for workman to work in comfortably. Continuous bedding to be selected granular, non cohesive material and compacted to a depth of min. 100 mm. The pipe must be back filled immediately after laying, leaving joints exposed for testing.

STATUS

MUNICIPAL SUBMISSION

ARCHITECT

Stewart Scott Architects (Pty) Ltd trading as:

SCOTT ARCHITECTS

professional architects

REF no. of Practice: PS0628081157

Unit 11, Palms Garden Square,  
1 Owen Grant St, Wilderness, 6560  
Tel: (+27)82 447 7228  
info@scottarchitects.co.za  
www.scottarchitects.co.za

CLIENT

MARKUS PELLMANN

PROJECT


ALTERATIONS TO EXISTING DWELLING

SITE

ERF 859, 6TH AVENUE, WILDERNESS

DRAWING

DRAINAGE SECTION

SCALE (@ A1) 1 : 100		DRAWN G.SCOTT - P.AT 64685972	
DATE 27/05/2025 11:58:24		CHECKED R.S.SCOTT - P.Arch 6469	
PROJECT NO. 241	DRAWING NO. W09	REVISION	
ARCHITECT SIGNATURE 			
CLIENT SIGNATURE			

The design on this drawing remains the property of the designer - copyright reserved to Scott Architects. All dimensions to be checked on site before work commences. Any discrepancy must immediately be reported to the designer. This drawing is not to be scaled. All work to comply with the NBR, any relevant SABS code of practice and any local authority regulations. The contractor is to make themselves aware of these prior to commencement of work.

- NOTE:
- All materials used shall be SABS and be installed in accordance with the manufacturers specification. Design based on minimum sustainable supply pressure of 5.0 bar. Pressure must be checked by the plumber prior to commencement of work. Work to be carried out by a an approved Licensed Plumbing Contractor that is Licenses and Registered with the P.I.R.B. Certificate of Compliance and to be signed by same on completion of work.
- BUILDING INSPECTOR TO SIGN OFF DRAINAGE INSTALLATION BEFORE CLOSING UP.**
- MANHOLE**
- Manhole provided for access to a drainage installation have a removable cover and be so designed and constructed that it will sustain any normal load which might be imposed upon it and exclude the ingress or egress of water, be of such size and shape as to permit ready access to the installation for the purposes of inspecting, testing or cleaning.
  - Manhole shall have a minimum plan dimension of not less than 450mm



## BUILDING APPLICATION APPROVAL

ERF: 859 PLAN NO: 816/25 STREET: 6th Avenue

*Your building plan was approved on 2025-08-24, in accordance with Section 7(1)(a) and (b) of the National Building Regulations & Building Standards Act, 1977 (Act 103/1977) and any other applicable legislation subject to the following conditions:*

The following relevant requirements has been scrutinized and or approved	
COMMENTS FROM INTERNAL DEPARTMENTS	
Fire Protection Services	
Health Services	
Town Planning (title conditions)	12/06/2025 - RJVR  Plan is in Order.
Civil and Technical Services Sewer	
Capital Contributions	<ul style="list-style-type: none"><li>• Development charges(CES): In order (Existing res. property) (28/05/2025)</li><li>• Stormwater (CES): The owner must take note that according to the National Building Regulations Part R and SANS 10400 Part F4(2), and the applicable clauses in the George Municipality's By-Law, the owner may not change/amend or cause surface runoff on the erf to collect/pond/discharge, and which may potentially cause damage to or unduly inconvenience a neighbouring property. Specific reference is made to the George Municipality By-Law Relating to Stormwater, clauses 26.2 and 32 to 35 relating to stormwater between two adjoining properties. (28/05/2025)</li><li>• Back wash water (CES) The developer or property owner is required to manage the discharge of swimming pool backwash in accordance with relevant municipal bylaws. (28/05/2025)</li></ul>
Facilities for Disable Persons	
Environment Aspects (Trees)	



<b>Aesthetics Committee</b>	
<b>Heritage Western Cape</b>	
<b>Building Control</b>	
<b>Final Outcome (conditions of approval)</b>	<p>Terrace/Patio to remain open as per building plan.</p> <p>Balcony to remain open as per building plan.</p> <p>Pool backwash to comply with part P section 4.10.2.</p> <p>Pool backwash to comply with the GM water and sanitation bylaw section 100(4)(b) and (c).</p> <p>Drainage installation to comply with SANS 10400 Part P.</p> <p>Existing drainage and sanitary fitting installation to be as per previously approved building plans.</p> <p>No structure or any portion thereof to encroach the property boundary.</p> <p>Rainwater goods to be inside property.</p> <p>Rainwater not to discharge onto neighboring property.</p>

THE APPROVAL HEREBY GRANTED EXPIRES AFTER 12 MONTHS OF DATE OF APPROVAL UNLESS ERECTION OF THE BUILDING IS COMMENCED WITHIN THE SAID PERIOD, OR UNLESS THE SAID PERIOD IS EXTENDED AT THE REQUEST IN WRITING OF THE APPLICANT AND THROUGH A WRITTEN APPROVAL BY THE MUNICIPALITY.

SWIMMING POOL ACCESS AND SAFETY TO COMPLY WITH PART DD4 OF THE NATIONAL BUILDING REGULATIONS.

ANY TIMBER STRUCTURE IS TO BE ERECTED IN ACCORDANCE WITH SABS 082 (CODE OF PRACTICE).

NO PERSON SHALL REMOVE OR PRUNE ANY TREE WITHIN A MUNICIPAL ROAD RESERVE WITHOUT THE PRIOR PERMISSION, IN WRITING BEING OBTAINED FROM THE MUNICIPALITY.



.....  
**MOGAMAT FICKERIE TOYER**  
**MANAGER: BUILDING CONTROL**

**2025-08-25**

.....



## DIRECTORATE PLANNING AND DEVELOPMENT

Ref No: 13987

Plan No: 816/25

Collab No: 3884726

### OCCUPATION CERTIFICATE

This is to certify that the building/s described below has/have been properly completed in accordance with the approved plans.

Owner: Markus Pellmann

Erf: 859

Street: 6th Avenue

Building: Additions to existing house.

Suburb: WILDERNESS

Square Meters: 15

Allotment Area: WILDERNESS

Estimated Building Value: R 95000

Date: 2025-10-23

Second Dwelling: No

Number of Units: 1

New Toilets: 0

Existing Toilets: 8

Urinals: 0

Toilets removed: 0

Comments:

Reffer to plan No: 79/24

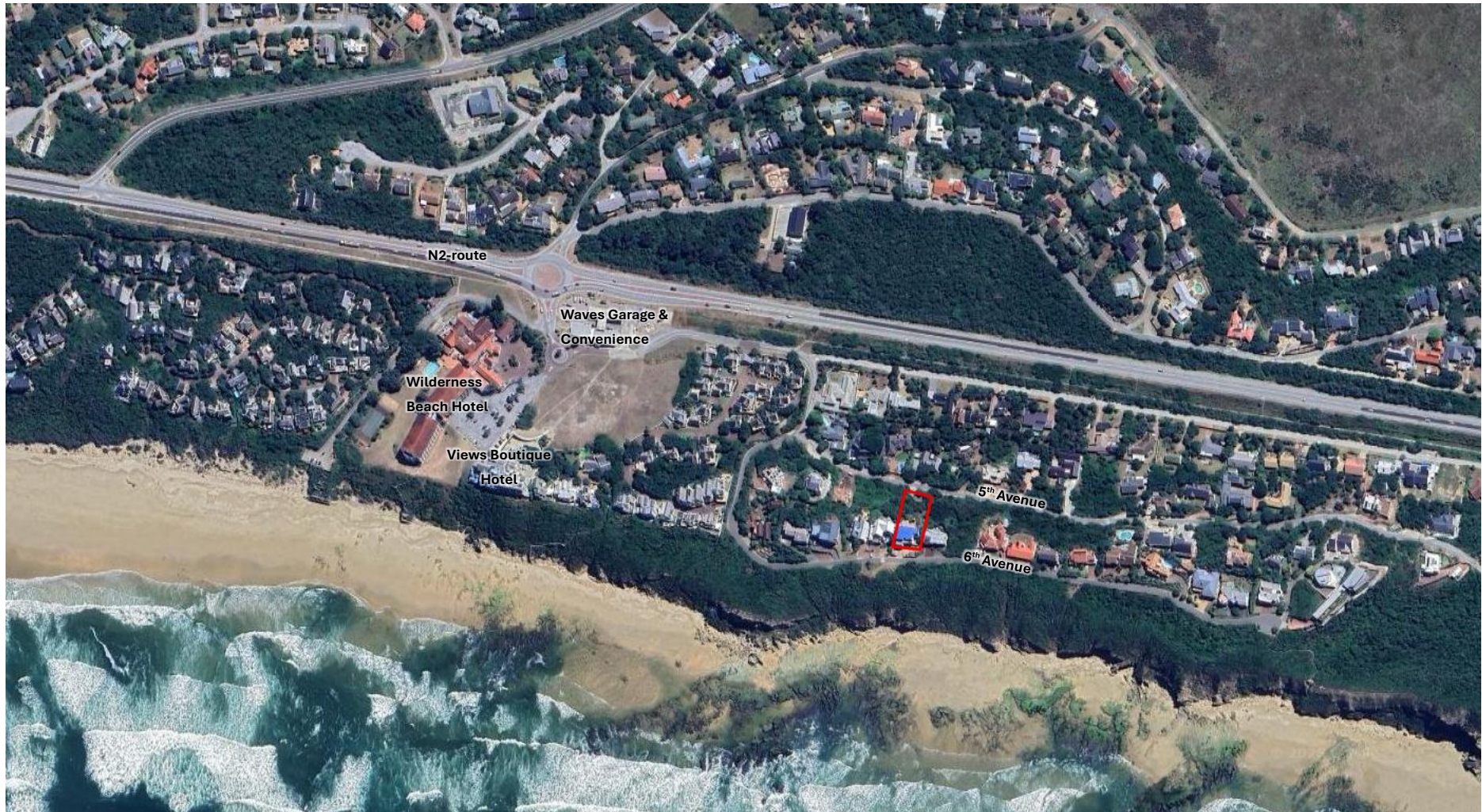


MANAGER BUILDING CONTROL/ BESTUURDER BOUBEHEER: M F TOYER

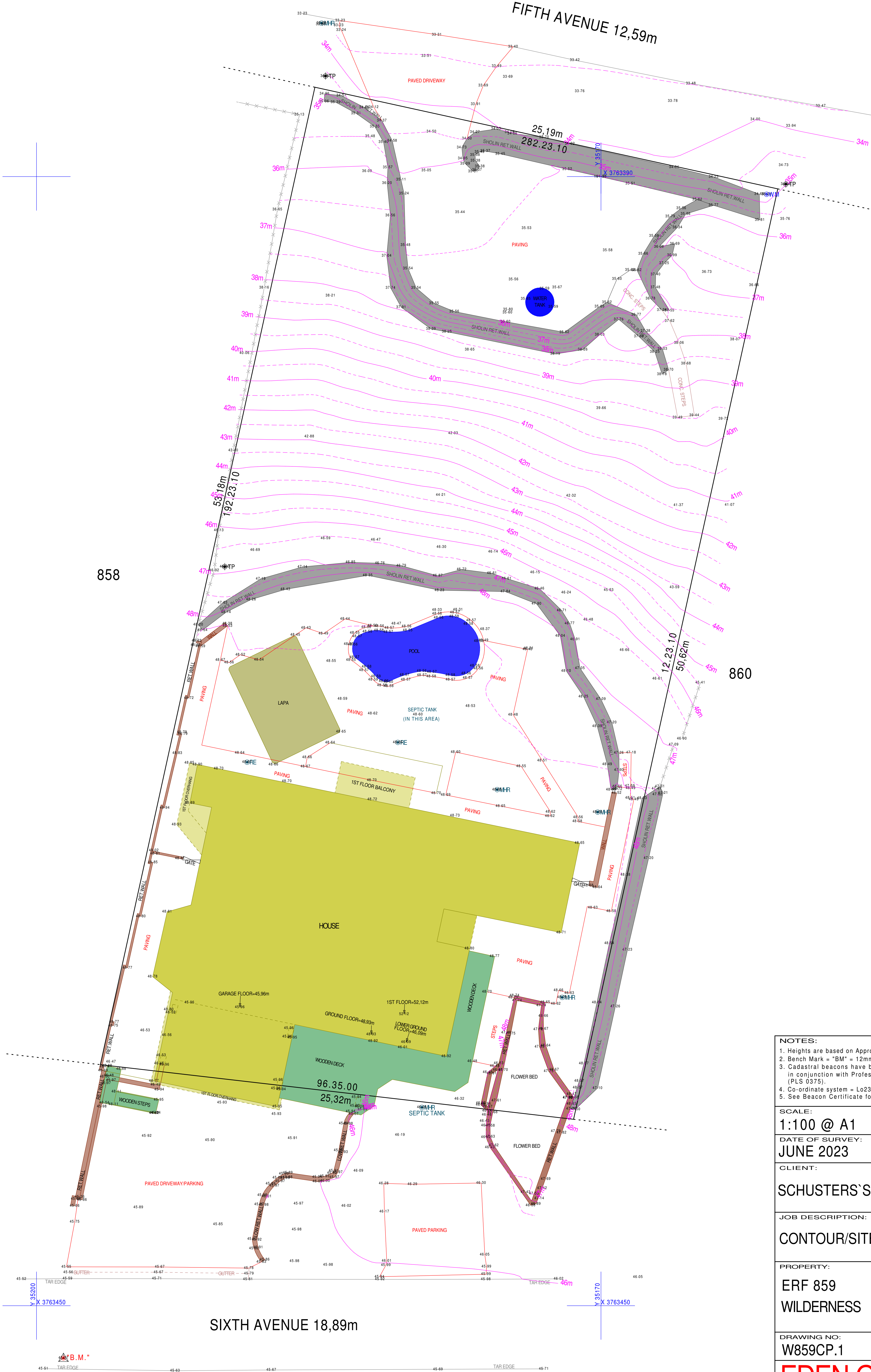
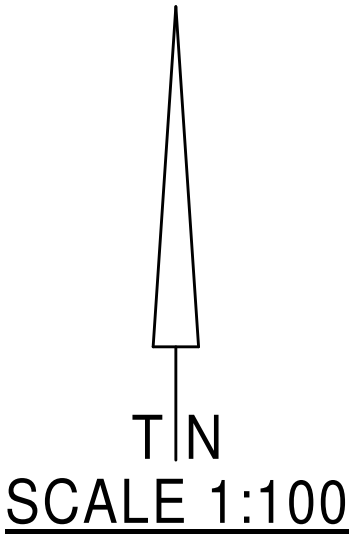


## ERF 859 WILDERNESS

## LOCALITY PLAN





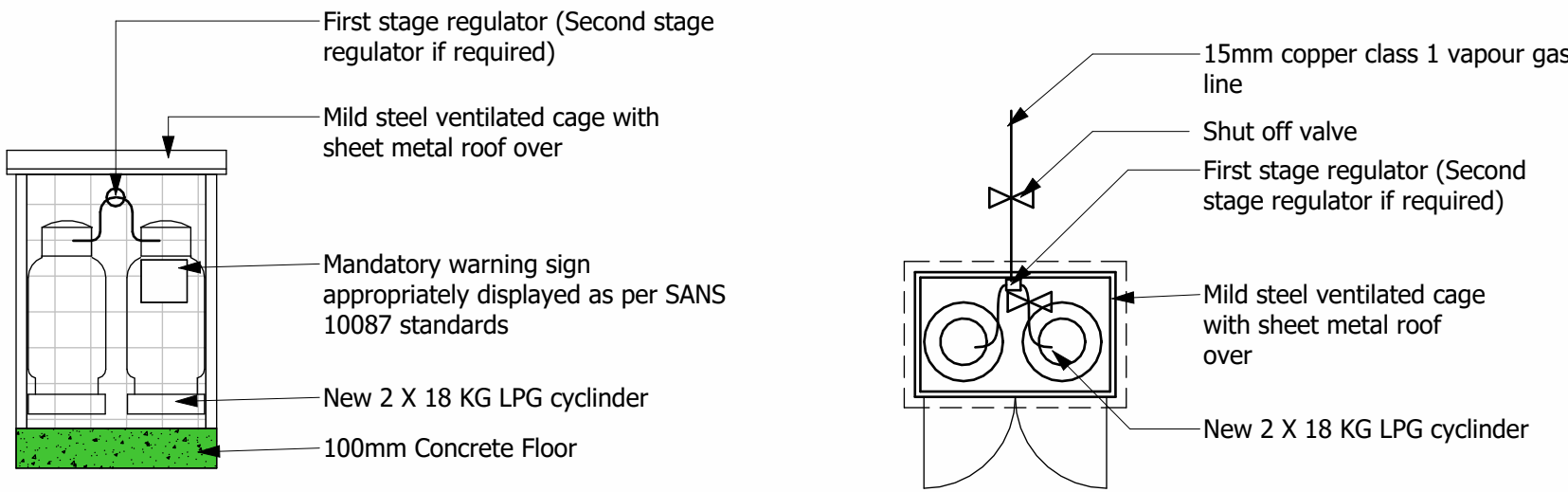


<b>NOTES:</b> 1. Heights are based on Approximate Mean Sea Level. 2. Bench Mark = "BM" = 12mm iron peg in tar = 45.57m. 3. Cadastral beacons have been verified in the field by survey in conjunction with Professional Land Surveyor J.K.Maree (PLS 0375). 4. Co-ordinate system = Lo23. 5. See Beacon Certificate for beacon descriptions.	
<b>SCALE:</b> 1:100 @ A1	
<b>DATE OF SURVEY:</b> JUNE 2023	
<b>CLIENT:</b> SCHUSTERS'S RIVER TRUST	
<b>JOB DESCRIPTION:</b> CONTOUR/SITE PLAN	
<b>PROPERTY:</b> ERF 859 WILDERNESS	
<b>DRAWING NO:</b> W859CP.1	
<b>EDEN GEOMATICS</b> Topographical & Engineering Surveyors P.O.Box 346 Knysna 6570 Andre Genade 072 993 8665 andre@edengeomatics.co.za Nick Foster 071 621 2409 nick@edengeomatics.co.za	

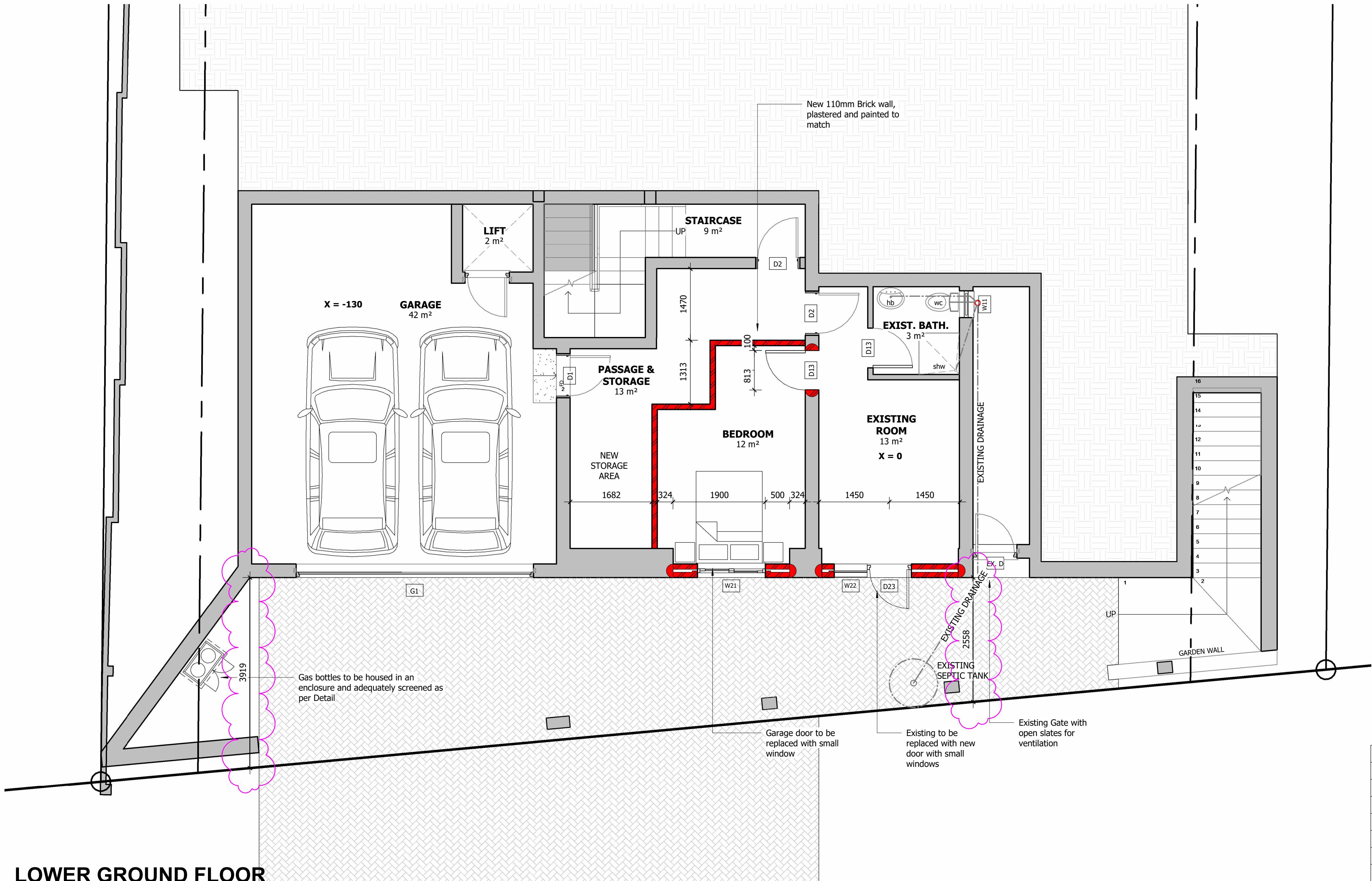








GAS BOTTLE ENCLOSURE DETAIL



LOWER GROUND FLOOR

1 : 50

WALLS to comply with SANS 10400 - K

- Joining to existing walls: Use Jointex expansion joint with hoop irons (galvanized, minimum 600mm long at 400mm vertical centres) fixed into existing brickwork with epoxy anchors.
- Provide adequate damp-proofing where walls meet the ground
- Cavity walls shall be kept free of all rubbish, mortar droppings and projecting mortar.
- The tops of the walls covered with planks or sacking during wet weather to prevent rain entering the cavities in construction.
- External cavity walls are to be provided with galvanized wire wall ties at every third course for 230 mm brick force galvanized ties used every third course.
- Weep Holes to be evenly spaced.
- Walls to be plastered and painted unless otherwise stated on the drawings.

GAS NOTES:

- No drains to be installed 2m from gas installation.
- No electrical equipment within 5m from gas installation gas and pipe line to be installed by register installer in accordance with regulations of SANS 10087
- To comply with SANS 1539, Appliances operating on liquefied petroleum gas (LPG) or natural gas (NG) – Safety aspects.
- LP Gas; Max 38 kg allowed on premises without a Flammable Substance Certificate
- in terms of section 37(6) of the Community Fire Safety By-Law.
- A Gas installation certificate of compliance to be provided prior the request of a Occupancy certificate.
- Gas installation to comply with SANS 10087-1:2008 owners.

GENERAL NOTES:

- Contractor to ensure compliance to SANS 10400 in all relevant clauses and requirements
- All levels, dimensions and positions to be checked on site and verified before any work commenced.
- Any errors, discrepancies or omissions to be reported to the architect immediately.
- All work to be in accordance with good and accepted local building practice.
- Figured dimensions to be taken in preference to scaled dimensions.
- These architectural drawings are to be read in conjunction with engineers and consultants drawings, where applicable.
- All building by - laws, health and fire requirements to be strictly adhered to.
- The contractor will be held responsible for the correct setting out of the works. Any doubt as to the accuracy of boundary pegs or lines to be reported to the client immediately
- Any errors or discrepancies to be reported immediately for clarification prior to any work being undertaken
- Levels indicated are provisional and must be checked on site referring to top of foundation.
- Foundations to boundary walls not to encroach over boundary lines.
- All electrical and drainage work is to be execute by registered tradesmen.
- Care to be taken when excavating for new work, to comply with SANS 10400 - G. All existing pipes, cables, etc. exposed to be pointed out to client and/or architect, who shall advise necessary action to be taken.
- The contractor shall take all necessary precautions to avoid any damage what so ever, to existing buildings and fences.
- All Occupational safety regulations as set by Dept. of Labour to be complied with and to comply with SANS 10400 - B
- The contractor to keep a full set of drawings on site

REVISION D - Lower Ground floor

- Single Garage changed back into ensuite bedroom, as per previously approved drawings
- Window and door changes
- Gas bottles added

STATUS

MUNICIPAL SUBMISSION

ARCHITECT

Stewart Scott Architects (Pty) Ltd trading as:  
**SCOTT ARCHITECTS**  
professional architects  
REF no. of Practice: PS0628081157

Unit 11, Palms Garden Square,  
1 Owen Grant St, Wilderness, 6560  
Tel: (+27)82 447 7228  
info@scottarchitects.co.za  
www.scottarchitects.co.za

CLIENT

MARKUS PELLMANN

PROJECT

ALTERATIONS TO EXISTING DWELLING

SITE

ERF 859, 6TH AVENUE, WILDERNESS

DRAWING

LOWER GROUND FLOOR

SCALE (@ A1)  
As indicated

DRAWN  
G.SCOTT - P.AT 64685972

DATE  
01/12/2025 12:22:54

CHECKED  
R.S.SCOTT - P.Arch 6469

PROJECT NO.  
241

DRAWING NO.  
W02

REVISION  
B

ARCHITECT SIGNATURE

CLIENT SIGNATURE

DATE:

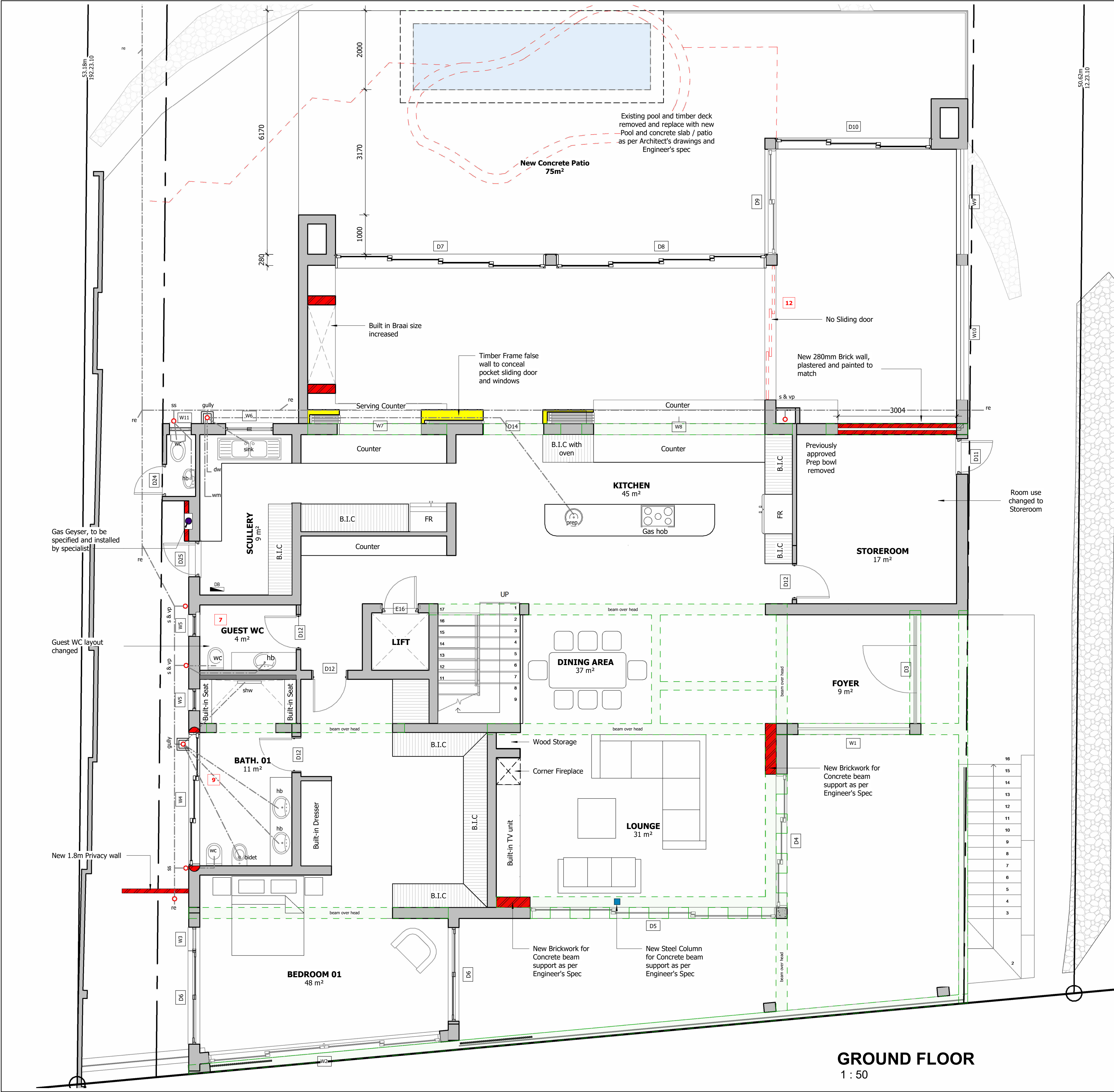
The design on this drawing remains the property of the designer - copyright reserved to Scott Architects. All dimensions to be checked on site before work commences. Any discrepancy must immediately be reported to the designer. This drawing is not to be scaled. All work to comply with the NBR, any relevant SABS code of practice and any local authority regulations. The contractor is to make themselves aware of these prior to commencement of work.

SERVICE LEGEND

---	EXISTING DRAINAGE	RE	RODDING EYE
---	STORMWATER	lrb	LONG RADIUS BEND
---	SOIL & COMB. VENT	ss	STUB STACK
---	DRAINAGE PIPE	VP	VENT PIPE
---	WASTE WATER PIPE	IE	INSPECTION EYE
---	GAS LINE	☀	LIGHT POLE
●	GAS POINT	TP	TELEPHONE POLE
---	1 HOUR FIRE RATING	⊠	KIOSK
M	WATER METER	*****	FENCE

01/12/2025 12:22:54





GROUND FLOOR  
1 : 50

- WALLS** to comply with SANS 10400 - K
- Joining to existing walls: Use **Jointex expansion joint with hoop irons** (galvanized, minimum 600mm long at 400mm vertical centres) fixed into existing brickwork with epoxy anchors.
  - Provide adequate damp-proofing where walls meet the ground
  - Cavity walls shall be kept free of all rubbish, mortar droppings and projecting mortar.
  - The tops of the walls covered with planks or sacking during wet weather to prevent rain entering the cavities in construction.
  - External cavity walls are to be provided with galvanized wire wall ties at every third course for 230 mm brick force galvanized ties used every third course.
  - Weep Holes to be evenly spaced.
  - Walls to be plastered and painted unless otherwise stated on the drawings.

- GENERAL NOTES:**
- Contractor to ensure compliance to SANS 10400 in all relevant clauses and requirements
  - All levels, dimensions and positions to be checked on site and verified before any work commenced.
  - Any errors, discrepancies or omissions to be reported to the architect immediately.
  - All work to be in accordance with good and accepted local building practice.
  - Figured dimensions to be taken in preference to scaled dimensions.
  - These architectural drawings are to be read in conjunction with engineers and consultants drawings, where applicable.
  - All building by - laws, health and fire requirements to be strictly adhered to.
  - The contractor will be held responsible for the correct setting out of the works. Any doubt as to the accuracy of boundary pegs or lines to be reported to the client immediately
  - Any errors or discrepancies to be reported immediately for clarification prior to any work being undertaken
  - Levels indicated are provisional and must be checked on site referring to top of foundation.
  - Foundations to boundary walls not to encroach over boundary lines.
  - All electrical and drainage work is to be execute by registered tradesmen.
  - Care to be taken when excavating for new work, to comply with SANS 10400 - G. All existing pipes, cables, etc. exposed to be pointed out to client and/or architect, who shall advise necessary action to be taken.
  - The contractor shall take all necessary precautions to avoid any damage what so ever, to existing buildings and fences.
  - All Occupational safety regulations as set by Dept. of Labour to be complied with and to comply with SANS 10400 - B
  - The contractor to keep a full set of drawings on site

**REVISION D - Ground floor**

- Room enclosed and use changed into "Storeroom" and additional prep bowl removed
- Bath removed from master bathroom
- Guest bathroom layout changed
- Changes in windows and doors
- Master bathroom - add seats in shower
- New Fridge Position
- Gas geyser added
- Existing pool replaced with new pool and concrete patio/ surface bed

STATUS  
**MUNICIPAL SUBMISSION**

ARCHITECT

Stewart Scott Architects (Pty) Ltd trading as:  
**SCOTT ARCHITECTS**  
professional architects  
REF no. of Practice: PS0628081157

Unit 11, Palms Garden Square,  
1 Owen Grant St, Wilderness, 6560  
Tel: (+27)82 447 7228  
info@scottarchitects.co.za  
www.scottarchitects.co.za

CLIENT  
**MARKUS PELLMANN**

PROJECT  
**ALTERATIONS TO EXISTING DWELLING**

SITE  
**ERF 859, 6TH AVENUE, WILDERNESS**

DRAWING  
**GROUND FLOOR PLAN**

SCALE (@ A1)  
As indicated

DRAWN  
G.SCOTT - P.AT 64685972

DATE  
01/12/2025 12:23:03

CHECKED  
R.S.SCOTT - P.Arch 6469

PROJECT NO.  
241

DRAWING NO.  
W03

REVISION

ARCHITECT SIGNATURE

CLIENT SIGNATURE

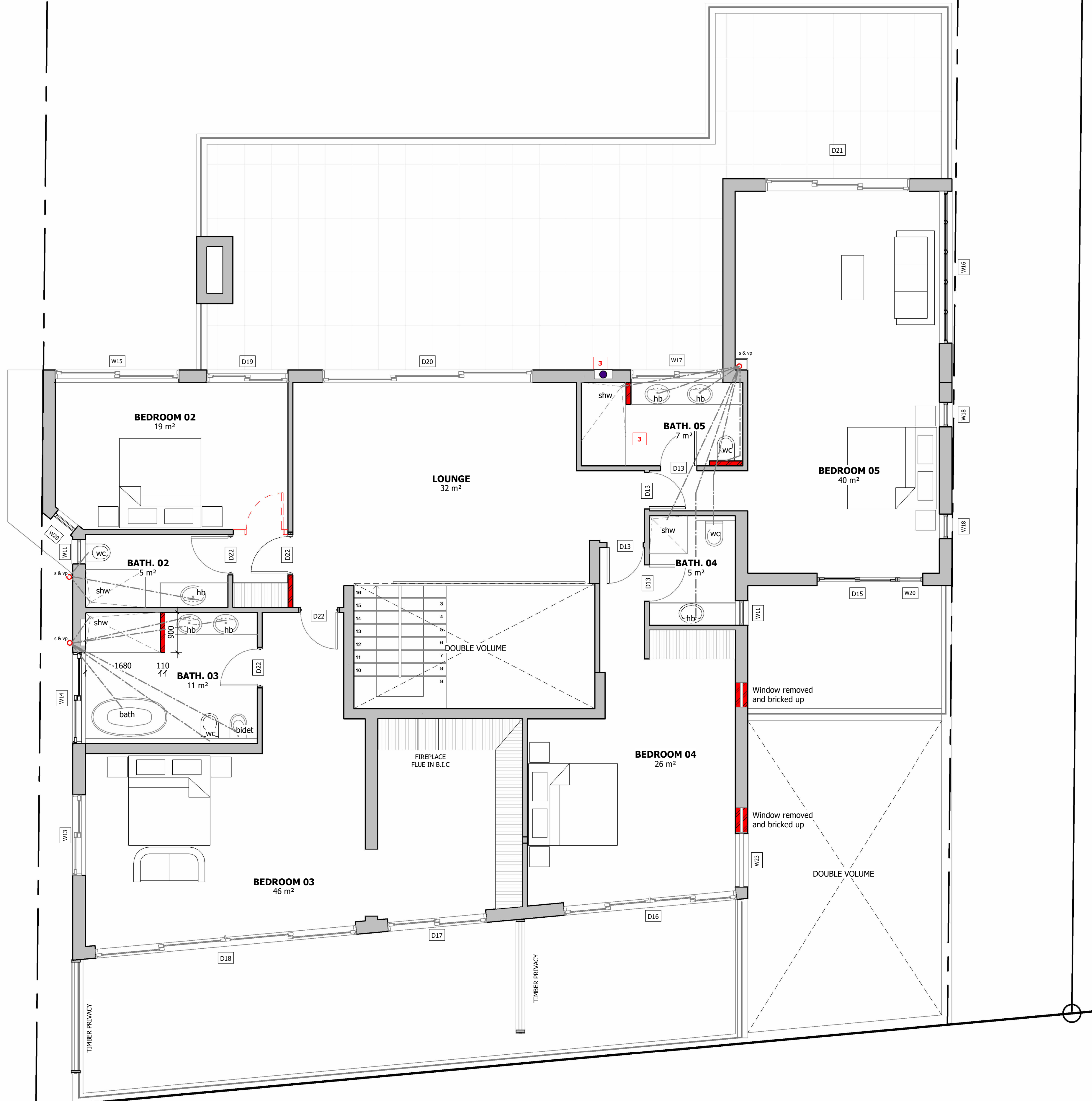
DATE:

The design on this drawing remains the property of the designer - copyright reserved to Scott Architects. All dimensions to be checked on site before work commences. Any discrepancy must immediately be reported to the designer. This drawing is not to be scaled. All work to comply with the NBR, any relevant SABS code of practice and any local authority regulations. The contractor is to make themselves aware of these prior to commencement of work.

SERVICE LEGEND		
---	EXISTING DRAINAGE	RE RODDING EYE
---	STORMWATER	lrb LONG RADIUS BEND
---	SOIL & COMB. VENT	ss STUB STACK
---	DRAINAGE PIPE	VP VENT PIPE
---	WASTE WATER PIPE	IE INSPECTION EYE
---	GAS LINE	LP LIGHT POLE
---	GAS POINT	TP TELEPHONE POLE
---	1 HOUR FIRE RATING	KIOSK
---	WATER METER	***** FENCE

01/12/2025 12:23:03





FIRST FLOOR  
1 : 50

SERVICE LEGEND		
	EXISTING DRAINAGE	RE RODDING EYE
	STORMWATER	lrb LONG RADIUS BEND
	SOIL & COMB. VENT	ss STUB STACK
	DRAINAGE PIPE	VP VENT PIPE
	WASTE WATER PIPE	IE INSPECTION EYE
	GAS LINE	⚡ LIGHT POLE
	GAS POINT	TP TELEPHONE POLE
	1 HOUR FIRE RATING	⊠ KIOSK
	WATER METER	***** FENCE

- GENERAL NOTES:**
- Contractor to ensure compliance to SANS 10400 in all relevant clauses and requirements
  - All levels, dimensions and positions to be checked on site and verified before any work commenced.
  - Any errors, discrepancies or omissions to be reported to the architect immediately.
  - All work to be in accordance with good and accepted local building practice.
  - Figured dimensions to be taken in preference to scaled dimensions.
  - These architectural drawings are to be read in conjunction with engineers and consultants drawings, where applicable.
  - All building by - laws, health and fire requirements to be strictly adhered to.
  - The contractor will be held responsible for the correct setting out of the works. Any doubt as to the accuracy of boundary pegs or lines to be reported to the client immediately
  - Any errors or discrepancies to be reported immediately for clarification prior to any work being undertaken
  - Levels indicated are provisional and must be checked on site referring to top of foundation.
  - Foundations to boundary walls not to encroach over boundary lines.
  - All electrical and drainage work is to be execute by registered tradesmen.
  - Care to be taken when excavating for new work, to comply with SANS 10400 - G. All existing pipes, cables, etc. exposed to be pointed out to client and/or architect, who shall advise necessary action to be taken.
  - The contractor shall take all necessary precautions to avoid any damage what so ever, to existing buildings and fences.
  - All Occupational safety regulations as set by Dept. of Labour to be complied with and to comply with SANS 10400 - B
  - The contractor to keep a full set of drawings on site

REVISION D - First floor

- Internal wall and door added
- Roof over entrance changed from "soft" roof to concrete slab that acts as a patio for bedroom 05
- En-suite bathroom of bedroom 03 reconfigured
- En-suite bathroom of bedroom 05 reconfigured
- Changes to windows and doors
- Gas geyser added

STATUS  
MUNICIPAL SUBMISSION

ARCHITECT

Stewart Scott Architects (Pty) Ltd trading as:  
**SCOTT ARCHITECTS**  
professional architects  
REF no. of Practice: PS0628081157

Unit 11, Palms Garden Square,  
1 Owen Grant St, Wilderness, 6560  
Tel: (+27)82 447 7228  
info@scottarchitects.co.za  
www.scottarchitects.co.za

CLIENT  
MARKUS PELLMANN

PROJECT  
ALTERATIONS TO EXISTING DWELLING

SITE  
ERF 859, 6TH AVENUE, WILDERNESS

DRAWING  
FIRST FLOOR

SCALE (@ A1)  
As indicated

DRAWN  
G.SCOTT - P.AT 64685972

DATE  
01/12/2025 12:23:11

CHECKED  
R.S.SCOTT - P.Arch 6469

PROJECT NO.  
241

DRAWING NO.  
W04

REVISION

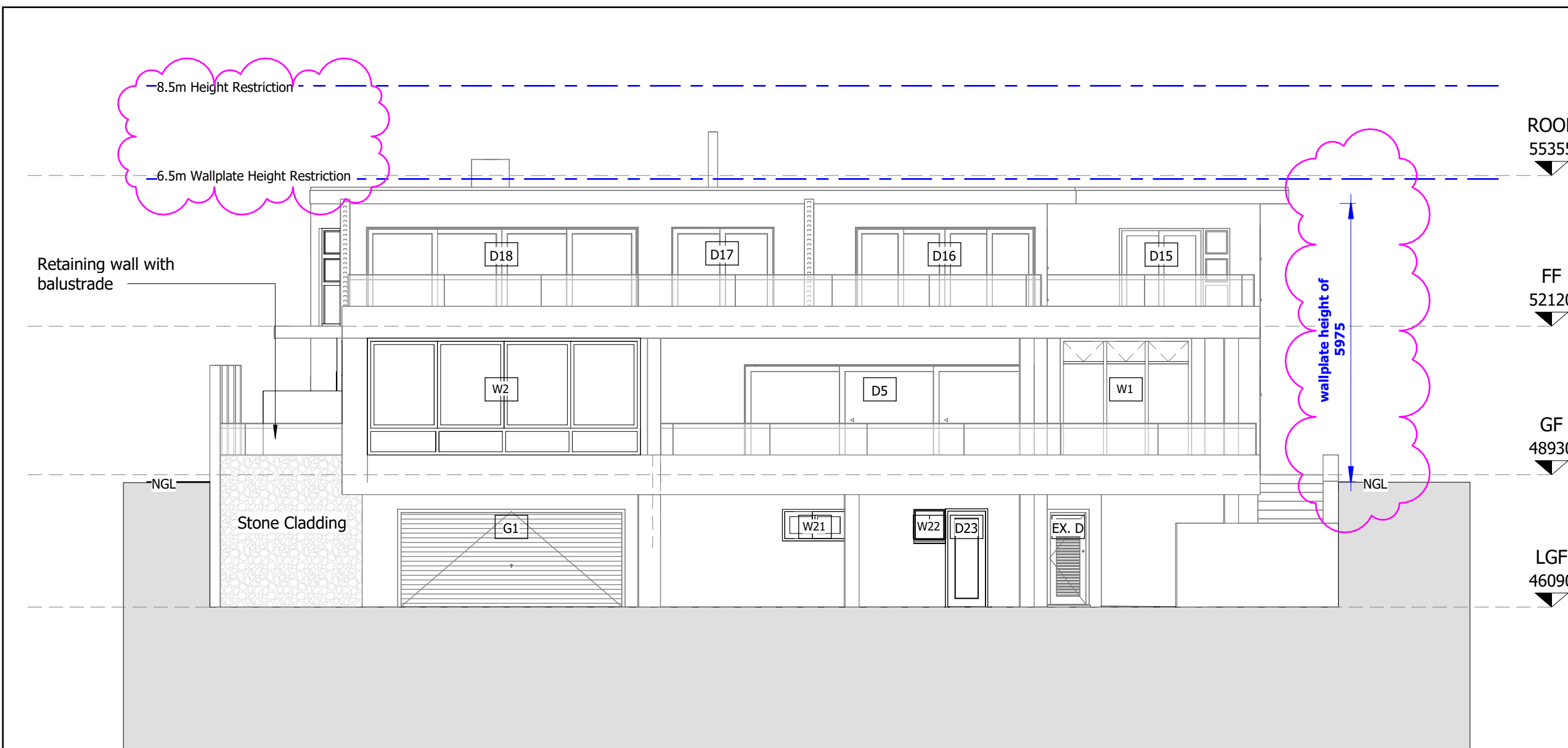
ARCHITECT SIGNATURE

CLIENT SIGNATURE

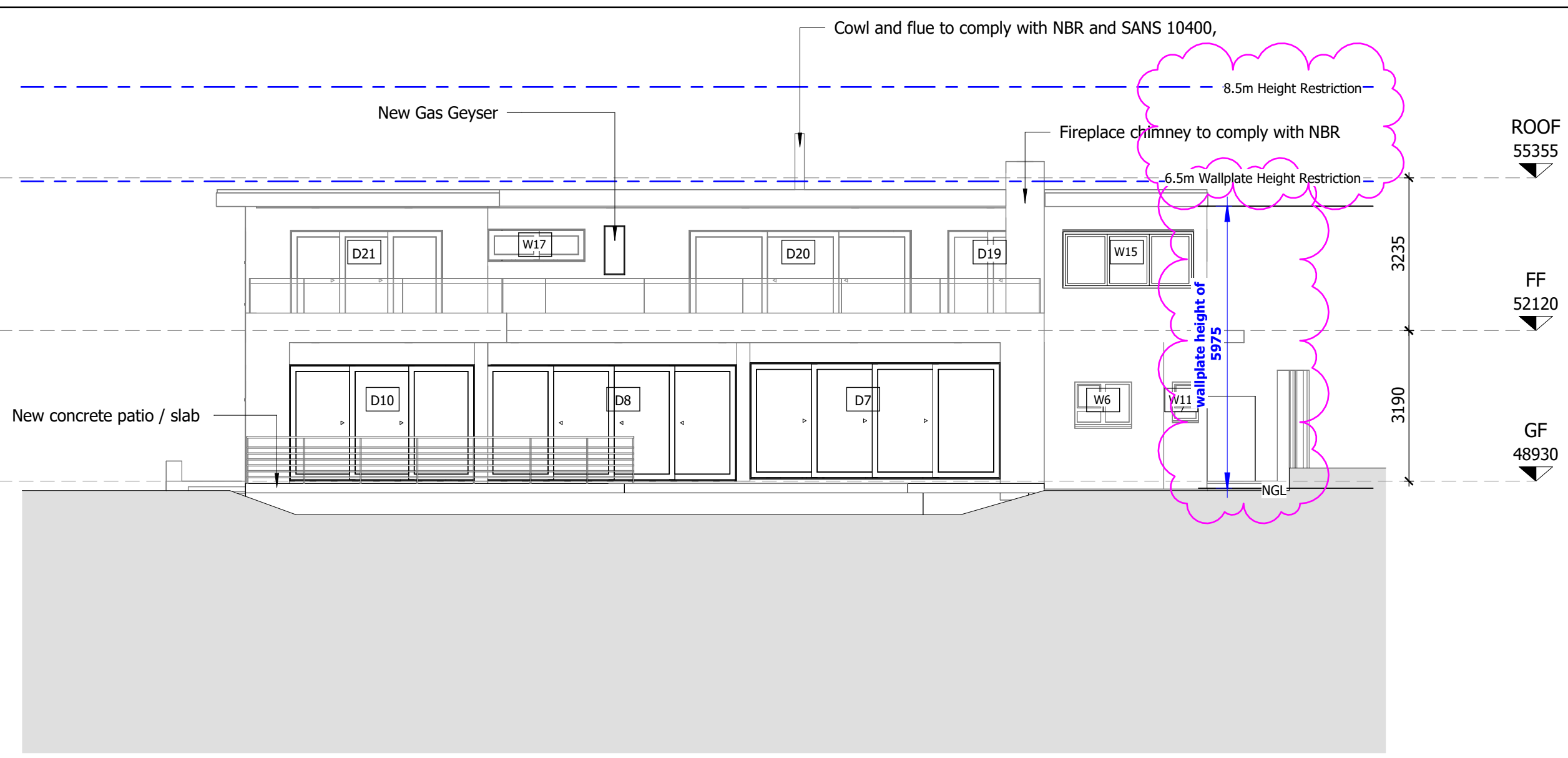
DATE:

The design on this drawing remains the property of the designer - copyright reserved to Scott Architects. All dimensions to be checked on site before work commences. Any discrepancy must immediately be reported to the designer. This drawing is not to be scaled. All work to comply with the NBR, any relevant SABS code of practice and any local authority regulations. The contractor is to make themselves aware of these prior to commencement of work.

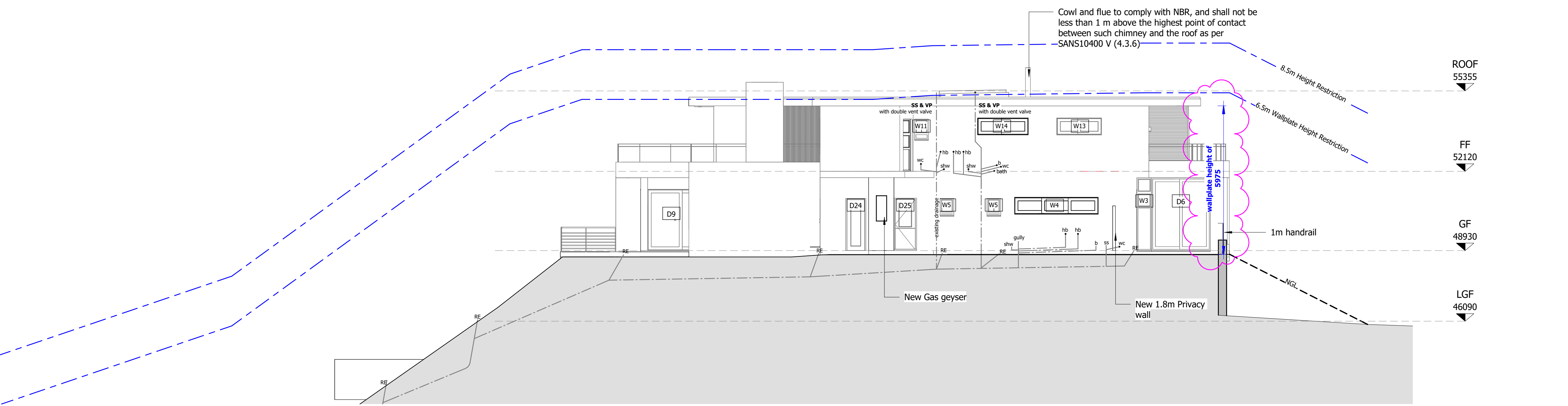




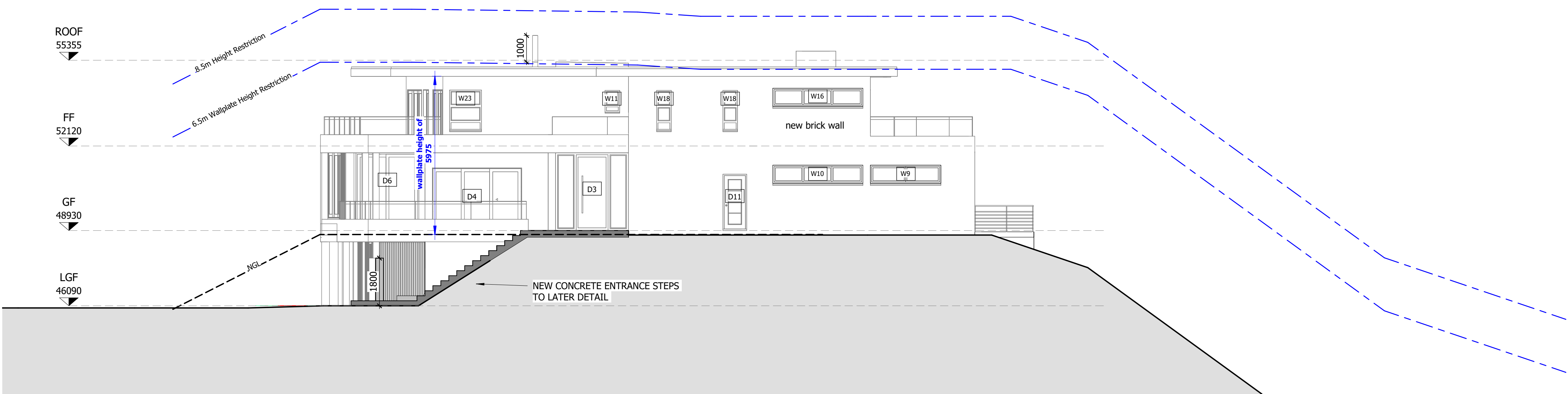
**SOUTH ELEVATION**  
1 : 100



**NORTH ELEVATION**  
1 : 100



**WEST ELEVATION**  
1 : 100



**EAST ELEVATION**  
1 : 100

- GENERAL NOTES:**
- FOUNDATIONS:** to comply with SANS 10400 - H
- All foundations to be constructed as per the Engineers drawings & specifications.
  - Foundation walls to be concrete filled to underside of 375 micron dpm in walls, to detail.
  - Allow an average depth of 1m below NGL. Contractor to allow for 3 DCP's across the site.
  - 10mm Jointex Between all walls and surfacebeds
- CONCRETE SURFACE BED:** to comply with SANS 10400 - J
- 70mm Thick (minimum 15mPa) concrete slab, a minimum of 170mm above ground level on gunplus usb 250 micron USB green waterproof sheeting sealed at laps with gunplus pressure sensitive tape laid continuous under surface beds as indicated on architects and engineers drawings. 25mm Thick river sand blinding layer on approved hardcore filling compacted to structural engineers specifications. Finish with 30mm cement / riversand (1:4) screed applied to a smooth and even finish to take floor finish.
  - Floor finish as noted on floorplan, on 40mm screed internal and 30mm screed external
- CONCRETE SLAB AND CONCRETE STRUCTURAL WORK:**
- To Engineer's specification and drawings
- BALUSTRADES:**
- Balustrades has to comply with SABS 10104, 1 meter high with openings not more than 100mm.
- CHIMNEY:**
- Chimney not less than 1 meter in height above junction to roof.
  - Chimneys to be stainless steel, where indicated, and factory painted, to match roof, doors and windows.
  - installation to comply with NBR
- ROOF:** to comply with SANS 10400 - L
- Roof to be structural timber roofs and to be specified and inspected by Engineer at each stage.
- RAINWATER GOODS:** to comply with SANS 10400 - R
- Seamless aluminum -pre-painted charcoal colour - square profile gutters and downpipes within the roof structure as per detail.
  - refer to Roof and Drainage Plan.
- FASCIA BOARD**
- All Fascia Boards to be painted to match roof unless otherwise specified.
- STRUCTURAL TIMBER:**
- Unless otherwise stated, structural timber shall be of South African softwood (pine) complying with the requirements of SABS specification 563 and 1245

**STATUS**  
MUNICIPAL SUBMISSION

**ARCHITECT**  
Stewart Scott Architects (Pty) Ltd trading as:  
**SCOTT ARCHITECTS**  
professional architects  
REF no. of Practice: PS0628081157

Unit 11, Palms Garden Square,  
1 Owen Grant St, Wilderness, 6560  
Tel: (+27)82 447 7228  
info@scottarchitects.co.za  
www.scottarchitects.co.za

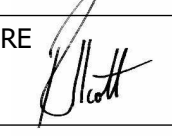
**CLIENT**  
MARKUS PELLMANN

**PROJECT**  
ALTERATIONS TO EXISTING DWELLING

**SITE**  
ERF 859, 6TH AVENUE, WILDERNESS

**DRAWING**  
ELEVATIONS

SCALE (@ A1) 1 : 100	DRAWN G.SCOTT - P.AT 64685972	
DATE 01/12/2025 12:23:23	CHECKED R.S.SCOTT - P.Arch 6469	
PROJECT NO. 241	DRAWING NO. W05	REVISION B

ARCHITECT SIGNATURE 

CLIENT SIGNATURE \_\_\_\_\_

DATE: \_\_\_\_\_

The design on this drawing remains the property of the designer - copyright reserved to Scott Architects. All dimensions to be checked on site before work commences. Any discrepancy must immediately be reported to the designer. This drawing is not to be scaled. All work to comply with the NBR, any relevant SABS code of practice and any local authority regulations. The contractor is to make themselves aware of these prior to commencement of work.

YES NO

**LAND USE PLANNING PRE-APPLICATION CONSULTATION FORM**

**PLEASE NOTE:**

*Pre-application consultation is an advisory session and is required prior to submission of an application for rezoning, consent use, temporary departure and subdivision. It does not in any way pre-empt the outcome of any future application which may be submitted to the Municipality.*

**PART A: PARTICULARS**

Reference number: \_\_\_\_ Collab no. 3901707 \_\_\_\_\_

Purpose of consultation: \_\_\_\_ **To discuss proposed land use application** \_\_\_\_\_

Brief proposal: \_\_\_\_ **Proposed Consent use & possible Administrator's Consent** \_\_\_\_\_

Property(ies) description: \_\_\_\_ **Erf 859 Wilderness** \_\_\_\_\_

Date: \_\_\_\_ **27 October 2025** \_\_\_\_\_

**Attendees:**

	Name & Surname	Organisation	Contact Number	E-mail
Official	Ilané Huyser	George Municipality	044 801 9477	<a href="mailto:ihuyser@george.gov.za">ihuyser@george.gov.za</a>
Official	Robert Jnase van Rensburg	George Municipality	044 801 9477	<a href="mailto:rhjansevanrensburg@george.gov.za">rhjansevanrensburg@george.gov.za</a>
Pre-applicant	Marlize de Bruyn	DMC Town Planning	0766340150	<a href="mailto:marlize@mdbplanning.co.za">marlize@mdbplanning.co.za</a>

**Documentation provided for discussion:**

*(Include document reference, document/plan dates and plan numbers where possible and attach to this form)*

\_\_\_\_ **Copy of title deed, locality, building plans, recent approval** \_\_\_\_\_

Has pre-application been undertaken for a Land Development application with the Department of Environmental Affairs & Development Planning (DEA&DP)?

**Comprehensive overview of proposal:**

*Erf 859 Wilderness is a Single Residential Zone I-property, 1307m<sup>2</sup> in extent with a recently improved dwelling house. About 25 years ago, the property obtained approval for a guest house with 4 guest rooms – it was a consent use in terms of the former Wilderness Zoning Scheme Regulations. This approval has lapsed.*

*The new owner wishes to obtain approval for 5 guest rooms, a consent use in terms of the current zoning by-law. On the lower ground floor, the dwelling house consists of a double garage, storage and the manager's accommodation. Then on the ground floor are one bedroom, lounge, kitchen, dining and braai room. On the first floor are four bedrooms and a lounge as well as balconies.*

*According to the zoning by-law a total of 8 parking bays is needed. This will be indicated on the site plan to be submitted for the land use application.*

*The architect for the property obtained a building line relaxation and Administrator's Consent approval per letter dated 12 January 2024. If needed, further building line relaxations and Administrator's Consent will be added to the proposed consent use application.*



## PART B: APPLICATION PROCESS (WILL FULLY APPLY ONLY ONCE LUPA REGULATIONS ARE IN FORCE)

### SUBMISSION

### Draft By-Law on Municipal Land Use Planning

#### (Workflow)

#### Types of applications that can be submitted in terms of Section 15 (2)

- (a) Rezoning of land
- (b) Permanent departure
- (c) Temporary departure
- (d) Subdivision of land
- (e) Consolidation of land
- (f) Amendment, suspension or removal of restrictive conditions
- (g) Permission required in terms of the zoning scheme
- (h) Amendment, deletion or imposition of condition in respect of an approval
- (i) Extension of validity period of an approval
- (j) Approval of an overlay zone
- (k) Phasing, amendment or cancellation of a subdivision plan or part thereof
- (l) Permission required in terms of condition of approval
- (m) Determination of zoning
- (n) Closure of public place or part thereof
- (o) Consent use
- (p) Occasional use

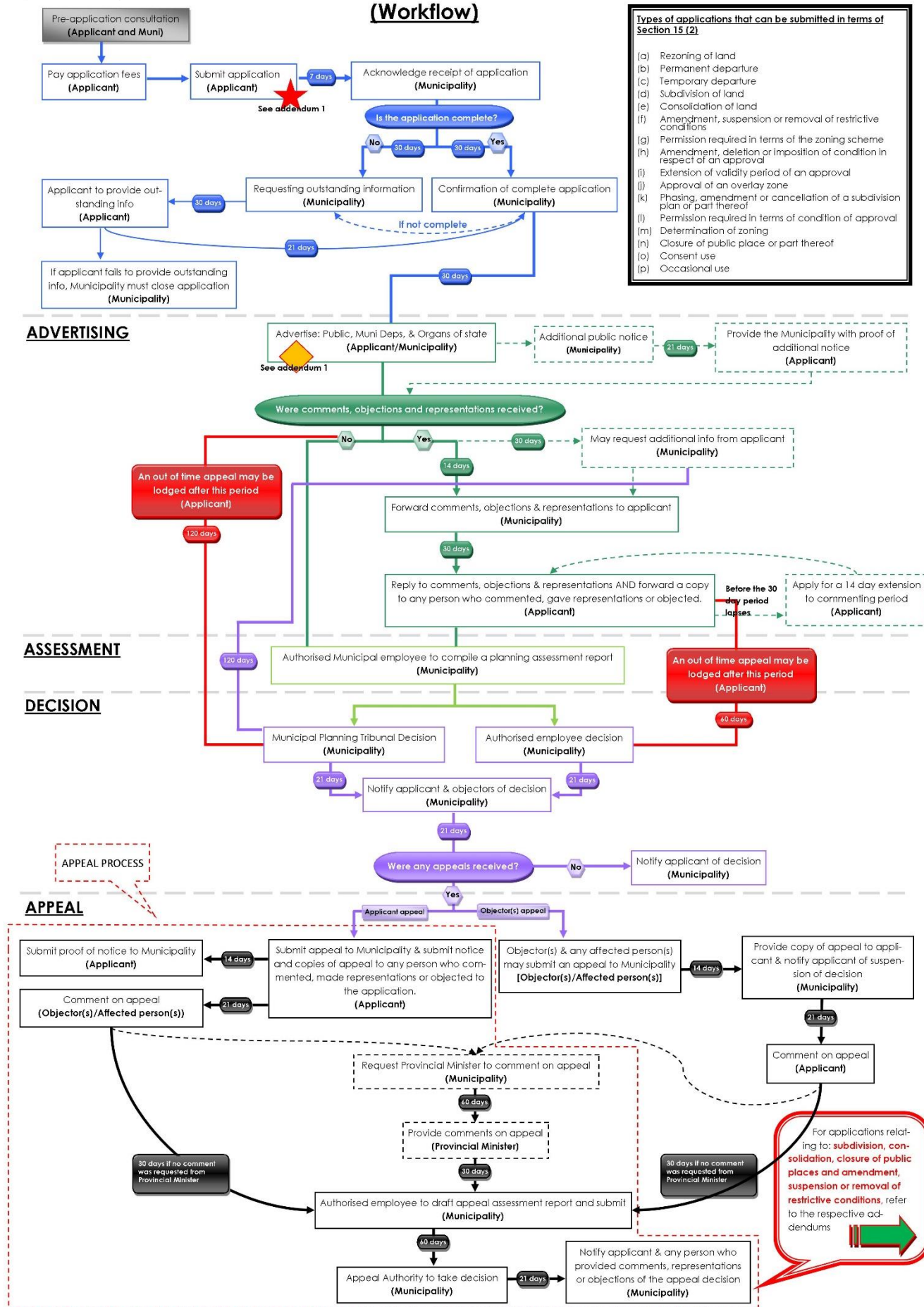
### ADVERTISING

### ASSESSMENT

### DECISION

#### APPEAL PROCESS

### APPEAL



## SECTION A:

## DETERMINATION OF APPLICATION TYPES, PRESCRIBED NOTICE AND ADVERTISEMENT PROCEDURES

Tick if relevant	What land use planning applications are required?	Application fees payable
	2(a) a rezoning of land;	R
	2(b) a permanent departure from the development parameters of the zoning scheme;	R
	2(c) a departure granted on a temporary basis to utilise land for a purpose not permitted in terms of the primary rights of the zoning applicable to the land;	R
	2(d) a subdivision of land that is not exempted in terms of section 24, including the registration of a servitude or lease agreement;	R
	2(e) a consolidation of land that is not exempted in terms of section 24;	R
	2(f) a removal, suspension, or amendment of restrictive conditions in respect of a land unit;	R
	2(g) a permission required in terms of the zoning scheme;	R
	2(h) an amendment, deletion, or imposition of conditions in respect of an existing approval;	R
	2(i) an extension of the validity period of an approval;	R
	2(j) an approval of an overlay zone as contemplated in the zoning scheme;	R
	2(k) an amendment or cancellation of an approved subdivision plan or part thereof, including a general plan or diagram;	R
	2(l) a permission required in terms of a condition of approval;	R
	2(m) A determination of a zoning;	R
	2(n) A closure of a public place or part thereof;	R
<b>x</b>	<b>2(o) a consent use contemplated in the zoning scheme;</b>	R
	2(p) an occasional use of land;	R
	2(q) to disestablish a home owner's association;	R
	2(r) to rectify a failure by a home owner's association to meet its obligations in respect of the control over or maintenance of services;	R
	2(s) a permission required for the reconstruction of an existing building that constitutes a non-conforming use that is destroyed or damaged to the extent that it is necessary to demolish a substantial part of the building	R
Tick if relevant	What prescribed notice and advertisement procedures will be required?	Advertising fees payable
Y	N Serving of notices (i.e. registered letters etc.)	R
Y	N Publication of notices (i.e. Provincial Gazette, Local Newspaper(s) etc.)	R
Y	N Additional publication of notices (i.e. Site notice, public meeting, local radio, website, letters of consent etc.)	R
Y	N Placing of final notice (i.e. Provincial Gazette etc.)	R
<b>TOTAL APPLICATION FEE* (VAT excluded):</b>		<b>To be determined</b>

**PLEASE NOTE:** \* Application fees are estimated on the information discussed and are subject to change with submission of the formal application and/or yearly application fee increase.



**SECTION B:**  
**PROVISIONS IN TERMS OF THE RELEVANT PLANNING LEGISLATION / POLICIES / GUIDELINES**

QUESTIONS REGARDING PLANNING POLICY CONTEXT	YES	NO	TO BE DETERMINED	COMMENT
Is any Municipal Integrated Development Plan (IDP)/Spatial Development Framework (SDF) and/or any other Municipal policies/guidelines applicable? If yes, is the proposal in line with the aforementioned documentation/plans?			X	
Any applicable restrictive condition(s) prohibiting the proposal? If yes, is/are the condition(s) in favour of a third party(ies)? [List condition numbers and third party(ies)]			X	Conveyancer to confirm
Any other Municipal by-law that may be relevant to application? (If yes, specify)			X	
<b>Zoning Scheme Regulation considerations:</b> Which zoning scheme regulations apply to this site? <u>GIZSB 2023</u> What is the current zoning of the property? <u>SRZI</u> What is the proposed zoning of the property? <u>SRZI with consent use for a guest house with 5 guest rooms</u> Does the proposal fall within the provisions/parameters of the zoning scheme? <u>To be determined</u> Are additional applications required to deviate from the zoning scheme? (if yes, specify) <u>To be determined</u>				

QUESTIONS REGARDING OTHER PLANNING CONSIDERATIONS	YES	NO	TO BE DETERMINED	COMMENT
Is the proposal in line with the Provincial Spatial Development Framework (PSDF) and/or any other Provincial bylaws/policies/guidelines/documents?			X	
Are any regional/district spatial plans relevant? If yes, is the proposal in line with the document/plans?			X	



### **SECTION C:**

#### **CONSENT / COMMENT REQUIRED FROM OTHER ORGANS OF STATE**

<b>QUESTIONS REGARDING CONSENT / COMMENT REQUIRED</b>	<b>YES</b>	<b>NO</b>	<b>TO BE DETERMINED</b>	<b>OBTAIN APPROVAL / CONSENT / COMMENT FROM:</b>
Is/was the property(ies) utilised for agricultural purposes?		<b>X</b>		Western Cape Provincial Department of Agriculture
Will the proposal require approval in terms of Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)?		<b>X</b>		National Department of Agriculture
Will the proposal trigger a listed activity in terms of National Environmental Management Act, 1998 (Act 107 of 1998) (NEMA)?		<b>X</b>		Western Cape Provincial Department of Environmental Affairs & Development Planning (DEA&DP)
Will the proposal require authorisation in terms of Specific Environmental Management Act(s) (SEMA)? (National Environmental Management: Protected Areas Act, 2003 (Act 57 of 2003) (NEM:PAA) / National Environmental Management: Biodiversity Act, 2004 (Act 10 of 2004) (NEM:BA) / National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004) (NEM:AQA) / National Environmental Management: Integrated Coastal Management Act, 2008 (Act 24 of 2008) (NEM:ICM) / National Environmental Management: Waste Act, 2008 (Act 59 of 2008) (NEM:WA) <u>(strikethrough irrelevant)</u>		<b>X</b>		National Department of Environmental Affairs (DEA) & DEA&DP
Will the proposal require authorisation in terms of the National Water Act, 1998 (Act 36 of 1998)?		<b>X</b>		National Department of Water & Sanitation (DWS)
Will the proposal trigger a listed activity in terms of the National Heritage Resources Act, 1999 (Act 25 of 1999)?		<b>X</b>		South African Heritage Resources Agency (SAHRA) & Heritage Western Cape (HWC)
Will the proposal have an impact on any National or Provincial roads?		<b>X</b>		National Department of Transport / South Africa National Roads Agency Ltd. (SANRAL) & Western Cape Provincial Department of Infrastructure (RNM)

QUESTIONS REGARDING CONSENT / COMMENT REQUIRED	YES	NO	TO BE DETERMINED	OBTAIN APPROVAL / CONSENT / COMMENT FROM:
Will the proposal trigger a listed activity in terms of the Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations		X		National Department of Labour (DL)
Will the proposal affect any Eskom owned land and/or servitudes?		X		Eskom
Will the proposal affect any Telkom owned land and/or servitudes?		X		Telkom
Will the proposal affect any Transnet owned land and/or servitudes?		X		Transnet
Is the property subject to a land / restitution claims?		X		National Department of Rural Development & Land Reform
Will the proposal require comments from SANParks and/or CapeNature?		X		SANParks / CapeNature
Will the proposal require comments from DFFE?		X		Department of Environment, Forestry and Fishery
Is the property subject to any existing mineral rights?		X		National Department of Mineral Resources
Does the proposal lead to densification to such an extent that the number of schools, healthcare facilities, libraries, safety services, etc. In the area may be impacted on? ( <del>striethrough irrelevant</del> )		X		Western Cape Provincial Departments of Cultural Affairs & Sport (DCAS), Education, Social Development, Health and Community Safety

#### **SECTION D:**

#### **SERVICE REQUIREMENTS**

DOES THE PROPOSAL REQUIRE THE FOLLOWING ADDITIONAL INFRASTRUCTURE / SERVICES?	YES	NO	TO BE DETERMINED	OBTAIN COMMENT FROM: ( <a href="#">list internal department</a> )
Electricity supply:			X	Directorate: Electro-technical Services
Water supply:			X	Directorate: Civil Engineering Services
Sewerage and waste water:			X	Directorate: Civil Engineering Services
Stormwater:			X	Directorate: Civil Engineering Services
Road network:			X	Directorate: Civil Engineering Services



Telecommunication services:			<b>X</b>	
Other services required? Please specify.			<b>X</b>	
Development charges:			<b>X</b>	

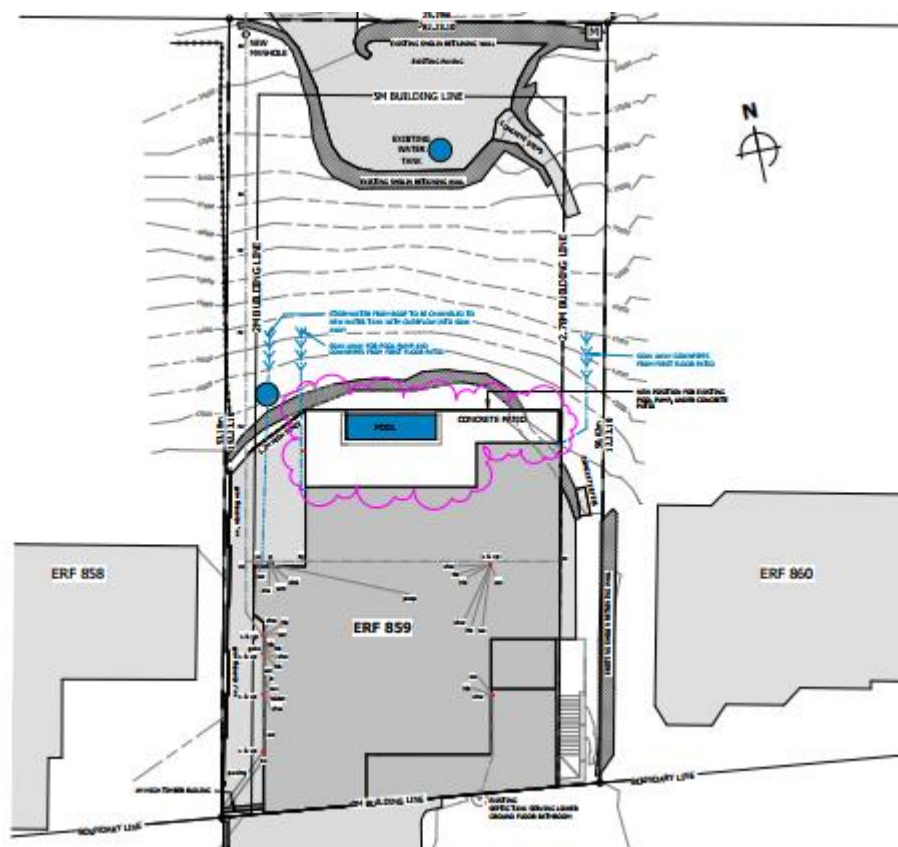
**PART D: COPIES OF PLANS / DOCUMENTS TO BE SUBMITTED AS PART OF THE APPLICATION**

COMPULSORY INFORMATION REQUIRED:						
<b>Y</b>	<b>N</b>	Power of Attorney / Owner's consent if applicant is not owner (if applicable)		<b>Y</b>	<b>N</b>	S.G. noting sheet extract / Erf diagram / General Plan
<b>Y</b>	<b>N</b>	Motivation report / letter		<b>Y</b>	<b>N</b>	Full copy of the Title Deed
<b>Y</b>	<b>N</b>	Locality Plan		<b>Y</b>	<b>N</b>	Site Layout Plan
<b>Y</b>	<b>N</b>	Proof of payment of fees		<b>Y</b>	<b>N</b>	Bondholder's consent (conveyancer certificate to confirm)
MINIMUM AND ADDITIONAL REQUIREMENTS:						
<b>Y</b>	<b>N</b>	Site Development Plan		<b>Y</b>	<b>N</b>	Conveyancer's Certificate
<b>Y</b>	<b>N</b>	Land Use Plan		<b>Y</b>	<b>N</b>	Proposed Zoning plan
<b>Y</b>	<b>N</b>	Phasing Plan		<b>Y</b>	<b>N</b>	Consolidation Plan
<b>Y</b>	<b>N</b>	Abutting owner's consent		<b>Y</b>	<b>N</b>	Landscaping / Tree Plan
<b>Y</b>	<b>N</b>	Proposed Subdivision Plan (including street names and numbers)		<b>Y</b>	<b>N</b>	Copy of original approval letter
<b>Y</b>	<b>N</b>	Services Report or indication of all municipal services / registered servitudes		<b>Y</b>	<b>N</b>	Home Owners' Association consent
<b>Y</b>	<b>N</b>	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) ( <del>strikethrough irrelevant</del> )		<b>Y</b>	<b>N</b>	1 : 50 / 1:100 Flood line determination (plan / report)

Y	N	Other (specify)		Y	N	Required number of documentation copies
---	---	-----------------	--	---	---	---

## PART E: DISCUSSION

The Pre-Application meeting dated 29 October 2025 refers. The layout presented at the meeting is illustrated below:



### Town Planning

- To note that consent uses in terms of applications prior to 2015 Planning By-Law cannot lapse.
- Need to address compliance with MSDF of 2023, LSDF, SPLUMA, Zoning Scheme etc.
- Necessary departures to be applied for where applicable.
- Access and parking need to be addressed in the motivation report.
- All areas and dimensions (parking, access and manoeuvring space) to be shown on the site layout.
- The site layout to clearly indicate the respective uses (guest rooms vs area for the owner's use).
- The owner is reminded of their duty of care in terms of Section 28 of the National Environmental Management Act, 1998 (Act No. 107 of 1998), to take all reasonable measures to prevent environmental degradation and to protect the coastal environment.
- In terms of the National Forests Act, 1998 (Act No. 84 of 1998), no person may cut, disturb, damage, destroy, or remove any protected tree species, including White Milkwood (*Sideroxylon inerme*), without a licence issued by the Department of Forestry, Fisheries and the Environment (DFFE). Any proposed pruning or removal of protected



trees or tree clumps must be formally authorised through the granting of such a licence prior to commencement of any activity.

**CES:**

- Access be restricted via Sixth Avenue/Fifth Avenue
- Access should comply to the GIZS 2023, alternatively any deviation should be included within a land use application.

**Parking**

- All parking must be provided on-site, in compliance with the GIZS 2023 parking requirements
- No parking is allowed within the road reserve, and the owner may be held liable for any costs incurred to prevent unauthorized parking in this area.
- Normal parking ration apply.
- All vehicle mobility should be done on site and must be indicated on the layout plan.
- Access should comply to the GIZS 2023,

**Development Charges (DCs)**

- Normal Development Charges (DCs), if applicable, will be levied in accordance with the DC policy and the applicable By-law and or policy.

**Water & Sewer**

- Municipal water and/or sanitation is limited and available, subject to network &/or treatment capacity required confirmation.
- The location of existing municipal services must be confirm on site.

**Stormwater**

- The developer must ensure full compliance with the relevant Stormwater By-law.

**ETS:**

- To discuss with ETS.

**PART F: SUMMARY / WAY FORWARD**

Refer to comments in section E.

OFFICIAL: Robert Janse van Rensburg  
Town Planner

PRE-APPLICANT: \_\_\_\_\_ **Marlize De Bruyn** \_\_\_\_\_  
(FULL NAME)



SIGNED: \_\_\_\_\_

SIGNED: \_\_\_\_\_

DATE: \_\_\_\_\_ 22.10.2025 \_\_\_\_\_

DATE: \_\_\_\_\_ 27 October 2025 \_\_\_\_\_

OFFICIAL: **Ilané Huyser**

(Senior Town Planner)



SIGNED: \_\_\_\_\_

DATE: \_\_\_\_\_ 28.10.2025 \_\_\_\_\_

*\*Please note that the above comments are subject to the documents and information available to us at the time of the pre-application meeting and we reserve our rights to elaborate on this matter further and/or request more information/documents should it deemed necessary.*

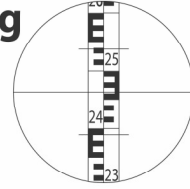




# Topographical & Engineering Surveyors

*In Professional Association*

43 Campbell Drive, Knysna Heights, 6571 / P.O. BOX 346, KNYSNA 6570



Markus Pellmann

15 October 2025

## **Re: Erf 859 Wilderness [House Pellmann] – Height Verification**

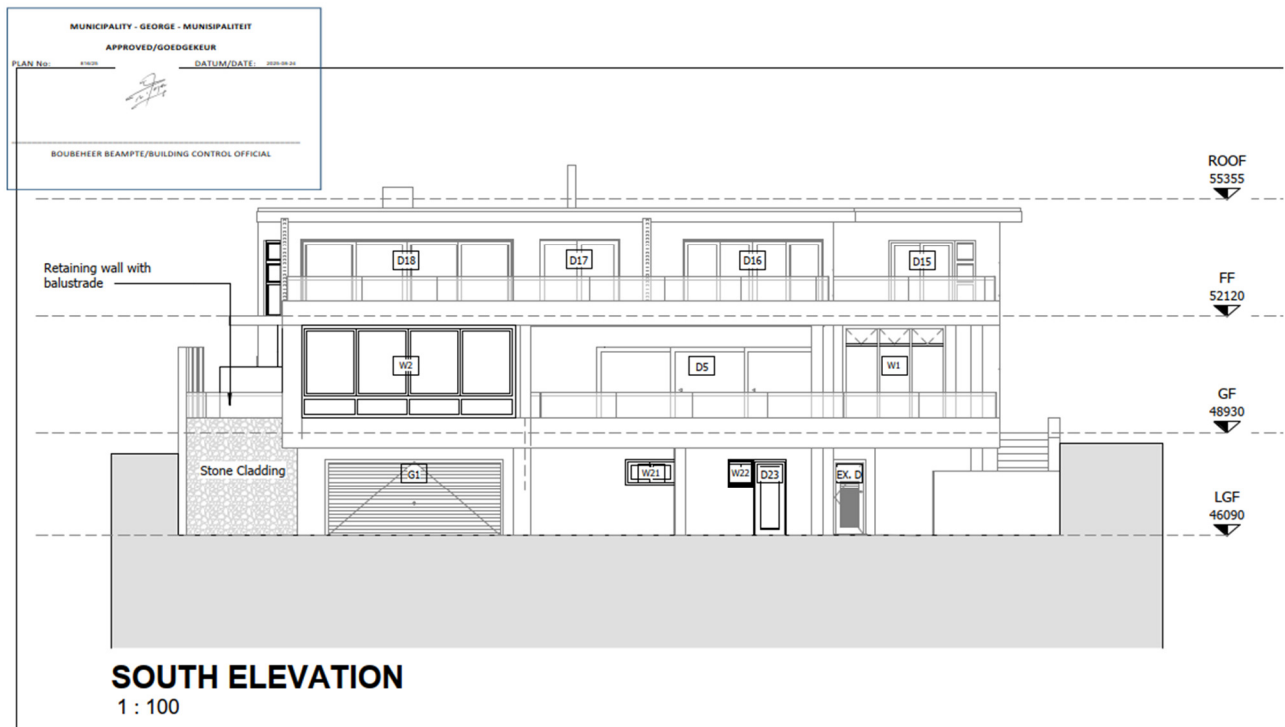
To Whom it may Concern

We hereby confirm the following Roof Heights as surveyed on 13/10/2025:

Roof Design Height = 55,355m

Surveyed Roof Height = 55,44m (0,085m higher)

(Ref Drawing No: W 05 Dated 27/05/2025)



Heights are relative to Bench Mark "BM" = 12mm iron peg in tar = 45,57m above Approximate Mean Sea Level (Plan W859CP.1 Dated June 2023)

Kind Regards

Andre Genade  
Surveyor – S0745