



The Municipal Manager

Reference: Erf 1363 George

P O Box 19

George

6530

18 November 2025

Sir

APPLICATION FOR REZONING AND PERMANENT DEPARTURES (RELAXATION OF BUILDING LINES, PARKING RELAXATION AND SITE ACCESS AND EXITS): ERF 1363 GEORGE

Please find attached an application in terms of :

- Section 15(2)(a) of the Land Use Planning By-law for George Municipality, 2023 for the rezoning of Erf 1363 George from Single Residential Zone I to Business Zone IV (offices).
- Section 15(2)(b) of the By-law on Land Use Planning for George Municipality, 2023 for the relaxation of the following building lines on Erf 1363 George:
 - the northern rear boundary building line from 3,0 metres to 1,0 metres for a distance of 11,180 metres to accommodate the proposed offices.
 - the eastern side boundary building line from 3,0 metres to 1,260 metres for a distance of 3,540 metres and from 3,0 metres to 1,040 metres for a distance of 9,270 metres to accommodate the proposed offices.
 - the western side boundary building line from 3,0 metres to 0,0 metres for a distance of 6,440 metres to accommodate the covered entryway.

- Section 15(2)(b) of the By-law on Land Use Planning for George Municipality, 2023 the relaxation of the parking requirements applicable to offices from 4 parking bays per 100m² GLA to 3 parking bays per 100m² GLA.
- Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from Section 45(4)(b) of the George Integrated Zoning Scheme By-law, 2023 to allow for a second carriageway crossing, 10.055 metres apart from each other, from St John's Street to Erf 1363 George.

Your prompt consideration of the application will be appreciated.

Thanking you in anticipation.

A handwritten signature in black ink, appearing to read 'Jan Vrolijk', with a stylized, cursive script.

Jan Vrolijk

MOTIVATION REPORT

APPLICATION FOR REZONING AND PERMANENT DEPARTURES (RELAXATION OF BUILDING LINES, PARKING REQUIREMENTS AND SITE ACCESS AND EXITS)

ERF 1363 GEORGE

18 November 2025



Prepared for:

Latefire (Pty) Ltd
8 St John's Street
St John's Place,
George
6529

Prepared by:

Jan Vrolijk Town Planner/Stadsbeplanner
Millwood Building, h/v York and Victoria Streets
P O Box 710, George, 6530
South Africa
Tel: +27 44 873 3011
Cell: +27 82 464 7871
Fax: +86 510 4383
SACPLAN Registration Nr A/1386/20

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MOTIVATION REPORT
APPLICATION FOR REZONING AND PERMANENT DEPARTURES (RELAXATION OF
BUILDING LINES, PARKING REQUIREMENTS AND SITE ACCESS AND EXIT)
ERF 1363 GEORGE

1. APPLICATION

- Application is made in terms of Section 15(2)(a) of the Land Use Planning By-law for George Municipality, 2023 for the rezoning of Erf 1363 George from Single Residential Zone I to Business Zone IV (offices).
- Application is made in terms of Section 15(2)(b) of the By-law on Land Use Planning for George Municipality, 2023 for the relaxation of the following building lines on Erf 1363 George:
 - the northern rear boundary building line from 3,0 metres to 1,0 metres for a distance of 11,180 metres to accommodate the proposed offices.
 - the eastern side boundary building line from 3,0 metres to 1,260 metres for a distance of 3,540 metres and from 3,0 metres to 1,040 metres for a distance of 9,270 metres to accommodate the proposed offices.
 - the western side boundary building line from 3,0 metres to 0,0 metres for a distance of 6,440 metres to accommodate the covered entryway.
- Application is made in terms of Section 15(2)(b) of the By-law on Land Use Planning for George Municipality, 2023 the relaxation of the parking requirements applicable to offices from 4 parking bays per 100m² GLA to 3 parking bays per 100m² GLA.
- Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from Section 45(4)(b) of the George Integrated Zoning Scheme By-law, 2023 to allow for a second carriageway crossing, 10.055 metres apart from each other, from St John's Street to Erf 1363 George.

The completed application form for the rezoning and permanent departures (relaxation of the building line, parking requirements and site access and exits) application is attached hereto as **Annexure “A”**.

2. DEVELOPMENT PROPOSAL

Erf 1363 George is developed with a dwelling house, second dwelling unit and associated outbuildings. The existing structures are older than 60 years and have considerable heritage significance.

Additions to the main dwelling house are currently under construction. The additions are in line with the Heritage Permit obtained from Heritage Western Cape dated 13 May 2025. The proposed offices will retain the existing residential character, with limited external changes to ensure compatibility with the surrounding area. The 3D image below indicates the proposed restored heritage structure to become professional offices.



It is the intention to utilize the existing dwelling house with the new additions, the second dwelling unit and associated outbuildings for professional offices (attorneys). There will be 10 offices, with one boardroom, kitchen and bathrooms. The existing buildings are located over the rear and side boundary building lines and therefore a departure application is required.

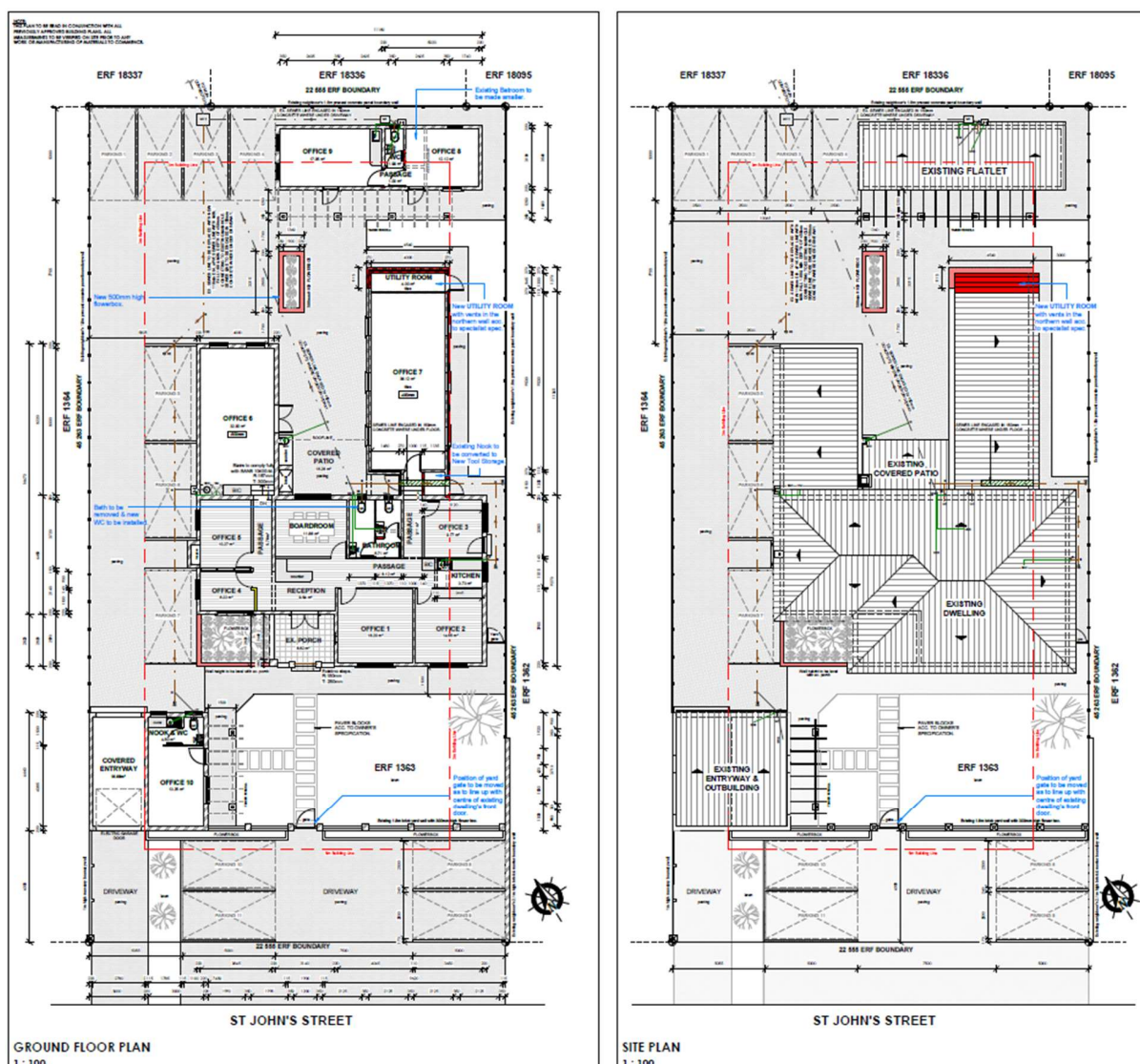
The parking requirements applicable to different land uses are set out in a table in Section 42 of the George Integrated Zoning Scheme By-Law, 2023. In terms of a “*Normal Area*” as per the By-law 4 parking bays per 100m² GLA should be provided. In terms of a “*PT1 Area*” as per the By-law 3 parking bays per 100m² GLA should be provided. In terms of the latter requirement 10 parking bays should be provided within the boundaries of the erf for the proposed offices. In terms of the development proposal 11 parking bays will be provided. The fact that the required number of parking bays for the development is to be provided in accordance with a “*PT1 Area*”, necessitates that an application for relaxation of the parking requirements is necessary.

It is furthermore proposed to construct a second carriageway crossing for Erf 1363 George from St John's Street which will require a departure as Section 45(4)(b) of the George Integrated Zoning Scheme, 2023 states the following about site access and exits:

“despite paragraph (a), where the total length of any street boundary of a site is 30 metres in length or more, one additional carriageway crossing may be permitted, provided that no two carriageway crossings are closer than 12 metres to each other”

The total length of the street boundary for Erf 1363 George is 22,555 metres which is less than the required 30 metres length to allow for a second carriageway crossing. Erf 1363 George requires the second carriageway crossings to create sufficient parking for the proposed professional offices. The second carriageway crossing is 10.055 metres apart instead of the prescribed 12 metres. Therefore, a departure from these parameters is required to create the second carriageway crossing for Erf 1363 George.

The purpose of the application is to obtain the necessary approvals to allow for the rezoning of Erf 1363 George, for professional offices, as can be seen in the site plan below.



The proposed site and building plans are attached hereto as **Annexure "B"**.

3. PRE-APPLICATION CONSULTATION

The pre-application consultation discussion of the proposed development mentioned by the relevant officials of George Municipality took place on 15 October 2025. The signed pre-application consultation application form, which is attached hereto as **Annexure "C"**, contains the following comments:

"Town Planning comments

The attached documents were discussed.

- *Applicant is advised to maintain the same/similar character of the existing built environment, ensuring minimal impact to the remaining/existing residential properties within the surrounds.*
- *Proposal must address zoning scheme by-law, MSDF and LSDF.*
- *It is acknowledged that a number of trees have been removed on this property, it is advisable that these trees are replanted elsewhere on the property and/or new ones be planted. To be addressed as part of the application.*
- *It is noted that an additional access may be required onto the 4 parking bays along St Johns Street, this must be addressed in the application. Necessary departures to be included.*
- *To show all measurements and manoeuvring space on site. To illustrate how the parking will 'work' and turning areas.*
- *Applicant to ensure compliance with heritage approval. HWC to be contacted should there be more additions proposed.*

ETS comments

Application noted. DC's applicable.

CES comments

- *Access be restricted via St John Street service road.*
- *Access is permitted in accordance with the George Integrated Zoning Scheme By-law, 2023 regulations.*
- *All parking must be provided on-site, in compliance with the GIZS 2023 parking requirements.*
- *No parking is allowed within the road reserve, and the owner may be held liable for any costs incurred in preventing unauthorized parking in this area.*
- *PT1 may be considered.*

- *All vehicle mobility should be done on site and must be indicated on the site layout plan.*
- *Normal Development Charges (DCs), if applicable, will be levied in accordance with the DC policy and the applicable By-law and or policy.*
- *Municipal water and/or sanitation is limited and available, subject to network &/or treatment capacity required confirmation.*
- *The location of existing municipal services must be confirmed on site.*
- *The developer must ensure full compliance with the relevant Stormwater By-law.”*

No negative issues were mentioned. The issues and requirements mentioned in the comments are addressed in this motivation report.

4. GENERAL INFORMATION REGARDING ERF 1363 GEORGE

4.1 Locality

Erf 1363 George is located at 16 St John's Street, within the Central Business District Area of George.

The locality of the erf is indicated on the locality plan which is attached hereto as **Annexure “D”**.

4.2 Existing land use

Erf 1363 George is currently developed with a dwelling house, second dwelling and associated outbuildings.

Current alterations and additions are underway to improve the aesthetic appearance of the historic structures, as can be seen in the photo below.



4.3 Extent

Erf 1363 George is 1089m² in extent.

4.4 Present zoning

In terms of the George Integrated Zoning Scheme By-Law, 2023 the zoning of Erf 1363 George is Single Residential Zone I.

4.5 General Plan

Erf 1363 George forms part of the General Plan known as the Township of Dominion. A copy of the General Plan is attached hereto as **Annexure “E”**.

4.6 Title Deed

Erf 1363 George is registered in the name of Latefire (Pty) Ltd Registration number 2023/096325/07. A copy of the registered Title Deed is attached hereto as **Annexure “F”**.

4.7 Power of Attorney

A Power of Attorney whereby Jan Vrolijk Town Planner / Stadsbeplanner is appointed by Jacques Janse Van Vuuren, the sole director of Latefire (Pty) Ltd Registration number 2023/096325/07, the registered owner of the Erf 1363 George, to prepare the applications referred to in point 1 of this motivation report and to sign all relevant documents is attached hereto as **Annexure “G”**.

A copy of the Company Registration Certificate for Latefire (Pty) Ltd Registration number 2023/096325/07 certifying that Jacques Janse Van Vuuren is the sole director of Latefire (Pty) Ltd Registration number 2023/096325/07 is attached hereto as **Annexure “H”**.

4.8 Bondholders' Consent

Erf 1363 George is encumbered by a bond. Standard Bank's consent is attached hereto as **Annexure “I”**.

4.9 Conveyancer Certificate

A Conveyancer Certificate in respect of Erf 1363 George is attached hereto as **Annexure “J”**. The Conveyancer Certificate confirms that there are no conditions in the Title Deed of Erf 1363 George which restrict the development as proposed in this application.

5. DESIRABILITY OF THE APPLICATION FOR THE REZONING OF ERF 1363 GEORGE

5.1 Introduction

The application Erf 1363 George is currently zoned Single Residential Zone I. In terms of this zoning, Erf 1363 George may be utilized for the purposes of a dwelling house and second dwelling unit. The developer, however, intends to utilize the existing dwelling house and second dwelling unit for professional offices as discussed in point 2 of this motivation report. To allow such a development the erf will have to be rezoned to Business Zone IV.

The term "desirability" in the land use planning context, may be defined as the degree of acceptability of the land use on the land unit concerned. The desirability of the intended rezoning shall be discussed with reference to the aspects listed below.

- Physical characteristics of the site.
- The proposed land uses.
- The compatibility of the proposal with existing planning documentation, spatial frameworks, legislation and policies.
- The compatibility of the proposal with the character of the surrounding area.
- Potential of the site.
- Accessibility of site.
- Availability of parking.
- Provision of services.

It will be indicated in the following paragraphs that the proposal can be regarded as being desirable as far as the mentioned aspects are concerned.

5.2 Physical characteristics of the erf

5.2.1 Topography

The application erf is relatively flat with a gentle slope from the south-east to the north-west. The topography is of such nature that it will not have a negative impact on the proposed development and therefore does not restrict the proposed rezoning as applied for in this application.

5.2.2 Surface conditions

Little information concerning the soil conditions in the area is available. The existing structures and the structures in the immediate vicinity do not appear to have construction anomalies relating to the soil conditions. There is as such no reason from this point of view why this application cannot be supported.

5.2.3 Vegetation

Erf 1363 George is developed, and very little natural vegetation exist on the erf. The mature tree in front of the historic structure has been retained, and new grass was planted. The developers will include vegetation in flowerboxes around the property.

Vegetation will thus not place any restriction on the development proposal.

5.2.4 Other characteristics

The application erf is not affected by any known flood lines, fountains or other unique ecological habitats, which could restrict the rezoning as proposed in this application.

5.2.5 Conclusion

From the contents of the above-mentioned paragraphs, there is no reason from a physical characteristics point of view why the application for rezoning cannot be supported.

5.3 Proposed land uses

The owner intends to utilize the existing structures on Erf 1363 George for professional offices as indicated on the draft site and building plans attached hereto as **Annexure "B"** and as discussed in detail in point 2 above.

5.4 Coverage of the proposed development

The proposed professional offices have a total floor area of 322.03m² and Erf 1363 George is 1089m². The density of the proposed professional offices is only 29.57%, well below the allowed 60% coverage applicable to offices as per the George Integrated Zoning Scheme By-law, 2023. The maximum allowed floor area ratio for offices in terms of the George Integrated Zoning Scheme By-law, 2023 is 1 and the proposed development has a floor area ratio of 0.29. The lower coverage and floor factor ensures that the character and heritage value of the immediate environment is protected.

5.5 Compatibility of the development proposal with existing planning documentation and policies

5.5.1 Introduction

Different planning documents apply to the application and the desirability and compatibility of the application regarding each of these documents will subsequently be discussed.

5.5.2 “Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013) (SPLUMA)”

Section 7 of the "Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)" lists 5 development principles which must be applied when any development application is to be evaluated. The principles referred to are as follows:

- “Spatial justice”
- “Spatial sustainability”
- “Spatial efficiency”
- “Spatial resilience”
- “Good administration”

Different development principles are identified under each of the 5 abovementioned principles which must be applied when a land use application is to be evaluated. The proposed application for rezoning will subsequently be evaluated on each of the principles.

Spatial justice		
Criteria	Compliance	Planning Implication

Past spatial and other development imbalances must be redressed through improved access to and use of land.	Complies with.	This application will result in transforming the existing structures to offices. The proposal is in accordance with the development proposals for this area as per the George Spatial Development Framework 2023. It will lead to more efficient use of land.
Spatial development frameworks and policies at all spheres of government must address the inclusion of persons and areas that were previously excluded, with an emphasis on informal settlements, former homeland areas and areas characterised by widespread poverty and deprivation.	Complies with.	George Municipality approved a Spatial Development Framework for George, 2023 which contains development proposals which are aimed at improving the quality of life of all the inhabitants of George. The approval of this application will result in professional offices within the CBD and discourage offices outside the CBD.
Spatial planning mechanisms, including land use schemes, must incorporate provisions that enable redress in access to land by disadvantaged communities and persons.	Complies with.	George Municipality approved the George Integrated Zoning Scheme By-Law, 2023, which contains zoning- and development parameters which guide the development of all erven in respect of type of structure allowed, land uses and building lines. These parameters enable the development of the proposed offices.
Land use management systems must include all areas of a municipality and especially include provisions that are flexible and appropriate for the management of disadvantaged areas, informal settlements and former homelands areas.	Complies with.	George Municipality approved the George Integrated Zoning Scheme By-Law, 2023, which contains zoning- and development parameters which guide the development of all erven in respect of type of structure allowed, land uses and building lines. These parameters enable the development of offices as proposed in this application.
Land development procedures must include provisions that accommodate access to secure tenure and incremental upgrading of informal areas.	Not applicable.	This provision does not apply to this application, as no informal residential development is involved.
A Municipal Planning Tribunal, considering an application before it, may not be impeded or restricted in the exercise of its discretion solely on the ground that the value of land or	Not applicable.	As far as is known, the Eden Joint Planning Tribunal - George Municipality's discretion when considering applications is not affected by the value of land or property.

property is affected by the outcome of this application.		Decision making is, as far as is known, based on the principles, as stated in Section 7 of the Spatial Planning and Land Use Act, 2013 (Act 16 of 2013).
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Spatial sustainability		
Criteria	Compliance	Planning Implication
Promote land development that is within the fiscal, institutional and administrative means of the Republic.	Complies with.	The proposed development will have no impact on the fiscal, institutional or administrative capabilities of the George Municipality. The George Municipality's income base will in fact be broadened through this development proposal.
Ensure that special consideration is given to the protection of prime and unique agricultural land.	Not applicable.	The provisions of the Act on the Subdivision of Agricultural Land, 1970 (Act 70 of 1970) do not apply to the application.
Uphold consistency of land use measures in accordance with environmental management instruments.	Not applicable.	The proposed development does not trigger any listed activities in terms of environmental legislation.
Promote and stimulate the effective and equitable functioning of land markets.	Complies with.	The application erf is situated in the CBD of George as determined in the George Spatial Development Framework, 2023. The proposed development will not have a negative impact on surrounding property values and will contribute to the upgrading of the area, which could result in increased property values in the vicinity.
Consider all current and future costs to all parties for the provision of infrastructure and social services in land developments.	Complies with.	All infrastructure required for the development will be provided by the developer at his cost in accordance with municipal requirements.

Promote land development in locations that are sustainable and limit urban sprawl.	Complies with.	The property is in terms of the George Spatial Development Framework. 2023 located within the urban edge of the George Municipal area and is in terms of the framework targeted for urban development. The proposal will thus not result in urban sprawl.
Result in communities that are viable.	Complies with.	The development of Erf 1363 George with professional offices, as proposed in this application, will contribute towards a vibrant and viable CBD, which will have a positive effect on property values and the economy of George. This will result in additional income for the Municipality, which could be used for the improvement of quality of services to all the citizens of George.

Spatial efficiency		
Criteria	Compliance	Planning Implication
Land development optimises the use of existing resources and infrastructure.	Complies with.	The required infrastructure for the proposed development will be provided by the developer at his costs. The proposal will thus not result in infrastructure costs to any external parties. The proposal will thus not place any burden on municipal budget for the provision services infrastructure.
Decision-making procedures are designed to minimise negative financial, social, economic or environmental impacts.	Complies with.	In terms of the contents of this Motivation Report the proposed development will have no negative financial, social, economic or environmental impacts. It will thus be possible to comply with any procedures which the George Municipality has designed to minimise negative financial, social, economic or environmental impacts.

Development application procedures are efficient and streamlined and timeframes are adhered to by all parties.	Complies with.	George Municipality has adopted the George Municipality: Land Use Planning By-law, 2023 which prescribes procedures and time frames developers must comply with when submitting land use applications, and which officials must consider when considering applications. This application has been prepared in accordance with the stipulations of the George Municipality: Land Use Planning By-law, 2023 and the application will therefore be managed and considered in accordance with the time frames as prescribed.
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Spatial resilience		
Criteria	Compliance	Planning Implication
Flexibility in spatial plans, policies and land use management systems are accommodated to ensure sustainable livelihoods in communities most likely to suffer the impacts of economic and environmental shocks.	Complies with.	The application erf is situated within the urban edge of George, in the CBD earmarked for Business development in the George Spatial Development Framework, 2023 and CBD Local Spatial Development Framework, 2012.

Good administration		
Criteria	Compliance	Planning Implication

<p>All spheres of government ensure an integrated approach to land use and land development that is guided by the spatial planning and land use management systems as embodied in this Act.</p>	<p>This is general principle that municipalities need to comply with.</p>	<p>Input was received from all spheres of government when the George Spatial Development Framework was drafted. An integrated approach, guided by the spatial planning and land use management systems as embodied in this Act, was thus followed in the preparation of the George Spatial Development Framework. As the development proposal can be deemed to comply with the contents of the George Spatial Development Framework, 2023 it can be stated that the proposal complies with the specific criteria.</p>
<p>All government departments must provide their sector inputs and comply with any other prescribed requirements during the preparation or amendment of spatial development frameworks.</p>	<p>This is general principle that municipalities need to comply with.</p>	<p>Input was received from all government departments and sectors when the George Spatial Development Framework and the CBD Local Spatial Development Framework, 2012 was drafted. An integrated approach, guided by the spatial planning and land use management systems as embodied in this Act, was thus followed in the preparation of the two Frameworks. As it can be deemed that the development proposal complies with the contents of the Frameworks, it can be stated that the proposal complies with this specific criterion.</p>
<p>The requirements of any law relating to land development and land use are met timeously.</p>	<p>This is general principle that municipalities need to comply with.</p>	<p>The George Municipality has adopted the George Municipality: By-law on Land Use Planning, 2023 which prescribes procedures and timeframes which developers must adhere to when submitting land use applications and which officials needs to take into consideration when considering applications. This application has been prepared in keeping with the requirements as per the George Municipality: By-law on Land Use Planning, 2023 and the application will from date of submission be dealt with and be considered within the timeframes prescribed in the by-law.</p>

The preparation and amendment of spatial plans, policies, land use schemes as well as procedures for development applications, include transparent processes of public participation that afford all parties the opportunity to provide inputs on matters affecting them.	This is general principle that municipalities need to comply with.	This application will be advertised in accordance with the stipulations as contained in the George Municipality: By-law on Land Use Planning, 2023. All parties will be given the opportunity to participate in the public participation process and will be afforded the opportunity to provide input on the application.
Policies, legislation and procedures must be clearly set in order to inform and empower members of the public.	This is general principle that municipalities need to comply with.	The George Municipality: By-law on Land Use Planning, 2023 contains clear procedures set to inform and empower members of the public. This application will be subjected to these procedures.

As can be seen from the table above, it can be argued that the proposal can be regarded as being compatible with the 5 development principles of SPLUMA.

5.5.3 “Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)”

In terms of the above Act, it is expected of a municipality to consider the compatibility of any development proposal with existing provincial and municipal spatial development frameworks and as well as more detailed local spatial frameworks.

Section 19(1) and 19(2) of the Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA) which is relevant to this application reads as follows:

- 19(1) If a spatial development framework or structure plan specifically provides for the utilization or development of land as proposed in a land use application or a land development application, the proposed utilization or development is regarded as **complying** with that spatial development framework or structure plan.*
- 19(2) If a spatial development framework or structure plan does not specifically provide for the utilization or development of land as proposed in a land use application or a land development application, but the proposed utilization does not conflict with the purpose of the relevant designation in the spatial development framework or structure plan, the*

*utilization or development is regarded as being **consistent** with that spatial development framework or structure plan.”*

The compatibility of the development proposal with existing spatial development frameworks is addressed in points 5.5.5 to 5.5.7 of this report.

The development principles referred to in Section 59 of LUPA, which should also be considered when motivating an application, are directly in line with the principles of SPLUMA which have been discussed in detail in section 5.5.2 above. The comments in paragraph 5.5.2 are thus also relevant as far as Section 59 of LUPA is concerned.

5.5.4 National Heritage Resources Act, 1999 (Act 25 of 1999)

Erf 1363 George is 1089m² in extent and the existing structures are older than 60 years. A permit application for alterations and additions to structure(s) older than 60 years was submitted in terms of Section 34 of the National Heritage Resources Act, 1999 (Act 25 of 1999) to Heritage Western Cape. Heritage Western Cape granted the permit application, and a copy is attached hereto as **Annexure “K”**.

5.5.5 Western Cape Provincial Spatial Development Framework (WC-PSDF)

5.5.5.1 Introduction

The Western Cape Provincial Spatial Development Framework (WC-PSDF) not only provides for a new spatial development pattern for the province but also clearly points out where development may and may not take place. The provisions of the development framework must therefore be considered with any development proposal.

In terms of the framework, mention is made of several principles namely spatial justice, spatial sustainability, spatial resilience, spatial efficiency, accessibility and quality of life and good administration to which spatial planning must comply. The impact of the application on spatial justice, spatial sustainability, spatial resilience, spatial efficiency, has already been fully

discussed in point 5.5.2 above and it has been shown that the proposed development complies with the mentioned principles.

Several policy statements are also highlighted in terms of the WC-PSDF which must specifically correlate with the mentioned principles. Some of the policy statements that are relevant to this town planning application will be addressed in the following points.

5.5.5.2 Protection of agricultural land

In terms of the WC-PSDF it is indicated that agricultural land must be protected. Erf 1363 George is zoned Single Residential Zone I and is not used for agricultural purposes. This objective of the WC-PSDF is therefore not relevant to this application.

5.5.5.3 Urban edge

The WC-PSDF provides for a guideline which determines that towns should identify an urban edge, and that development should be restricted to areas inside the urban edge. The George Municipality identified an urban edge, and Erf 1363 George falls within the identified urban edge. As such, the proposed development will not result in "urban sprawl". The proposal therefore meets the requirement of this guideline set out in the WC-PSDF.

5.5.5.4 Densification

In terms of the WC-PSDF, higher densities and more compact cities must be created. The proposed development is for professional offices and therefore this objective of the WC-PSDF is not relevant to this application.

5.5.5.5 Self-sustainability of development

A further guideline which is laid down is that any development should be self-sufficient. It states that *"the development needs of the present generations should be met without the ability of future generations to meet their own needs, being compromised."* The development as proposed by this application will be self-sufficient and will not place any burden on the future residents of

George. The development will in fact make a positive contribution to the improvement of the residents of George's quality of life since it will contribute to the property rates structure of the George Municipality and will also create temporary and permanent job opportunities within the CBD.

The proposed additions and alterations to the existing structures on Erf 1363 George, to become offices, represents a fair-sized financial investment. As such, the proposed offices will have a positive effect on the economy of George and contribute to the fact that not only the George Municipality, but also various suppliers of materials and services, can generate additional income from the development, income that can be used towards the improvement of the quality of life of the respective service providers as well as the resident of George in general.

The WC-PSDF furthermore states that settlement areas that have sufficient natural resources and an economic development potential to accommodate self-sustaining long-term population growth must be identified and that development outside the areas must be prevented and developments must be channelled to the settlement areas. George is the main town of the Southern Cape and has already proven that it is a town that has the development potential to be self-sustainable. The proposal will make a positive contribution to the further strengthening of George as a self-sustainable town. The proposal to establish the development within George is therefore in line with the specific guideline of the WC-PSDF.

5.5.5.6 Public Transport

The WC-PSDF states that "non-motorised" and public transport should be promoted. Erf 1363 George are located 600 metres from the main road, York Street, as well as 370 metres from CJ Langenhoven Street another main arterial route within George CBD with various bus stops within walking distance of the proposed offices. The property is thus located within a public transport service PT 1 area as per the George Integrated Zoning Scheme By-law, 2023 in terms of which certain incentives regarding the provision of parking spaces are available to a development. The development proposal therefore also complies with the guideline contained in the WC-PSDF in this respect.

5.5.5.7 Summary

From the content of point 5.5.5 it seems clear that the application can indeed be considered compatible with the WC-PSDF.

5.5.6 George Spatial Development Framework, 2023 (GSDF)

Erf 1363 George is located within the study area of the George Spatial Development Framework, 2023 (GSDF) and the framework therefore applies to this application. The properties are situated in the “Restructuring Zone” proposed for the George CBD on Map 23: “George CBD and York Street Southern Precinct” in the George Spatial Development Framework, 2023 (GSDF).

In table 13: “Spatial Elements”, “*Central Business District (CBD)*” is explained as follows:

- *The Central Business district is the primary economic core of the city area, consisting of main businesses, commercial activities, corporate head offices, regional community services, transportation hubs and open spaces.*
- *Focussing on mixed land uses including high density residential.*
- *Development of flats advised to include retail component on ground floor.*
- *The CBD is subject to the restructuring zone together with the residential densification fringe, this fringe relates density in accordance with distance from public transport routes. Measured as walking distance from public transport route (80u/ha (or more to be motivated) for 150m, 60u/ha in 151-350m and 45u/ha for 351-500m.*
- *The CBD, as a whole is considered a residential densification area. Mixed use which included large office blocks and retail uses to be contained in the CBD core.*
- *The proclaimed Restructuring Zone is included in the CBD.*

The subject property is situated in the CBD and restructuring zone, which allows business, commercial and high-density residential development. The proposed professional offices located in the CBD are therefore consistent with the objectives of the Spatial Development Framework, 2023.

Except for the indication that the application property falls within the Urban Edge of George, as well as within the area identified for “*intensification zone*” and thus complies with the broader

principles for the CBD, the George Spatial Development Framework, 2023, contains no specific future development proposals for this area which could be used to evaluate the compatibility of a land use application with the Spatial Development Framework.

5.5.7 CBD Local Spatial Development Framework, 2012

The following extract from the George Central Business District Spatial Development Framework, 2012, that deliberates about the goals for the CBD is relevant to the application.

*“In the complicated economic times of the day, a LSP for a CBD cannot merely be an allocation of space for expansion of the business area. There are complex market forces at work that determine the functioning and maintenance of the CBD that need to be factored in in the future strategies for the area. Based on all the principles that are involved in the growth strategy for George and the functioning of the CBD, the following **KEY OBJECTIVES** are formulated for the CBD that in turn identify the **focus areas** for intervention:*

OBJECTIVES AND FOCUS AREAS FOR INTERVENTION

- *In order to strengthen urban restructuring of George, the CBD has to be part of the restructuring strategy which includes the densification thereof, social integration and the introduction of mixed uses.*
- *The George CBD forms one of the main economic generators of George and the Town Council will have to manage it as such. The Town Council must consider the renewal of the CBD as an economic project to be executed as part of their LED projects.*
- *The CBD has to be repositioned and regenerated to function effectively in the current market trends.*
- *The residential component of the CBD has to be strengthened considerably by means of densification.*
- *The CBD has to develop a branding of its own which will distinguish it from any other business node and which will make it desirable to visit.*
- *In order to achieve effective implementation the project must be driven by a suitable and formal vehicle such as a City Improvement District with a professional as the executive officer.*

- *In order to promote densification and other development initiatives by entrepreneurs the Council has to consider relief in the form of tax and tariff rebates.”*

From the above, it is clear that the central business district should be developed to be consumer-friendly, attract investment, and drive visible progress. To achieve these goals, residential development and offices in the town centre are encouraged. This spatial framework therefore aims to increase the number of permanent residents in the town centre, with the intention of stimulating economic activity both during the day and after hours.

The properties are situated in the Medium-term Business Development Edge as per the George Central Business District Spatial Development Plan, 2012. The framework encourages business uses including offices in the CBD. The George CBD Spatial Development Plan, 2012 is attached to as **Annexure “L”**

The proposal is clearly in keeping with the goals and objectives of the George Central Business District Spatial Development Plan, 2012 and there is as such no reason why the application cannot be supported from this point of view.

5.5.8 George Integrated Zoning Scheme By-Law, 2023

Erf 1363 George which is currently Zoned as Single Residential Zone I in terms of the George Integrated Zoning Scheme By-Law, 2023 will be rezoned to Business Zone IV. The George Municipality encourages offices in the CBD to protect the surrounding residential neighbourhoods against business creep.

The dwelling house and second dwelling unit may have a small home office if the owner resides on the property and only employs 3 employees. It is, however, proposed to convert all the existing structures into professional offices (attorneys) and therefore a rezoning is required. The following table indicates the development parameters applicable to offices in terms of Schedule II of the By-Law mentioned as well as the compliance of the proposal with the different parameters:

Development parameter	Description	Adherence
Height	12 metres	6.5 metres (single storey) - complies
Coverage	60%	29.57% - complies
Floor Factor	2	0.3 – complies
Street building line	5 metres.	5 metres – complies
Side and rear building lines	3 metres	Building line departures applied for
Parking	Normal areas – 4 per 100m ² GLA PT – 3 per 100m ² GLA	Applied for PT1 to be made applicable to development – 322.03m ² – 10 parking bays – comply with PT1 (11 provided)

The desirability of the building line and parking requirement departures are discussed in points 6 of this motivation report.

5.5.9 Title Deed

Although the title deed of a property is not a planning document, it sometimes still contains conditions which may have an essential impact on the development potential of a property.

The title deed of Erf 1363 George was scrutinized, and it was found that the title deed contains no conditions prohibiting the rezoning and departures as proposed.

A Conveyancer Certificate confirming the abovementioned is attached hereto as **Annexure “J”**.

5.6 Compatibility of the proposal with the character of the area

Erf 1363 George is located on the northern side of St John’s Street. This portion of St John’s Street, which is located between Cross Street and Varing Avenue, has a mixed land use character with land uses varying from dwelling houses, a pre-school, business buildings and

offices. The proposed development will be in keeping with this character and can be seen as complementary and supportive of it. No unwanted precedent will therefore be created.

5.7 Compatibility of the proposal with the natural environment

Erf 1363 George is situated within the Urban Edge of George and various historic houses have been converted into offices in the immediate area. There is very little “*natural*” environment in this area, as most properties have been developed. The proposal includes flowerboxes at the entrance and at the back of the property to bring in a natural element to the built-up area, as well as grass to create a soft and relaxing environment.

The proposed offices will thus not have a negative impact on the natural environment and can be considered compatible with the existing natural environment.

5.8 Potential of the erf

Erf 1363 George is located within the study area of the George Spatial Development Framework, 2023 (GSDF) and the framework therefore applies to this application. The erf is situated in the “Restructuring Zone” proposed for George CBD on Map 23: “George CBD and York Street Southern Precinct” in the George Spatial Development Framework, 2023 (GSDF).

The subject erf is situated within the George CBD, also in the restructuring zone, that encourages revitalization of the CBD. Business uses and specifically offices should be encouraged in the CBD to eliminate business creep in surrounding residential neighbourhoods. The proposed offices are in line with the spatial objectives for the CBD and will fit the environment as most of the properties in the immediate area are utilized for offices.

5.9 Access to the erf

Erf 1363 George is located on the northern side of St John’s Street and gain direct access from St John’s Street. During the pre-application the CES (Civil and Technical Department) suggested that a second access might be required for the parking bays in front of the historic structure. Therefore, this application includes a departure for additional access from St John’s Street. This

departure will be discussed in point 6.8 of this report. The existing access to Erf 1363 George from St John's Street will remain in place and an application for an additional access is also applied for. Access is thus not a concern for the proposed development of offices on Erf 1363 George.

5.10 Provision of parking

It is the intention to convert the existing historic dwelling house and second dwelling unit on Erf 1363 George into offices.

The parking requirements applicable to different land uses are set out in a table in Section 42 of the George Integrated Zoning Scheme By-Law, 2023. In terms of a "*Normal Area*" as per the By-law 4 bays per 100m² GLA and in terms of a "*PT1 Area*" as per the By-law 3 bays per 100m² GLA. In terms of the latter requirement 10 parking bays should be provided within the boundaries of the erf for the proposed offices. The proposed development will provide 11 parking bays. The fact that the required number of parking bays for the development is to be provided in accordance with a "PT1 Area", necessitates that an application for relaxation of the parking requirements is necessary. The application for relaxation of the parking requirements is discussed in point 6.7 of this motivation report.

5.11 Provision of services

The existing dwelling house and second dwelling unit are connected to the municipal services, and all upgrades and connections will be for the account of the owner.

6. DESIRABILITY OF THE APPLICATION FOR PERMANENT DEPARTURE (RELAXATION OF BUILDING LINES, PARKING REQUIREMENTS AND SITE ACCESS AND EXITS)

6.1 Introduction

In terms of the development parameter (d) applicable to "offices" as per the George Integrated Zoning Scheme, 2023 the building lines for offices are as follows:

“(e) Building lines

- (i) The street building line is at least 5 metres.*
- (ii) Side and rear building lines are at least 3 metres*
- (iii) Notwithstanding, subparagraph (ii), the side building lines for properties smaller than 650m² must be 0 metres for the first 12 metres measured perpendicular from street boundary; 0 metres for 60% of total remaining linear distance along all side and rear boundaries around the land unit; and 3 metres for the remainder.*
- (iv) The general building line encroachments in this by-law apply.”*

In terms of the development proposal for offices on Erf 1363 George, the following building line relaxations are applied for:

- the northern rear boundary building line from 3,0 metres to 1,0 metres for a distance of 11,180 metres to accommodate the proposed offices.
- the eastern side boundary building line from 3,0 metres to 1,260 metres for a distance of 3,540 metres and from 3,0 metres to 1,040 metres for a distance of 9,270 metres to accommodate the proposed offices.
- the western side boundary building line from 3,0 metres to 0,0 metres for a distance of 6,440 metres to accommodate the covered entryway.

The building lines that are applied for are indicated on the site plan and building plans which are attached hereto as **Annexure “B”**.

The following departure applications are furthermore required for the proposed parking relaxation as well as the additional site access and exit:

- an application in terms of Section 15(2)(b) of the By-law on Land Use Planning for George Municipality, 2023 the relaxation of the parking requirements applicable to offices from 4 parking bays per 100m² GLA to 3 parking bays per 100m² GLA.

- an application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from Section 45(4)(b) of the George Integrated Zoning Scheme By-law, 2023 to allow for a second carriageway crossing, 10.055 metres apart from each other, from St John's Street to Erf 1363 George.

Specific issues which must be addressed in the motivation of applications are highlighted in the Land Use Planning By-Law for George Municipality, 2023. These issues are, however, aimed at more complex applications and are not applicable to lesser applications, such as permanent departures in respect of the relaxation of building lines, parking requirements and access and exits.

This application will therefore be motivated with reference to the following aspects:

- *Compatibility of the proposal with the existing planning and land uses of the surrounding area.*
- *The impact that the proposal will have on the environment.*
- *The impact that the proposal will have on traffic and parking in the surrounding area.*
- *The impact that the proposal will have on surrounding facilities such as schools, open spaces and other community facilities, should the application result in an increase in the population of the area concerned.*
- *The impact that the proposal will have on the existing character of the surrounding area and the right of the inhabitants of the area in respect of property values, privacy, view, sunlight, et cetera.*
- *Provision of essential services.*

6.2 Existing planning in the area

Most of the buildings along St John's Street (between Cross and Varing Street) are a mixture of dwelling houses which were converted and expanded for the purpose of offices as well as a pre-school, backpackers and dwelling houses.

The additions to the existing structures on Erf 1363 George comply with the building lines and the departure of the building lines are only applicable to the existing historic buildings. These

structures have been in this position for years and the change in land use will not cause any disturbance or infringement to the neighbouring properties.

This area in the CBD is busy transforming to align with the spatial objectives of the George Municipal Spatial Development Framework (GMSDF). The GMSDF also encourages lower parking ratios to enhance the public transport system, the Go-George buses, and the property is located within easy walking distance of various bus stops. Furthermore, it is common practice that the businesses along Saint John's Street have more than one access to enable the maximum development potential of the properties.

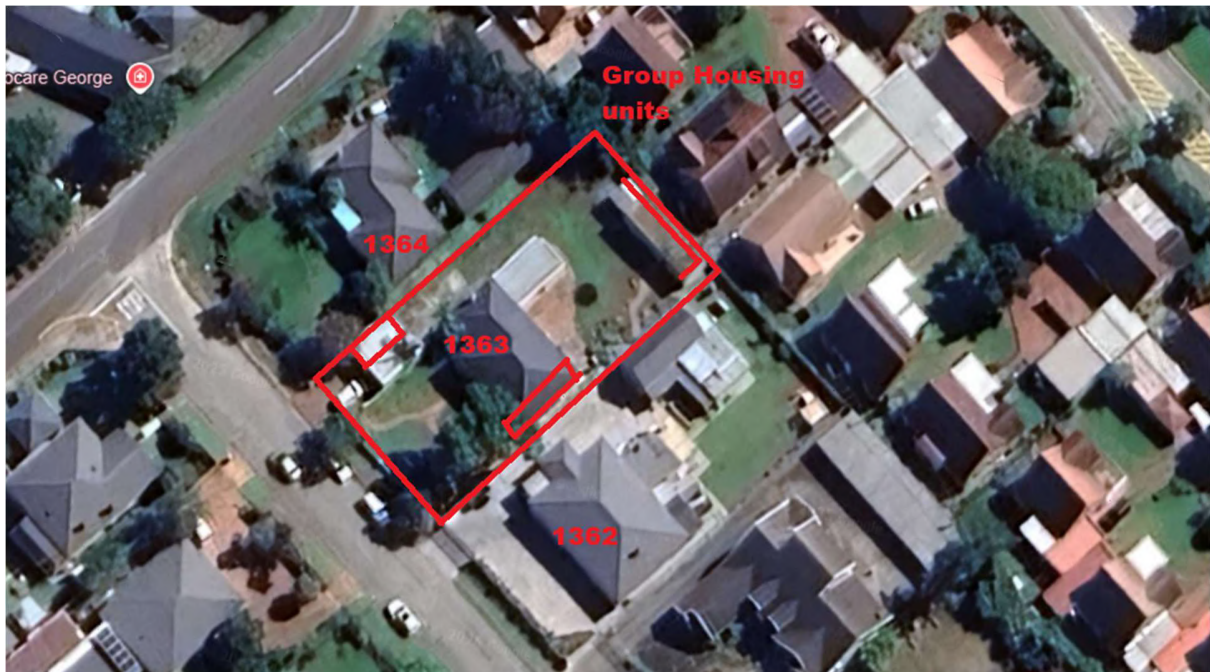
The relaxation of the building lines, parking requirement and access and exits as proposed in this application will thus not create an undesirable precedent and can as far as the applicant is concerned be accommodated within the existing planning of the area.

6.3 Impact on schools, open spaces and other community facilities

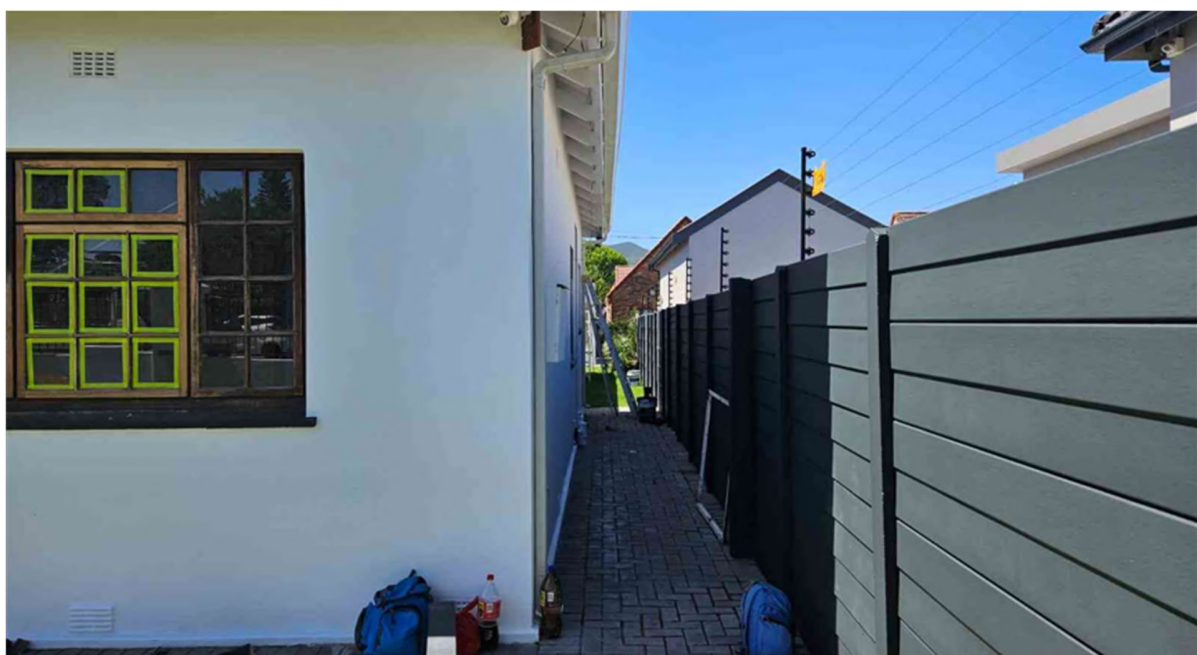
The offices as proposed will not have any impact on schools or community facilities. The developer will provide green space on Erf 1363 George by retaining the mature tree in front of the historic structure. Some landscaped areas and flowerboxes will furthermore also be developed on the property. From the above it is clear that this application will not have a negative impact on these facilities.

6.4 Impact on sunlight, view and privacy

As can be seen from the aerial photo (Google Earth) below the existing historic structures have been in this position for years. Building line relaxation is only required due to the change in land use. The proposed offices are single storey and restricted to the existing buildings on the erf and can therefore not have any changing impact on the neighbouring properties sunlight, view or privacy. The covered entrance on the western side boundary building line was the former garage. This structure was partly converted to provide the covered access to the back of the property and to create another office space.



The following photo indicates the existing dwelling house that is located over the eastern side boundary building line. From the photo it is clear that the neighbouring property's buildings are located further away from the boundary and will therefore not be impacted by the building line relaxation.



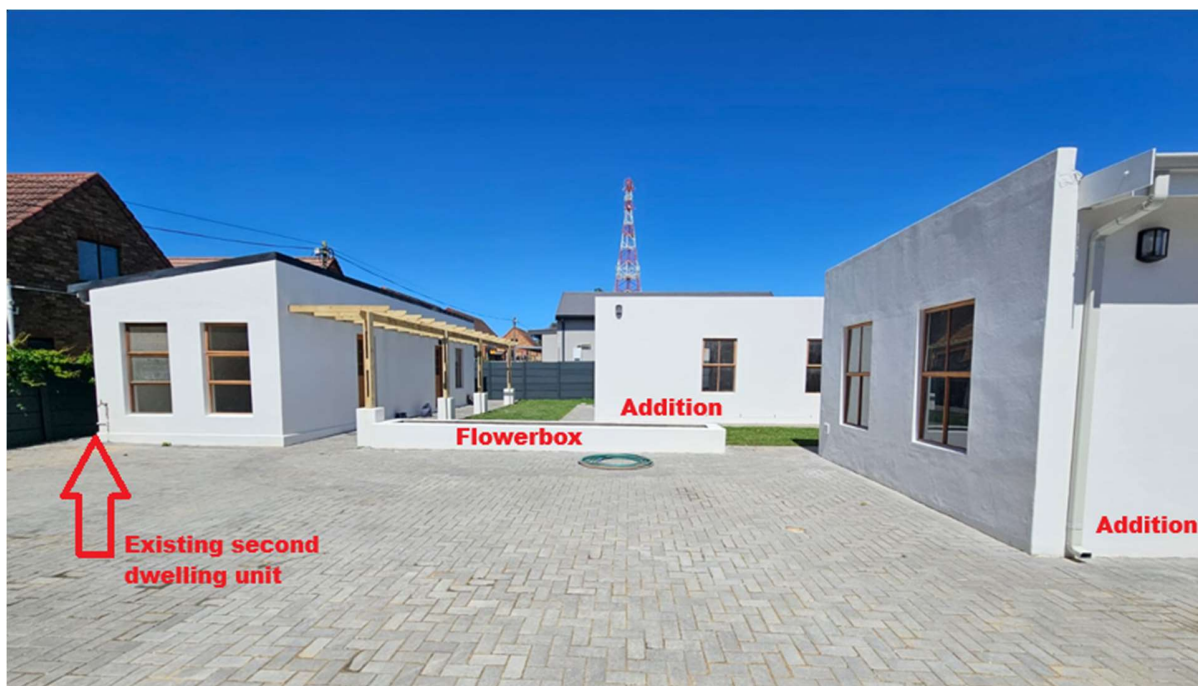
The following photo indicates the existing double garage converted into the covered entrance and exit way, with an outbuilding that will become an office space after successful approval of the rezoning application.



The photo below is the entrance way, view from St John's Street that requires the western side boundary building line relaxation.



The next photo indicates the existing second dwelling unit to become offices that require the rear and eastern side boundary building line relaxation.



No other erf is affected by the side and rear building line relaxation applied for the proposed offices. The area is being transformed and most of the dwelling houses are converted into offices.

6.5 Impact on streetscape

The building line encroachment for the proposed offices is along the side and rear boundaries of the consolidated erf and will therefore have no impact on the streetscape along ST John's Street.

The proposed offices will furthermore improve the St John's Street streetscape as major improvements are under way to improve the appearance of the historic structures, as can be seen from the 3D image below.



The additional access and exit to the parking bays in front of the historic structure is in keeping with the existing office developments in St John's Street and can therefore not negatively impact the streetscape. There is thus no reason from this point of view why the application cannot be supported.

6.6 Impact on property values

As indicated in the previous paragraphs, the offices will not have a negative impact on any of the surrounding properties. The improvements and alterations to the historic structures are supported by Heritage Western Cape, and the finishes will be aesthetically pleasing. The proposed development will add value to the underutilized erf in the CBD.

The value of surrounding properties cannot be negatively impacted upon by the building line relaxation, parking relaxations and site access and exits as proposed in this application.

6.7 Impact on the provision of parking (parking relaxation)

The relaxation of the side and rear boundary building lines as proposed in this application will have no impact on the provision of the required number of parking bays for offices.

The parking requirements applicable to different land uses are set out in a table in Section 42 of the George Integrated Zoning Scheme By-Law, 2023. In terms of a "Normal Area" as per the By-law 4 parking bays per 100m² GLA should be provided. In terms of a "PT1 Area" as per the By-law 3 parking bays per 100m² GLA should be provided. In terms of the latter requirement 10 parking bays should be provided within the boundaries of the erf for the proposed offices. In terms of the development proposal 11 parking bays will be provided. As can be seen on the site plan attached as **Annexure "B"**.

The following motivation is presented in support of the application for relaxation of the parking requirements:

- In terms of the By-law on Land Use Planning for George Municipality, 2023, the parking requirements applicable to different land uses are detailed in table format in Section 42 of the mentioned by-law. In terms of the Table - "Minimum Off-street parking requirements" different parking requirements for the same type of land use are proposed depending on the area within which the erf is located. In terms of the by-law three typical parking area are identified, namely *"Normal areas, PT1 Areas and PT2 Areas"* with *"PT"* referring to *"Public Transport"*. In terms of the table, it is apparent that, the greater the availability of public transport, the lower the parking requirement. The by-law however state that the *"PT1 Areas and PT2 Areas"* must be indicated on the zoning map that accompanies the by-law. At this stage, the areas have yet not been indicated on the zoning map and the parking requirements for the various areas cannot be applied without a specific application for relaxation of the parking requirements.
- It appears from discussions with officials who are directly involved in the determination of parking requirements that it is generally accepted that the parking requirement as per "PT1 Areas" applies along bus routes and within the CBD. Erf 1363 George are located in the George CBD where public transport is encouraged, and an application may be submitted to provide parking in accordance with the *"PT1 Area"* requirements. In terms of a *"PT1 Area"* as per the By-law 3 parking bays per 100m² GLA is required for offices. In terms of

the latter 10 parking bays are required for the proposed offices. The proposed development will thus comply with the “PT1 Area” parking requirement by providing 11 parking bays.

- Erf 1363 George is located 600 metres from York Street and 370 metres from CJ Langenhoven Street, thus within walking distance from various Go-George bus stops. There is therefore no doubt that the erf is located within a “PT1 Area” and that the parking ratios as proposed for offices can be applied to this development. The proposal is therefore directly in keeping with the parking requirements applicable to a “PT 1 Area”.
- The purpose of a public transport service is to limit the use of the private vehicle to allow for the optimal use of the public transport service. By relaxing parking requirements, the public is forced to use the public transport service. The relaxation of parking requirements therefore has a direct impact on the successful operation of the public transport service. In this particular case, the erf is located in such a location that employees at the offices can, without any difficulty make use of the public transport service.
- In the signed pre-application form, it is indicated that the Directorate of Civil and Technical Services support an application for relaxation of the parking requirements. The support of the application by the Directorate indicates that the Directorate shares the view highlighted in the above points.

Considering the contents of above paragraphs, it is argued that there is no reason why the application for relaxation of the parking requirements cannot be approved.

6.8 Impact on traffic circulation (access and exits)

Erf 1363 George currently has a single access on the western side of the erf, however it requires a second access for the parking bays proposed in front of the historic heritage structures to provide sufficient parking bays for the proposed offices.

Therefore, a permanent departure from Section 45(4)(b) site access and exits to allow for a second carriageway crossing to Erf 1363 George from St John’s Street.

Various erven in Saint John's Street have second access and exits, due to the historic structures and provision of parking for office developments. A second access is thus not out of the ordinary for this area.

6.9 Provision of services

The structures on Erf 1363 George have been in that position for years without any impact on the services. Therefore, the provision of services to the proposed offices will not be negatively impacted by the departure applications.

6.10 Firefighting

The firefighting requirements stipulated in the fire-regulations will be complied with for the proposed offices. Firefighting requirements will be addressed during the building plan phase and therefore the office building will be fully compliant with the firefighting regulations.

7. CONCLUSION

The motivation above indicates that the proposed development is compatible with all existing planning documents, spatial plans, legislation and policy documents applicable to the applications.

The proposal will not have a negative impact on the environment, development, public facilities, traffic circulation or Municipal services in the surrounding area.

The applications can therefore be considered desirable and are submitted for consideration in terms of the relevant stipulations of the Land Use Planning By-Law for the George Municipality, 2023.

ANNEXURE "A": APPLICATION FORM



Application Form for Application(s) Submitted in terms of the Land Use Planning By-Law for George Municipality

NOTE: Please complete this form by using: Font: Calibri; Size: 11

PART A: APPLICANT DETAILS

First name(s)	Johannes George		
Surname	Vrolijk		
SACPLAN Reg No. (if applicable)	A/1386/2010		
Company name (if applicable)	Jan Vrolijk Town Planner / Stadsbeplanner		
Postal Address	P O Box 710		
	George	Postal Code	6530
Email	janvrolijk@jvtownplanner.co.za		
Tel	044 873 3011	Fax	086 510 4383
		Cell	082 464 7871

PART B: REGISTERED OWNER(S) DETAILS (if different from applicant)

Registered owner	Latefire (Pty) Ltd Registration number 2023/096325/07		
Address	8 St John's Street. St John's Place		
	George	Postal code	6529
E-mail	friedel@joncklaw.co.za		
Tel	044 873 3539	Fax	N/a
		Cell	0629375364

PART C: PROPERTY DETAILS (in accordance with Title Deed)

Property Description [Erf / Erven / Portion(s) and Farm number(s), allotment area.]	Erf 1363 George
--	-----------------

Physical Address	16 St John's Street										
GPS Coordinates					Town/City		George				
Current Zoning	Single Residential Zone I			Extent	1089m²			Are there existing buildings?	Y	N	
Current Land Use	Dwelling house and second dwelling unit										
Title Deed number & date	T43949/2024										
Any restrictive conditions prohibiting application?	Y	N	If Yes, list condition number(s).								
Are the restrictive conditions in favour of a third party(ies)?	Y	N	If Yes, list the party(ies).								
Is the property encumbered by a bond?	Y	N	If Yes, list Bondholder(s)?			Standard Bank					
Has the Municipality already decided on the application(s)?	Y	N	If yes, list reference number(s)?								
Any existing unauthorized buildings and/or land use on the subject property(ies)?					Y	N	If yes, is this application to legalize the building / land use?			Y	N
Are there any pending court case / order relating to the subject property(ies)?					Y	N	Are there any land claim(s) registered on the subject property(ies)?			Y	N
PART D: PRE-APPLICATION CONSULTATION											
Has there been any pre-application consultation?			Y	N	If Yes, please complete the information below and attach the minutes.						
Official's name	F Vava & I Huyser		Reference number	N/a		Date of consultation	15 October 2025				
PART E: LAND USE APPLICATIONS IN TERMS OF SECTION 15 OF THE LAND USE PLANNING BY-LAW FOR GEORGE MUNICIPALITY & APPLICATION FEES PAYABLE											
<p>*Application fees that are paid to the Municipality are non-refundable and proof of payment of the application fees must accompany the application.</p>											
BANKING DETAILS											

Name:	George Municipality
Bank:	First National Bank (FNB)
Branch no.:	210554
Account no.:	62869623150
Type:	Public Sector Cheque Account
Swift Code:	FIRNZAJJ
VAT Registration Nr:	4630193664
E-MAIL:	msbrits@george.gov.za
*Payment reference:	Erven 2270 and 20240, George

PART F: DETAILS OF PROPOSAL

Brief description of proposed development / intent of application:

Application for rezoning and permanent departures (relaxation of building lines, parking requirements and site access and exits) in respect of Erf 1363 George for the development of offices.

PART G: ATTACHMENTS & SUPPORTING INFORMATION FOR LAND USE PLANNING APPLICATIONS

Please complete the following checklist and attach all the information relevant to the proposal. Failure to submit all information required will result in the application being deemed incomplete.

Is the following compulsory information attached?

Y	N	Completed application form	Y	N	Pre-application Checklist (where applicable)
Y	N	Power of Attorney / Owner's consent if applicant is not owner	Y	N	Bondholder's consent
Y	N	Motivation report / letter	Y	N	Proof of payment of fees
Y	N	Full copy of the Title Deed	Y	N	S.G. noting sheet extract / Erf diagram / General Plan
Y	N	Locality Plan	Y	N	Site layout plan

Minimum and additional requirements:

Y	N	N/A	Conveyancer's Certificate	Y	N	N/A	Land Use Plan / Zoning plan
Y	N	N/A	Proposed Subdivision Plan (including street names and numbers)	Y	N	N/A	Phasing Plan
Y	N	N/A	Consolidation Plan	Y	N	N/A	Copy of original approval letter (if applicable)
Y	N	N/A	Site Development Plan	Y	N	N/A	Landscaping / Tree Plan
Y	N	N/A	Abutting owner's consent	Y	N	N/A	Home Owners' Association consent
Y	N	N/A	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS)	Y	N	N/A	1 : 50 / 1:100 Flood line determination (plan / report)

			Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) (strikethrough irrelevant)				
Y	N	N/A	Services Report or indication of all municipal services / registered servitudes	Y	N	N/A	Required number of documentation copies
Y	N	N/A	Any additional documents or information required as listed in the pre-application consultation form / minutes	Y	N	N/A	Other (specify)

PART H: AUTHORISATION(S) IN TERMS OF OTHER LEGISLATION

Y	N/A	National Heritage Resources Act, 1999 (Act 25 of 1999) – In the process	Y	N/A	Specific Environmental Management Act(s) (SEMA)
Y	N/A	National Environmental Management Act, 1998 (Act 107 of 1998)			(e.g. Environmental Conservation Act, 1989 (Act 73 of 1989), National Environmental --
Y	N/A	Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)			Management: Air Quality Act, 2004 (Act 39 of 2004),
Y	N/A	Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)(SPLUMA)			National Environmental Integrated Coastal Management Act, 2008 (Act 24 of 2008), National Environmental Management: Waste Act, 2008 (Act 59 of 2008),
Y	N/A	Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations			National Water Act, 1998 (Act 36 of 1998) (strikethrough irrelevant)
Y	N/A	Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)	Y	N/A	Other (specify)
Y	N	If required, has application for EIA / HIA / TIA / TIS / MHIA approval been made? If yes, attach documents / plans / proof of submission etc.			
Y	N	If required, do you want to follow an integrated application procedure in terms of section 44(1) of the Land-Use Planning By-law for George Municipality?			

SECTION I: DECLARATION

I hereby wish to confirm the following:

1. *That the information contained in this application form and accompanying documentation is complete and correct.*
2. *The Municipality has not already decided on the application.*
3. *I'm aware that it is an offense in terms of section 86(1)(d) to supply particulars, information or answers in an application, knowing it to be false, incorrect or misleading or not believing them to be correct.*
4. *I am properly authorized to make this application on behalf of the owner and (where applicable) copies of such full relevant Powers of Attorney/Consent are attached hereto.*
5. *I have been appointed to submit this application on behalf of the owner and it is accepted that correspondence from and notifications by the Municipality in terms of the by-law will be sent only to me as the authorised agent and the owner will regularly consult with the agent in this regard (where applicable).*
6. *That this submission includes all necessary land use planning applications required to enable the development proposed herein.*
7. *I confirm that the relevant title deed(s) have been read and that there are no restrictive title deed restrictions, which impact on this application, or alternatively an application for removal/amendment/suspension forms part of this submission.*
8. *I am aware of the status of the existing bulk services and infrastructure in the subject area and that I am liable for any possible development charges which may be payable as a result of the proposed development.*
9. *I acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.*

Applicant's signature:



Date:

18 November 2025

Full name:

Johannes George Vrolijk

Professional capacity:

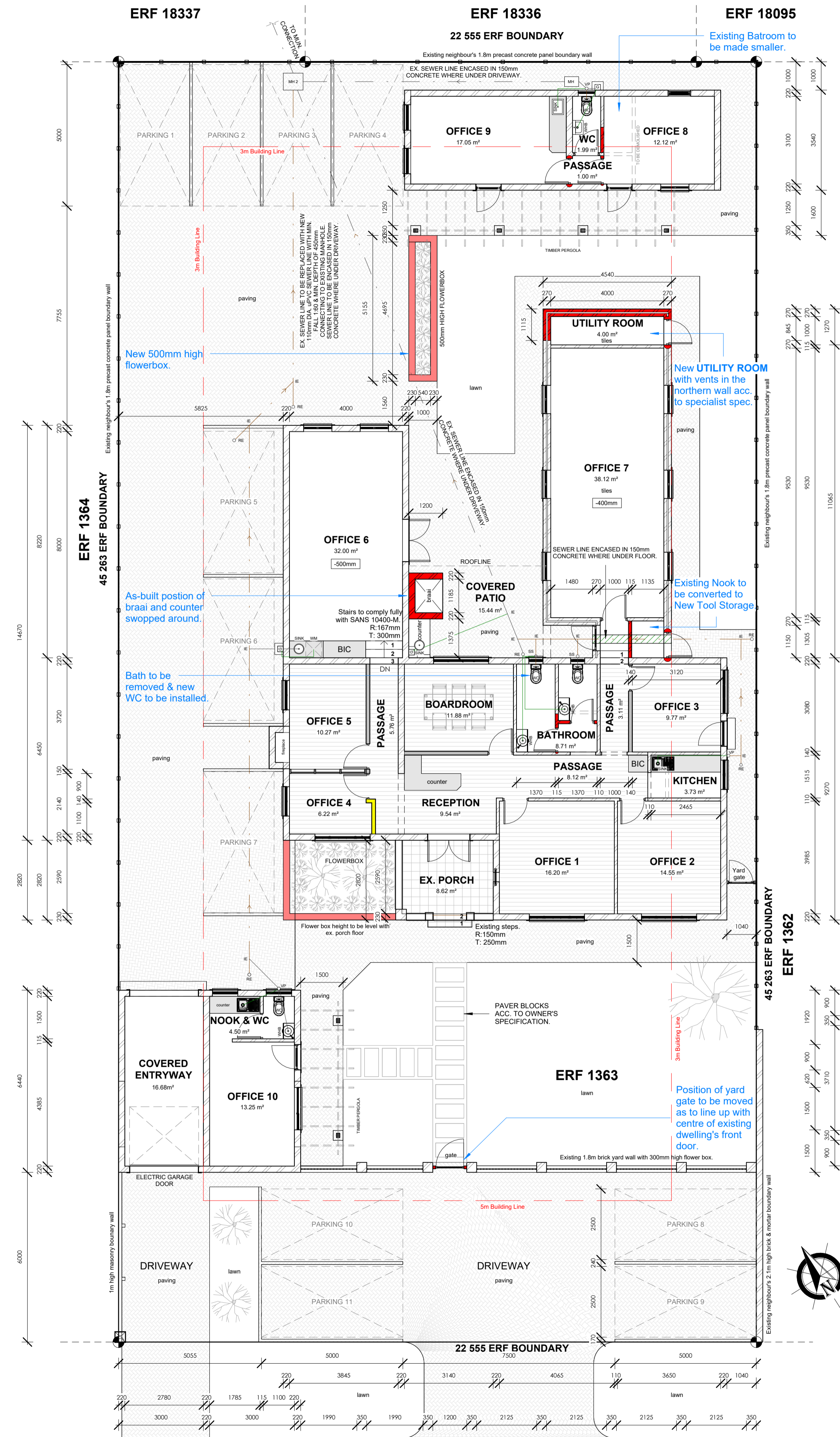
Professionele Stadsbeplanner

SACPLAN Reg. Nr:

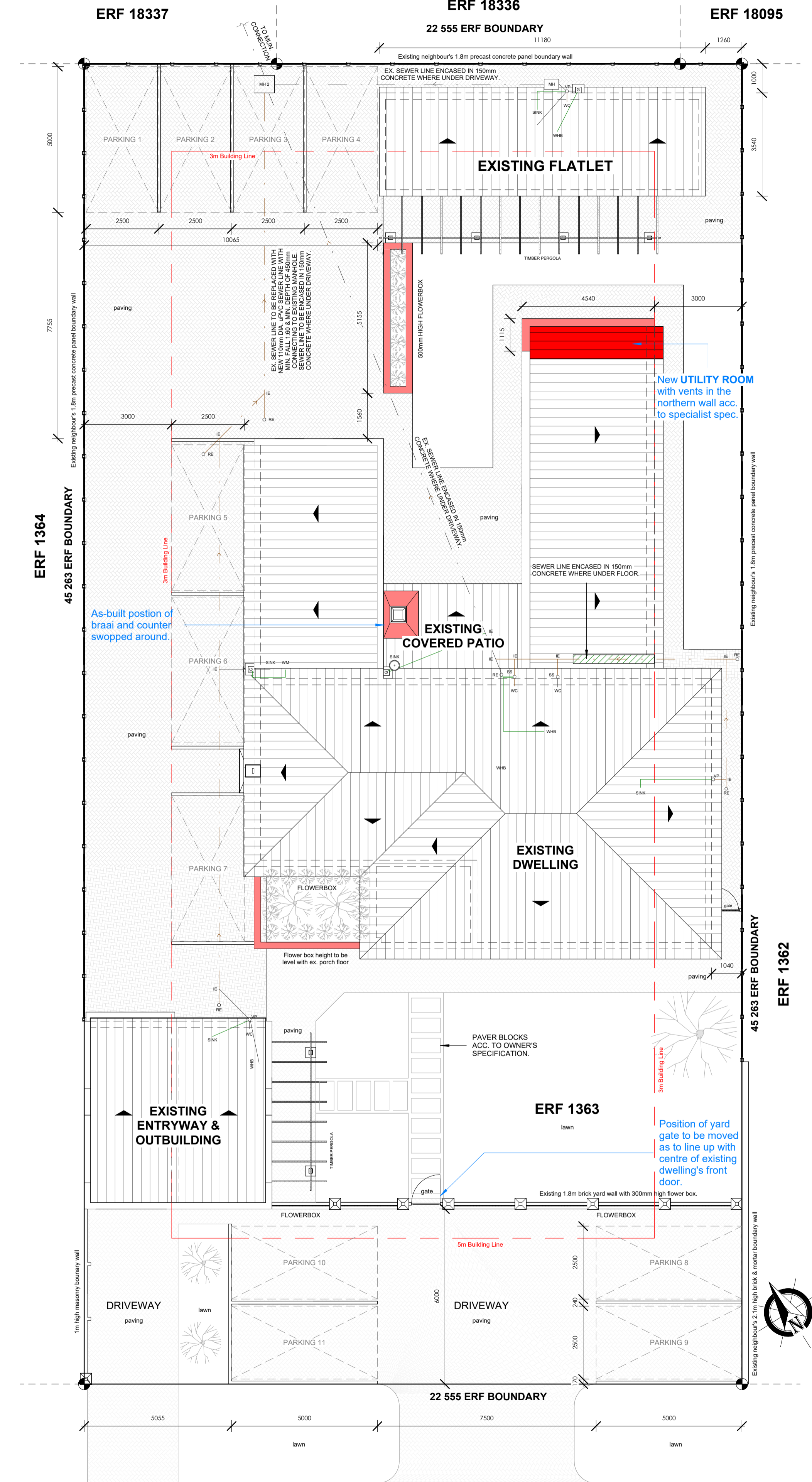
A/1386/2010

ANNEXURE "B": PROPOSED SITE PLAN

NOTE:
THIS PLAN TO BE READ IN CONJUNCTION WITH ALL
PREVIOUSLY APPROVED BUILDING PLANS. ALL
MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ANY
WORK OR MANUFACTURING OF MATERIALS TO COMMENCE.



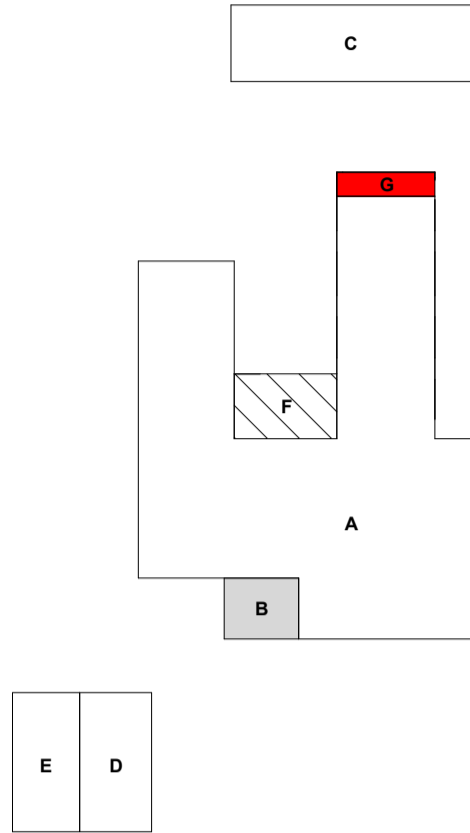
GROUND FLOOR PLAN
1 : 100



SITE PLAN
1 : 100

AREA DIAGRAM

EX. DWELLING	A	211.94 m ²
EX. COVERED PORCH	B	9.73 m ²
EX. FLATLET	C	39.58 m ²
EX. OUTBUILDING	D	21.45 m ²
EX. COVERED ENTRYWAY	E	20.03 m ²
EX. COVERED PATIO	F	14.25 m ²
NEW UTILITY ROOM	G	5.06 m ²



AREA SCHEDULE

EXISTING COVERED AREAS:	
EXISTING DWELLING (A)	211.94m ²
EXISTING COVERED PORCH (B)	9.73m ²
EXISTING FLATLET (C)	39.58m ²
EXISTING OUTBUILDING (D)	21.45m ²
EX. COVERED ENTRYWAY (E)	20.03m ²
EX. COVERED PATIO (F)	14.25m ²
TOTAL EXISTING	316.97m ²
NEW COVERED AREAS:	
NEW UTILITY ROOM (G)	5.06m ²
TOTAL EXISTING & NEW	322.03m ²
COVERAGE:	
EXISTING COVERAGE (A)+(B)+(C)+(D)+(E)+(F)	316.97m ²
NEW COVERAGE NEW UTILITY ROOM (G)	5.06m ²
TOTAL COVERAGE	322.03m ²
SITE AREA	1089m ²
COVERAGE %	29.57%

ARTIST IMPRESSION

NOTE: 3D RENDERERS ARE FOR VISUAL REPRESENTATION
ONLY. DETAILS OVERRIDE RENDERERS.



NOTES:

- All information on the plan must be checked and any discrepancies must be brought to the arch. professional's attention prior to any work commencing.
- All levels and dimensions must be confirmed on site.
- All work and quality of materials must comply with SANS 10400, NBR, SABS standards, and all other appropriate authorities.
- Foundation excavations as well as the surface area below all decks must be treated with SABS approved poison with a 10 year guarantee and must be applied as indicated according to SABS 0124.
- Concrete foundation, surface bed and paving must comply with SABS 0100 & 0161 as well as engineer plans and specifications. Foundations must not encroach on adjoining stands or council footway.
- Where any surface differences in strip foundation occur, the highest section must be extended over the lowest for a distance as thick as the foundation.
- Foundation excavation for outside brick walls must not be less than 400mm under the surface of the adjoining finished ground level.
- Filling under surface beds and concrete paving must be of an acceptable material and must be compacted up to 90% MOD A.A.H.T.O. in layers not exceeding 150mm. Filling must be treated with termiticide as indicated above. Compaction test to be provided by the contractor.
- Unfinished ground floor level must be at least 150mm above finished ground level.
- 375 Micron D.P.C. must be provided in all walls as indicated.
- Correct width brickforce must be provided in each third course in all brick walls, except where shown otherwise.
- All glazing to be according to SABS and NBR requirements. To comply with requirements of SANS 10400 part XA and/or SANS 204.
- All drain pipe works and materials must be according to NBR & SANS 10400 part P requirements.
- Electrical installations must be strictly according to appropriate regulations, and installed by registered professional.
- Wall ties shall be installed in any cavity wall in an evenly distributed pattern at a rate of not less than 3 ties per m² of face area where the cavity is more than 75mm in width.
- Product specific referencing in plans have priority. Any changes thereto, must be discussed with arch professional, before applying changes. By accepting these plans and constructing what these plans promote/instruct, the owner herewith indemnifies the arch professional from any claims arising due to product specific failures that might occur, during or after construction have been completed.

OCCUPANCY CLASS:
H4 - DWELLING HOUSE

ZONING: SINGLE RESIDENTIAL I



PROJECT DETAILS:

PROPOSED REZONING OF EXISTING
DWELLING ON ERF 1363
16 ST JOHN'S STREET
DORMEHL'S DRIFT
GEORGE
6530

PURPOSE OF ISSUE:
COUNCIL SUBMISSION

SHEET NAME:
SITE & FLOOR PLAN, AREA SCHEDULE &
3D PERSPECTIVES

PROJECT NUMBER: GEO_008
PROJECT DATE: 17/11/2025
DRAWN BY: TL
CHECKED BY: Sdk
SCALE (ON A1): As Shown
SHEET NUMBER: P1 of 1



Tiaan Lategan
t/a Arti Living
066 487 3944

tiaan@artiliving.co.za
Cand. Arch. Draughtsman
Reg. nr. CAD70025797

CLIENT SIGNATURE:

REVISION:

04

Salmon de Kock
Pr. S. Arch. Technologist
Reg. No. PSAT24750417

Tiaan Lategan
Cand. Arch. Draughtsman
Reg. No. CAD70025797

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ANNEXURE "C": SIGNED PRE-APPLICATION

LAND USE PLANNING PRE-APPLICATION CONSULTATION FORM

PLEASE NOTE:

Pre-application consultation is an advisory session and is required prior to submission of an application for rezoning, consent use, temporary departure and subdivision. It does not in any way pre-empt the outcome of any future application which may be submitted to the Municipality.

PART A: PARTICULARS

Reference number: **Collab no. 3881668**

Purpose of consultation: **Application for rezoning and departures (parking requirements and building line relaxation) - Erf 1363 George**

Brief proposal: **Rezoning of Erf 1363 George from Single Residential Zone I to Business Zone IV (Offices) and departures from building lines and parking requirements**

Property(ies) description: **Erf 1363 George**

Date: **15 October 2025**

Attendees:

	Name & Surname	Organisation	Contact Number	E-mail
Official	Ilané Huyser	George Municipality	044 801 9477	ihuyser@george.gov.za
Official	Fakazile Vava	George Municipality	044 801 9477	fvava@george.gov.za
Pre-applicant	Jan Vrolijk	Jan Vrolijk Town Planner	044 873 3011 082 464 7871	janvrolijk@jvtownplanner.co.za

Documentation provided for discussion:

(Include document reference, document/plan dates and plan numbers where possible and attach to this form)

- Title deed of erf
- Locality plan
- Proposed SDP
- Existing approved plans
- Heritage Western Cape decision

Has pre-application been undertaken for a Land Development application with the Department of Environmental Affairs & Development Planning (DEA&DP)?

YES

NO

(If so, please provide a copy of the minutes)

DEVELOPMENT PROPOSAL

It is the intention of the owner of Erf 1363 George to rezone the erf from Single Residential Zone I to Business Zone IV (Offices) with the intention to use the existing buildings on the erf for office purposes as indicated on the attached draft SDP.

According to the floor area of the buildings on the erf, 13 parking bays at a ratio of 4 parking bays per 100m² office floor area will have to be provided for the existing buildings on the erf. According to the draft SDP, only 11 parking bays can be provided on the erf. Application will therefore also have to be made for relaxation of the parking requirements applicable to the erf from 4 parking bays per 100m² office floor area to 3 parking bays per 100m² office floor area.

A Business Zone IV erf is subject to a street building line of 5 metres and a 3 metre building lines along all other boundaries. Since the existing buildings on the erf exceed the 3 metre side and rear building lines, application will also have to be made for the relaxation of the relevant building lines.

APPLICATION

- An application will have to be lodged with the George Municipality in terms of Section 15(2)(a) of the Land Use Planning By-Law for George Municipality, 2023 for the rezoning of Erf 1363 George from Single Residential Zone I to Business Zone IV (Offices).
- An application will have to be lodged with the George Municipality in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for the following departures on Erf 1363 George
 - the relaxation of certain building lines; and
 - the relaxation of the parking requirements applicable to the erf from 4 parking bays per 100m² office floor area to 3 parking bays per 100m² office floor area.

SUBMISSION

Draft By-Law on Municipal Land Use Planning

(Workflow)

Types of applications that can be submitted in terms of Section 15 (2)

- (a) Rezoning of land
- (b) Permanent departure
- (c) Temporary departure
- (d) Subdivision of land
- (e) Consolidation of land
- (f) Amendment, suspension or removal of restrictive conditions
- (g) Permission required in terms of the zoning scheme
- (h) Amendment, deletion or imposition of condition in respect of an approval
- (i) Extension of validity period of an approval
- (j) Approval of an overlay zone
- (k) Phasing, amendment or cancellation of a subdivision plan or part thereof
- (l) Permission required in terms of condition of approval
- (m) Determination of zoning
- (n) Closure of public place or part thereof
- (o) Consent use
- (p) Occasional use

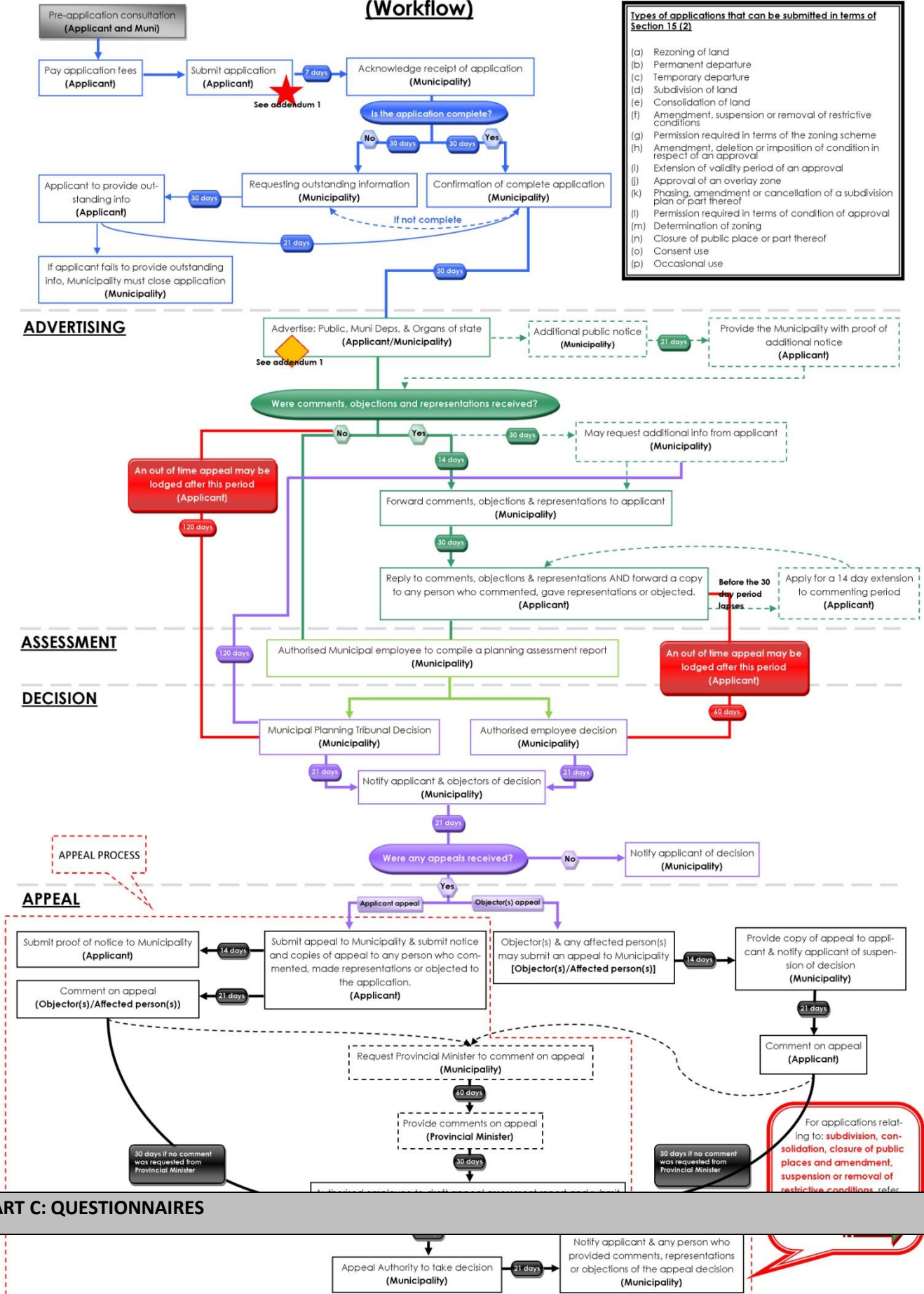
ADVERTISING

ASSESSMENT

DECISION

APPEAL

APPEAL PROCESS



SECTION A:

DETERMINATION OF APPLICATION TYPES, PRESCRIBED NOTICE AND ADVERTISEMENT PROCEDURES

Tick if relevant		What land use planning applications are required?	Application fees payable
x	2(a)	a rezoning of land;	To be determined
x	2(b)	a permanent departure from the development parameters of the zoning scheme;	To be determined
	2(c)	a departure granted on a temporary basis to utilise land for a purpose not permitted in terms of the primary rights of the zoning applicable to the land;	R
	2(d)	a subdivision of land that is not exempted in terms of section 24, including the registration of a servitude or lease agreement;	R
	2(e)	a consolidation of land that is not exempted in terms of section 24;	R
	2(f)	a removal, suspension or amendment of restrictive conditions in respect of a land unit;	R
	2(g)	a permission required in terms of the zoning scheme;	R
	2(h)	an amendment, deletion or imposition of conditions in respect of an existing approval;	R
	2(i)	an extension of the validity period of an approval;	R
	2(j)	an approval of an overlay zone as contemplated in the zoning scheme;	R
	2(k)	an amendment or cancellation of an approved subdivision plan or part thereof, including a general plan or diagram;	R
	2(l)	a permission required in terms of a condition of approval; (Site Development Plan)	R
	2(m)	A determination of a zoning;	R
	2(n)	A closure of a public place or part thereof;	R
	2(o)	a consent use contemplated in the zoning scheme;	R
	2(p)	an occasional use of land;	R
	2(q)	to disestablish a homeowner's association;	R
	2(r)	to rectify a failure by a homeowner's association to meet its obligations in respect of the control over or maintenance of services;	R
	2(s)	a permission required for the reconstruction of an existing building that constitutes a non-conforming use that is destroyed or damaged to the extent that it is necessary to demolish a substantial part of the building	R
Tick if relevant		What prescribed notice and advertisement procedures will be required?	Advertising fees payable
Y	N	Serving of notices (i.e. registered letters etc.)	R
Y	N	Publication of notices (i.e. Provincial Gazette, Local Newspaper(s) etc.)	R
Y	N	Additional publication of notices (i.e. Site notice, public meeting, local radio, website, letters of consent etc.)	R
Y	N	Placing of final notice (i.e. Provincial Gazette etc.)	R
TOTAL APPLICATION FEE* (VAT excluded):			To be determined

PLEASE NOTE: * Application fees are estimated on the information discussed and are subject to change with submission of the formal application and/or yearly application fee increase.

SECTION B:

PROVISIONS IN TERMS OF THE RELEVANT PLANNING LEGISLATION / POLICIES / GUIDELINES

QUESTIONS REGARDING PLANNING POLICY CONTEXT	YES	NO	TO BE DETERMINED	COMMENT
Is any Municipal Integrated Development Plan (IDP)/Spatial Development Framework (SDF) and/or any other Municipal policies/guidelines applicable? If yes, is the proposal in line with the aforementioned documentation/plans?	X		George Spatial Development Framework, 2023	To be determined
Any applicable restrictive condition(s) prohibiting the proposal? If yes, is/are the condition(s) in favour of a third party(ies)? [List condition numbers and third party(ies)]			x	Conveyance Attorney to Confirm
Any other Municipal by-law that may be relevant to application? (If yes, specify)		X		
Zoning Scheme Regulation considerations: Which zoning scheme regulations apply to this site? George Integrated Zoning Scheme By-law, 2023 What is the current zoning of the property? Single Residential Zone I What is the proposed zoning of the property? Business Zone IV Does the proposal fall within the provisions/parameters of the zoning scheme? Yes Are additional applications required to deviate from the zoning scheme? (if yes, specify) Yes – Building lines and parking requirements				

QUESTIONS REGARDING OTHER PLANNING CONSIDERATIONS	YES	NO	TO BE DETERMINED	COMMENT
Is the proposal in line with the Provincial Spatial Development Framework (PSDF) and/or any other Provincial bylaws/policies/guidelines/documents?	X		N/a	N/a
Are any regional/district spatial plans relevant? If yes, is the proposal in line with the document/plans?		X	N/a	N/a

SECTION C:
CONSENT / COMMENT REQUIRED FROM OTHER ORGANS OF STATE

QUESTIONS REGARDING CONSENT / COMMENT REQUIRED	YES	NO	TO BE DETERMINED	OBTAIN APPROVAL / CONSENT / COMMENT FROM:
Is/was the property(ies) utilised for agricultural purposes?		X		Western Cape Provincial Department of Agriculture
Will the proposal require approval in terms of Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)?		X		National Department of Agriculture
Will the proposal trigger a listed activity in terms of National Environmental Management Act, 1998 (Act 107 of 1998) (NEMA)?		X		Western Cape Provincial Department of Environmental Affairs & Development Planning (DEA&DP)
Will the proposal require authorisation in terms of Specific Environmental Management Act(s) (SEMA)? (National Environmental Management: Protected Areas Act, 2003 (Act 57 of 2003) (NEM:PAA) / National Environmental Management: Biodiversity Act, 2004 (Act 10 of 2004) (NEM:BA) / National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004) (NEM:AQA) / National Environmental Management: Integrated Coastal Management Act, 2008 (Act 24 of 2008) (NEM:ICM) / National Environmental Management: Waste Act, 2008 (Act 59 of 2008) (NEM:WA) (strikethrough irrelevant)		X		National Department of Environmental Affairs (DEA) & DEA&DP
Will the proposal require authorisation in terms of the National Water Act, 1998 (Act 36 of 1998)?		X		National Department of Water & Sanitation (DWS)
Will the proposal trigger a listed activity in terms of the National Heritage Resources Act, 1999 (Act 25 of 1999)?	X		Heritage decision attached	South African Heritage Resources Agency (SAHRA) & Heritage Western Cape (HWC)
Will the proposal have an impact on any National or Provincial roads?		X		National Department of Transport / South Africa National Roads Agency Ltd. (SANRAL) & Western Cape Provincial Department of Transport and Public Works (DTPW)
Will the proposal trigger a listed activity in terms of the Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations		X		National Department of Labour (DL)

QUESTIONS REGARDING CONSENT / COMMENT REQUIRED	YES	NO	TO BE DETERMINED	OBTAIN APPROVAL / CONSENT / COMMENT FROM:
Will the proposal affect any Eskom owned land and/or servitudes?		X		Eskom
Will the proposal affect any Telkom owned land and/or servitudes?		X		Telkom
Will the proposal affect any Transnet owned land and/or servitudes?		X		Transnet
Is the property subject to a land / restitution claims?		X		National Department of Rural Development & Land Reform
Will the proposal require comments from SANParks and/or CapeNature?		X		SANParks / CapeNature
Will the proposal require comments from DEFF?		X		Department of Environment, Forestry and Fishery
Is the property subject to any existing mineral rights?		X		National Department of Mineral Resources
Does the proposal lead to densification to such an extent that the number of schools, healthcare facilities, libraries, safety services, etc. In the area may be impacted on? (strikethrough irrelevant)		X		Western Cape Provincial Departments of Cultural Affairs & Sport (DCAS), Education, Social Development, Health and Community Safety

**SECTION D:
SERVICE REQUIREMENTS**

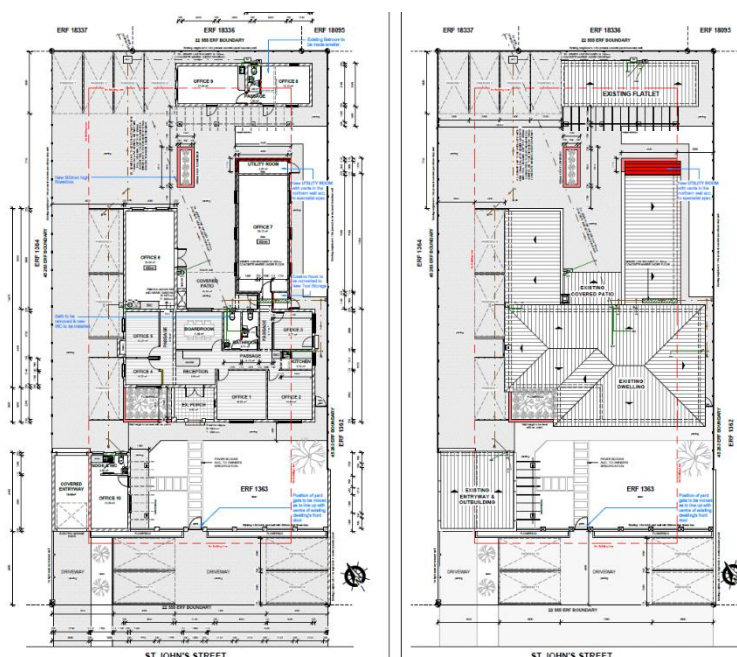
DOES THE PROPOSAL REQUIRE THE FOLLOWING ADDITIONAL INFRASTRUCTURE / SERVICES?	YES	NO	TO BE DETERMINED	OBTAIN COMMENT FROM: (list internal department)
Electricity supply:		X		Directorate: Electro-technical Services
Water supply:		X		Directorate: Civil Engineering Services
Sewerage and waste water:		X		Directorate: Civil Engineering Services
Stormwater:		X		Directorate: Civil Engineering Services
Road network:		X		Directorate: Civil Engineering Services
Telecommunication services:		X		
Other services required? Please specify.			N/a	
Development charges:	X			

PART D: COPIES OF PLANS / DOCUMENTS TO BE SUBMITTED AS PART OF THE APPLICATION

COMPULSORY INFORMATION REQUIRED:						
Y	N	Power of Attorney / Owner's consent if applicant is not owner (if applicable)		Y	N	S.G. noting sheet extract / Erf diagram / General Plan
Y	N	Motivation report / letter		Y	N	Full copy of the Title Deed
Y	N	Locality Plan		Y	N	Site Layout Plan
Y	N	Proof of payment of fees		Y	N	Bondholder's consent
MINIMUM AND ADDITIONAL REQUIREMENTS:						
Y	N	Site Development Plan		Y	N	Conveyancer's Certificate
Y	N	Land Use Plan		Y	N	Proposed Zoning plan
Y	N	Phasing Plan		Y	N	Consolidation Plan
Y	N	Abutting owner's consent		Y	N	Landscaping / Tree Plan
Y	N	Proposed Subdivision Plan (including street names and numbers)		Y	N	Copy of original approval letter
Y	N	Services Report or indication of all municipal services / registered servitudes		Y	N	Home Owners' Association consent
Y	N	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) (strikethrough irrelevant)		Y	N	1 : 50 / 1:100 Flood line determination (plan / report)
Y	N	Other (specify)		Y	N	Required number of documentation copies

PART E: DISCUSSION

Pre-application as discussed on 15 October 2025 for the proposed rezoning and departures on Erf 4741, George to allow for the operation of a fitment centre on the property. No new/detailed site layout plan was provided for this discussion.



Town Planning comments

- Applicant is advised to maintain the same/similar character of the existing built environment, ensuring minimal impact to the remaining/existing residential properties within the surrounds.
- Proposal must address zoning scheme by-law, MSDF and LSDF.
- It is acknowledged that a number of trees have been removed on this property, it is advisable that these trees are replanted elsewhere on the property and/or new ones be planted. To be addressed as part of the application.
- It is noted that an additional access may be required onto the 4 parking bays along St Joghns Street, this must be addressed in the application. Necessary departures to be included.
- To show all measurements and manoeuvring space on site. To illustrate how the parking will 'work' and turning areas.
- Applicant to ensure compliance with heritage approval. HWC to be contacted should there be more additions proposed.

CES comments

- Access be restricted via St John Street service road.
- Access is permitted in accordance with the George Integrated Zoning Scheme By-law, 2023 regulations.
- All parking must be provided on-site, in compliance with the GIZS 2023 parking requirements.
- No parking is allowed within the road reserve, and the owner may be held liable for any costs incurred in preventing unauthorized parking in this area.
- PT1 may be considered.
- All vehicle mobility should be done on site and must be indicated on the site layout plan.
- Normal Development Charges (DCs), if applicable, will be levied in accordance with the DC policy and the applicable By-law and or policy.
- Municipal water and/or sanitation is limited and available, subject to network &/or treatment capacity required confirmation.
- The location of existing municipal services must be confirmed on site.
- The developer must ensure full compliance with the relevant Stormwater By-law.

ETS comments

- Application noted. DC's applicable

PART F: SUMMARY / WAY FORWARD

Refer to comments above

OFFICIAL: 
Fakazile Vava (Town Planner)

PRE-APPLICANT: **Johannes George Vrolijk**
(FULL NAME)



SIGNED: _____

Ilané Huyser (Senior Town Planner)



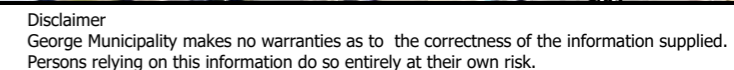
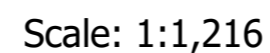
SIGNED: _____

DATE: 2025.10.21

DATE: **9 October 2025**

**Please note that the above comments are subject to the documents and information available to us at the time of the pre-application meeting and we reserve our rights to elaborate on this matter further and/or request more information/documents should it deemed necessary.*

ANNEXURE "D": LOCALITY PLAN



George Municipality will not be liable for any claims whatsoever, whether for damages or otherwise, which may arise as a result of inaccuracies in the information supplied.

ANNEXURE "E": GENERAL PLAN

LD

Approved.

Notified as an Approved Township
of Section 17(c) of Act No. 13
See Notice No. 462 dated 28-5
Prev. Gaz. No. 1839 dated 29-5

In terms of Section 15 of Ordinance No. 13 of 1927, the Administrator has granted the application to establish this Township.

See Prov. Sec. Minute L34/C/43

dated 15.6.1934, 13.11.1937, T.P. File 28/12
1.4.1938, 3.12.1938

① Portions of York Street and 12' lane lettered abcde K.F.F. closed. — Administrator's Certificate dated 26-7-1945. 1064 14-11-45
page 95 5.8775/4/2

② Dunkirk Street closed. Enven 14318/14319 7/6/5 Notice dated 23/6/1949 p.9c 23/6/1949 p.9c 5.8775/4/1 Admin. Consent p.100-101 Hf. 89.6.29
N.F. 11/1/62 at 1949-05-23
11/1/62 1950-05-16

Erft №	Former description	EXIT/IT/ Sq. Ft.	Diagram №	Deed reference
1331	Erft 1	4 701	1134/1942	1942 - 160 798/4
1332	2	5 423	1135/1942	1942 - 160 799/2
1333	3	10 226	226/1942	1942 - 171 583/2
1334	4	9 028	3367/1943	1944 - 262 130/6
1335	5	9 019	3965/1943	1944 - 262 130/61
1336	6	8 882	3969/1943	1944 - 262 130/61
1337	7	7 843	3970/1943	1944 - 262 130/61
1338	8	8 904	3971/1943	1944 - 262 130/61
1339	9	8 865	3972/1943	1944 - 262 130/61
1340	10	8711/43	3973/1943	1944 - 262 130/61
1341	11	10 616	4155/1943	1944 - 16 715
1342	12	10 841	4156/1943	1944 - 15 715
1343	13	10 821	3974/1943	1944 - 15 712
1344	14	10 821	5364/1943	1944 - 15 714
1345	15	10 841	5365/1943	1944 - 15 714
1346	16	10 841	5367/1943	1944 - 15 714
1347	17	10 841	3966/1943	1925 - 302/13052
1348	18	11 572	4037/1942	1944 - 260 11886
1349	19	10 108	4665/1943	1944 - 15 713
1350	20	10 616	5367/1943	1944 - 238/11085
1351	21	34 963	1136/1942	1942 - 160 799/4
1352	22	11 704	1137/1942	1942 - 160 799/4
1353	23	32 774	3645/1944	1943 - 365 822/4
1354	24	9 990	3649/1944	1943 - 365 822/4
1355	25	10 876	5363/1943	1944 - 17 524/2
1356	26	10 246	4157/1943	1944 - 15 717
1357	27	11 732	4038/1944	1944 - 15 715
1358	28	10 989	4039/1944	1944 - 15 716 17680
1359	29	10 989	4040/1944	1944 - 15 716
1360	30	10 989	4297/1944	1942 - 171 583/8
1361	31	10 989	1137/1942	1944 - 15 716
1362	32	10 989	2160/1943	1944 - 15 718
1363	33	10 989	4161/1943	1944 - 15 718
1364	34	10 876	4162/1943	1944 - 15 718
413/8	-	626 sq.m.		
413/9	-	626 sq.m.		

FOR TRANSFER REFERENCE
VIDE D.O. REGISTER

S.G. OFFICE NOTES
① Erf 1357 included in consol. Now Erf 7208 vide Dom 530/90
② Erven 1350 and 14318 included in consol. Now Erf 14448 vide Dom 537/90
③ Erf 1348 included in consol. Now Erf 14449 vide Dom 538/90
④ Erven 1355 and 14319 included in consol. Now Erf 14450 vide Dom 539/90

GENERAL PLAN

The figure ABCDEFGHJKLMNP represents the Township of
DOMINION
in extent 54800 ^⑥ Morgen comprising 34 Erven, numbered 1 to 34,
and streets being ^{*} Portion 1 of Consolidated Erf N° 17
situate in the Municipality and Division of George, Province of Cape
of Good Hope, ⁺ annexed vide diagram N° 464 / 1959 annexed to
Certificate of Registered Title N° 10385 dated 20-9-1939.

The beacons of each Erf represented on this plan are in accordance with regulation, and have been placed under my supervision.

Surveyed in June 1938 by me *T. J. Samuel*
Land Surveyor
E 123, 1938
S 8775/41

GEORGE ALLOTMENT AREA

Numbered under the Provisions of the Deeds Register
Act No. 47,1937. Noting Plan BL-7DD - W-93.
Alterations to numbers shown in E.S. *D.M. Bennett*
for Surveyor-General. 1955

Allotment Area file: S 8775/74.
Main file: S 8775.
Noting Plan: BL-7DD: W-43
Degree Sheet: BL-7DD.
George Erf Schedule

BL-7DD: W-43
~~George~~
~~Sheer~~

BARCRO NEGATIVE
FILED
2-12-65 19-4-66

ANNEXURE "F": TITLE DEED

70

Haycock Attorneys
7 Cathedral Square
Cathedral Street
P O Box 879
George
6530

Prepared by me

CONVEYANCER
CATHARINA FREDRIKA MARIA MEYER
(89269)

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 2 640 000,00	R. 2140,00
Reason for exemption	Category Exemption	Exemption i t o. Sec/Reg. Act/Proc.

VERBIND		MORTGAGED	
VIR FOR R. 2 540 000,00			
B	000019966 / 2024		
15 JUL 2024	REGISTRAR/REGISTRAR		

DATA / CAPTURE
18-07-2024
ATHI DAMOYI

T 000043949 / 2024

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

GERRIT PETRUS FOURIE (83877)

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him/her by

The Executor in the Estate Late
PAMELA MARY MARABINI
Number 011276/2023

DATA / VERIFY
18-07-2024
YOLANDI OLIVIER

which said Power of Attorney was signed at George on 10 October 2023

And the appearer declared that his/her said principal had, on 19 September 2023, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

LATEFIRE PROPRIETARY LIMITED
Registration Number 2023/096325/07

or its Successors in Title or assigns, in full and free property

ERF 1363 GEORGE
IN THE MUNICIPALITY AND DIVISION OF GEORGE
PROVINCE OF THE WESTERN CAPE

IN EXTENT 1089 (ONE THOUSAND AND EIGHTY NINE) Square metres

FIRST TRANSFERRED by Deed of Transfer Number T718/1944 with Diagram Number 4161/1934 relating thereto and held by Deed of Transfer Number T37556/2006 and Deed of Transfer Number T62345/2010

- A. SUBJECT to the conditions referred to in Certificate of Amended Title on Consolidation T10384/1939.
- B. SUBJECT FURTHER to the special conditions contained in Deed of Transfer Number T718/1944 imposed by the Administrator of the Cape Province when approving the establishment of Dominion Township under the provisions of Ordinance Number 13 of 1927, which conditions shall be binding upon the transferee and her successors in title and may be enforced by the registered owner of any erf hereby transferred, namely:
- (a)
 - (b) That the erf be not subdivided.
 - (c)
 - (d)
 - (e) That the owner of each erf, whether the applicant for the establishment of the township or any future owner, shall be obliged to allow the drainage or sewerage of any other erf or erven to be conveyed over such manner and in such position as may from time to time be reasonably required by the Council.
 - (f) That the above condition may be enforced by the registered owner of any erf forming part of this township in respect of any other erf.

C. SUBJECT FURTHER to the servitude endorsement dated 22 December 1944 on Deed of Transfer T718/1944 which reads as follows:

"By Notarial Deed number 396 dated 15.11.1944, the restrictive conditions numbered (a), (b) and (c) herein contained have been deleted in respect of Erf 22 held by para 2 of Transfer 7994/1942.

Subject to conditions as will more fully appear on reference to the Notarial Deed vide copy annexed hereto".

WHEREFORE the said Appearer, renouncing all rights and title which the said

Estate Late PAMELA MARY MARABINI

heretofore had to the premises, did in consequence also acknowledge her to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

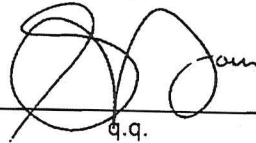
LATEFIRE PROPRIETARY LIMITED
Registration Number 2023/096325/07

or its Successors in Title or assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R2 640 000,00 (TWO MILLION SIX HUNDRED AND FORTY THOUSAND RAND).

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

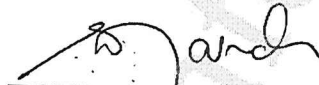
THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on

15 JUL 2024



q.q.

In my presence



REGISTRAR OF DEEDS

ANNEXURE "G": POWER OF ATTORNEY

POWER OF ATTORNEY

I, the undersigned

Jacques Janse van Vuuren

the only Director of

Latefire (Pty) Ltd Registration Number 2023/096325/07

the registered owner of

Erf 1363 George

do hereby appoint Jan Vrolijk Town Planner/Stadsbeplanner to prepare, sign and submit the following applications to the George Municipality

- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for the rezoning of Erf 1363 George from Single Residential Zone I to Business Zone IV.
- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of certain building lines of Erf 1363 George.
- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from Section 45(4)(a) of the George Integrated Zoning Scheme By-law, 2023 to allow for a second vehicle carriageway crossing from Saint John's Street to Erf 1363 George.
- An application in terms of Section 15(2)(b) of the By-law on Land Use Planning for George Municipality, 2023 for the relaxation of the parking requirements applicable to proposed office development on Erf 1363 George from 4 parking bays per 100m² gross office floor area to 3 parking bays per 100m² gross office floor area.

Signed at George on 19 September 2025



Jacques Janse van Vuuren

ANNEXURE "H": COMPANY REGISTRATION CERTIFICATE FOR LATEFIRE (PTY) LTD



SEARCH INFORMATION

Summary

Search Type	CSI COMPANY TRACE
Search Description	LATEFIRE
Reference	FB
Date	01/09/2025

COMPANY INFORMATION

Company Details

Name	LATEFIRE
Registration Number	2023/096325/07
Type	PRIVATE COMPANY (PTY) LTD
Status	IN BUSINESS
Registration Date	13/09/2023

ACTIVE DIRECTOR(S)

Director Name	ID Number	Director Status	Appointment Date
JACQUES JANSE VAN VUUREN	8809285103087	ACTIVE	13/09/2023

RESIGNED DIRECTOR(S)

Director Name	ID Number	Director Status	Appointment Date
No information available.			

DECEASED DIRECTOR(S)

Director Name	ID Number	Director Status	Appointment Date
No information available.			

AUDITOR(S)

Auditor Name	Profession Code	Status	Start Date
No information available.			

DETAILED INFORMATION

Entity Details

Name	LATEFIRE
Short Name	-
Translated Name	-
Registration Number	2023/096325/07
Old Registration No.	-
Type	PRIVATE COMPANY (PTY) LTD
Short Type	(PTY) LTD
CIPC Company Act Type	COMPANY (REGISTERED ACCORDING TO NEW 2008 CO ACT)
Status	IN BUSINESS
Tax Number	9655300193
Type Date	13/09/2023
Registration Date	13/09/2023
Start Date	13/09/2023
Status Date	-
Principal Description	BUSINESS ACTIVITIES NOT RESTRICTED.
Details Withdrawn From Public	NO
Standard Industrial Classification	-
Financial Year End	FEBRUARY
Financial Effective Date	-
Physical Address	2 KIAAT STREET, BODORP, GEORGE, WESTERN CAPE, 6529
Postal Address	2 KIAAT STREET, BODORP, GEORGE, WESTERN CAPE, 6529
Region	-
Country of Origin	-
Country	SOUTH AFRICA
Authorised Capital	0.00
Issued Capital	-1.00
Authorised Shares	150.00
Issued Shares	-1.00
Form Received Date	-
Date on Form	-
Conversion Number	-

DIRECTOR(S)

Director 1 of 1

First Name	JACQUES
Surname	JANSE VAN VUUREN
ID Number	8809285103087
Date of Birth	28/09/1988
Age	36
Residential Address	2 KIAAT STREET, BODORP, GEORGE, WESTERN CAPE, 6529
Postal Address	2 KIAAT STREET, BODORP, GEORGE, WESTERN CAPE, 6529
Type	DIRECTOR
Status	ACTIVE
Appointment Date	13/09/2023

DIRECTOR(S)	
Resignation Date	-
Member Contribution	0.00%
Member Size	0%

AUDITORS(S)			
Auditor Name	Profession Code	Status	Start Date
No information available.			

CAPITAL INFORMATION				
Type	Number of Shares	Parri Value	Capital Amount	Capital Premium
AUTHORIZED ORDINARY	150.00	1	R0,00	1

REPORT INFORMATION		
Date of Information	01/09/2025 11:57	
Print Date	01/09/2025 11:58	
Generated By	KATHERINE JONCK	
Reference	FB	
Report Type	CSI COMPANY DETAILS	

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ANNEXURE "I": BONDHOLDERS CONSENT

LATEFIRE PTY LTD
2 KIAAT AVE
GEORGE
6529

13 October 2025

Dear Sir / Madam

Request for Rezoning, as well as the Permanent Departure for the Relaxation of Certain Building Lines.

Account Number : 537079947
In the Name of : LATEFIRE PTY LTD
Property Description : ERF 1363 GEORGE

We are pleased to advise that the Standard Bank has no objection to your request, subject to our rights being protected and on the following conditions:

Request for Rezoning from Single Residential Zone 1 to Business Zone IV, as well as the Permanent Departure for the Relaxation of Certain Building Lines is approved subject to:

- Local municipality authority approval must be obtained.
- All municipal and town planning bylaws are to be adhered to.
- Once the rezoning is finalised at the local municipality authority, copy of consent use must be sent to the bank.
- The residential component is not compromised.
- The bank is not committing to finance new development.
- No buildings to be demolished without the Bank's consent.
- The building must comply with SBSA minimum specifications, should there be any further development.
- The bank reserves the right to review rate structures under the account and attend to frequent assessment updates whilst the property/stand is bonded to SBSA.
- The correct Insurance must be applied.
- Client to be advised where there are any existing access bond facilities, same will be revoked with immediate effect and no further lending (further / re-advance) on this property to be considered.
- No additions or alterations to be done without the banks consent.
- A copy of the approved plan will have to be sent to the bank on receipt.
- The residential component is not compromised.
- The correct Insurance must be applied.
- The Bank is not committing to finance new development.
- **Please note that the bank holds the right to withdraw or amend the given consent.**

Should you have any queries, please do not hesitate to contact our Customer Contact Centre on 0860 123 001.

Yours sincerely



Customer Service Consultant

Standard Bank Centre 1st Floor 5 Simmonds Street Johannesburg 2001 PO Box 61690 Marshalltown 2107 South Africa
Tel. Switchboard: +27 (0)11 636 9112 www.standardbank.co.za

The Standard Bank of South Africa Limited (Reg. No. 1962/000738/06) Authorised financial services and registered credit provider (NCRCP15)

Directors: N Nyembazi (Chairman) AKL Fihla* (Chief Executive Officer) LL Bam PLH Cook A Daehnke* OA David-Bortia* GJ Fraser-Moleketi GMB Kennealy BJ Kruger
LI LF JH Maroe NNA Matyuzza ML Oduor-Otieno³ RN Ogega³ Fenglin Tian² SK Tshabalala*

Company Secretary: K Froneman - 2025/01/07

*Executive Director ¹ Nigerian ² Chinese ³ Kenyan

ANNEXURE "J": CONVEYANCER CERTIFICATE

19/09/25

CONVEYANCER'S CERTIFICATE

IN TERMS OF SECTION 38(1)(n) OF THE GEORGE MUNICIPALITY: LAND USE PLANNING BY LAW, 2023

ERF 1363 GEORGE

APPLICATION DETAILS

- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for the rezoning of Erf 1363 George from Single Residential Zone I to Business Zone IV.
- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of certain building lines of Erf 1363 George.
- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from Section 45(4)(a) of the George Integrated Zoning Scheme By-law, 2023 to allow for a second vehicle carriageway crossing from Saint John's Street to Erf 1363 George.
- An application in terms of Section 15(2)(b) of the By-law on Land Use Planning for George Municipality, 2023 for the relaxation of the parking requirements applicable to proposed office development on Erf 1363 George from 4 parking bays per 100m² gross office floor area to 3 parking bays per 100m² gross office floor area.

APPLICATION DATE

September 2025

I, the undersigned

ANDALEEN CHIMES a duly qualified and admitted Conveyancer, practicing at A Chimes & Van Wyk Attorneys, Cathedral Street, George do hereby certify as follows:

1. I have perused the following title Deed/s and conducted a search behind the pivot of the said title deed/s at the Deeds Office, Cape Town:

T43949/2024 (current Title Deed)

in respect of:

ERF 1363 GEORGE

IN THE MUNICIPALITY AND DIVISION OF GEORGE

WESTERN CAPE PROVINCE

IN EXTENT: 1 089 (ONE ZERO EIGHT NINE) SQUARE METRES

HELD BY DEED OF TRANSFER NUMBER T43949/2024

REGISTERED in the name of

LATEFIRE (PTY) LTD REGISTRATION NUMBER 2023/096325/07

2. I have appraised myself with the details of the abovementioned Land Development Application.
3. The abovementioned Title Deed contains no conditions restricting the contemplated Land Use in terms of the abovementioned Land Development Application.
4. There is a bond registered over the property.

SIGNED at GEORGE on 19 September 2025



CONVEYANCER

ANNEXURE “K”: HERITAGE APPROVAL

Our Ref: HM / EDEN / GEORGE / ERF 1363
Case No.: HWC25050201SVB0505
Enquiries: Sofia Briel
E-mail: Sofia.VyMenellBriel@westerncape.gov.za
Tel 021 829 3314



Applicant: Stéfán Ethan de Kock | perceptionplanning@gmail.com
Owner: Katherine Alison Jonck obo LATEFIRE (PTY) LTD

PROPOSED ADDITIONS & ALTERATIONS SUBMITTED IN TERMS OF SECTION 34 OF THE NATIONAL HERITAGE RESOURCES ACT (ACT 25 OF 1999).

This matter was discussed at the Heritage Officers Meeting (HOMs) held on 12 May 2025

PERMIT

CASE NUMBER: HWC25050201SVB0505

Issued in terms of Section 34 of the National Heritage Resources Act, 1999 (Act 25 of 1999) and Regulation 3(3)(a) of PN 298 (29 August 2003)

This permit is valid for three years from the date of issue

Proposed Action: Additions & Alterations
Site: Erf 1363, 16 St John's Street, George
Graded: Ungraded

Permit issued in accordance with Drawings:

No: GEO_008 (P1 of 3); GEOR_008 (P2 of 3); GEOR_008 (P3 of 3)

Dated: 13/03/2025

Drawings prepared by: TL, Arti Living Architectural Services

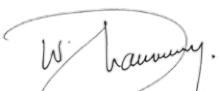
Conditions applicable to this Permit:

1. Work to be done strictly in accordance with the HWC stamped drawings.

NOTE:

- This decision is subject to an **appeal period of 14 working days. Kindly note that the appeal period is calculated from the date indicated on the HWC date stamp, which is the date the appeal is sent, and not the date of signature**
- Appeals to HWC are to be submitted to HWC.Appeals@westerncape.gov.za
- The applicant is required to inform any party who has expressed a bona fide interest in any heritage-related aspect of this record of decision. The appeal period shall be taken from the date above. It should be noted that for an appeal to be deemed valid it must refer to the decision, it must be submitted by the due date and it must set out the grounds of the appeal. Appeals must be addressed to the official named above and it is the responsibility of the appellant to confirm that the appeal has been received within the appeal period.
- **Work may NOT be initiated during this 14-day appeal period.**
- If any archaeological material or evidence of burials is discovered during earth-moving activities all works must be stopped and Heritage Western Cape must be notified immediately.
- This approval does not exonerate the applicant from obtaining any necessary approval from any other applicable statutory authority.
- **An HWC STAMPED DRAWINGS must be always present on the site and must be produced on demand by any heritage inspector, building control official, or any person duly authorized to do so.**
- **A copy of this permit must be displayed in a prominent place on the site until the permitted work is completed.**

Should you have any further queries, please contact the official above and quote the case number.


.....
Waseefa Dhansay
Assistant Director: Professional Services

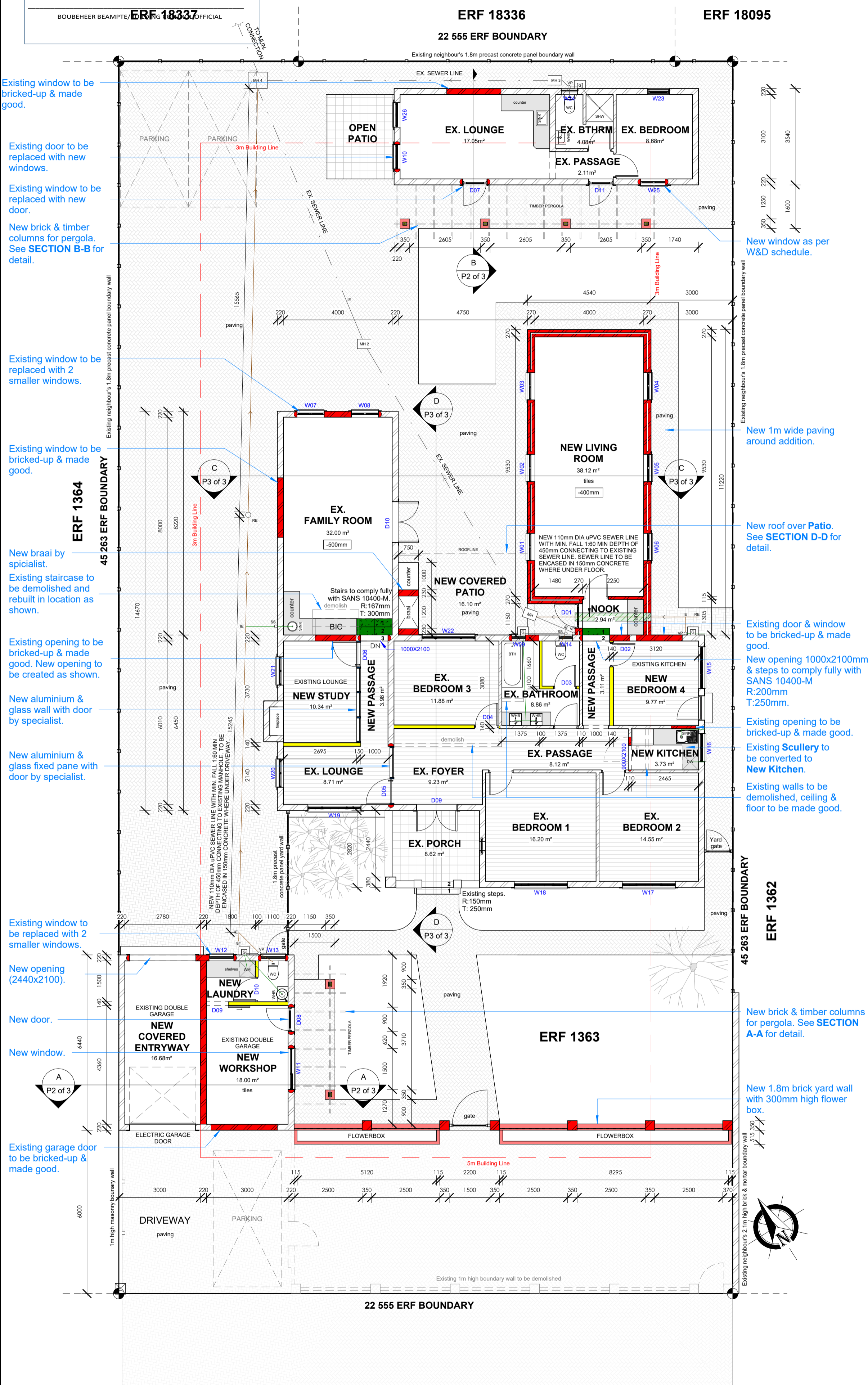


www.westerncape.gov.za/cas

Street Address: Protea Assurance Building, Green Market Square, Cape Town, 8000 • **Postal Address:** P.O. Box 1665, Cape Town, 8000
• **Tel:** +27 (0)21 483 5959 • **E-mail:** ceoheritage@westerncape.gov.za

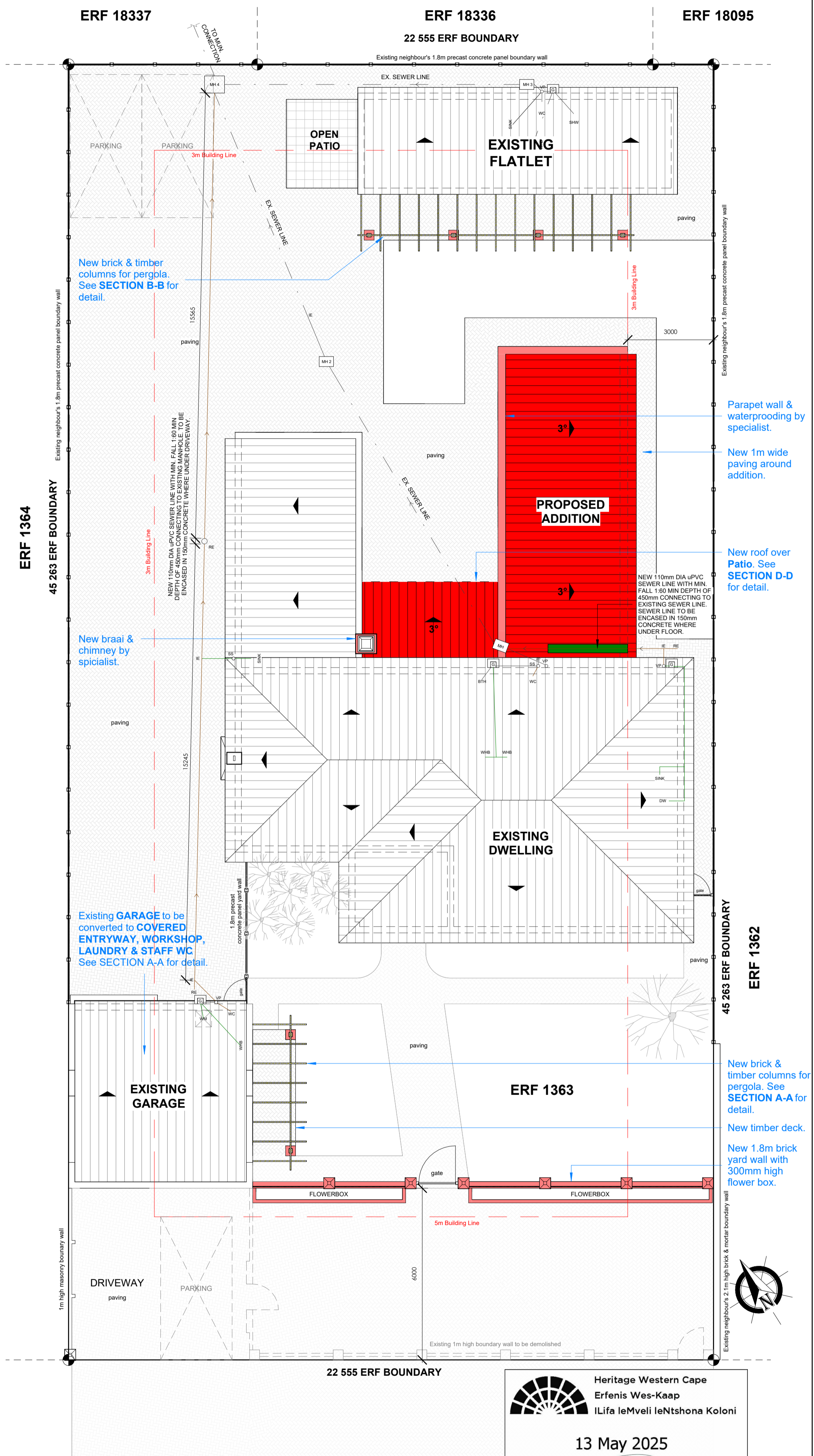
Straatadres: Protea Assuransie-gebou, Groentemarkplein, Kaapstad, 8000 • **Posadres:** Posbus 1665, Kaapstad, 8000
• **Tel:** +27 (0)21 483 5959 • **E-pos:** ceoheritage@westerncape.gov.za

Idilesi yendawo: kumgangatho 3, kwisakhiwo iprotea Assurance, Greenmarket Square, ekapa, 8000 • **Idilesi yeposi:** Inombolo yebhokisi yeposi 1665, eKapa, 8000 • **Iinombolo zomnxeba:** +27 (0)21 483 5959 • **Idilesi ye-imeyile:** ceoheritage@westerncape.gov.za



GROUND FLOOR PLAN

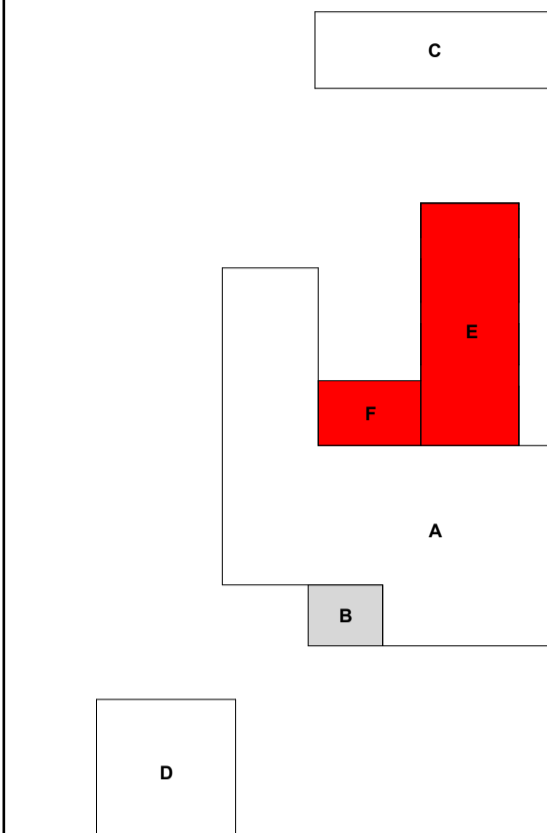
1 : 100



ITE PLAN
: 100

AREA DIAGRAM

EX. DWELLING	A	161.00 m²
EX. COVERED PORCH	B	9.73 m²
EX. SECOND DWELLING	C	39.58 m²
EX. GARAGE	D	41.47 m²
PROPOSED ADDITION	E	50.94 m²
PROPOSED ADDITION	F	14.25 m²



AREA SCHEDULE

EXISTING COVERED AREAS:	
EXISTING DWELLING [A]	161.00m²
EXISTING COVERED PORCH [B]	9.73m²
EXISTING SECOND DWELLING [C]	39.58m²
EXISTING GARAGE [D]	41.47m²
TOTAL EXISTING	251.78m²
NEW COVERED AREAS:	
NEW ADDITION [E]	50.94m²
NEW ADDITION [F]	14.25m²
TOTAL NEW	65.19m²
TOTAL AREA (EXISTING + NEW)	316.97m²
COVERAGE	
EXISTING COVERAGE [A] + [B] + [C] + [D]	251.78m²
NEW COVERAGE	
NEW ADDITION [E]	50.94m²
NEW ADDITION [F]	14.25m²
TOTAL NEW	65.19m²
TOTAL COVERAGE	316.97m²
SITE AREA	1089m²
COVERAGE %	29.11%
BOUNDARY WALL LENGTH	16.12m

ARTIST IMPRESSION

NOT TO SCALE

NOTE:
3D RENDERS ARE FOR VISUAL REPRESENTATION
ONLY. DETAILS OVERRIDE RENDERS.



NOTES:

1. All information on the plan must to be checked and any discrepancies must be brought to the arch. professional's attention prior to any work commencing.
2. All levels and dimensions must be confirmed on site.
3. All work and quality of materials must comply with SANS 10400, NBR, SABS standards, and all other appropriate authorities.
4. Foundation excavations as well as the surface area below all decks must be treated with SABS approved poison with a 10 year guarantee and must be as applied as indicated according to SABS 0124.
5. Concrete foundation, surface bed and paving must comply with SABS 0100 & 0106 as well as engineer plans and specifications. All foundations must not encroach on adjoining stairs or council footway.
6. Where any surface differences in strip foundation occur, the highest section must be extended over the lowest for a distance as thick as the foundation.
7. Foundation excavation for outside brick walls must not be less than 400mm under the surface of the adjoining ground level.
8. Filling under surface beds and concrete paving must be of an acceptable material and must be compacted up to 90% MOD A.A.H.T.O. in layers not exceeding 150mm. Filling must be treated with termite poison as indicated above. Compaction test to be provided by the contractor.
9. Unfinished ground floor level must be at least 150mm above finished ground level.
10. 375 Micron D.P.C. must be provided in all walls as indicated.
11. Correct width brickforce must be provided in each third course in all brick walls, except where shown otherwise.
12. All glazing to be according to SABS and NBR requirements. To comply to requirements of SANS 10400 part XA and/or SANS 204.
13. All drain pipe works and materials must be according to NBR & SANS 10400 part P requirements.
14. Electrical installations must be strictly according to appropriate regulations, and installed by registered professional.
15. Wall ties shall be installed in any cavity wall in an equidistributed pattern at a rate of not less than 3 ties per m² of face area where the cavity is more than 75mm in width.
16. Product specific referencing in plans have priority. Any changes thereto, must be discussed with arch professional, before applying changes. By accepting these plans and constructing what these plans represent, the contractor hereby indemnifies the arch professional from any claims arising due to product specific failures that might occur, during or after construction have been completed.

OCCUPANCY CLASS:
H4 - DWELLING HOUSE

ZONING: SINGLE RESIDENTIAL I



PROJECT DETAILS:

PROPOSED ADDITIONS & ALTERATIONS TO EXISTING DWELLING

ERF 1363
16 ST JOHN'S STREET
DORMEHL'S DRIFT
GEORGE
6530

PURPOSE OF ISSUE:
COUNCIL SUBMISSION

SHEET NAME:
SITE & FLOOR PLAN, AREA SCHEDULE &
3D PERSPECTIVES

PROJECT NUMBER: GEO_00

PROJECT DATE: 13/03/202

DRAWN BY: _____ TI _____

CHECKED BY: _____ Sdk _____

SCALE: As Show

SHEET NUMBER: P1 of 1



Tiaan Lategan
t/a Arti Living
061 518 7582

CLIENT SIGNATURE: _____

REVISION:
01



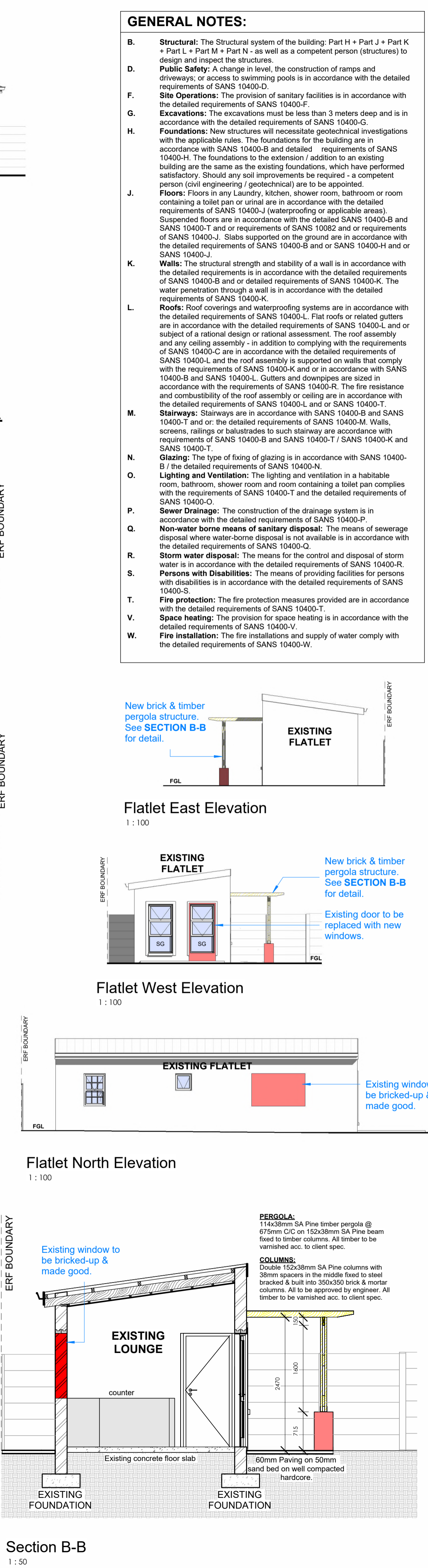
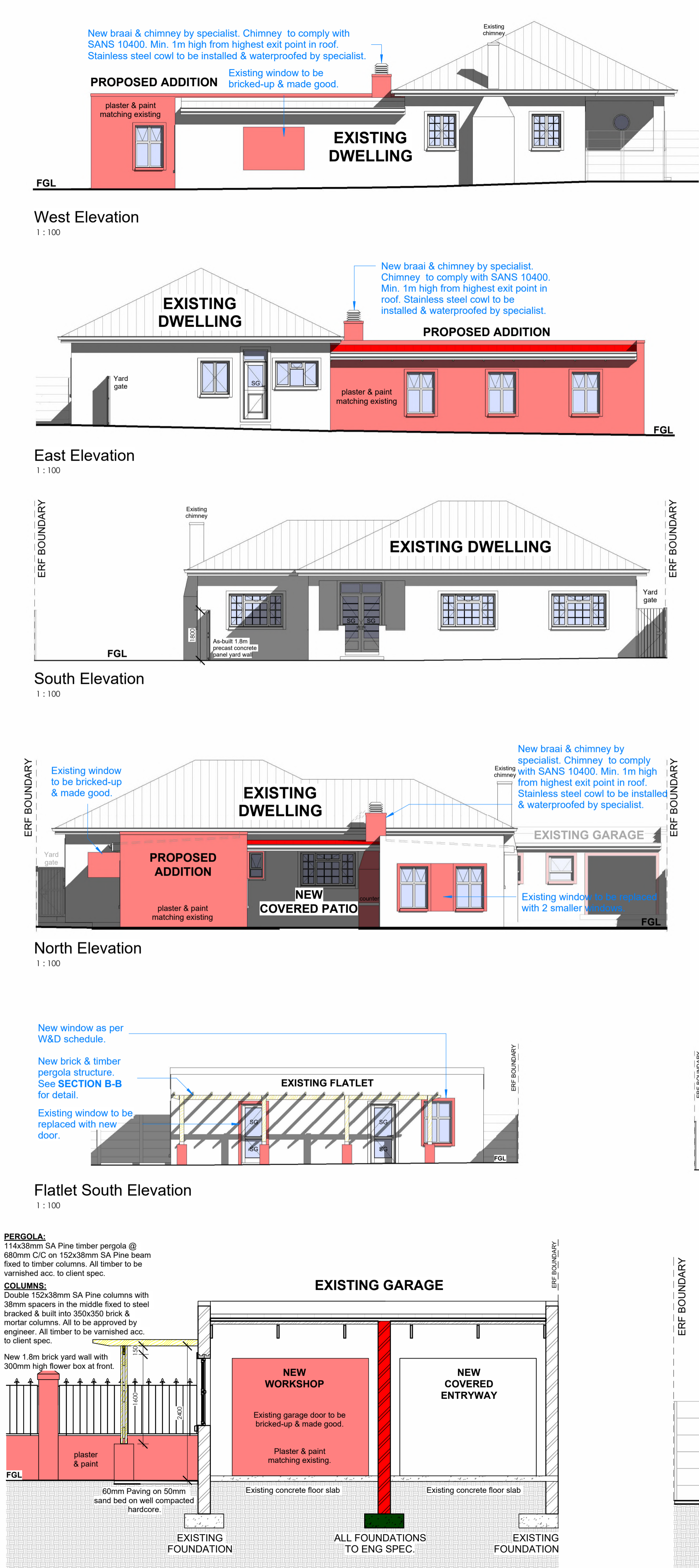
Salmon de Kock
Pr.S.Arch.Technologist
Reg. No. PSAT24750417

Tian Latagan
Cand. Arch. Draughtsmn
Reg. No. CAD7002579

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ELECTRICAL LAYOUT
1 : 100



- NOTES:**
- All information on the plan must be checked and any discrepancies must be brought to the arch. professional's attention prior to any work commencing.
 - All levels and dimensions must be confirmed on site.
 - All work and quality of materials must comply with SANS 10400, NBR, SABS standards, and all other appropriate authorities.
 - Foundation excavations as well as the surface area below all decks must be treated with SABS approved poison with a 10 year guarantee and must be applied as indicated according to SABS 0124.
 - Concrete foundation, surface bed and paving must comply with SABS 0100 & 0161 as well as engineer plans and specifications. Foundations must not encroach on adjoining standards or council footway.
 - Where any surface differences in strip foundation occur, the highest section must be extended over the lowest for a distance as thick as the foundation.
 - Foundation excavation for outside brick walls must not be less than 400mm under the surface of the adjoining finished ground level.
 - Filling under surface beds and concrete paving must be of an acceptable material and must be compacted up to 90% MOD A.A.H.T.O. in layers not exceeding 150mm. Filling must be treated with termiticide as indicated above. Compaction test to be provided by the contractor.
 - Unfinished ground floor level must be at least 150mm above finished ground level.
 - 375 Micron D.P.C. must be provided in all walls as indicated.
 - Correct width brickwork must be provided in each third course in all brick walls, except where shown otherwise.
 - All glazing to be according to SABS and NBR requirements. To comply to requirements of SANS 10400 part XA and/or SANS 204.
 - All drain pipe works and materials must be according to NBR & SANS 10400 part P requirements.
 - Electrical installations must be strictly according to appropriate regulations, and installed by registered professional.
 - Wall ties shall be installed in any cavity wall in an evenly distributed pattern at a rate of not less than 3 ties per m² of face area where the cavity is more than 75mm in width.
 - Product specific referencing in plans have priority. Any changes thereto, must be discussed with arch professional, before applying changes. By accepting these plans and constructing what these plans promote/instruct, the owner herewith indemnifies the arch professional from any claims arising due to product specific failures that might occur, during or after construction have been completed.

OCCUPANCY CLASS:
H4 - DWELLING HOUSE

ZONING: SINGLE RESIDENTIAL I



PROJECT DETAILS:

PROPOSED ADDITIONS & ALTERATIONS TO EXISTING DWELLING
ERF 1363
16 ST JOHN'S STREET
DORMEHL'S DRIFT
GEORGE
6530

PURPOSE OF ISSUE:
COUNCIL SUBMISSION

SHEET NAME:
ELECTRICAL LAYOUT, DWELLING & FLATLET ELEVATIONS, SECTIONS A-A & B-B

PROJECT NUMBER:	GEO_008
PROJECT DATE:	13/03/2025
DRAWN BY:	TL
CHECKED BY:	SdK
SCALE:	As Shown
SHEET NUMBER:	P2 of 3

ARTI LIVING
ARCHITECTURAL SERVICES

Tiaan Lategan
t/a Arti Living
061 518 7582

tiaan@artiliving.co.za
Cand. Arch. Draughtsman
Reg. nr: CAD70025797

CLIENT SIGNATURE:

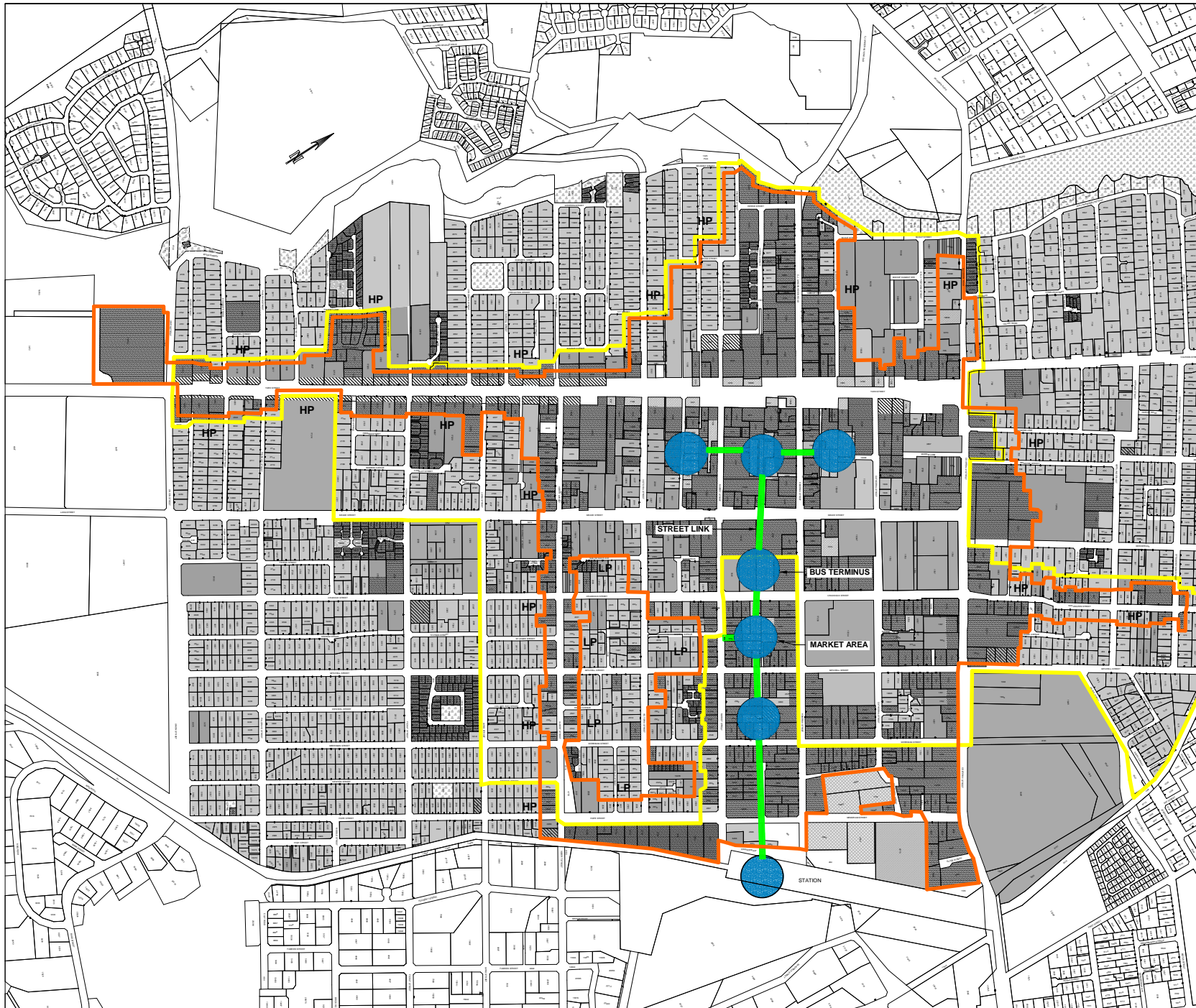
REVISION:
01

Salmon de Kock
Pr. S. Arch. Technologist
Reg. No. PSAT24750417

Tiaan Lategan
Cand. Arch. Draughtsman
Reg. No. CAD70025797

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ANNEXURE "L": GEORGE CBD SPATIAL DEVELOPMENT PLAN, 2012



LOCAL STRUCTURE PLAN IN TERMS OF SECTION 4(10) OF ORDINANCE 15 OF 1985

This plan shows certain spatial implications of the Spatial Development Plan for the CBD of George. It should be read together with the report on the CBD Spatial Development Plan

-  Redevelopment opportunities
-  Pedestrian Linkages and urban spaces
-  Medium term Business Development Edge
-  Medium term High Density Residential Development Edge
- HP = High priority edge
- LP = Low priority edge

GEORGE CENTRAL BUSINESS DISTRICT SPATIAL DEVELOPMENT PLAN



DRAWN BY:	M.SWART
DATE:	AUGUST 2011
SCALE:	1:15000
PLAN NO:	GCBD 1.1