

Collaborator No.: 3825370
Reference / Verwysing: Erf 141, Pacaltsdorp
Date / Datum: 20 February 2026
Enquiries / Navrae: Primrose Nako

Email: janvrolijk@jvtownplanner.co.za

JAN VROLIJK TOWN PLANNER
P O Box 710
GEORGE
6530

APPLICATION FOR CONSENT USE: ERF 141, PACALTSDORP

Your application in the above regard refers.

The Deputy Director: Development and Environmental Management (Authorised Official) has, under delegated authority, 4.17.1.17 of 24 April 2025 decided that the application for Consent Use in terms of Section 15(2)(o) of the Land Use Planning By-Law for the George Municipality, 2023 to permit Student Accommodation on Erf 141, Pacaltsdorp;

BE APPROVED in terms of Section 60 of said By-law for the following reasons:

REASONS FOR DECISION

- (a) The proposed development will not have a significant adverse impact on surrounding neighbours' rights in terms of privacy, views, and sunlight.
- (b) The conditions have been imposed to ensure compliance with the Student Accommodation Policy and to regulate and manage the said land use, to ensure that the required controls are applied to promote integration with the surrounding neighbourhood.
- (c) The proposed development adheres to the development parameters as set in the Zoning Scheme.
- (d) The demographic targeted in the proposed development will benefit from the availability of public transport, resulting in a mutually beneficial outcome which contributes to the viability of the existing public transport system (Go-George).

CONDITIONS OF THE DIRECTORATE: PLANNING AND DEVELOPMENT:

1. That in terms of the Land Use Planning By-law for the George Municipality 2023, the approval shall lapse if not implemented within a period of two (2) years from the date it comes into operation.
2. This approval shall be taken to cover only the Consent Use as approved and as indicated on the site layout plan, Plan no. DJM 28-2025 drawn by DJM Draughting dated 1 September 2025 (*x4 plans*) attached as "**Annexure A**" which bears Council's stamp and shall not be construed as to depart from any other Council requirements or legal provision.
3. At least one 1x200l tree must be planted on the site for every 2 x parking bays provided. The position of the trees must be shown on the site layout plan submitted with building plans.

4. The owner must construct at least a 1.8m high screen wall between the subject property and the adjacent residential properties to the satisfaction of the Municipality.
5. In addition, appropriate soft landscaping must be added and maintained along the boundary of the property bordering onto Aloe Street. The latter to also reflect on the site layout plan to be submitted with the building plans.
6. A comprehensive management plan detailing the name and contact details of the responsible manager; procedures for dealing with complaints and disturbances; and measures to ensure compliance with all conditions of approval, shall be submitted with the Building Plans to the Directorate for records purposes.
7. A set of house rules shall be compiled and enforced, addressing inter alia: noise control and quiet hours; behaviour of occupants and visitors; use of communal areas; and prohibition of activities that may cause nuisance to neighbours, must be submitted with the Building Plan for record purposes. The house rules shall be made available to all occupants and displayed in a prominent location on the premises.
8. A responsible person (site manager) must be appointed and reside on the property to ensure all occupants abide by the house rules. Proof of appointment must be submitted with the building plans.

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Planning and Development, P O Box 19, George, 6530 or Directorate: Planning and Development, 46 Market Street (Old York Hostel Building), George **on or before 13 MARCH 2026**, and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. *Please also note that the appeal must be e-mailed to the administrative officer mentioned above.*

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

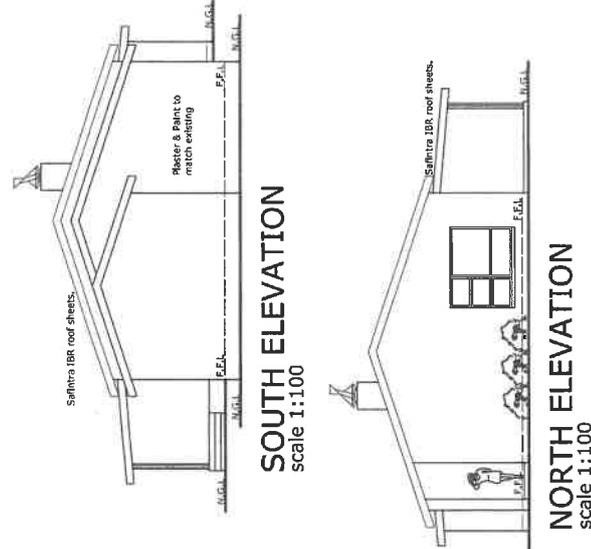
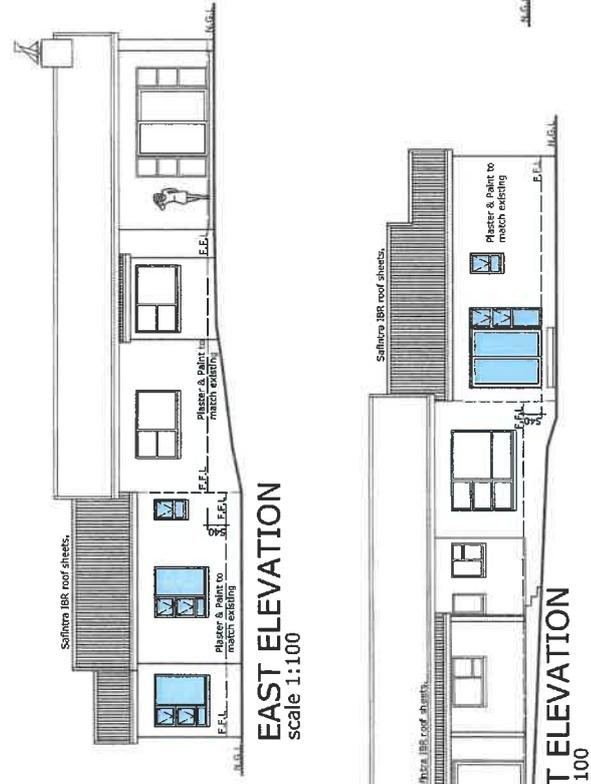
Yours faithfully



C PETERSEN
SENIOR MANAGER: TOWN PLANNING

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MUNICIPALITEIT GEORGE MUNICIPALITY
 Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.
 20/02/2026
 SENIOR MANAGER: TOWN PLANNING
 SENIOR BESTURDER: TOWN PLANNING

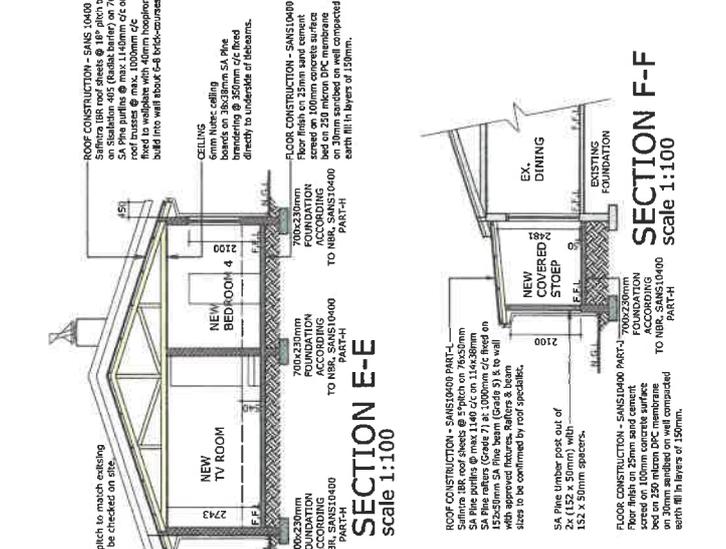
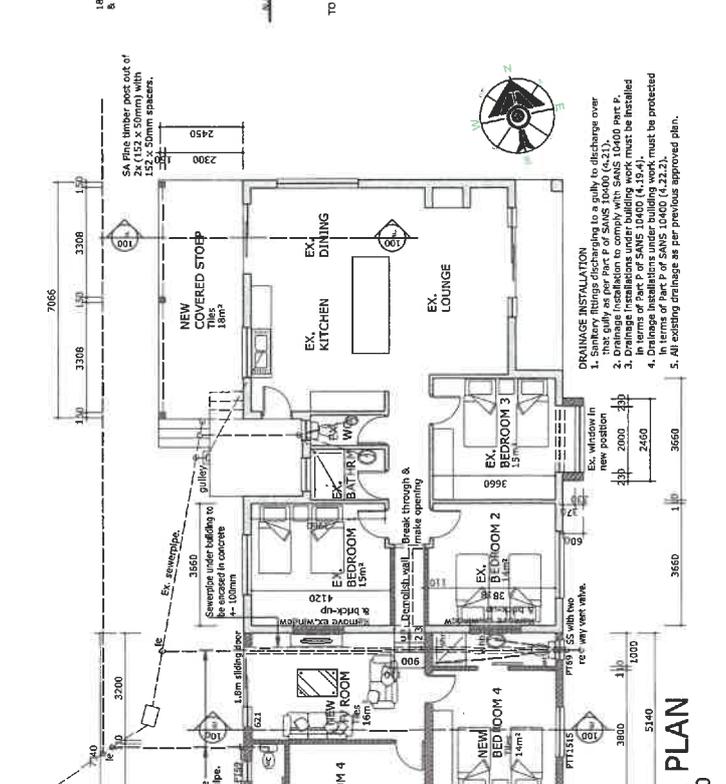


PROPERTY OF THE ARCHITECT

ALL RELEVANT DETAILS, LEVELS AND DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ERRORS RESULTING FROM DIMENSIONS. ALL DIMENSIONS ARE GIVEN IN MILLIMETERS

GENERAL SPECIFICATIONS:
 Registered plumber & electrician must provide a certificate of compliance before occupancy application can be issued by the Local Authority.

Area of erf:	6399,5m ²
Area of Ex. House:	129m ²
New Area's:	61m ²
Area of Covered Stoop:	18m ²
Area of Additions (Flat):	10m ²
Total New Area's:	89m ²
As-built Area's:	
Area of Garage (A):	67m ²
Area of Store room:	49m ²
Area of Garage (B):	32m ²
Area of Flat:	38m ²
Area of Covered stoep:	20m ²
Total As-built Area's:	206m ²
Total Area's:	424m ²
Coverage:	6%



REVISIONS

REV	DATE	DESCRIPTION
...	00/00/00

ARCHITECTURE
 In association with
DJ MARCH
 DRAUGHTING
 DAVIAN AMERICA
 CAD 41333270
 53 HIRUSCUS STREET
 PACALTSDDORP
 GEORGE
 TEL: 084 383 9531
 EMAIL: djdraughting11@gmail.com

CLIENT:
 ANTHONY CUPIDO

PROJECT:
 PROPOSED ADDITIONS & AS-BUILT PLANS ON ERF 141, PACALTSDDORP.

DRAWING:
 FLOOR PLAN, ELEVATIONS & SECTION

SCALE:
 1:100

DATE:
 01 Sept. 2025

DRAWN:
 DJM

CHECKED:
 JCVH

DRAWING NO.:
 DJM 28-2025

SHEETS:
 1 OF 4

PROPERTY OF THE ARCHITECT

ALL RELEVANT DETAILS, LEVELS AND DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ERRORS RESULTING FROM MISREPRESENTATION OF DIMENSIONS. ALL DIMENSIONS ARE GIVEN IN MILLIMETERS.

GENERAL SPECIFICATIONS:
 Registered plumber & electrician must provide a certificate of compliance before occupancy. All work can be issued by the Local Authority.

REVISIONS

REV	DATE	DESCRIPTION
001	00/00/00

AREAS:
 Area of erf: 6339.5m²
 Area of Ex. House: 129m²
 New Areas:
 Area of Additions: 61m²
 Area of Garage: 129m²
 Area of Additions (FR): 10m²
 Total New Areas: 89m²
 As-built Areas:
 Area of Garage (A): 67m²
 Area of Garage (B): 38m²
 Area of Flat: 38m²
 Area of Covered stoop: 20m²
 Total As-built Areas: 206m²
 Total Areas: 434m²
 Coverage: 6%

ARCHITECTURE
 ND ARCHITECTURE - SACAP reg: P5ACRMT
In association with

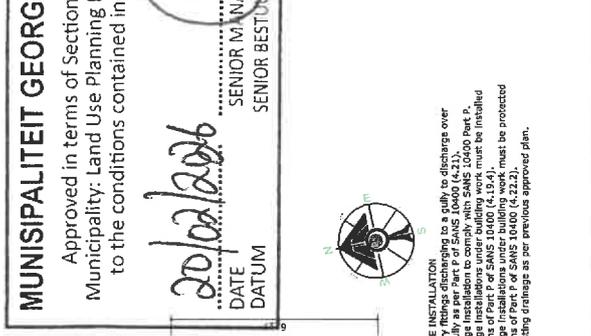
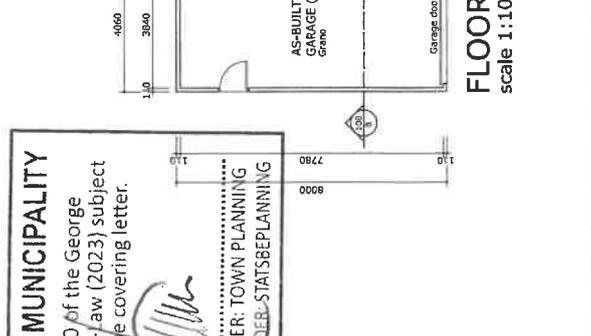
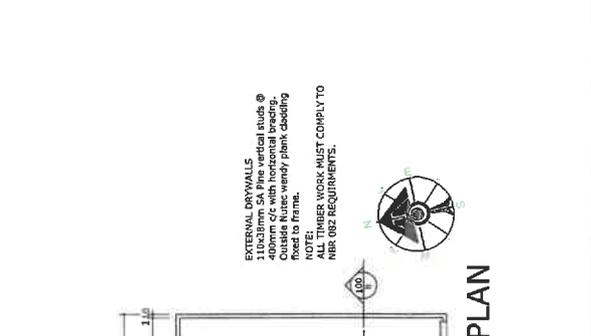
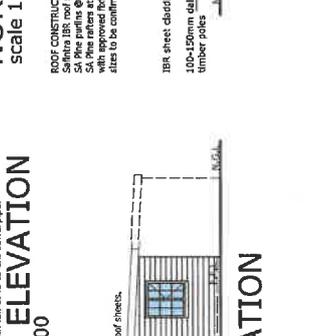
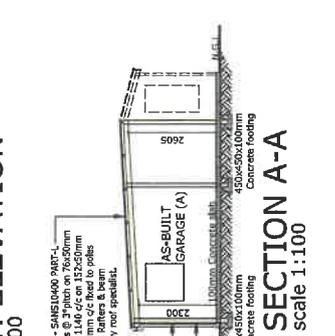
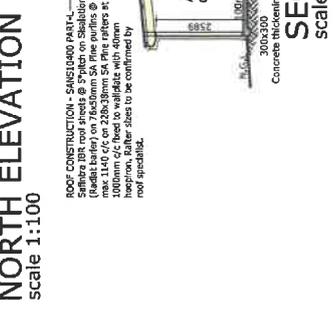
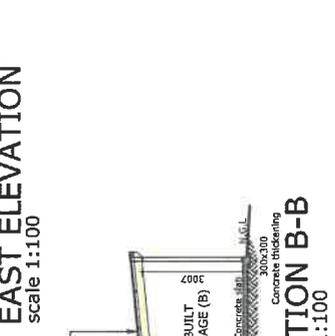
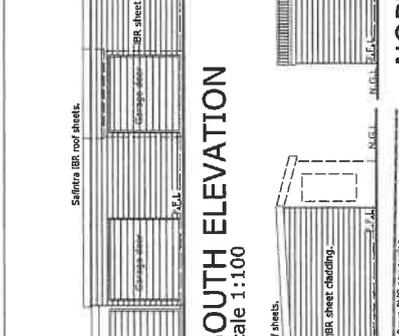
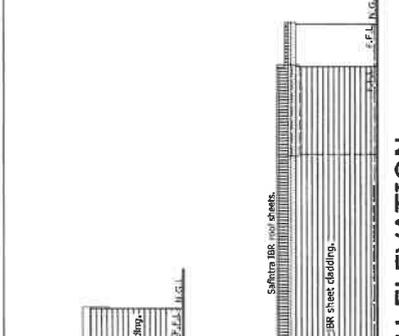
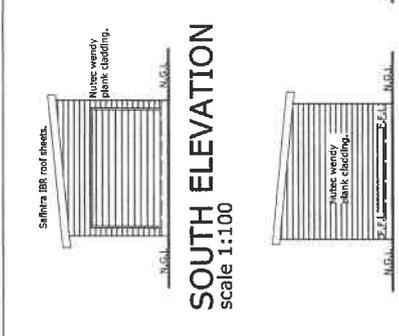
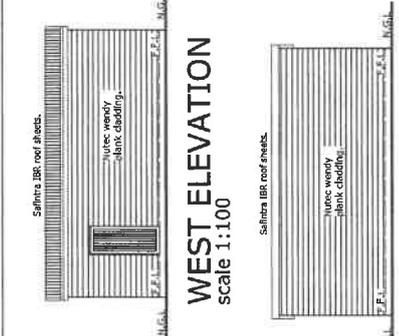
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CLIENT: ANTHONY CUPIDO

PROJECT: PROPOSED ADDITIONS & AS-BUILT PLANS ON ERF 141, PACALTSDDORP.

DRAWING: FLOOR PLANS, ELEVATIONS & SECTIONS

SCALE: 1:100
DATE: 01 Sept. 2025
DRAWING: DJM
CHECKED: JCVH
DRAWING NO.: DJM 28-2025
SHEETS: 2 OF 4



MUNICIPALITEIT GEORGE MUNICIPALITY
 Approved in terms of Section 60 of the George Municipality Land Use Planning By-law (2023) subject to the conditions contained in the covering letter.

DATE: 20/09/2026
DATUM: SENIOR MANAGER: TOWN PLANNING
 SENIOR BESTUURDER: STATSBEPANNING

EXTERNAL DRYS WALLS
 110x38mm SA Pine vertical studs @ 400mm c/c
 110x38mm SA Pine horizontal battens @ 400mm c/c
 Outside Nucle wendy plank cladding fixed to frame.
 NOTE: NUMBER WORKS MUST COMPLY TO MKR 082 REQUIREMENTS.

DRAINAGE INSTALLATION
 1. Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.2.1).
 2. Drainage installation to comply with SANS 10400 part P.
 3. All drainage installations must be installed in terms of Part P of SANS 10400 (4.13.4).
 4. Drainage installations under building work must be protected in terms of Part P of SANS 10400 (4.22.2).
 5. All existing drainage as per previous approved plan.