



The Municipal Manager

Reference: Erf 1581 Hoekwil

P O Box 19

George

6530

16 October 2025

Sir

**APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATION):  
ERF 1581 HOEKWIL**

Attached hereto please find an application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the street boundary building line on Erf 1581 Hoekwil to legalize the existing dwelling house and associated outbuildings.

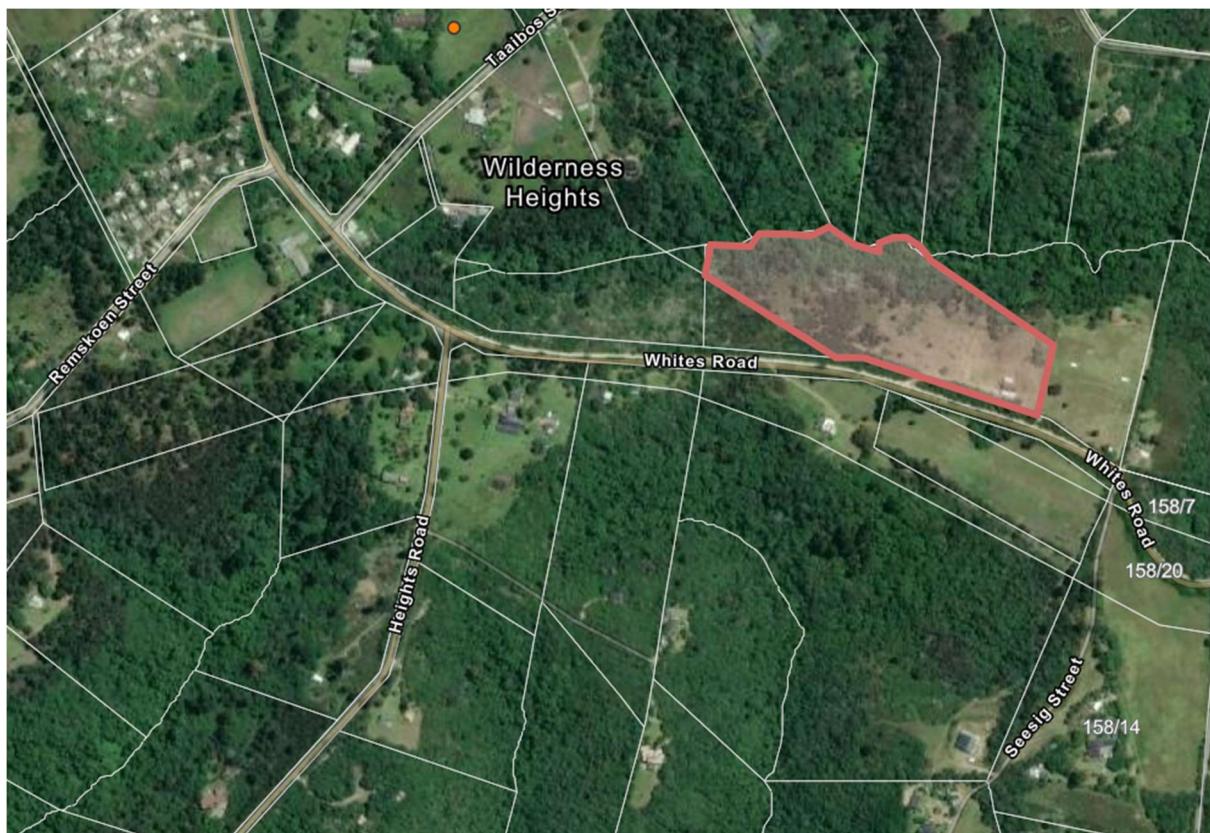
Your prompt consideration of the application will be appreciated.

Thanking you in anticipation.

**Jan Vrolijk**

**MOTIVATION REPORT**  
**APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE**  
**RELAXATION)**  
**ERF 1581 HOEKWIL**

October 2025



Prepared for:

**R & O Andrews**  
1581 Whites Road  
Hoekwil  
6560

Prepared by:

**Jan Vrolijk Town Planner/Stadsbeplanner**  
Millwood building, C/o York- and Victoria streets,  
George  
P.O. Box 710, George, 6530  
South-Africa  
Tell: 044 873 3011  
Cell: 082 464 7871  
Fax: 086 510 4383  
SACPLAN Registration No A/1386/2011

## INDEX

### 1. APPLICATION

### 2. DEVELOPMENT PROPOSAL

### 3. GENERAL INFORMATION IN RESPECT OF ERF 1581 HOEKWIL

- 3.1 Locality
- 3.2 Existing land use
- 3.3 Extent of erf
- 3.4 Present Zoning
- 3.5 Surveyor General Diagram
- 3.6 Title Deed
- 3.7 Power of Attorney
- 3.8 Bondholder's consent
- 3.9 Conveyancer Certificate

### 4. DESIRABILITY OF APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATION): ERF 1581 HOEKWIL

- 4.1 Introduction
- 4.2 Existing planning in the area
- 4.3 Impact on schools, open spaces, and other community facilities
- 4.4 Impact on sunlight, view, and privacy
- 4.5 Impact on streetscape
- 4.6 Impact on property values
- 4.7 Impact on provision of parking
- 4.8 Impact on traffic circulation
- 4.9 Provision of services
- 4.10 Fire fighting

## 5. CONCLUSION

## ANNEXURES

**Annexure "A":** Site plan and building plan

**Annexure "B":** Application form

**Annexure "C":** Locality plan

**Annexure "D":** Surveyor General Diagram

**Annexure "E":** Title Deed

**Annexure "F":** Power of Attorney

**Annexure "G":** Conveyancer Certificate

**MOTIVATION REPORT**  
**APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATION)**  
**ERF 1581 HOEKWIL**

## 1. APPLICATION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the southern street boundary building line of Erf 1581 Hoekwil from 30.0 metres to a distance varying from 10.0 metres to 11.3 metres to allow for the legalization of the existing dwelling house.

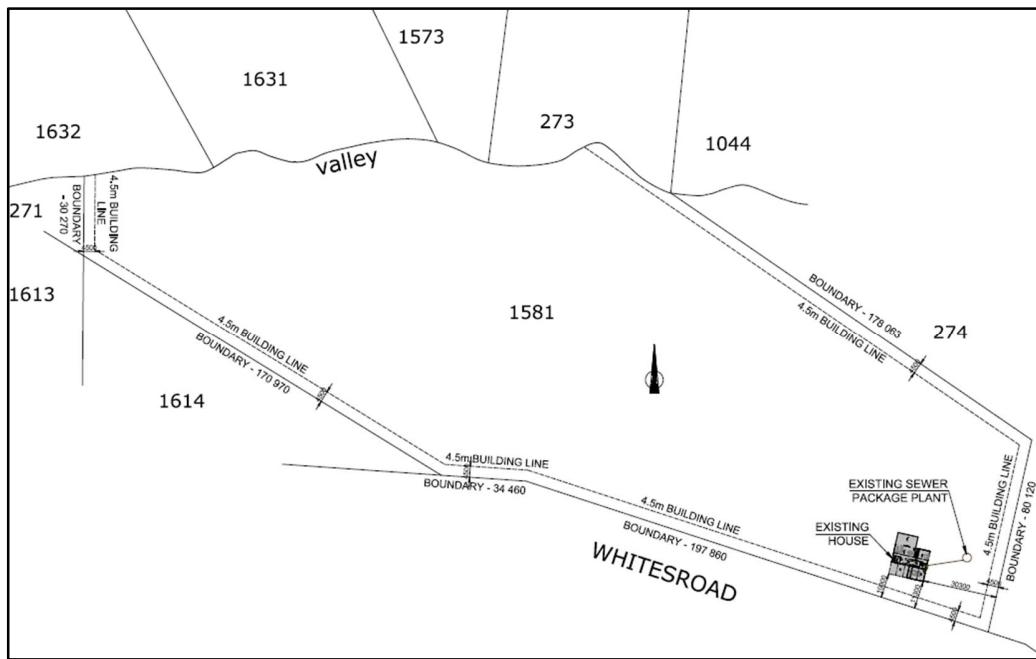
A copy of the site plan and building plan is attached hereto as **Annexure “A”** whilst the completed application form for the application for the permanent departure is attached hereto as **Annexure “B”**.

## 2. DEVELOPMENT PROPOSAL

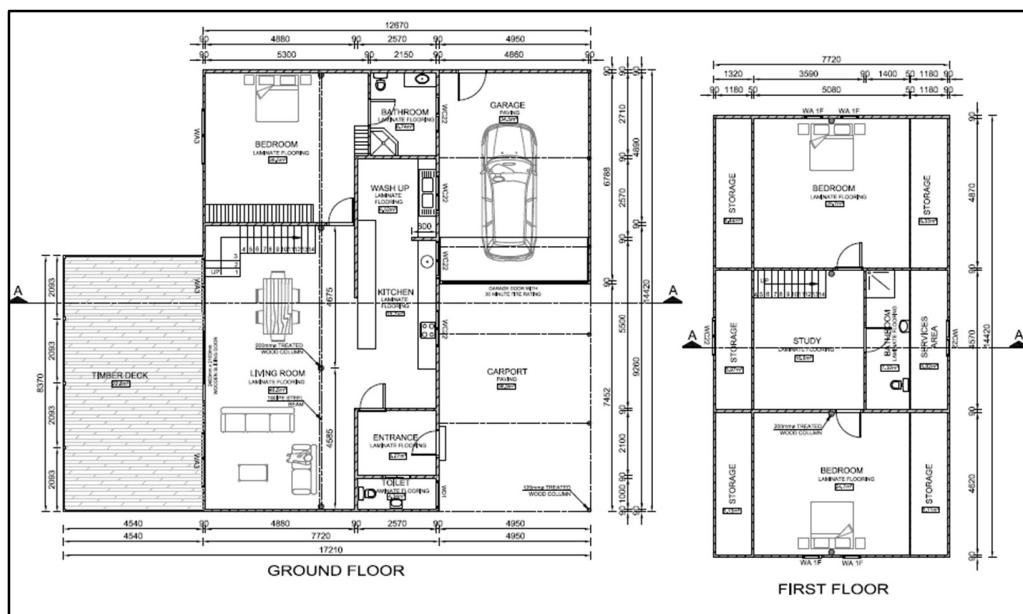
Erf 1581 Hoekwil is 4.0437 in extent and is developed with a dwelling house, undercover deck, a garage and carport. The dwelling house and associated outbuildings were constructed many years ago, however approved building plans could not be obtained. The property is in the process of being sold and the new owner requested approved building plans.

Erf 1581 Hoekwil, has a narrow area that is relatively flat and thereafter have a downward slope from south to north. The area where the existing dwelling house and associated outbuildings are located is transformed and no natural vegetation occurs in this position.

The following site plan indicates the position of the dwelling house and associated outbuildings on Erf 1581 Hoekwil.



The dwelling house consists of 3 bedrooms, an open plan kitchen, dining room and living room, leading out to the undercover deck, a guest toilet and study. The 2 bedrooms and study on the first level are located in the roof structure. The steep roof slope created voids along the first-floor area, which can only be utilized for storage purposes. The following image is an extract of the floor plans of the existing dwelling house.



The dwelling house is constructed of timber and creates a true farm style house. The slope of Erf 1581 Hoekwil creates a void underneath the timber deck, which is currently used to keep horses, which is in line with the zoning of the property. The photo below indicates the dwelling house and associated outbuildings looking in an eastern direction.



The entire dwelling house, undercover deck, garage and carport is located within the 30 metres street boundary building line. However, it complies with the common boundary building line. The following photo is taken in a south-western direction.



The purpose of this application is to obtain approval to legalize the existing dwelling house with an undercover deck, garage and carport, to enable the owner to submit as-built building plans.

### **3. GENERAL INFORMATION IN RESPECT OF ERF 1581 HOEKWIL**

#### **3.1 Locality**

Erf 1581 Hoekwil is situated along Whites Road in Wilderness Heights. Wilderness Heights, a dominantly smallholding area, is located east of George and north of Wilderness Town. The locality of the erf is indicated on the locality plan attached hereto as **Annexure “C”**.

#### **3.2 Existing land use**

The application erf is used for a dwelling house with an undercover deck, garage and carport.

#### **3.3 Extent of erf**

The total area of Erf 1581 Hoekwil is 4,0437 hectares in extent.

### 3.4 Present zoning

In terms of the George Integrated Zoning Scheme By-law, 2023, the zoning of Erf 1581 Hoekwil is Agricultural Zone I. There are a limited number of properties located in Wilderness Heights with Agricultural Zone I zoning, as most properties have Agricultural Zone II zoning for small holdings. The following map indicates the zoning of Erf 1581 Hoekwil.



### 3.5 Surveyor General Diagram

A copy of the Surveyor General Diagram (SG No. 3/2016) of Erf 1581 Hoekwil is attached hereto as **Annexure "D"**.

### 3.6 Title Deed

Erf 1581 Hoekwil is registered in the name of Richard Andrew and Olivia Andrews. A copy of the Title Deed is attached hereto as **Annexure "E"**.

### 3.7 Power of Attorney

A Power of Attorney, whereby Jan Vrolijk Town Planner / Stadsbeplanner is appointed by Richard Andrew and Olivia Andrews, the registered owners of Erf 1581 Hoekwil, to prepare the application referred to in point 1 of this motivation report and to sign all relevant documents is attached hereto as **Annexure "F"**.

### 3.8 Bondholder's consent

Erf 1581 Hoekwil is not encumbered by a bond.

### 3.9 Conveyancer Certificate

A Conveyancer Certificate in respect of Erf 1581 Hoekwil is attached hereto as **Annexure "G"**.

Condition G of Title Deed T4837/2022 of Erf 1581 Hoekwil states the following:

*G. SUBJECT FURTHER to the following conditions herein instituted under Section 49 of "The South African National Roads Agency and National Roads Act, 1998 (Act 7 of 1998)", namely:*

1. *With the exception of existing structures, no structures of anything whatsoever shall be erected, constructed or established within a distance of 30 metres measured from the national road reserve boundary, without the written approval or SANRAL:*
2. *Unless SANRAL granted written approval to the contrary, the land shall be used for bona fide farming operations only.*

Even though, Erf 1581 Hoekwil has a restrictive condition, as stated above, the condition excludes existing structures. The dwelling house on Erf 1581 Hoekwil is visible on Google Earth since 2005 (the aerial imagery older than 2005 is blurry and unclear). The SG diagrams indicating the national road reserve were registered in 2015. Therefore, it could be argued that the existing dwelling house was constructed prior to the restrictive title deed condition. The following image is an extract of Google Earth indicating the dwelling house on Erf 1581 Hoekwil since 2005.



It could also be stated that Condition G (1) is not applicable as the existing dwelling house and outbuilding is located more than 30 meters of the national road reserve. The national road reserve is indicated in the following image and it is clear that the existing dwelling house is approximately 53 metres from the national road reserve.



The conveyancer certificate confirms that there are no conditions in the Title Deed of the property which prohibits the development of the erf as proposed in this application.

#### **4. DESIRABILITY OF APPLICATION FOR PERMANENT DEPARTURES (BUILDING LINE RELAXATION): ERF 1581 HOEKWIL**

##### **4.1 Introduction**

Specific issues which must be addressed in the motivation of applications are highlighted in the Land Use Planning By-Law for George Municipality, 2023. These issues are, however, aimed at more complex applications and are not applicable to lesser applications, such as permanent departures for building line relaxations.

This application will therefore be motivated with reference to the following aspects:

- *Compatibility of the proposal with the existing planning and land uses of the surrounding area.*
- *The impact that the proposal will have on the environment.*
- *The impact that the proposal will have on traffic and parking in the surrounding area.*
- *The impact that the proposal will have on surrounding facilities such as schools, open spaces and other community facilities should the application result in an increase in the population of the area concerned.*
- *The impact that the proposal will have on the existing character of the surrounding area and the rights of the inhabitants of the area in respect of property values, privacy, view, sunlight, et cetera.*
- *Provision of essential services.*

##### **4.2 Existing planning in the area**

Erf 1581 Hoekwil is located in a small holding area known as Wilderness Heights. The land-uses in the surrounding area consist mostly of rural residential dwelling houses with small-scale farming activities as well as some tourist accommodation.

Erf 1581 Hoekwil is developed with one dwelling house, and the application is to legalize the existing dwelling house that is located over the 30 metres street boundary building line.

The permanent departure as proposed in this application will therefore not establish an undesirable precedent and can be accommodated within the existing planning of the area concerned.

#### **4.3 Impact on schools, open spaces, and other community facilities**

This application entails the relaxation of building lines on the application property to accommodate the existing dwelling house and associated outbuildings in its current position. No new development is proposed.

Therefore, the relaxation of the building lines as applied for will not have an impact on schools, open spaces and other community facilities in the area. This aspect is, therefore, not relevant to this application.

#### **4.4 Impact on sunlight, view, and privacy**

The building line relaxation is only for the street boundary building line and complies with the common boundary building line of 30 metres and can therefore not have any impact on the adjacent neighbouring property to the east (Erf 274 Hoekwil).

The existing dwelling house and associated outbuildings (garage and carport) are screened by the dense vegetation along Whites Road and are therefore hardly visible from the road. The photo below indicated the roof of the existing dwelling house from Whites Road (indicated with big red arrows), and this is only visible to people walking or cycling at low speed. The existing dwelling house on Erf 1581 Hoekwil is not visible for cars driving on Whites Road.



The proposed permanent departures will, therefore, have no impact on the sunlight, view or privacy of the adjacent small holdings. This aspect is, therefore, also not relevant to this application.

#### **4.5 Impact on streetscape**

The rural character of the area will be maintained as none of the existing structures that require building line relaxation are visible from the street and the structures comply with the common boundary building lines.

This aspect is, therefore, also not relevant to this application.

#### **4.6 Impact on property values**

As indicated in the previous paragraphs, the structures in respect of which the permanent departures are required do not have a negative impact on any of the surrounding properties.

The value of surrounding properties can, therefore, not be negatively impacted upon by the proposed permanent departure as proposed in this application.

#### **4.7 Impact on the provision of parking**

The parking requirements applicable to different land uses are set out in table format in Section 42 of the George Integrated Zoning Scheme By-law, 2023. Two parking bays are required in respect of a dwelling house. Erf 1581 Hoekwil have an existing garage and carport that can accommodate 2 vehicles and therefore comply with the parking provision.

The provision of on-site parking will, therefore, not be negatively impacted upon by the proposed permanent departure as proposed in this application.

#### **4.8 Impact of traffic circulation**

The application property is accessed via Whites Road, a gravel road from Heights Road. The property is easily accessible from the N2, through Wilderness Town, up Whites Road.

Erf 1581 Hoekwil, has one access from Whites Road and the sight distances should not be a problem as it is an existing access on a quiet gravel road that mainly provides access to the properties situated along the road. This portion of Whites Road is also popular with cyclists, because the road carries very little traffic. The existing access has no impact on traffic circulation and will remain unchanged. The photo below indicates the driveway leading to the existing dwelling house on Erf 1581 Hoekwil, off Whites Road.



The building line relaxation as proposed in this application will, therefore, not have a negative impact on the traffic circulation to the application property.

#### **4.9 Provision of Services**

Apart from electricity, no bulk services are currently available in the area concerned. The existing dwelling house is self-sufficient. All costs pertaining to the provision of infrastructure required for future development will be carried by the landowner.

#### **4.10 Fire-fighting**

The fire-fighting requirements stipulated in the fire-regulations will not be negatively impacted upon as the application erf will still be fully accessible for fire-fighting purposes.

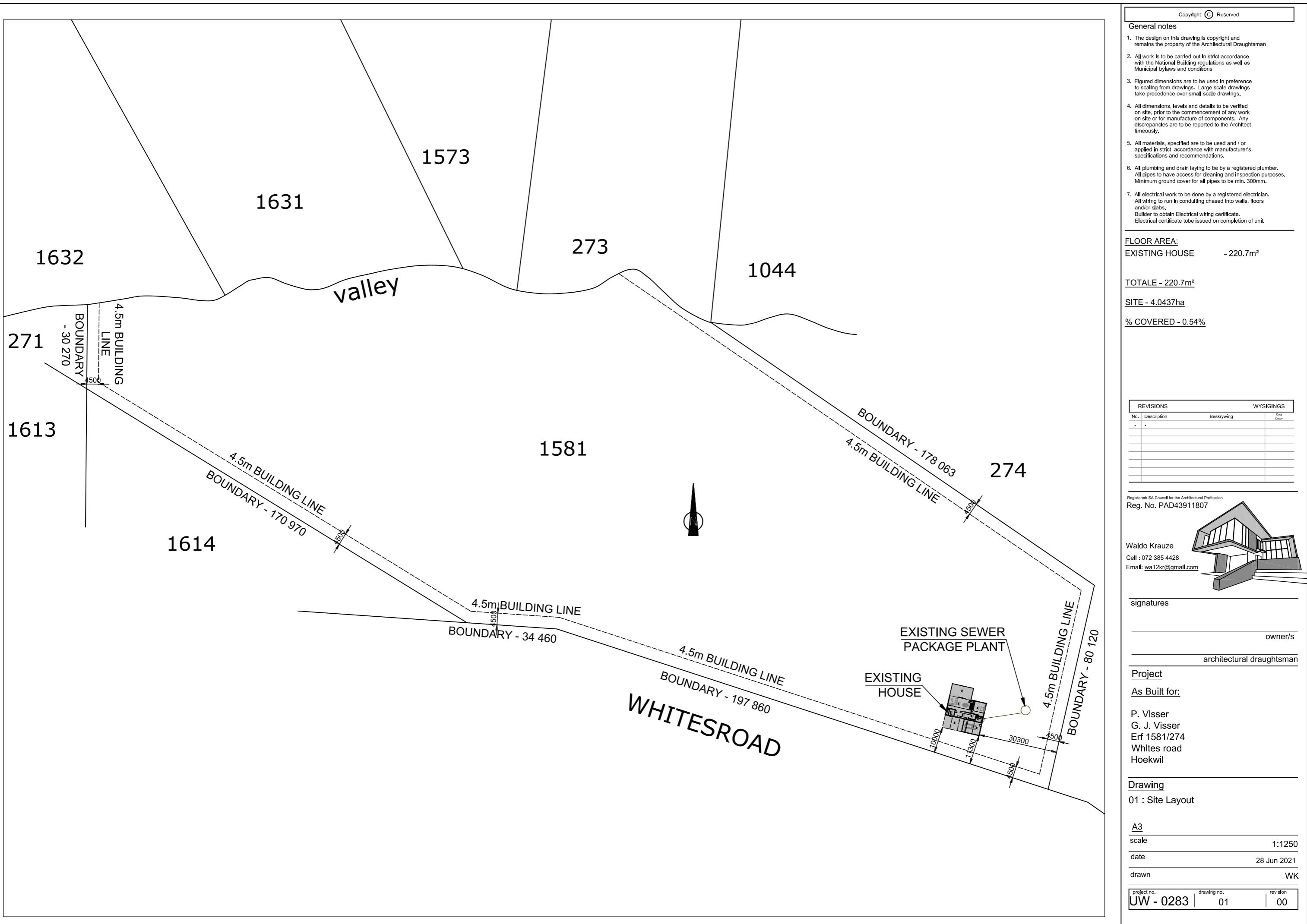
### **5. CONCLUSION**

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for permanent departures on Erf 1581 Hoekwil to accommodate the existing dwelling house and associated outbuildings.

The proposal will not have a negative impact on the environment, development, public facilities, traffic circulation or Municipal services in the surrounding area.

The application can therefore be considered desirable and is submitted for consideration in terms of the relevant stipulations of the Land Use Planning By-Law for George Municipality, 2023.

**ANNEXURE "A" - SITE PLAN AND BUILDING PLAN**



## General notes

- The design on this drawing is copyright and remains the property of the Architectural Draughtsman
- All work is to be carried out in strict accordance with the National Building regulations as well as Municipal bylaws and conditions
- Figured dimensions are to be used in preference to scaling from drawings. Large scale drawings take precedence over small scale drawings.
- All dimensions, levels and details to be verified on site, prior to the commencement of any work on site or for manufacture of components. Any discrepancies are to be reported to the Architect immediately.
- All materials, specified are to be used and / or applied in strict accordance with manufacturer's specifications and recommendations.
- All plumbing and drain laying to be by a registered plumber. All pipes to have access for cleaning and inspection purposes. Minimum ground cover for all pipes to be min. 300mm.
- All electrical work to be done by a registered electrician. All wiring to run in conduit chased into walls, floors and/or slabs. Builder to obtain Electrical wiring certificate. Electrical certificate to be issued on completion of unit.

FLOOR AREA:  
EXISTING HOUSE - 220.7m<sup>2</sup>

TOTALE - 220.7m<sup>2</sup>

SITE - 4.0437ha

% COVERED - 0.54%

REVISIONS		WYSIGINGS	
No.	Description	Beskrywing	Date

Registered: SA Council for the Architectural Profession  
Reg. No. PAD43911807

Waldo Krauze  
Cell : 072 385 4428  
Email: wa12kr@gmail.com

signatures

owner/s  
architectural draughtsman

## Project

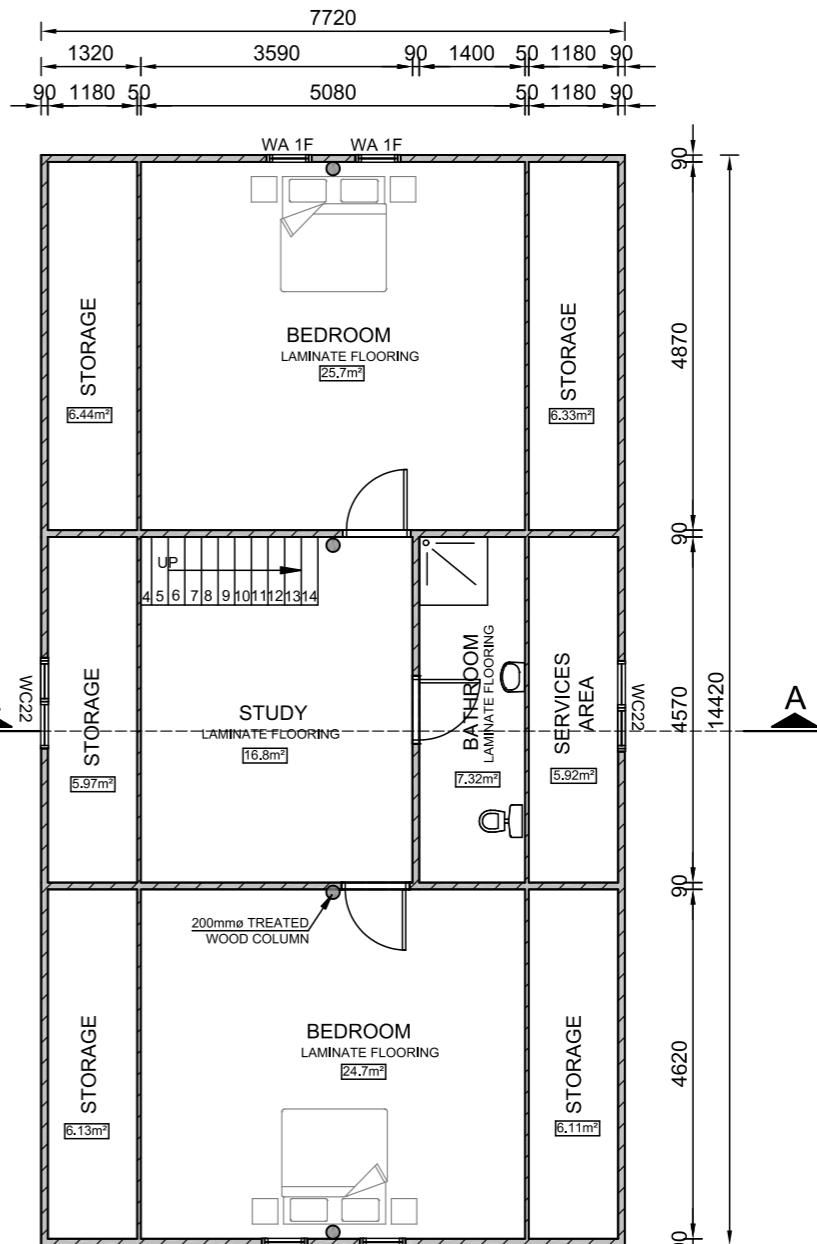
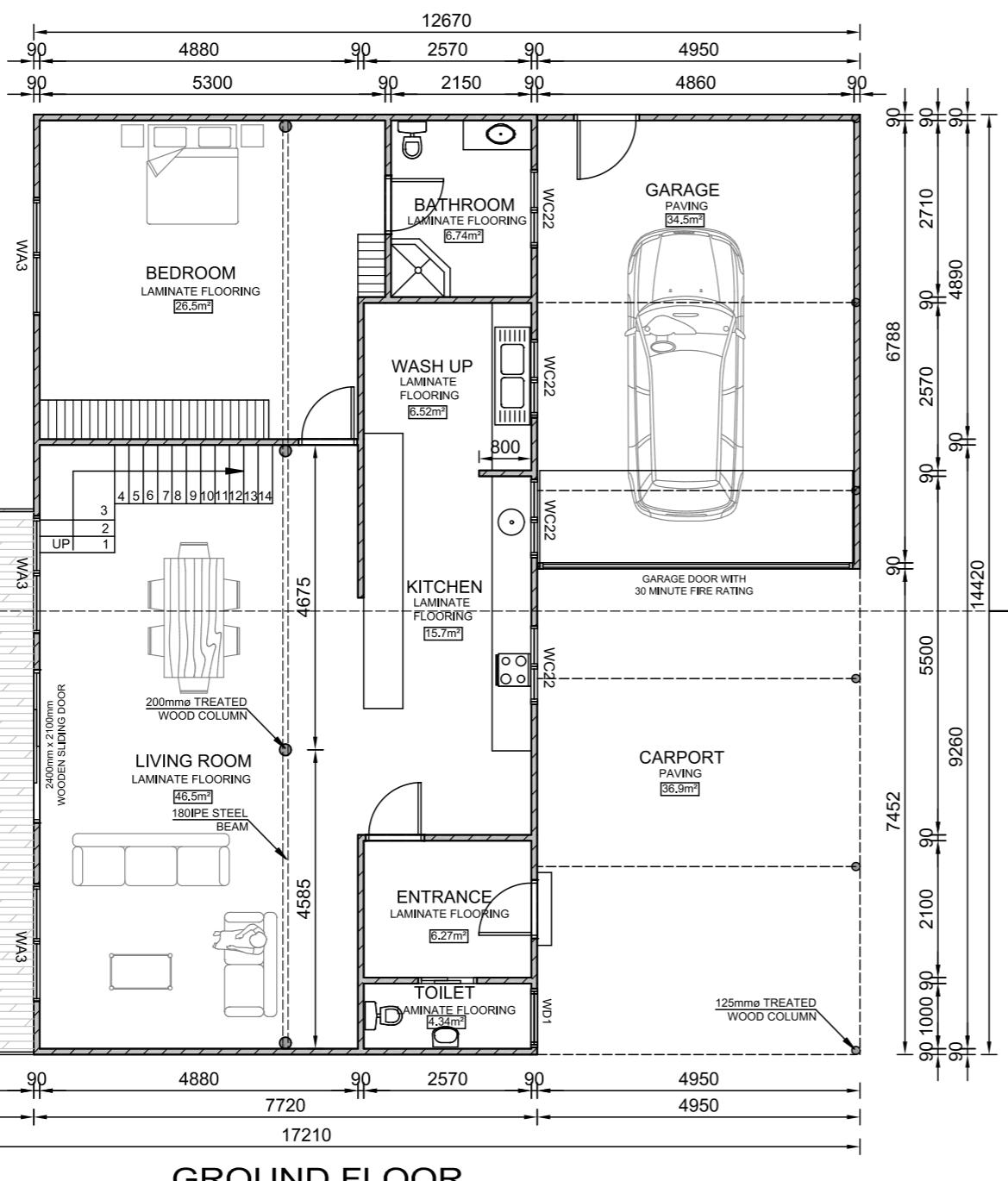
As Built for:

P. Visser  
G. J. Visser  
Erf 1581/274  
Whites road  
Hoekwil

Drawing  
02 : Plan Layout

A3  
scale 1:100  
date 28 Jun 2021  
drawn

project no. UW - 0283 | drawing no. 02 | revision 00



XA ROOF INSULATION (R-VALUE)	
ROOF COVERING	0.30
CEILING	0.05
INSULATION	3.35
TOTAL	3.7
MINIMUM REQUIRED	3.5
XA COMPLIANT	

## General notes

1. The design on this drawing is copyright and remains the property of the Architectural Draughtsman
2. All work is to be carried out in strict accordance with the National Building regulations as well as Municipal by-laws and conditions
3. Figured dimensions are to be used in preference to scaling from drawings. Large scale drawings take precedence over small scale drawings.
4. All dimensions, levels and details to be verified on site, prior to the commencement of any work on site or for manufacture of components. Any discrepancies are to be reported to the Architect immediately.
5. All materials, specified are to be used and / or applied in strict accordance with manufacturer's specifications and recommendations.
6. All plumbing and drain laying to be by a registered plumber. All pipes to have access for cleaning and inspection purposes. Minimum ground cover for all pipes to be min. 300mm.
7. All electrical work to be done by a registered electrician. All wiring to run in conduit chased into walls, floors and/or slabs. Builder to obtain Electrical wiring certificate. Electrical certificate to be issued on completion of unit.

**FLOOR AREA:**  
EXISTING HOUSE - 220.7m<sup>2</sup>

TOTALE - 220.7m<sup>2</sup>

SITE - 4.0437ha

% COVERED - 0.54%

REVISIONS		WYSIGINGS	
No.	Description	Beskywing	Date
.	.		

Registered: SA Council for the Architectural Profession  
Reg. No. PAD43911807



signatures

owner/s

architectural draughtsman

## Project

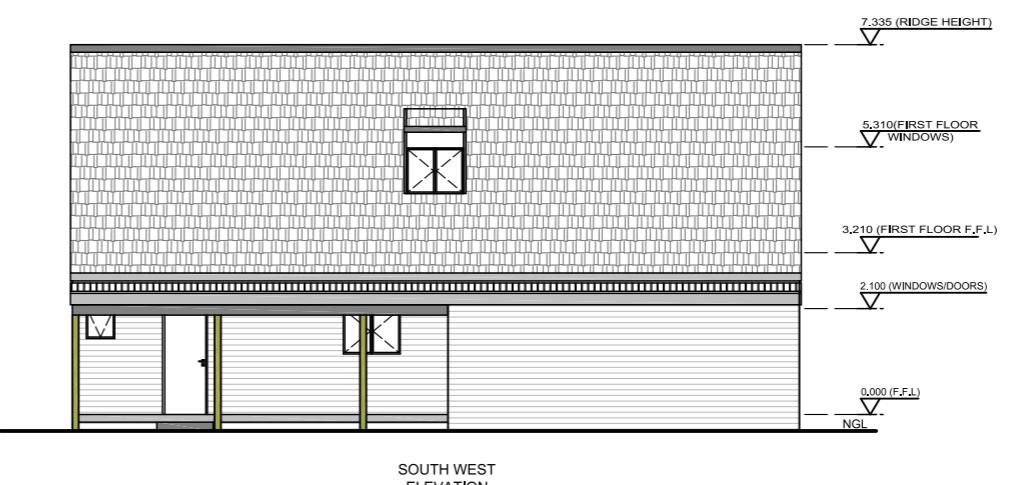
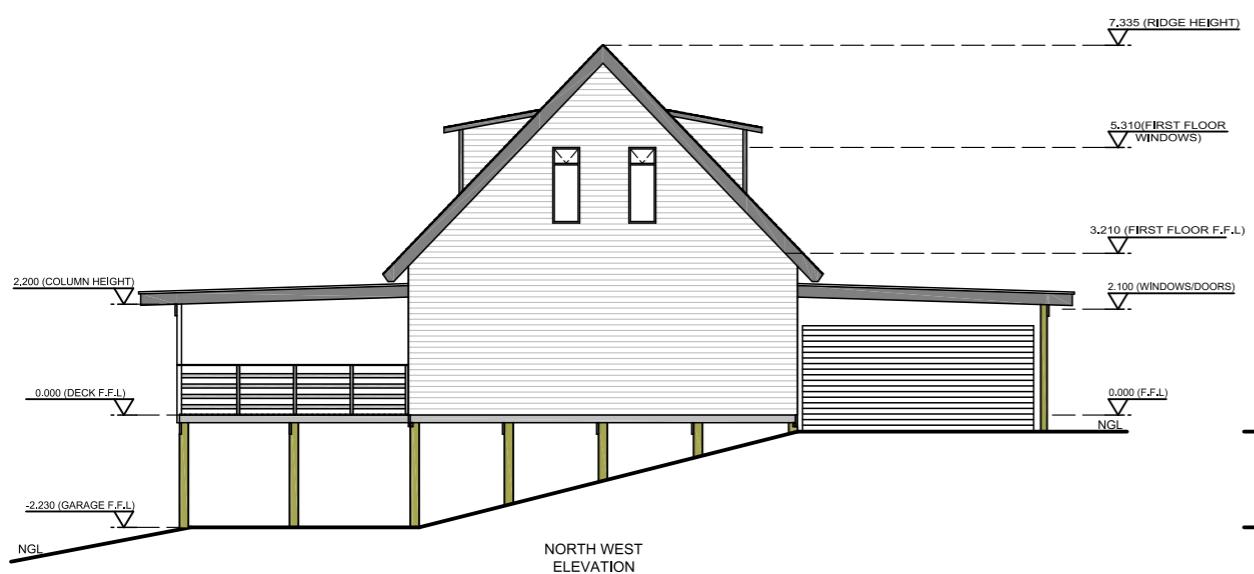
## As Built for:

P. Visser  
G. J. Visser  
Erf 1581/274  
Whites road  
Hoekwil

**Drawing**  
07 : Elevations Layout

A3	scale	1:150
date		28 Jun 2021
drawn		WK
project no.	drawing no.	revision

UW - 0283 | 07 | 00



## General notes

1. The design on this drawing is copyright and remains the property of the Architectural Draughtsman
2. All work is to be carried out in strict accordance with the National Building regulations as well as Municipal bylaws and conditions
3. Figured dimensions are to be used in preference to scaling from drawings. Large scale drawings take precedence over small scale drawings.
4. All dimensions, levels and details to be verified on site, prior to the commencement of any work on site or for manufacture of components. Any discrepancies are to be reported to the Architect immediately.
5. All materials, specified are to be used and / or applied in strict accordance with manufacturer's specifications and recommendations.
6. All plumbing and drain laying to be by a registered plumber. All pipes to have access for cleaning and inspection purposes. Minimum ground cover for all pipes to be min. 300mm.
7. All electrical work to be done by a registered electrician. All wiring to run in conduits chased into walls, floors and/or slabs. Builder to obtain Electrical wiring certificate. Electrical certificate to be issued on completion of unit.

**FLOOR AREA:**  
EXISTING HOUSE - 220.7m<sup>2</sup>

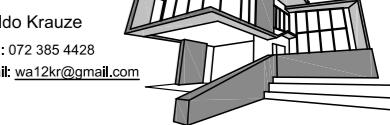
TOTALE - 220.7m<sup>2</sup>

SITE - 4.0437ha

% COVERED - 0.54%

REVISIONS		WYSIGINGS
No.	Description	Beskrywing
		Date

Registered: SA Council for the Architectural Profession  
Reg. No. PAD43911807



SECTION A-A

signatures

owner/s

architectural draughtsman

## Project

## As Built for:

P. Visser  
G. J. Visser  
Erf 1581/274  
Whites road  
Hoekwil

## Drawing

03 : Section Layout

A3

scale

1:75

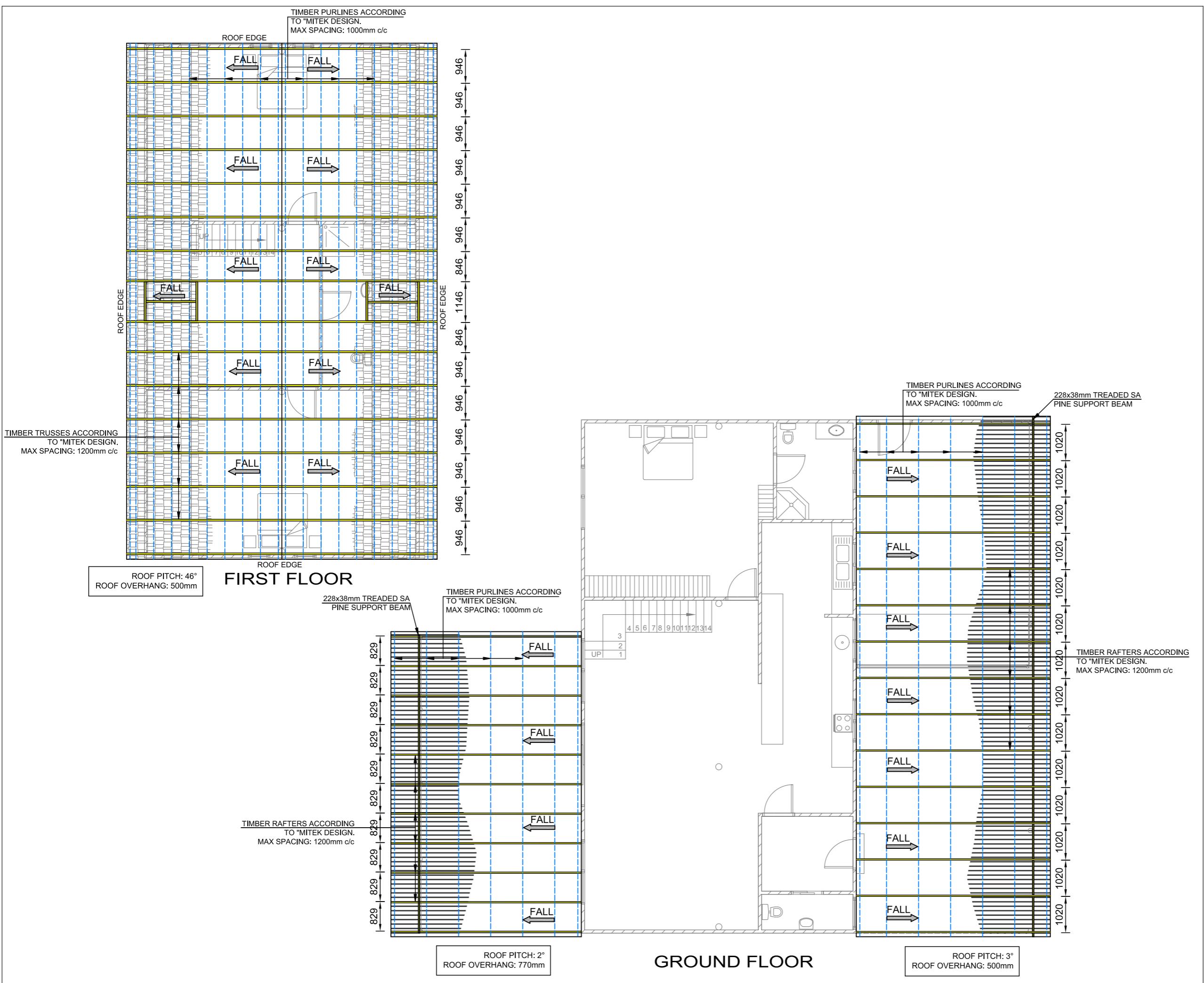
date

28 Jun 2021

drawn

WK

project no. UW - 0283 | drawing no. 03 | revision 00



Copyright © Reserved

## General notes

The design on this drawing is copyright and remains the property of the Architectural Draughtsman

All work is to be carried out in strict accordance with the National Building regulations as well as Municipal bylaws and conditions

Figured dimensions are to be used in preference to scaling from drawings. Large scale drawings take precedence over small scale drawings.

All dimensions, levels and details to be verified on site, prior to the commencement of any work on site or for manufacture of components. Any discrepancies are to be reported to the Architect immediately.

All materials, specified are to be used and / or applied in strict accordance with manufacturer's specifications and recommendations.

All plumbing and drain laying to be by a registered plumber. All pipes to have access for cleaning and inspection purposes. Minimum ground cover for all pipes to be min. 300mm.

All electrical work to be done by a registered electrician. All wiring to run in conduiting chased into walls, floors and/or slabs. Builder to obtain Electrical wiring certificate. Electrical certificate to be issued on completion of unit.

FLOOR AREA:  
EXISTING HOUSE - 220.7m<sup>2</sup>

OTALE - 220.7m<sup>2</sup>

## ITE - 4.0437ha

COVERED - 0.54%

registered: SA Council for the Architectural Profession  
reg. No. PAD43911807

Valdo Krauze  
Cell : 072 385 4428  
Email: wa12kr@gmail.com

---

**signatures**

## Project

As Built for:  
P. Visser  
G. J. Visser  
Erf 1581/274  
Whites road  
Johannesburg

## Drawing

<u>A3</u>	
scale	1:100
date	28 Jun 2021
drawn	WK

JW - 0283 | 06 | 00

## General notes

1. The design on this drawing is copyright and remains the property of the Architectural Draughtsman
2. All work is to be carried out in strict accordance with the National Building regulations as well as Municipal bylaws and conditions
3. Figured dimensions are to be used in preference to scaling from drawings. Large scale drawings take precedence over small scale drawings.
4. All dimensions, levels and details to be verified on site, prior to the commencement of any work on site or for manufacture of components. Any discrepancies are to be reported to the Architect immediately.
5. All materials, specified are to be used and / or applied in strict accordance with manufacturer's specifications and recommendations.
6. All plumbing and drain laying to be by a registered plumber. All pipes to have access for cleaning and inspection purposes. Minimum ground cover for all pipes to be min. 300mm.
7. All electrical work to be done by a registered electrician. All wiring to run in conduiting chased into walls, floors and/or slabs. Builder to obtain Electrical wiring certificate. Electrical certificate to be issued on completion of unit.

FLOOR AREA:  
EXISTING HOUSE - 220.7m<sup>2</sup>

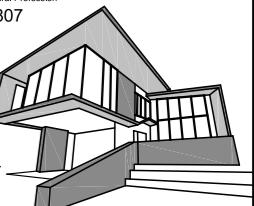
TOTALE - 220.7m<sup>2</sup>

SITE - 4.0437ha

% COVERED - 0.54%

REVISIONS		WYSIGINGS	
No.	Description	Beskrywing	Date
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			

Registered: SA Council for the Architectural Profession  
Reg. No. PAD43911807



Waldo Krauze  
Cell : 072 385 4428  
Email: wa12kr@gmail.com

signatures

owner/s  
architectural draughtsman

## Project

## As Built for:

P. Visser  
G. J. Visser  
Erf 1581/274  
Whites road  
Hoekwil

## Drawing

05 : Services Layout

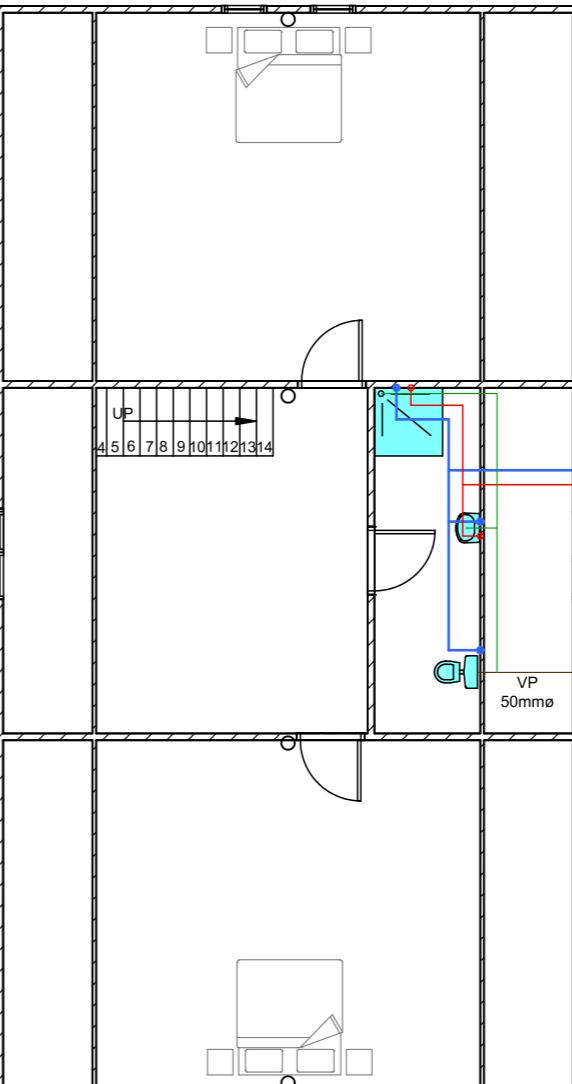
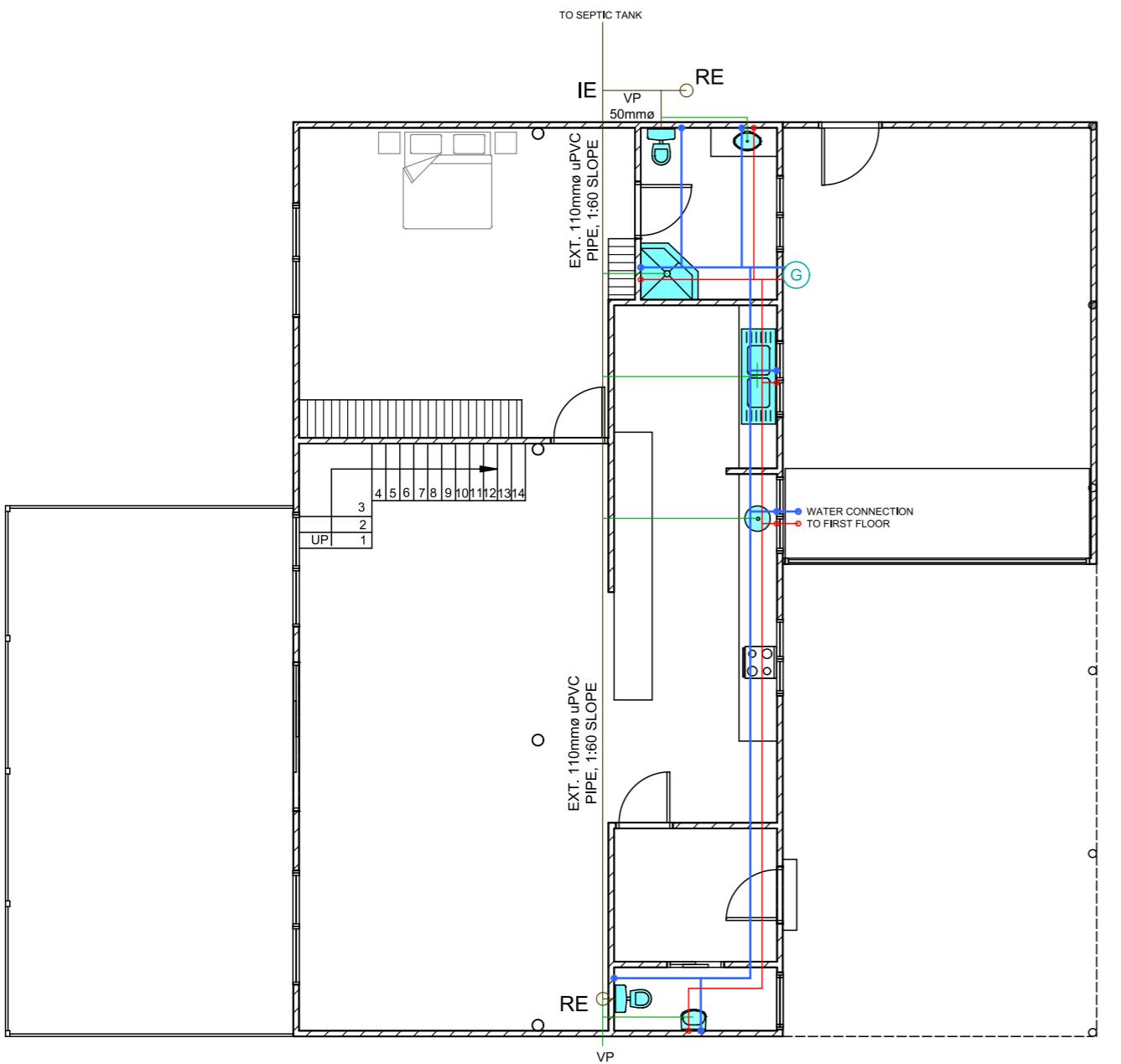
A3

scale 1:100

date 28 Jun 2021

drawn WK

project no. UW - 0283 | drawing no. 03 | revision 00



## General notes

- The design on this drawing is copyright and remains the property of the Architectural Draughtsman
- All work is to be carried out in strict accordance with the National Building regulations as well as Municipal bylaws and conditions
- Figured dimensions are to be used in preference to scaling from drawings. Large scale drawings take precedence over small scale drawings.
- All dimensions, levels and details to be verified on site, prior to the commencement of any work on site or for manufacture of components. Any discrepancies are to be reported to the Architect immediately.
- All materials, specified are to be used and / or applied in strict accordance with manufacturer's specifications and recommendations.
- All plumbing and drain laying to be by a registered plumber. All pipes to have access for cleaning and inspection purposes. Minimum ground cover for all pipes to be min. 300mm.
- All electrical work to be done by a registered electrician. All wiring to run in conduits chased into walls, floors and/or slabs. Builder to obtain Electrical wiring certificate. Electrical certificate to be issued on completion of unit.

FLOOR AREA:  
EXISTING HOUSE - 220.7m<sup>2</sup>

TOTALE - 220.7m<sup>2</sup>

SITE - 4.0437ha

% COVERED - 0.54%

REVISIONS		WYSIGINGS	
No.	Description	Beskywing	Date
.	.	.	.
.	.	.	.
.	.	.	.
.	.	.	.
.	.	.	.
.	.	.	.
.	.	.	.
.	.	.	.

Registered: SA Council for the Architectural Profession  
Reg. No. PAD43911807

Waldo Krauze  
Cell : 072 385 4428  
Email: [wa12kr@gmail.com](mailto:wa12kr@gmail.com)

signatures

owner/s

architectural draughtsman

## Project

## As Built for:

P. Visser  
G. J. Visser  
Erf 1581/274  
Whites road  
Hoekwil

## Drawing

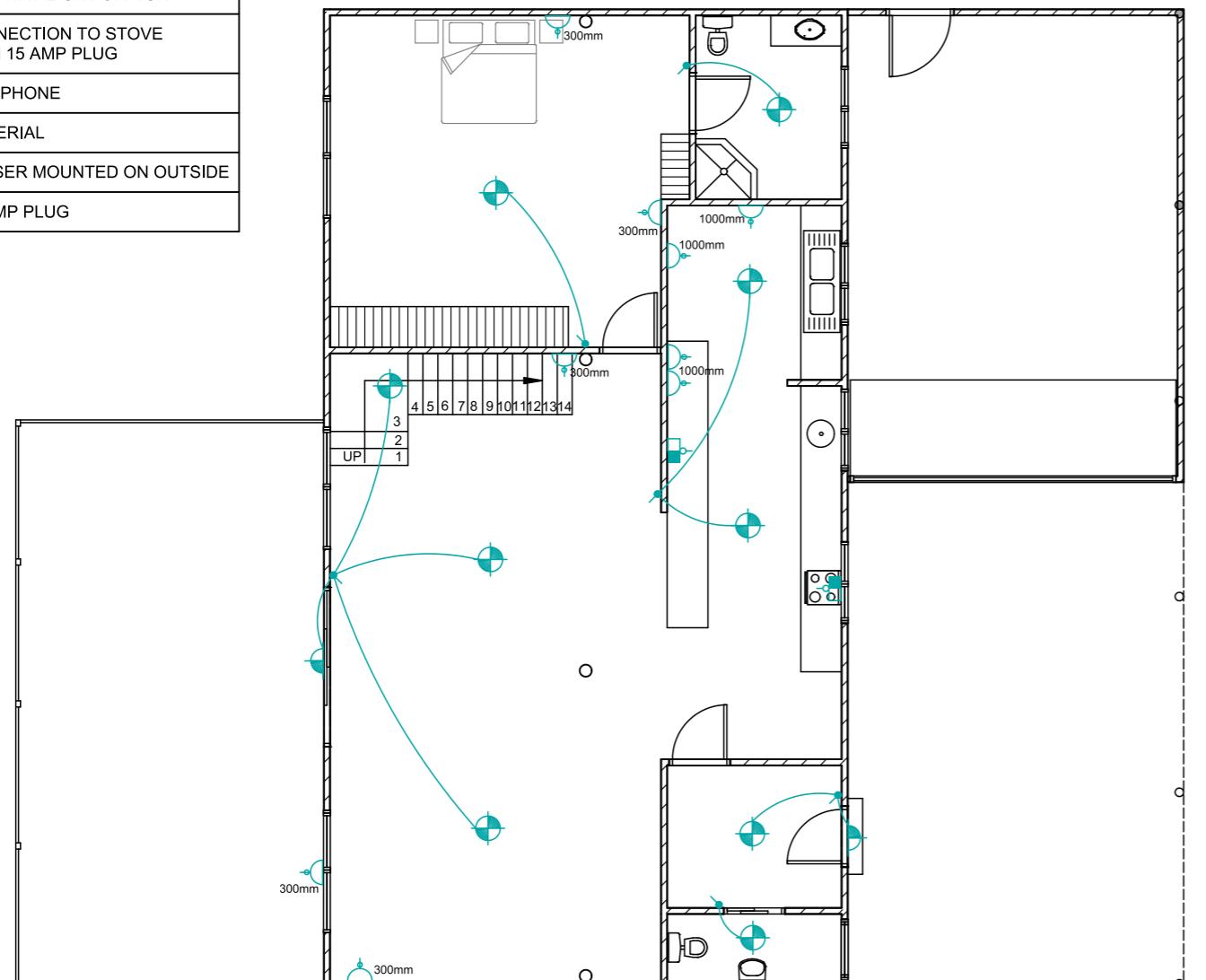
04 : Electrical Layout

## A3

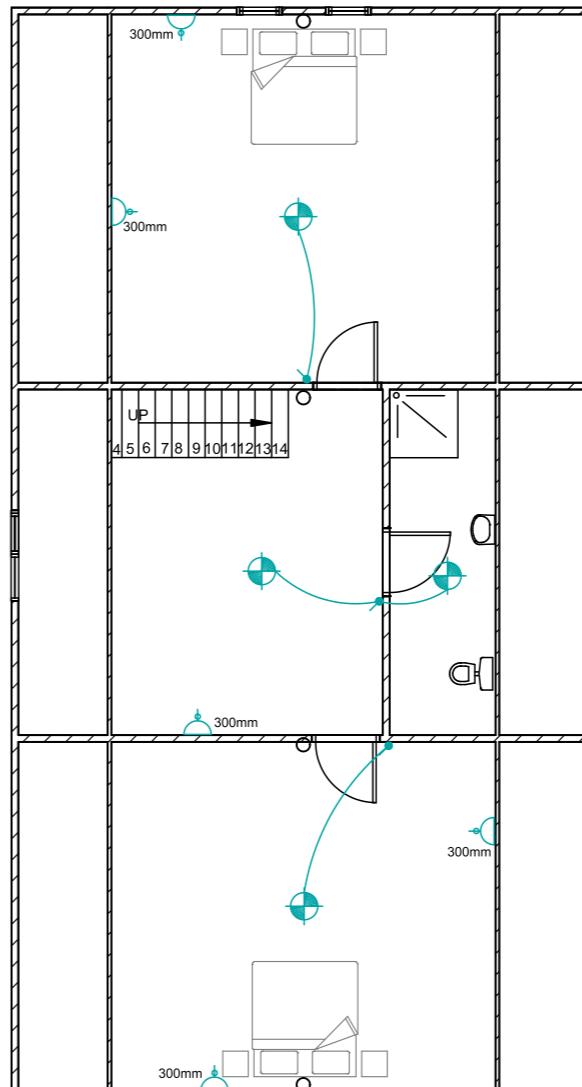
scale 1:100  
date 28 Jun 2021  
drawn WK

project no. UW - 0283 | drawing no. 04 | revision 00

ELECTRICAL KEY	
	DISTRIBUTION BOARD
	DOUBLE TUBE FLUORESCENT LIGHT
	CEILING MOUNTED LIGHT
	OUTSIDE LIGHT
	LIGHT SWITCH
	TWO-WAY LIGHT SWITCH
	CONNECTION TO STOVE WITH 15 AMP PLUG
	TELEPHONE
	TV AERIAL
	GEYSER MOUNTED ON OUTSIDE
	15 AMP PLUG



GROUND FLOOR



FIRST FLOOR

**ANNEXURE “B” - APPLICATION FORM**



**PLANNING AND DEVELOPMENT**  
**APPLICATION FORM FOR CONSENT USE FOR A SECOND**  
**DWELLING/ADDITIONAL DWELLING AND/OR DEPARTURE**

(Please complete the form in full for consideration - tick appropriate boxes with X)

BUILDING LINE RELAXATION	<input checked="" type="checkbox"/>	SECOND DWELLING	<input type="checkbox"/>	ADDITIONAL DWELLING	<input type="checkbox"/>
--------------------------	-------------------------------------	-----------------	--------------------------	---------------------	--------------------------

**PROPERTY DETAILS**

ERF NUMBER	1581	EXTENSION/A REA	Hoekwil (Wilderness Heights)
ZONING	Agricultural Zone II		
EXISTING LAND USE	Rural residential		

**CORRESPONDENCE DETAILS**

IS THE APPLICANT ALSO THE REGISTERED OWNER OF THE RELEVANT PROPERTY?					YES	NO	
ADDRESS CORRESPONDENCE TO			OWNER	APPLICANT	POST OR E- MAIL	POST	E-MAIL
COLLECT BY HAND	YES	NO	TELEPHONE NO	0824647871			

**OWNER DETAILS**

OWNER NAME	Richard Andrew and Olivia Andrews					
STREET NAME	Whites Road			HOUSE NUMBER	1581	
POSTAL ADDRESS	Erf 1581 Whites Road			SAME AS POSTAL ADDRESS	YES	NO
EXTENSION/AREA	Hoekwil (Wilderness Heights)			CODE	6560	
ID NUMBER	Richard Andrew - 7706245075085 Olivia Andrews - 7904070226085	E-MAIL ADRRESS	<a href="mailto:Richard.andrew@yahoo.co.uk">Richard.andrew@yahoo.co.uk</a>			
TELEPHONE NO	N/A		CELL NO			

**APPLICANT DETAILS (strike through if registered owner is also the applicant)**

NAME	Jan Vrolijk Town Planner / Stadsbeplanner					
STREET NAME	Victoria Street			HOUSE NUMBER	-	
POSTAL ADDRESS	P O Box 710			SAME AS POSTAL ADDRESS	YES	NO
EXTENSION/AREA	George CBD			CODE	6530	
TEL / CELL NO	082 464 7871		E-MAIL ADRRESS	<a href="mailto:janvrolijk@jvtownplanner.co.za">janvrolijk@jvtownplanner.co.za</a>		
PROFESSIONAL CAPACITY	Town Planner		SACPLAN NO	A/1386/2011		

**BOND HOLDERS DETAILS (Only applicable if property is encumbered by a bond)**

IS THE PROPERTY ENCUMBERED BY A BOND?		YES	NO
NAME OF BOND HOLDER	N/a		

**TITLE DEED DETAILS**

TITLE DEED NO.	T58669/2025			
ARE THERE RESTRICTIONS IN THE TITLE DEED WHICH IMPACT THE APPLICATION? (If yes, describe restrictions below)			YES	NO
N/A				

**APPLICATION DETAILS**

DESCRIPTION OF BUILDING LINE RELAXATION (STREET / LATERAL / REAR BUILDING LINE)	FROM M	TO M	DETAILS
Street boundary building line	30.0	10.00 varying to 11.3	Legalization of the dwelling house and associated outbuildings
Is an application for an increase in coverage being applied for? (Indicate increase under details)	YES	NO	
Is an application for a 2 <sup>nd</sup> dwelling /additional dwelling being applied for? (indicate size under details)	YES	NO	

**HOA/ ADJACENT OWNERS DETAILS (Consent letters as well as site plans to be signed by adjacent owners)**

ERF NO	ADDRESS	NAME	CONSENT LETTER ATTACHED
To be advertised			

I hereby acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.

APPLICANT'S SIGNATURE		DATE	16 October 2025
-----------------------	---	------	-----------------

**FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:**

Locality Plan		Building Plan/ Site Plan on A3/ A4		SG Diagram/ General Plan		Title Deed
Power of Attorney		Motivation		Neighbours Consent / Comment		HOA Consent
Bond Holder Consent		Proof of Payment		Conveyance Certificate		Other (Specify)

**ANNEXURE "C" – LOCALITY PLAN**

# Erf 1581 Hoekwil - Locality plan



**Disclaimer**  
George Municipality makes no warranties as to the correctness of the information supplied.  
Persons relying on this information do so entirely at their own risk.

George Municipality will not be liable for any claims whatsoever, whether for damages or otherwise, which may arise as a result of inaccuracies in the information supplied.

0 0.13 0.25 0.5 kr

Date: 8/27/2025 7:52 AM

Scale: 1:4,654



**ANNEXURE “D” – SURVEYOR GENERAL DIAGRAM**

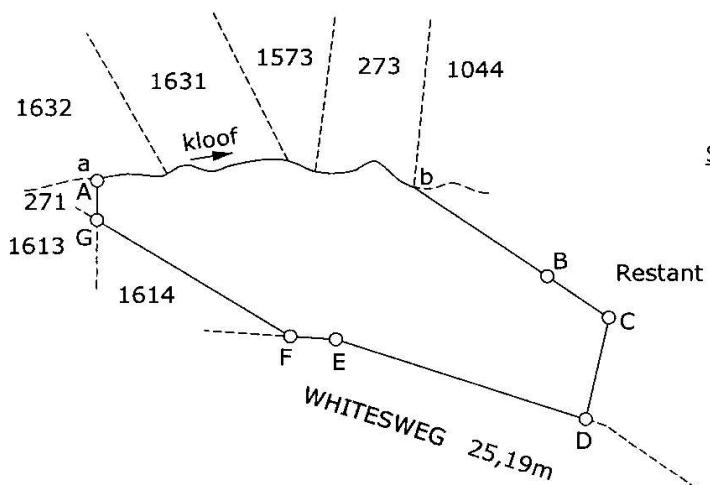
OFFICE COPY

Bailey & le Roux, Professionele Landmeters, George

SYE Meter		RIGTINGS- HOEKЕ	KOÖRDINATE Y Stelsel WG 23° X				L.G. No. 3/2016
AB	347,01	konstante	A	0,00	+3 700 000,00	+61 304,50	Gedgekeur
BC	56,30	282 15 50	B	+38 723,46	+61 378,21	+61 410,05	<i>Wolff</i>
CD	80,12	304 26 00	C	+38 384,38	+61 488,19	+61 426,78	nms
DE	197,86	12 46 20	D	+38 337,94	+61 424,39	+61 334,78	Landmeter-Generaal
EF	34,46	108 05 00	E	+38 355,66	+61 424,39	13.01.2016	
FG	170,97	93 58 10	F	+38 543,74	+61 426,78		
GA	30,27	121 36 40	G	+38 578,12	+61 424,39		
Aa		180 29 00		+38 723,72	+61 334,78		
bB		304 26 00					
		180 29 00					
		304 26 00					
KNYS 3 (200)			Δ	+39 012,48	+61 494,67		
KNYS 32 NEW (452)			Δ	+33 988,32	+63 707,81		



Skaal 1: 5000



Bakenbeskrywing:  
 A 25mm ysterpen  
 B, C, D 16mm ysterpen  
 E 20mm ysterpen  
 F, G Standaard ysterpaal

Die figuur a middel van kloof b C D E F G  
 stel voor 4,0437 Hektaar grond, synde  
 Erf 1581 ('n gedeelte van Erf 274), HOEKWIL

Geleë in die Munisipaliteit en  
 Administratiewe Distrik van George  
 Provincie Wes-Kaap  
 Opgemeet in Desember 2015  
 deur my

H.W. le Roux PLS 1055-D  
 Professionele Landmeter

Hierdie kaart is geheg aan No. T18482/2016 gedateer t.g.v. Registrateur van Aktes	Die oorspronklike kaart is LG. No. 9832/1960 geheg aan Transport No. 3762/1964 1964. 3762	GEOR. Lêer No. A157(V3)-v4 M.S. No. 3/2016 Komp. BL-8CCD (4139) Algemene Plan No. 1730 LD LPI C0270005
---	---	---

Erf 1581 Hoekwil

S

Approved in terms of  
Act 7/1903

APPROVED IN TERMS OF SECTION 35  
OF CRD 157/965  
REF. ERF 274, HOEKWIL  
DATE 29-10-2015

EXEMPT FROM PROVISIONS OF ACT  
70 OF 1970  
SECTION 1(a)

**ANNEXURE “E” – TITLE DEED**

KAPLAN BLUMBERG SOUTHERN CAPE  
11 Pitt Street  
Knysna Central  
Knysna

Prepared by me

CONVEYANCER  
TAMARIN MICHELE BOSMAN (102090)

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R 4 400 000-00	R 2 767-00
Reason for exemption	Category Exemption.....	Exemption i t o. Sec/Reg..... Act/Proc.....

DATA / VERIFY  
16-09-2025  
LINDA NCAPAI

16-09-2025  
T000058669 / 2025

## DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT  
KELSEY ALEXA FORTUIN

appeared before me, REGISTRAR OF DEEDS: WESTERN CAPE at CAPE TOWN,  
the said appearer being duly authorised thereto by a Power of Attorney granted to  
him/her by

ROCCO STANLEY JONKER  
Identity Number 6803175058081  
Married out of community of property

which said Power of Attorney was signed at LOUIS TRICHARDT on 5 August 2025

And the appearer declared that his/her said principal had, on 27 June 2025, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

1. **RICHARD ANDREW**  
**Identity Number 7706245075085**  
**Married out of community of property**
2. **OLIVIA ANDREWS**  
**Identity Number 7904070226085**  
**Married out of community of property**

their Heirs, Executors, Administrators or Assigns, in full and free property

ERF 1581 HOEKWIL,  
IN THE MUNICIPALITY AND DIVISION OF GEORGE  
PROVINCE OF WESTERN CAPE

IN EXTENT 4,0437 (FOUR COMMA ZERO FOUR THREE SEVEN) Hectares

FIRST TRANSFERRED by Deed of Transfer Number T18482/2016 with  
Diagram LG No. 3/2016 relating thereto and held by Deed of Transfer  
No.T4837/2022

- A. SUBJECT to the conditions referred to in Deed of Transfer No 3762/1962.
- B. SUBJECT FURTHER to the special condition mentioned in the endorsement  
dated 22 April 1907 in Deed of Transfer No. 4632 dated 22 May 1905, namely:-  
"By Deed of Transfer No. 2955 and 2956 — April, 1907, certain water and other  
rights have been conceded in favour of the land thereby conveyed as will more  
fully appear on reference to the said Deed of Transfer."
- C. SUBJECT FURTHER to the special conditions contained in the annexure to the  
Deed of Transfer No. 14200 dated 6 October 1920, namely:-

EXTRACT from Power of Attorney dated at Johannesburg, 14 September  
1920, to pass transfer from Wilderness Estate Co. Ltd, hereinafter called the  
"Transferor" to the Kerkraad of Dutch Reformed Church of George hereinafter  
called the "Transferee"

- (a) The properties hereby transferred shall be subject to all conditions  
restrictions reservations and servitudes mentioned or referred to in or  
endorsed upon the said Deed of Transfer No. 4632 or any prior title or  
otherwise registered in the Deeds Office and in particular to the  
conditions and servitudes set out in certain two Deeds of Transfer Nos.  
2955 and 2956 dated 16<sup>th</sup> April, 1907, and in Deed of Transfer passed  
on the 21<sup>st</sup> February, 1918 to the George Forest Timber Company Ltd.,  
and the properties hereby transferred shall be subject to the further  
condition that the transferor shall be entitled to take from the Siver River  
or any of its tributaries and the Kaaiman's river at any point on the  
properties hereby transferred, such quantity of water as the transferor  
may be entitled to or may obtain under the Irrigation and Conservation  
of Waters Act 1912, with the right to lead such waters across the  
properties hereby transferred, and for that purpose to lay and maintain

such pipes as may be necessary and in the event of the Transferor having or acquiring the right to take water from any river or stream above the ground hereby transferred, then the Transferor shall be entitled to a right or way over the properties hereby transferred for such water, with the right to lay pipes over the property hereby transferred and for the purpose of laying and maintaining the pipes and exercising the other rights in this clause mentioned the Transferor shall have the right to ingress and egress to and from the properties hereby transferred, with the right to make such excavations and do and perform such other works as may be necessary to conduct such water to any part of the Transferor's property, including the said land marked No. 497 called Barbiers Kraal, and these conditions are hereby registered as a servitude against the properties hereby transferred.

(b) The Transferor and all persons now or at any time hereafter holding title from or through the transferor of any portion of the land marked 497 called Barbiers Kraal, in extent 828 morgen, as well as persons at any time frequenting the seaside resort known as the Wilderness shall have full and undisturbed right of way on foot and by means of vehicles over the properties hereby transferred to and from any portion of the said land marked 497 and the said Seaside Resort by the present public roads on the ground hereby transferred and also by a road constructed and made by the Transferor and which has not yet been declared a public road, and by such public roads, as may hereafter be constructed and/ or declared public roads by any competent authority, and the Transferee shall in so far as and to the extent that the same passes through the properties hereby transferred keep in good order and repair the said road constructed by the Transferor, provided that such repairs shall not extend to gravelling, the Transferor on its part undertaking to keep the said road in good repair over the extent that the said road passed through its property.

D, SUBJECT FURTHER to the uniform conditions instituted by the Minister contained in Certificate of Uniform Title No. 14471/1961 subject to the reserved right in favour of the State, namely:

(2) Die reg om grond te neem en materiaal te verkry en te verwyder vir die bou en herstel van operbare paaie.

E. SUBJECT FURTHER to the conditions in the Deed of Transfer No. 3762/1964, contained and instituted by the Administrator of Provinces for the Cape of Good Hope for the subdivision in terms of Section 196 of Ordinance Nr. 15/1952 as amended for the farm Wildernishoogte which accordingly can be amended or mitigated by him, namely:-

(a) Dit mag net vir woon-en landbou doeleindeste gebruik word.

(b) Geen geboue uitgesonderd een woning vir gerbuik deur 'n enkele familie tesame met die buitegoue wat gewoonlik nodig is om in 'n verband daarmee gebruik te word mag op hierdie grond opegerig word nie.

F. SUBJECT FURTHER to a Servitude in reference to the division of water in terms of an Order from the Water Court (Cape District Water Court) dated 26 May 1971 as will more fully appear from stated Order filed as Servitude 15/1972 as contained in Deed of Transfer Number T4837/2022.

G. SUBJECT FURTHER to the following conditions contained in Deed of Transfer No. T4837/2022 herein instituted under Section 49 of "The South African National Roads Agency and National Roads Act, 1998 (Act 7 of 1998)", namely:

1. With the exception of existing structures, no structures of anything whatsoever shall be erected, constructed or established within a distance of 30 metres measured from the national road reserve boundary, without the written approval or SANRAL:
2. Unless SANRAL granted written approval to the contrary, the land shall be used for bona fide farming operations only.

WHEREFORE the said Appearer, renouncing all rights and title which the said

**ROCCO STANLEY JONKER, Married as aforesaid**

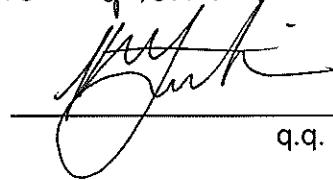
heretofore had to the premises, did in consequence also acknowledge him to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

1. **RICHARD ANDREW , Married as aforesaid**
2. **OLIVIA ANDREWS, Married as aforesaid**

their Heirs, Executors, Administrators or Assigns, now are and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R4 400 000,00 (FOUR MILLION FOUR HUNDRED THOUSAND RAND) .

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS: WESTERN CAPE at CAPE TOWN on 15 September 2025



q.q.

In my presence



\_\_\_\_\_  
REGISTRAR OF DEEDS

**ANNEXURE “F” – POWER OF ATTORNEY**

## POWER OF ATTORNEY

We, the undersigned

**Richard Andrew and Olivia Andrews**

the registered owners of

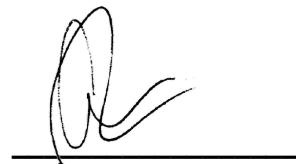
**Erf 1581 Hoekwil**

do hereby appoint Jan Vrolijk Town Planner/Stadsbeplanner to prepare, sign and submit the following application to the George Municipality:

*An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the southern street boundary building line of Erf 1581 Hoekwil from 30.0 metres to a distance varying from 10.0 metres to 11.3 metres to allow for the legalization of the existing dwelling house.*

Signed at George on 16 October 2025

**Richard Andrew**



**Olivia Andrews**



**ANNEXURE "G" - CONVEYANCER CERTIFICATE**

# CONVEYANCER'S CERTIFICATE

I, the undersigned,

CATHRYN ANN WRIGHT (28838)

A CONVEYANCER, duly admitted and sworn in, practicing at Kaplan Blumberg Attorneys, 11 Johan Street, Sedgefield.

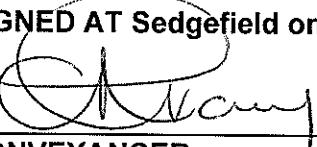
Do hereby certify as follows:

That there are no restrictions of any nature in the title deed of the following property:

ERF 1581 HOEKWIL  
SITUATE IN THE MUNICIPALITY AND DIVISION OF GEORGE  
WESTERN CAPE PROVINCE

Held by Deed of Transfer No. T4837/2022 other than the conditions as set out in the said deed.

**SIGNED AT Sedgefield on 21 August 2025**



\_\_\_\_\_  
**CONVEYANCER**  
CATHRYN ANN WRIGHT