

Collaborator No.: 3796237
Reference / Verwysing: Erf 1119, Wilderness
Date / Datum: 13 March 2026
Enquiries / Navrae: Andrea Griessel

Email: janvrolijk@jvtownplanner.co.za

JAN VROLIJK TOWN PLANNER
P O Box 710
GEORGE
6530

APPLICATION FOR DEPARTURES: ERF 1119, WILDERNESS

Your application in the above regard refers.

The Deputy Director: Development and Environmental Management (Authorised Official) has, under delegated authority, 4.17.3.13 of 24 April 2025 decided that notwithstanding the objections received, the following applications on Erf 1119, Wilderness:

1. Departure in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for the relaxation of the northern street boundary building line from 5m to 2.620m in respect of the proposed garage on Erf 1119 Wilderness.
2. Departure in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 from the development parameter (a) pertaining to the maximum height of a dwelling house for a pitched roof from of 8.5m to 12.582m for the eastern elevation and from 8.5m to 11.782m for the western elevation on Erf 1119 Wilderness.
3. Departure in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 from the development parameter (a) pertaining to the wall plate height of a dwelling house from of 6.5m to 10.822m for the eastern elevation and from 6.5m to 9.0m for the western elevation on Erf 1119 Wilderness.

BE APPROVED in terms of Section 60 of said Planning By-Law for the following reasons:

REASONS

- a. The development of a dwelling house in execution of primary rights cannot be refused. This application along with the OSCA/E application is a negotiation between the owner and the Municipality to resolve on the optimal position and design for the dwelling whereby disturbance to natural processes and ecological infrastructure can be minimised. This is often only achieved through departure from parameters.

- b. The dwelling house is proposed on the most sensible position considering the bio-physical constraints of the property and allows the owner to optimise the property's potential while minimising environmental impacts.
- c. The proposal demonstrates a responsible development that balances environmental protection, regulatory compliance and compatibility with surrounding residential and streetscape character.
- d. Due to the positioning of the proposed dwelling toward the far northern portion of the property, together with the presence of natural screening in the form of dense vegetation, no adverse impact is anticipated on neighbouring properties in terms of overshadowing, loss of privacy, or obstruction of views.
- e. Notwithstanding the objections regard has been given to the fact that this property is one of two remaining vacant plots in Hillside Road. Given the number of plots that have already been developed, it is not anticipated that the proposed development will detract from the status quo.
- f. The necessary conditions will be imposed to ensure a responsible development that safeguards both the natural environment and the character of the surrounding area.

Subject to the following conditions imposed in terms of Section 66 of the said Planning By-law:

CONDITIONS OF THE DIRECTORATE: PLANNING AND DEVELOPMENT

1. That in terms of the Land Use Planning By-law for the George Municipality 2023, the approval shall lapse if not implemented within a period of five (5) years from the date it comes into operation.
2. This approval shall be taken to cover only the Departures as applied for and as indicated on the site layout plan, project no 1 (Sheets A, B & C) drawn by SAS Architecture dated 15 May 2025 attached as "Annexure A" which bears Council's stamp and shall not be construed as to depart from any other Council requirements or legal provision.
3. The owner must submit an Outeniqua Sensitive Coastal Area Extension (OSCAE) permit application to the Directorate for consideration and approval prior to the submission of building plans. No site clearing may commence prior to the issuing of the OSCAE permit or approval of building plans.
4. A separate Stormwater Management Plan must be submitted with the building plans, signed off by a suitably qualified engineer. The engineer must provide written confirmation accepting responsibility for the implementation of said plan.
5. The existing natural screening between properties, with particular reference to the side boundary of Erf 1073, Wilderness, must be retained wherever possible. Should any vegetation be removed, the owner is required to reintroduce natural screening within 12 months following completion of construction.
6. The above approval will be considered as implemented on approval of building plans for the respective structures.

Notes:

- i. A building plan be submitted for approval in accordance with the National Building Regulations (NBR).
- ii. The owner is required to appoint a structural engineer to oversee / manage all construction works, including any excavations and rock removal, slope stabilisation, stormwater management, foundation setting, retaining walls, during construction, etc. A letter confirming the appointment of the structural engineer must accompany the building plans.
- iii. The letter holder/owner is reminded of their duty of care in terms of Section 28 of the National Environmental Management Act, 1998 (Act No. 107 of 1998), to take all reasonable measures to prevent environmental degradation and to protect the coastal environment.
- iv. In terms of the National Forests Act, 1998 (Act No. 84 of 1998), no person may cut, disturb, damage, destroy, or remove any protected tree species, including White Milkwood (*Sideroxylon inerme*), without a licence issued by the Department of Forestry, Fisheries and the Environment (DFFE). Any proposed pruning or removal of protected trees or tree clumps must be formally authorised through the granting of such a licence prior to commencement of any activity.
- v. The owner / applicant to note that following in terms of environmental considerations.
 - The applicant must appoint an Environmental Control Officer (ECO), who must be knowledgeable with regard to site management, must for the duration the clearing, construction and post construction rehabilitation of the site...

- The ECO shall provide the George Municipality with a post-construction report confirming compliance with the OSCAE permit prior to any occupation certificate for the proposed structures being issued.
- Indigenous/ protected flora must be rescued within proposed footprint area prior to construction to the satisfaction of the National Department of Forestry, Fisheries and Environment (Forestry: Knysna). The Garden Route Botanical Garden may be approached to receive and rescue plants for the Garden.
- All areas outside of the development footprint should be maintained for biodiversity conservation.
- Only locally indigenous vegetation is used for landscaping and the rehabilitation of the disturbed areas, this includes rescued indigenous/ protected seedlings which must be used for landscaping and rehabilitation of the property, post-construction.
- During the process of vegetation clearing, the applicant shall ensure that the contractor protects areas susceptible to erosion by installing all the necessary temporary and permanent drainage works as soon as possible.
- All cuts and fills must be effectively stabilized by engineer designed retaining structures.
- Stormwater run-off from roofs and paved areas must be managed, diverted and dispersed onto stable structures to ensure that erosion problems are not transferred onto adjacent properties, while collaboration with Department: Civil Engineering Services to address stormwater drains that drain into the property to prevent erosion around these structures.
- It is suggested that the stormwater is as far as possible controlled by capturing it in rainwater tanks or dissipating it into landscape features and surrounding vegetation.
- An area must be provided on site for the stockpiling of building materials. A turning and parking area for construction vehicles must be identified in advance and the disturbance limited to this area.
- Top-soil removed during construction must be stockpiled and re-used in the rehabilitation and landscaping of the property.
- The applicant must make use of natural materials and natural paint tones that blend in with the surrounding forest in the design of all exterior elevations, walls and retaining structures.
- All roofs shall be natural tones, preferably dark greens, greys or neutral tones that blend with the surrounding tree canopy.
- The structures erected must blend into the receiving environment.
- The applicant must make all attempts to prevent light pollution on the property and to prevent spill over onto surrounding properties and public areas, also due to the proximity of areas utilized by fauna.
- The excessive use of paving and minimalizing paved or areas covered by concrete is not supported as this leads to heat retention and with predicted climate change scenarios this can have substantive effects when considered cumulatively.
- When used, paving or solid ground covering should comprise light-coloured tones to reduce heat retention.
- The design of the dwelling house and outbuildings must incorporate the use of water and energy saving devices such as solar panels, solar geysers, gas stoves, rain-water tanks, greywater harvesting, low flow toilets, aerated taps and shower heads, etc.

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Planning and Development, P O Box 19, George, 6530 or Directorate: Planning and Development, 46 Market Street (Old York Hostel Building), George **on or before 3 APRIL 2026**, and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

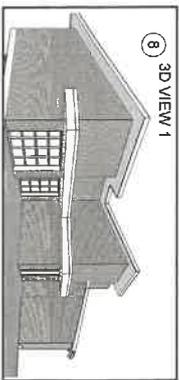
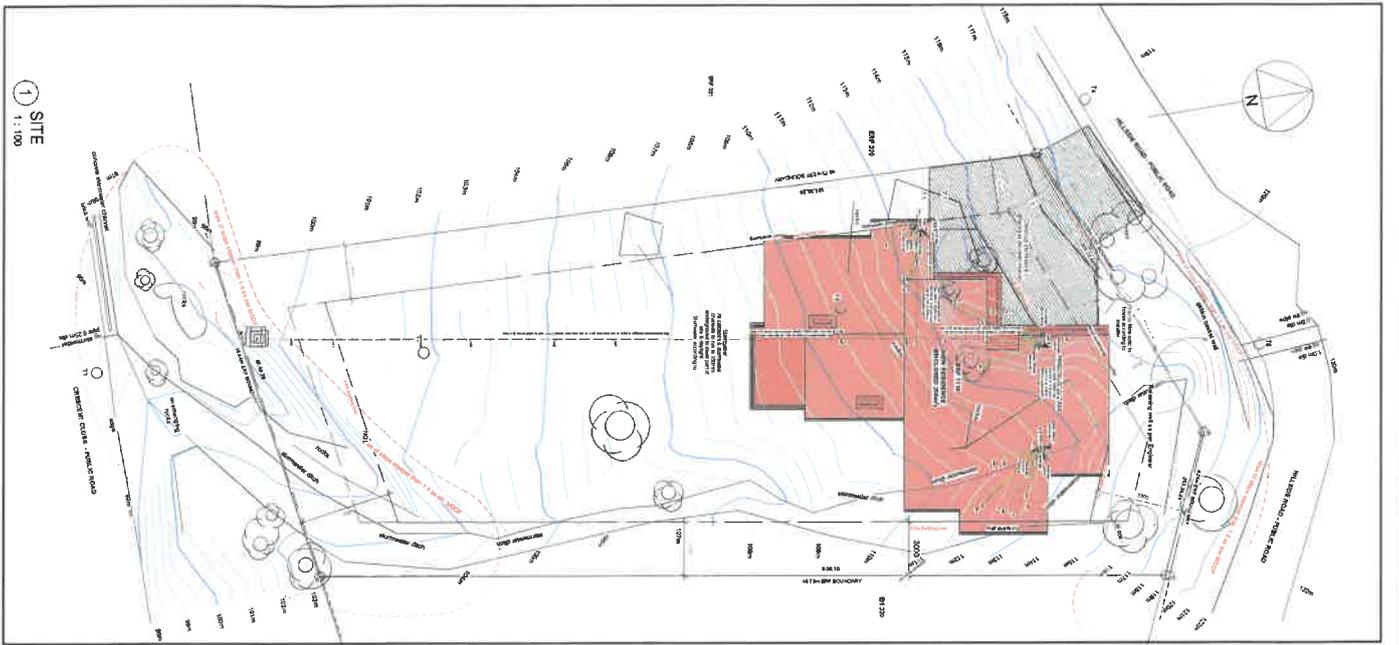
Yours faithfully



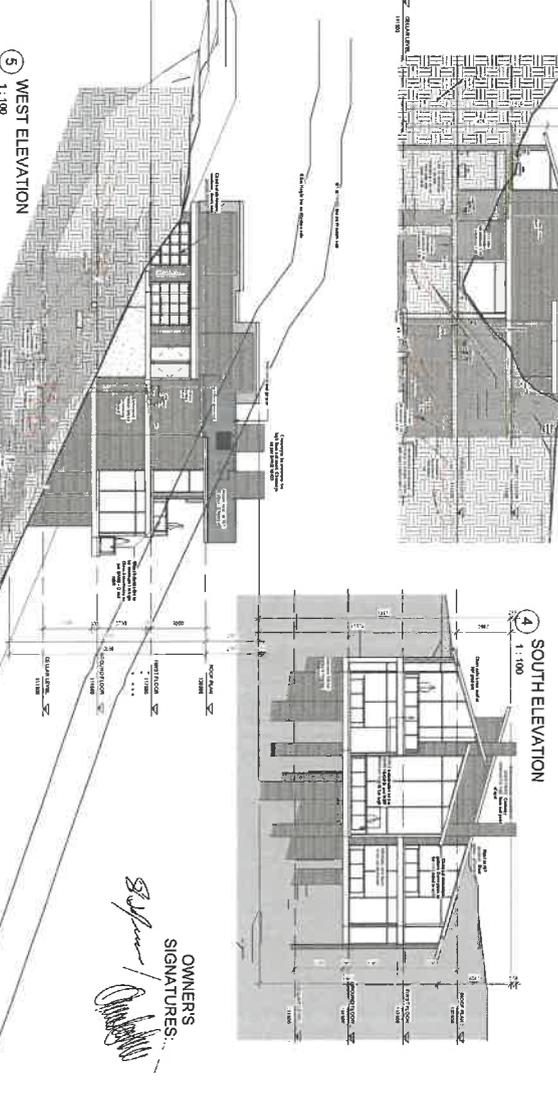
C PETERSEN

SENIOR MANAGER: TOWN PLANNING

C:\Town Planning\Approvals\Erf 1119 Wilderness approval letter



3D VIEW 1
1:100



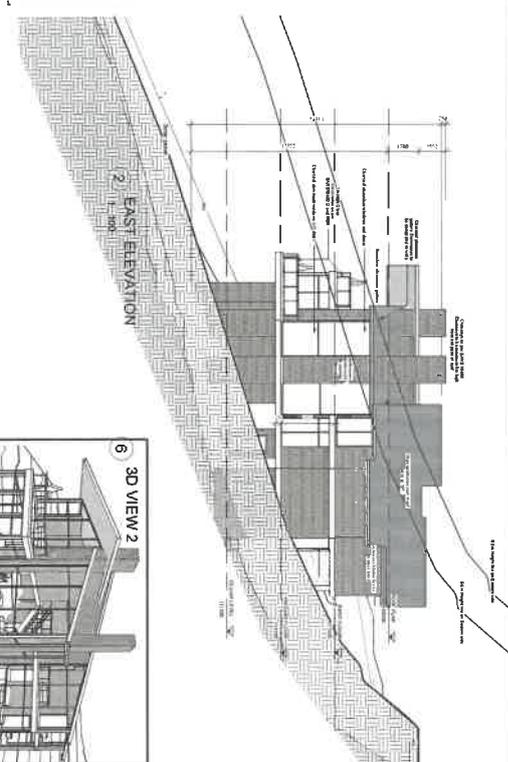
3 WEST ELEVATION
1:100

4 NORTH ELEVATION
1:100

5 SOUTH ELEVATION
1:100

GENERAL NOTES TO BE OBSERVED:

1. Contractor shall maintain site during, before and after construction.
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18. Contractor shall maintain site during, before and after construction.
19. Contractor shall maintain site during, before and after construction.
20. Contractor shall maintain site during, before and after construction.



6 EAST ELEVATION
1:100

3D VIEW 2
1:100

OWNERS SIGNATURES:
[Signature]
[Signature]

Project number	1
Date	15.05.2025
Drawn by	Quintus Truler
Checked by	Salmon de Kock
Scale	1:100

ERF 1119, WILDERNESS, CRESCENT CLOSE

New residence for Owner on Stand 1119, in the Township of Wilderness

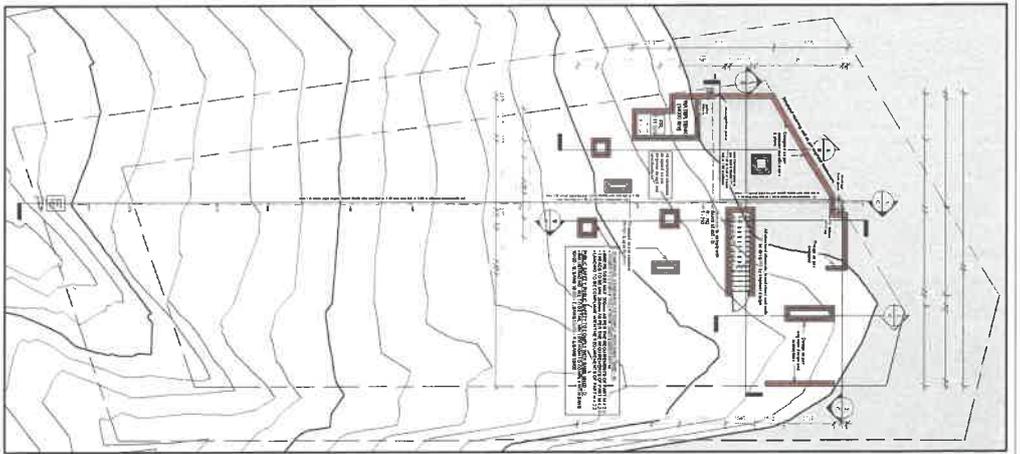
MUNICIPALITEIT GEORGE MUNICIPALITY

Approved in terms of Section 60 of the George Municipality Planning By-Law (2023) subject to the conditions contained in the covering letter.

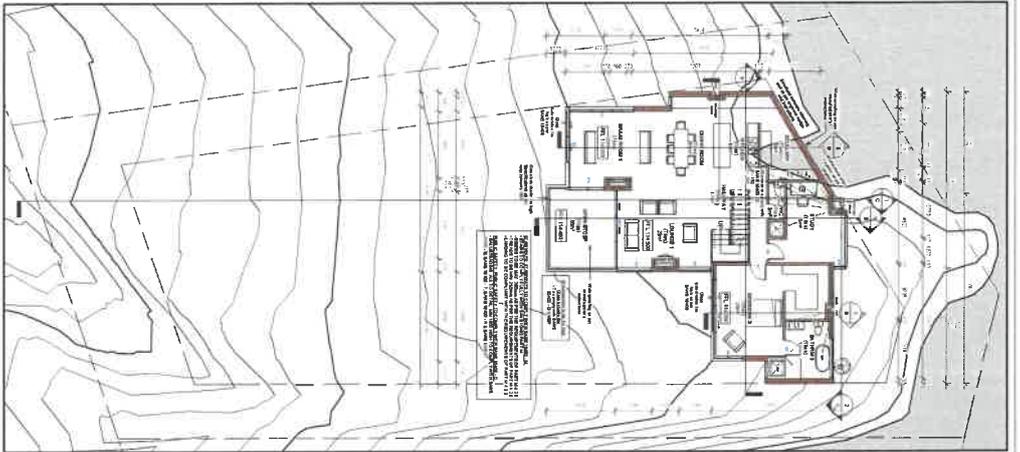
13/03/2025

SENIOR MANAGER: TOWN PLANNING

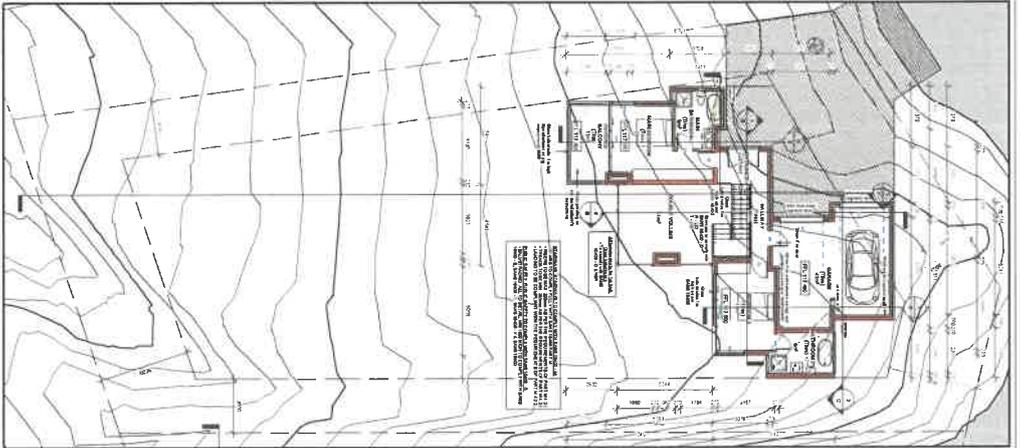
SENIOR BESTUURDER: STATSBEPANNING



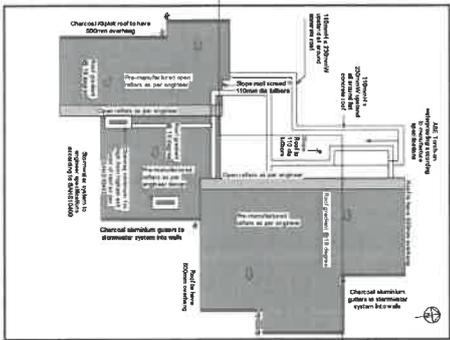
10 CELLAR LEVEL
1:100



1 GROUND FLOOR
1:100



2 FIRST FLOOR
1:100



3 ROOF PLAN
1:100

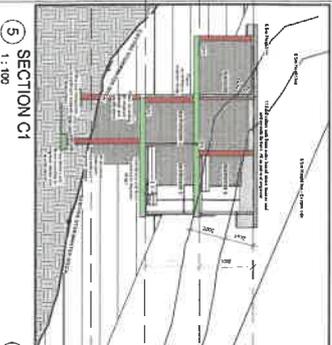
OWNERS SIGNATURES:

[Signature]

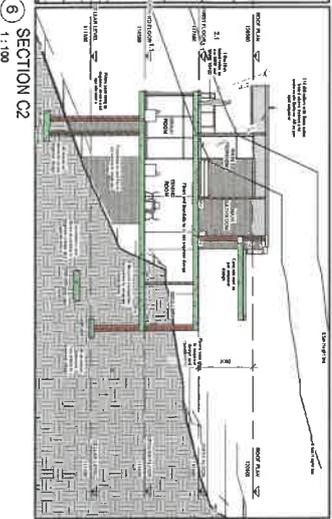
[Signature]

NOTES TO OWNER:

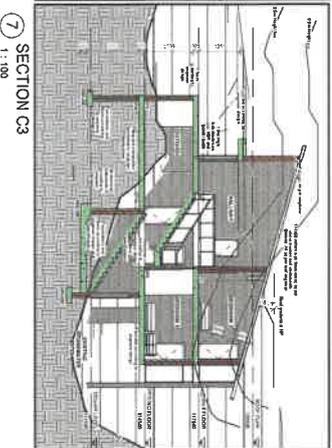
1. The drawings are for the proposed new residence on Erf 1119, Wilderness, Crescent Close, and are subject to the approval of the relevant authorities.
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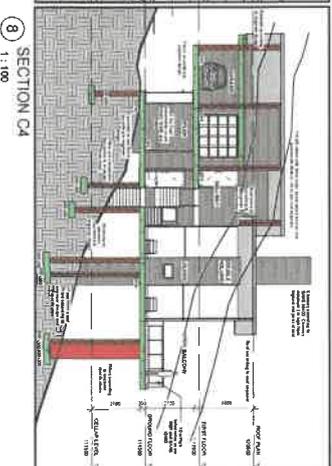
5 SECTION C1
1:100



6 SECTION C2
1:100



7 SECTION C3
1:100



8 SECTION C4
1:100

MUNICIPALITEIT GEORGE MURPHY
ERF 1119, WILDERNESS, CRESCENT CLOSE
New residence for Owner on Erf 1119 in the Township of Wilderness

Approved in terms of Section 21 of the Municipal Planning Ordinance, 1977, subject to the conditions contained in the conditions of approval.

13/03/2020

DATE DATUM

SENIOR MANAGER: TOWN PLANNING
 SENIOR BESTUURDER: STADSREPLANNING

SAS ARCHITECTURE
 COMPANY
 JANSSEN
 WELSH

NOTES TO OWNER:

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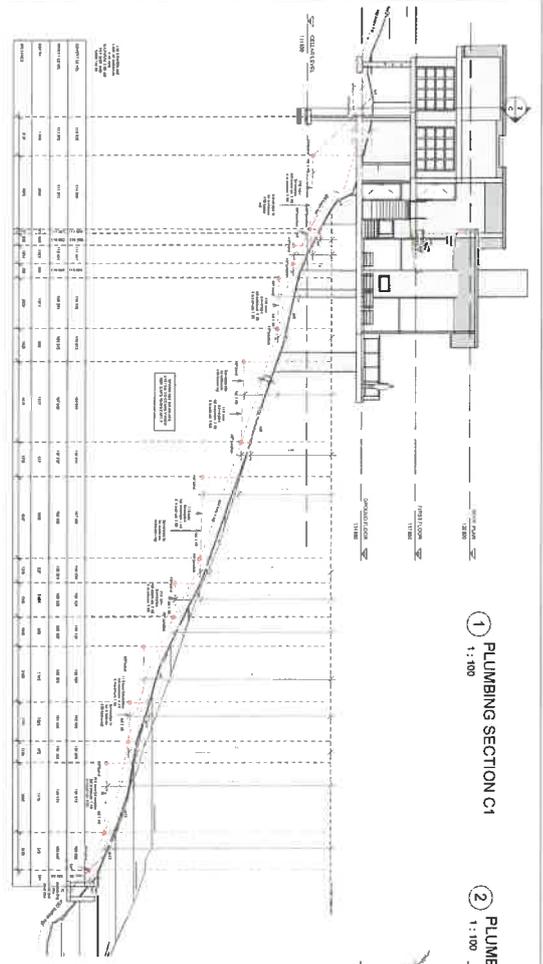
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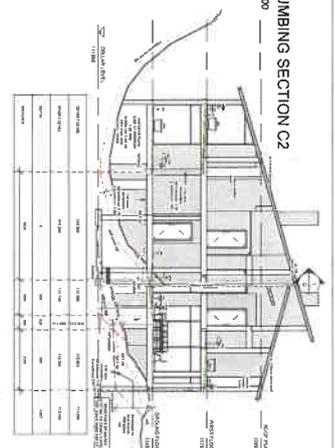
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1 PLUMBING SECTION C1
1 : 100



2 PLUMBING SECTION C2
1 : 100

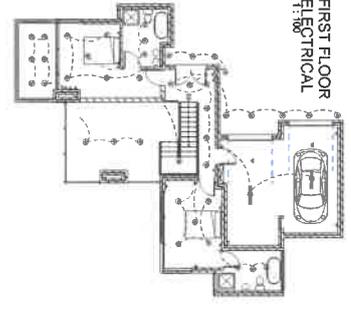


OWNERS' SIGNATURES:
[Signatures]

6 GROUND FLOOR ELECTRICAL



5 FIRST FLOOR ELECTRICAL



NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	1/2" CPVC DWV	100	M	
2	1/2" CPVC DWV	100	M	
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GreenXA
Erf 1119
Wilderness Crescent
Landscape Design

1. Introduction
This document provides a detailed description of the proposed landscape design for the residential property at Erf 1119, Wilderness Crescent. The design is based on the site plan and the owner's requirements.

2. Site Description
The site is a residential property located at Erf 1119, Wilderness Crescent. The site is approximately 100m wide and 150m deep. The site is currently undeveloped and is surrounded by other residential properties.

3. Design Objectives
The design objectives for this project are to create a functional and aesthetically pleasing landscape design that meets the owner's requirements and complies with the relevant regulations.

4. Design Details
The design details include the proposed layout of the driveway, the location of the garden beds, the placement of the trees and shrubs, and the location of the water features.

5. Materials and Planting
The materials and planting proposed for this design include the following:

- Driveway: 100m x 10m concrete driveway
- Garden beds: 100m x 10m garden beds
- Trees and shrubs: 10m x 10m trees and shrubs
- Water features: 10m x 10m water features

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- Garden beds: 100m x 10m garden beds
- Trees and shrubs: 10m x 10m trees and shrubs
- Water features: 10m x 10m water features

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9	1/2" CPVC DWV	100	M	
10	1/2" CPVC DWV	100	M	
11	1/2" CPVC DWV	100	M	
12	1/2" CPVC DWV	100	M	
13	1/2" CPVC DWV	100	M	
14	1/2" CPVC DWV	100	M	
15	1/2" CPVC DWV	100	M	
16	1/2" CPVC DWV	100	M	
17	1/2" CPVC DWV	100	M	
18	1/2" CPVC DWV	100	M	
19	1/2" CPVC DWV	100	M	
20	1/2" CPVC DWV	100	M	
21	1/2" CPVC DWV	100	M	
22	1/2" CPVC DWV	100	M	
23	1/2" CPVC DWV	100	M	
24	1/2" CPVC DWV	100	M	
25	1/2" CPVC DWV	100	M	
26	1/2" CPVC DWV	100	M	
27	1/2" CPVC DWV	100	M	
28	1/2" CPVC DWV	100	M	
29	1/2" CPVC DWV	100	M	
30	1/2" CPVC DWV	100	M	
31	1/2" CPVC DWV	100	M	
32	1/2" CPVC DWV	100	M	
33	1/2" CPVC DWV	100	M	
34	1/2" CPVC DWV	100	M	
35	1/2" CPVC DWV	100	M	
36	1/2" CPVC DWV	100	M	
37	1/2" CPVC DWV	100	M	
38	1/2" CPVC DWV	100	M	
39	1/2" CPVC DWV	100	M	
40	1/2" CPVC DWV	100	M	
41	1/2" CPVC DWV	100	M	
42	1/2" CPVC DWV	100	M	
43	1/2" CPVC DWV	100	M	
44	1/2" CPVC DWV	100	M	
45	1/2" CPVC DWV	100	M	
46	1/2" CPVC DWV	100	M	
47	1/2" CPVC DWV	100	M	
48	1/2" CPVC DWV	100	M	
49	1/2" CPVC DWV	100	M	
50	1/2" CPVC DWV	100	M	

1. Introduction
This document provides a detailed description of the proposed landscape design for the residential property at Erf 1119, Wilderness Crescent. The design is based on the site plan and the owner's requirements.

2. Site Description
The site is a residential property located at Erf 1119, Wilderness Crescent. The site is approximately 100m wide and 150m deep. The site is currently undeveloped and is surrounded by other residential properties.

3. Design Objectives
The design objectives for this project are to create a functional and aesthetically pleasing landscape design that meets the owner's requirements and complies with the relevant regulations.

4. Design Details
The design details include the proposed layout of the driveway, the location of the garden beds, the placement of the trees and shrubs, and the location of the water features.

5. Materials and Planting
The materials and planting proposed for this design include the following:

- Driveway: 100m x 10m concrete driveway
- Garden beds: 100m x 10m garden beds
- Trees and shrubs: 10m x 10m trees and shrubs
- Water features: 10m x 10m water features

NEW RESIDENCE FOR OWNER ON STAND 1119, WILDERNESS

WD SCHEDULE, XA CALCULATIONS & ELECTRICAL LAYOUT

Drawn by: Quintus Truter
Checked by: Salimon de Kock

15.05.2025

1 : 100

Erf 1119, WILDERNESS MUNICIPALITY, GEORGE MUNICIPALITY

Approved in terms of Section 60 of the Geographical Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

13/03/2026

DATE: 13/03/2026
DATUM: 13/03/2026

SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STADSTUWENPLANNING