



Stads- en Streekbeplanners
Town and Regional Planners

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2 December 2025

The Municipal Manager
P.O. Box 19
George
6530

Sir

PROPOSED REZONING OF ERF 3494, SITUATED IN THE MUNICIPALITY AND ADMINISTRATIVE DISTRICT OF GEORGE.

Duly authorized by the authorised representative of Erf 3494, application is being made for the rezoning of the subject property, in terms of Section 15.(2)(a) of George Municipality's Land Use Planning By-Law, 2023, from Single Residential Zone I to Business Zone I.

In support of the application, the following documentation is attached for your consideration:

- a) Application form fully completed and signed (**Annexure 1**);
- b) Power of Attorney by the Authorised Representative (**Annexure 2**);
- c) Company Resolution (**Annexure 3**);
- d) Proof of Company Membership (**Annexure 4**);
- e) Motivation Report (**Annexure 5**);
- f) Copy of the Surveyor General Plan No. 4307/63 (**Annexure 6**);
- g) Plan No. G/G/706-1 dd. October 2025 (**Annexure 7**);
- h) Site Development Plan and building plans by New Architectural Design with Plan No. CL4425/1 (**Annexure 8**);
- i) Proof of Payment will be provided in due course as it is made available to the applicant (**Annexure 9**);
- j) Copy of Title Deed T46009/2014 (**Annexure 10**);
- k) Conveyancer Certificate by Elene Goosen (**Annexure 11**);
- l) Letter by George Municipality dd. 13 February 2015 (**Annexure 12**);

In diens van die Suid-Kaap sedert 1985 – Kususela ngo 1985 – Serving the South Cape since 1985
Direkteur/Director: G.A. (Deon) Nel Pr. Pln A/520/1987 BA(Stel), M(S&S)(Stell).

- m) First Notice dd. 21 February 2025 (**Annexure 13**);
- n) Latest Municipal Account (**Annexure 14**);
- o) Approved Building Plans dd. 19/10/1988 (**Annexure 15**); and
- p) Pre-Application dd. 26/03/2025 (**Annexure 16**).

Should there be any further information required you are kindly requested to contact us.

Yours Sincerely

A handwritten signature in black ink, appearing to read 'Alexander Havenga', enclosed within a circular scribble.

Nel & de Kock Town and Regional Planners
Per: Alexander Havenga A/3313/2023



Application Form for Application(s) Submitted in terms of the Land Use Planning By-Law for George Municipality

NOTE: Please complete this form by using: Font: Calibri; Size: 11

PART A: APPLICANT DETAILS

First name(s)	Alexander					
Surname	Havenga					
SACPLAN Reg No. (if applicable)	Pr. Pln A/3313/2023					
Company name (if applicable)	Nel & de Kock Town and Regional Planners					
Postal Address	P.O. Box 1186,					
	George	Postal Code	6530			
Email	neldek@mweb.co.za					
Tel	044 874 5207	Fax	n/a		Cell	079 513 3530

PART B: REGISTERED OWNER(S) DETAILS (if different from applicant)

Registered owner	BUSSAV SHELF CO 001 Pty (Ltd) (Registration No. 2013/126385/07)					
Address	88 Mitchel Street					
	George	Postal code	6529			
E-mail	carin.signs@gmail.com					
Tel	n/a	Fax	n/a		Cell	072 775 0494

PART C: PROPERTY DETAILS (in accordance with Title Deed)

Property Description [Erf / Erven / Portion(s) and Farm number(s), allotment area.]	Erf 3494, George					
Physical Address	c/o Mitchell and Victoria Street, George					
GPS Coordinates	33°57'54.09"S 22°27'33.93"E			Town/City	George	
Current Zoning	Single Residential Zone I	Extent	595m ²	Are there existing buildings?	Y	N
Current Land Use	Single Residential Zone I with an unauthorised Business Premises					
Title Deed number & date	T46009/2014					
Any restrictive conditions prohibiting application?	Y	N	If Yes, list condition number(s).			
Are the restrictive conditions in favour of a third party(ies)?	Y	N	If Yes, list the party(ies).			
Is the property encumbered by a bond?	Y	N	If Yes, list Bondholder(s)?			
Has the Municipality already decided on the application(s)?	Y	N	If yes, list reference number(s)?			
Any existing unauthorized buildings and/or land use on the subject property(ies)?	Y	N	If yes, is this application to legalize the building / land use?	Y	N	
Are there any pending court case / order relating to the subject property(ies)?	Y	N	Are there any land claim(s) registered on the subject property(ies)?	Y	N	
PART D: PRE-APPLICATION CONSULTATION						
Has there been any pre-application consultation?	Y	N	If Yes, please complete the information below and attach the minutes.			
Official's name	Khuliso Mukhova	Reference number	Collab no. 3639205	Date of consultation	26/03/2025	
PART E: LAND USE APPLICATIONS IN TERMS OF SECTION 15 OF THE LAND USE PLANNING BY-LAW FOR GEORGE MUNICIPALITY & APPLICATION FEES PAYABLE						

***Application fees that are paid to the Municipality are non-refundable and proof of payment of the application fees must accompany the application.**

BANKING DETAILS

Name: **George Municipality**
 Bank: **First National Bank (FNB)**
 Branch no.: **210554**
 Account no.: **62869623150**
 Type: **Public Sector Cheque Account**
 Swift Code: **FIRNZAJJ**
 VAT Registration Nr: **4630193664**
 E-MAIL: **msbrits@george.gov.za**
 *Payment reference: Erven ____, George/Wilderness/Hoekwil...

PART F: DETAILS OF PROPOSAL

Brief description of proposed development / intent of application:

Application is being made for the rezoning of Erf 3494, George, in terms of Section 15.(2)(a) of George Municipality's Integrated Zoning Scheme By-Law, 2023, from Single Residential Zone I to Business Zone I.

PART G: ATTACHMENTS & SUPPORTING INFORMATION FOR LAND USE PLANNING APPLICATIONS

Please complete the following checklist and attach all the information relevant to the proposal. Failure to submit all information required will result in the application being deemed incomplete.

Is the following compulsory information attached?

Y	N	Completed application form	Y	N	Pre-application Checklist (where applicable)
Y	N	Power of Attorney / Owner's consent if applicant is not owner	Y	N	Bondholder's consent
Y	N	Motivation report / letter	Y	N	Proof of payment of fees
Y	N	Full copy of the Title Deed	Y	N	S.G. noting sheet extract / Erf diagram / General Plan
Y	N	Locality Plan	Y	N	Site layout plan

Minimum and additional requirements:

Y	N	N/A	Conveyancer's Certificate	Y	N	N/A	Land Use Plan / Zoning plan
Y	N	N/A	Proposed Subdivision Plan (including street names and numbers)	Y	N	N/A	Phasing Plan
Y	N	N/A	Consolidation Plan	Y	N	N/A	Copy of original approval letter (if applicable)
Y	N	N/A	Site Development Plan	Y	N	N/A	Landscaping / Tree Plan
Y	N	N/A	Abutting owner's consent	Y	N	N/A	Home Owners' Association consent

Y	N	N/A	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD)	Y	N	N/A	1 : 50 / 1:100 Flood line determination (plan / report)
Y	N	N/A	Services Report or indication of all municipal services / registered servitudes	Y	N	N/A	Required number of documentation copies 2 copies
Y	N	N/A	Any additional documents or information required as listed in the pre-application consultation form / minutes	Y	N	N/A	Other (specify)

PART H: AUTHORISATION(S) IN TERMS OF OTHER LEGISLATION

Y	N/A	National Heritage Resources Act, 1999 (Act 25 of 1999)	Y	N/A	Specific Environmental Management Act(s) (SEMA) (e.g. Environmental Conservation Act, 1989 (Act 73 of 1989), National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004), National Environmental Integrated Coastal Management Act, 2008 (Act 24 of 2008), National Environmental Management: Waste Act, 2008 (Act 59 of 2008), National Water Act, 1998 (Act 36 of 1998) (strikethrough irrelevant)
Y	N/A	National Environmental Management Act, 1998 (Act 107 of 1998)			
Y	N/A	Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)			
Y	N/A	Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)(SPLUMA)			
Y	N/A	Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations			
Y	N/A	Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)			
Y	N/A	If required, has application for EIA / HIA / TIA / TIS / MHIA approval been made? If yes, attach documents / plans / proof of submission etc. N/A			
Y	N	If required, do you want to follow an integrated application procedure in terms of section 44(1) of the Land-Use Planning By-law for George Municipality?			

SECTION I: DECLARATION

I hereby wish to confirm the following:

1. That the information contained in this application form and accompanying documentation is complete and correct.
2. The Municipality has not already decided on the application.
3. I'm aware that it is an offense in terms of section 86(1)(d) to supply particulars, information or answers in an application, knowing it to be false, incorrect or misleading or not believing them to be correct.
4. I am properly authorized to make this application on behalf of the owner and (where applicable) copies of such full relevant Powers of Attorney/Consent are attached hereto.
5. I have been appointed to submit this application on behalf of the owner and it is accepted that correspondence from and notifications by the Municipality in terms of the by-law will be sent only to me as the authorised agent and the owner will regularly consult with the agent in this regard (where applicable).
6. That this submission includes all necessary land use planning applications required to enable the development proposed herein.
7. I confirm that the relevant title deed(s) have been read and that there are no restrictive title deed restrictions, which impact on this application, or alternatively an application for removal/amendment/suspension forms part of this submission.
8. I am aware of the status of the existing bulk services and infrastructure in the subject area and that I am liable for any possible development charges which may be payable as a result of the proposed development.
9. I acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.

Applicant's signature:



Date:

2 December 2025

Full name:

Alexander Havenga

Professional capacity:

Registered Professional Planner

SACPLAN Reg. Nr:

Pr. Pln A/3313/2023

POWER OF ATTORNEY

I, the undersigned,

Carin Wait

In my capacity as a Director of Bussav Shelfco 001 (Pty) Ltd Registration No.
2013/126385/07

And duly authorised as such in terms of Resolution

hereby nominate and appoint:

NEL & DE KOCK TOWN & REGIONAL PLANNERS

With power of substitution, to be our true and lawful Agent in our name, place and stead, to apply to George Municipality for **the rezoning of Erf 3494, George**, and I hereby ratify, allow and confirm, and promise and agree to ratify, allow and confirm all and whatsoever our said Agent shall lawfully do or cause to be done by virtue of these presents.

SIGNED at George on this 7 Oct 25 in the presence of the under mentioned witnesses.

Carin Wait

AS WITNESSES:

1. [Signature]
2. [Signature]

RESOLUTION TAKEN AT A MEETING OF THE DIRECTORS OF Bussav Shelfco 001 (Pty) Ltd Registration No. 2013/126385/07

Held at George on the 7 Oct 2015

DECIDE THAT:

1. The company apply for the following the rezoning of Erf 3494, George, from Single Residential Zone I to Business Zone I; and
2. The firm NEL & DE KOCK TOWN AND REGIONAL PLANNERS be appointed by the company to prepare and submit the said application.

That C. M. WATI (ID 6209050034082) in his capacity as a DIRECTOR been authorized to sign all documents that may be necessary for the purposes of the application as set out above w.r.t. Erf 3494, George.

DIRECTORS:

C. M. WATI

COR14.3: Registration Certificate

Companies and Intellectual Property Commission
a member of the dti group

Registration Number: 2013 / 126385 / 07
Enterprise Name: BUSSAV SHELF CO 001

ENTERPRISE INFORMATION

Registration Number: 2013 / 126385 / 07
Enterprise Name: BUSSAV SHELF CO 001
Registration Date: 25/07/2013
Business Start Date: 25/07/2013
Enterprise Type: Private Company
Enterprise Status: In Business
Financial Year End: February
TAX Number: 9371678179

Addresses: **POSTAL ADDRESS** 43 ERICA STREET, HEATHERLANDS, GEORGE, WESTERN CAPE, 6529
ADDRESS OF REGISTERED OFFICE 88 MITCHELL STREET, GEORGE, WESTERN CAPE, 6529

ACTIVE MEMBERS / DIRECTORS

Surname and First Names	Type	ID Number / Date of Birth	Appointment Date	Addresses
WAIT, CATHARINA MAGDALENA	Director	6209050034082	29/01/2014	Postal: PO BOX 10426, GEORGE, GEORGE, WESTERN CAPE, 6529 Residential: SPRUIT STREET 2, TWEE RIVIEREN, GEORGE, WESTERN CAPE, 6529



MOTIVATION REPORT

PROPOSED REZONING
OF
ERF 3494, SITUATED IN THE MUNICIPALITY AND DIVISION
OF GEORGE
FOR
THE REGISTERED OWNER



Stads- en Streekbeplanners
Town and Regional Planners

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1. APPLICATION

Application is being made for the rezoning of Erf 3494, George, in terms of Section 15.(2)(a) of George Municipality's Land Use Planning By-Law, 2023, from Single Residential Zone I to Business Zone I.

2. BACKGROUND

The owner of the subject property acquired it in 2014. On 13 February 2015, she received the attached letter from George Municipality, Annexure 12, notifying her that a business was being operated from the property and that she had been levied for business rates accordingly. This led the owner to believe that paying business rates was the only requirement to lawfully operate the business from the erf.

However, on 21 February 2025, the owner received the attached Annexure 13, First Notice from George Municipality, stating that she was operating an unauthorized business on a property zoned for residential use. In response, the owner appointed Nel & de Kock to assist with preparing and submitting a land use application to rezone the property and align its use with the relevant zoning regulations.

3. PURPOSE

The purpose of this application is to obtain approval for the rezoning of the subject property to align its zoning with the existing land use.

4. MOTIVATION

4.1 NEED

This rezoning application is necessitated by the current use of the property, which is located within the George Central Business District (CBD) and an identified densification zone. The property is presently zoned Single Residential Zone I, which does not permit a business as a primary land use. However, the owner has been operating a business from the premises. While this use aligns with the broader economic vision for the CBD, it remains inconsistent with the current zoning.

Rezoning the property to Business Zone I is therefore required to regularise the existing land use, ensure compliance with the George Municipality's zoning regulations and allow the lawful operation of the business. The proposed zoning is more appropriate given the property's strategic location within the CBD and a designated densification zone, where the Municipality actively promotes increased economic activity and mixed-use development.

In addition, several nearby properties along Victoria and Mitchell Streets have already been rezoned for business purposes, establishing a clear precedent for commercial integration in this part of the CBD. This further supports the appropriateness of the proposed zoning and confirms its alignment with the Municipality's spatial development objectives.

4.2 DESIRABILITY

PHYSICAL CONDITION:

4.2.1 TOPOGRAPHY

The property forming the subject of this application has a flat topography, with an average slope of approximately 1:62. It constitutes a developed erf and the approval of this application will not result in any additional construction, but merely formalise a change in land use. As such, the site's topography does not pose any constraints and is not expected to negatively affect the outcome of this application.

4.2.2 BOTTOM CONDITIONS

The ground conditions of the subject property appear to be stable, as the current owner has not experienced any issues related to poor soil or subsurface conditions since acquiring the property in 2014. However, should the Municipality have any records or concerns regarding unstable ground conditions in the area, a geotechnical investigation can be submitted as a condition of approval, to be provided prior to the approval of the as-built building plans.

4.2.3 VEGETATION

There is no sensitive or conservation-worthy vegetation present on the subject erf that would be negatively impacted by the approval of this application. The existing mature trees on the property—specifically Bottlebrush trees—will remain undisturbed. These trees are regularly maintained to prevent encroachment on existing structures and to avoid blockage of gutters, which could potentially lead to water damage. As such, no further elaboration regarding vegetation is necessary.

4.2.4 FLOOD LINES

The property does not border the sea or a river with a designated flood line and is therefore not subject to any flood-related restrictions that could affect the approval of this application.

4.2.5 SENSITIVITIES

There are no sensitivities present on the property. The property is situated within the urban edge of George and is earmarked for development and not reserved as an open space preserving sensitive vegetation. In light thereof, no further elaboration will be made in this regard.

4.2.6 WATER TABLE

Since acquiring the property in 2024, the owner has not experienced any issues related to a high water table. Consequently, this matter will not be discussed further in this motivation report.

4.2.7 DRAINAGE PATTERN

The design and construction of the existing structures took proper drainage into account and appear to be in accordance with the Municipality's Stormwater By-Law. As such, no further elaboration is provided in this regard, as the drainage pattern will be assessed in detail by the Municipality during the evaluation of the as-built building plans.

4.2.8 FILLINGS AND EXCAVATIONS

This application seeks to rezone the subject property to allow its lawful use as a business premises. All existing structures on the property will remain and approval of this application will not involve any new construction, filling, or excavation. Therefore, no further elaboration is necessary in this regard.

4.3 EXISTING PLANNING AND LEGISLATION

4.3.1 SPATIAL PLANNING AND LAND USE MANAGEMENT ACT, 2013, (S.P.L.U.M.A.)

4.3.1.1 SPATIAL JUSTICE

- **Past spatial and other development imbalances must be redressed through improved access to and use of land.**

The property forming the focus of this application measures 595m² in extent. It was made available on the free market when the current owner acquired it in 2014. As such, this rezoning application, which seeks to formalise the use of the property for business purposes, is not considered a suitable mechanism to address the principle of equitable access to and use of land.

- **Spatial development frameworks and policies at all spheres of government must address the inclusion of persons and areas that were previously excluded, with an emphasis on informal settlements, former homeland areas and areas characterised by widespread poverty and deprivation.**

Due to considerations discussed above, this objective is not readily achievable with this application.

- **Spatial Planning mechanisms, including land use schemes, must incorporate provisions that enable redress in access to land by disadvantaged communities and persons.**

As discussed above, the limited size of the land unit does not lend itself to the compliance of this objective as the proposed zoning of the property is for business purposes serving the entire community of George and not to address the access to land by disadvantaged communities or persons. The jobs which the business offer contributes to the employment of individuals in George and previously disadvantaged communities.

- **Land use management systems must include all areas of a Municipality and specifically include provisions that are flexible and appropriate for the management of disadvantaged areas, informal settlements and former homeland areas.**

A pragmatic approach to the management of land use systems to follow flexible and appropriate processes to facilitate housing for the disadvantaged community is indispensable.

- **Land development procedures must include provisions that accommodate access to secure tenure and the incremental upgrading of informal areas.**

This aspect has already been discussed above.

- **A Municipal Planning Tribunal considering an application before it, may not be implemented or restricted in the exercise of its discretion solely on the ground that the value of land or property is affected by the outcome of the application.**

This provision does not apply to this application.

4.3.1.2 PRINCIPLE OF SPATIAL SUSTAINABILITY

- **Promote land development that is within the fiscal, institutional and administrative means of the Republic.**

The development was done with private funding and therefore the fiscal, institutional and administrative capacity of government agencies are not relevant to this application.

- **Ensure that special consideration is given to the protection of prime and unique agricultural land.**

The subject of this application is proposed to be rezoned Business Zone I which is situated within George which is included within the urban edge. Therefore, the protection of prime and unique agricultural land is not relevant to this application as the property was withdrawn from agriculture in the past.

- **Uphold consistency of land use measures in accordance with the environmental management instruments.**

This application is not accompanied by any activities that require special environmental management measures.

- **Consider all current and future costs to all parties for the provision of infrastructure and social services in land developments.**

The property forming the focus of this application is an already developed business premises, established through private funding. As such, the proposed rezoning will not place any financial burden on any state department in terms of the provision of infrastructure or social services.

- **Promote land development in locations that are sustainable and limit urban sprawl.**

Application is made for the rezoning of a property situated within a designated densification zone in the CBD. Approval of this application will support infill development within the established urban edge, in alignment with key strategic spatial planning objectives. Furthermore, it will contribute to the containment of urban sprawl by promoting the efficient and sustainable use of existing urban land.

- **Result in communities that are viable.**

Approval of this application will result in the rezoning of the subject property to reflect its current land use, thereby ensuring compliance with land use regulations. The proposed business aligns with the existing character and evolving land use pattern of the area, where several properties have already been rezoned for business purposes. This gradual transition toward a mixed-use environment supports economic activity, enhances local service provision and contributes to the development of a vibrant and viable community.

4.3.1.3 PRINCIPLE OF EFFICIENCY

- **Land development optimises the use of existing resources and infrastructure.**

This application is in line with the principle of efficiency as the application entails a property situated within the urban edge of George which is already serviced by the Municipality. Therefore, approval of this application will result in the optimal utilisation of existing resources and infrastructure.

- **Decision-making procedures are designed to minimise negative financial, social, economic, or environmental impacts.**
As a privately funded project, sensible decision making to have minimal negative consequences are indispensable for the successful implementation of the project. As already discussed, it will have no negative social, economic and environmental impact, but will result in viable business premises for the owner.
- **Development applications procedures are efficient and streamlined and timeframes are adhered to by all parties.**
Adherence to prescribed timeframes vest in the Municipality and therefore the applicant does not have any control over it.

4.3.1.4 PRINCIPLE OF SPATIAL RESILIENCE

This principle, which is primarily aimed at a sustainable way of life for communities that are most vulnerable to economic and environmental setbacks, is not directly applicable to this application.

4.3.1.5 PRINCIPLE OF GOOD ADMINISTRATION

- **All spheres of government ensure an integrated approach to land use and land development that is guided by the spatial planning and land use management systems as embodied in this Act.**
The only authority involved in this application is George Municipality and therefore there is no other authority with which an integrated approach needs to be followed. The various departments of the Municipality involved function as an integrated team and the applicant has no further comment on this principle.
- **Policies, legislation and procedures must be clearly set in order to inform and empower members of the public.**
Public participation procedures, as outlined in the Section 38 Letter, will be followed and will commence upon receipt of instructions.

4.3.2 LAND USE PLANNING ACT, 2014, (L.U.P.A.)

As far as the proposed development is concerned, there is a great deal of overlap between the principles of spatial justice, sustainability, good administration and resilience that are pursued under this legislation, but which have already been discussed in par 4.3.1 above. To avoid duplication, these principles will not be discussed again.

4.3.3 NATIONAL, PROVINCIAL AND LOCAL GOVERNMENT POLICIES AND MUNICIPAL SPATIAL DEVELOPMENT FRAMEWORK

National, Provincial and Local Government policies set out and put in place coherent policies and frameworks to support Municipalities fulfil their municipal planning mandate in line with national and provincial agendas. Application is made in terms of Section 15 of the Land Use Planning By – Law of George Municipality, 2023. Therefore, the local policies and frameworks of the Municipality took the policies and frameworks of National and Provincial Government into consideration and only the George Municipal Spatial Development Framework, 2023 (MSDF) will be discussed for the purpose of this application.

Application is made for the rezoning of Erf 3494, George, from Single Residential Zone I to Business Zone I. The proposal aligns with the George Municipality’s MSDF, 2023, which identifies the property as being located within a densification zone in the CBD. The precedent set by surrounding properties previously rezoned from residential to business further supports this application. Therefore, no further elaboration will be made in this regard.

4.3.4 GEORGE CBD LOCAL STRUCTURE PLAN, 2012

The subject property is located in Area 12, as identified in the George CBD Local Structure Plan, 2012, with reference to Victoria Street. The objective for this area is to preserve historic façades, maintain the office function of properties and allow for densification towards the rear of sites. Building heights are proposed to be limited to two storeys. The structure plan recommends the following zoning categories for this area: Business Zone II, General Residential Zone II and General Residential Zone III.

Based on the applicant’s assessment, the applicable zoning scheme in 2012 was the 1977 Zoning Scheme, as indicated in the transitional tables of the George Municipality Integrated Zoning Scheme By-Law, 2023. At that time, Business Zone II was understood to correspond to the former Business Zone, which permitted land uses such as business premises, shops and offices.

This application seeks to rezone the property to Business Zone I to accommodate a business premises. Importantly, the existing single-storey historic front façade will be retained, aligning with the intent of the Local Structure Plan. Therefore, the proposal is consistent with both the historic character and planning vision for the area.

4.3.5 BY-LAW ON MUNICIPAL LAND USE PLANNING OF GEORGE MUNICIPALITY, 2023

4.3.4.1 According to Section 38(1), the following documents are required in support of the application:

- 4.3.5.1.1 **Annexure 1**, Application form fully completed and signed;
- 4.3.5.1.2 **Annexure 2**, Power of Attorney to Nel & de Kock Town and Regional Planners by the authorised representative of the registered owner to prepare and submit this application;
- 4.3.5.1.3 **Annexure 3**, Company Resolution which gives the authorised representative authorisation to appoint Nel & de Kock;
- 4.3.5.1.4 **Annexure 4**, Proof of Company Membership;
- 4.3.5.1.5 **Annexure 5**, Motivation Report by Nel & de Kock Town and Regional Planners;
- 4.3.5.1.6 **Annexure 6**, Copy of the Surveyor General Plan No. 4307/63 is attached to this application;
- 4.3.5.1.7 **Annexure 7**, Plan No. G/G/706-1 dd. October 2025 is attached to this application which includes a locality map;
- 4.3.5.1.8 **Annexure 8**, Site Development Plan and building plans by New Architectural Design with Plan No. CL4425/1 is attached to this application;
- 4.3.5.1.9 **Annexure 9**, Proof of Payment will be provided in due course as it is made available to the applicant;
- 4.3.5.1.10 **Annexure 10**, Copy of Title Deed T46009/2014 is attached to this application;
- 4.3.5.1.11 **Annexure 11**, Conveyancer Certificate by Elene Goosen is attached to this application;
- 4.3.5.1.12 **Annexure 12**, Letter by George Municipality dd. 13 February 2015;
- 4.3.5.1.13 **Annexure 13**, First Notice dd. 21 February 2025;
- 4.3.5.1.14 **Annexure 14**, Latest Municipal Account;
- 4.3.5.1.15 **Annexure 15**, Approved Building Plans dd. 19/10/1988; and
- 4.3.5.1.16 **Annexure 16**, Pre-Application dd. 26/03/2025 with the following comments:

Town Planning:

- **The property is located within the George CBD where offices and businesses may be supported in terms of the George Municipal Spatial Development Framework, 2023. The proposal is found to be reconcilable with the spatial planning policies for the area.**

- The applicant has no further response to this comment, as the proposal is considered to be in line with the Municipality's approved spatial planning policies and frameworks.
- **The height of the building may be restricted to ensure the proposal is reconcilable with the surrounding area.**
 - The maximum height of the existing structures on the property is 5.91m, which is well below the permissible height of 8.5 metres as stipulated in the George Municipality's Integrated Zoning Scheme By-Law, 2023. As this application does not propose any additional construction which will alter the existing height of the structures, no further elaboration will be made in this regard.
- **Please motivate the application in terms of spatial policies and objectives of the area i.e. George Municipal Spatial Development Framework 2023, George CBD Local Spatial Development Framework 2012, the Provincial Spatial Development Framework 2014, SPLUMA and LUPA.**
 - The application has been motivated in accordance with the applicable legislation outlined in Paragraphs 4.3.1 to 4.3.5 of this report. Therefore, this comment is complied with.
- **Address the objectives and development parameters as per the proposed zoning in terms of the George Integrated Zoning Scheme By-Law, 2023.**
 - The objectives and development parameters of the proposed zoning is discussed in Par. 4.3.6 of this report. Therefore, this comment is complied with.
- **Parking should be provided at a ratio of 4 parking bays per 100m² GLA.**
 - The applicant takes note of this comment and confirms that parking will be provided in accordance with the prescribed ratio. The total GLA of the business is 174.95m², which requires the provision of seven parking bays. Three bays are proposed at the rear of the property for staff parking, while four bays will be available in front of the premises for public use. As the required number of parking bays is provided, this comment is considered addressed and no further elaboration will be made in this regard.
- **Visual impact along roads must be considered and addressed.**
 - This application will not result in any change to the current visual appearance of the property. It is important to note that the business premises operate from a building that was originally a dwelling house and its appearance remains in harmony with the prevailing character of the surrounding area. Therefore, no further elaboration is required in this regard.

- **A landscaping plan will be required. Please retain existing mature trees.**
 - Approval of this application will not result in the removal of any existing vegetation on the property. The mature trees will be retained, as indicated on the attached Site Development Plan.

- **Indicate heritage significance and provide the relevant outcome from Heritage Western Cape (if applicable).**

The subject property was originally a dwelling house and has undergone several additions and alterations. Attached hereto as Annexure 15 are the building plans approved by the Municipality for the addition of an outbuilding and a swimming pool. While the outbuilding was constructed, the pool was never built. This rezoning application does not propose any new construction. Therefore, its approval will not alter or affect the heritage significance of the property, if any exists, as it is typically new construction or renovations that impact heritage value. In light of this and considering that none of the provisions of subsections 7, 8, or 9 of Section 38 of the National Heritage Resources Act, 1999 (Act No. 25 of 1999) are triggered, it is requested that Heritage Western Cape's comment not be required. Requiring such comment would result in unnecessary additional costs for the owner, whose sole intention is to regularise the long-standing use of the property as a business premises—a use that has been in place for the past ten years.

Civil Engineering Services:

Access:

- **Access may be restricted to Victoria Street. Access of Mitchell Street is subject to approval.**
 - Existing public access to the business premises will be maintained via Victoria Street, as illustrated on the attached Site Development Plan. The only modification involves reconfiguring parking from direct access off Victoria Street to perpendicular bays, in order to comply with the Municipality's requirement that all vehicle manoeuvring occur on-site. The Victoria Street access, at 7.5m wide, meets the standard for a combined entrance and exit, while the Mitchell Street access, at 3.0m wide, is designated for staff parking only. It should be noted that this application seeks only to formalize the existing access points and does not propose any other changes, therefore, no further elaboration is necessary.
- **Access is permitted in accordance with the George Integrated Zoning Scheme, 2023 regulations.**
 - As discussed above, the proposed accesses comply with the provisions of the George Municipality's Integrated Zoning Scheme By-Law, 2023.

Parking:

- **All parking must be provided on-site, in compliance with the GIZS 2023 parking requirements.**
 - This comment has been addressed above.
- **No parking is allowed within the road reserve, and the owner may be held liable for any costs incurred to prevent unauthorized parking in this area.**
 - All of the provided parking bays are indicated on the subject property and not within the road reserve. Therefore, this development proposal complies with this comment.
- **All movability should be done on site.**
 - All movability will be accommodated on the subject property as can be seen on the attached Site Development Plan.
- **PT1 parking ratio may be supported with the application.**
 - The applicant takes note of this comment; however, as the Municipality has indicated that parking should be provided at a ratio of 4 bays per 100m² GLA, a relaxation in this regard is not required.

Development Charges (DCs):

- **Normal Development Charges (DCs), if applicable, will be levied in accordance with the DC policy and the applicable By-law and or policy.**
 - The applicant takes note of this comment.

Water and Sewer:

- **Water and Sewer are available, subject to confirmation of capacity.**
 - This comment is acknowledged. It should be noted, however, that the owner has been paying business rates and taxes for the use of the premises since 2015. Consequently, the property's usage will remain consistent with the past ten years and no upgrades to the Municipal Water and Sewer infrastructure are anticipated. Attached are the latest Municipal accounts for the property, which illustrate the low demand for water and sewer services.

Stormwater:

- **The developer must ensure full compliance with the relevant Stormwater By-law.**
 - This comment is noted and will be addressed during the submission of building plans for the as-built structures.

Electro-technical Services:

- **DCs will be applicable. Any plans for SSEG to be submitted to ETS for comments and approval**

- This comment is acknowledged. It should, however, be noted that the property currently has a 60A connection and the owner intends to reduce this to a 30A connection due to the limited electricity demand.

4.3.6 GEORGE MUNICIPALITY'S INTEGRATED ZONING SCHEME BY-LAW, 2023

The proposed zoning of the property is Business Zone I of which the primary use is Business Premises. A Business Premises is governed by the following development parameters as contained in George Municipality's Integrated Zoning Scheme By-Law, 2023:

(a) Coverage:

The maximum coverage for all buildings on a land unit is 100%.

- The coverage of the development amounts to 35.20%, as indicated on the attached Site Development Plan. This is within the permissible limit and the development therefore complies with this parameter.

(b) Street centre line setback:

The Municipality may require a street centre line setback, in which case all buildings or structures on a land unit must be set back at least 8 metres from the centre line of the abutting public street or streets.

- The applicant has no specific response to this development parameter, as it is intended to be imposed by the Municipality, which has not occurred in this case.

(c) Floor factor:

The maximum floor factor on the land unit is 3, which may be departed from if subsection (i) is complied with.

- The floor factor of the structures on the property is 0.35, which falls well within the permissible limits stipulated for this development parameter.

(d) Height:

(i) The highest point of a building may not exceed 15 metres to the top of the roof.

(ii) The general provisions regarding earth banks and retaining structures in this by-law apply.

- As illustrated on the attached Site Development Plan, the highest point of the structures on the property is 5.91m, which complies with this development parameter.

(e) Building line:

(i) The street building line is 0 metres.

(ii) Side and rear building lines are 0 metres up to a height of 8.5 metres and 4.5 metres for the remainder of the building provided

that the Municipality may lay down more restrictive common building lines in the interest of public health and safety or in order to enforce any other law or right.

(iii) **Minor architectural and sunscreen features may project beyond the street boundary building line, provided that such features do not project more than 250 millimetres beyond the street boundary.**

- As all structures on the property are below 8.5m in height, therefore 0.0m building lines are indicated on the attached Site Development Plan. Given that all structures comply with this development parameters, no further elaboration will be made in this regard.

(f) Hotel floor space concession:

Where it is proposed to erect a hotel of at least 30 bedrooms in terms of this use right, the development parameters applicable to “hotel” apply.

- This proposal does not make provision for a hotel. Therefore, this development parameter is not relevant to this application.

(g) Canopy or balcony projection:

The Municipality may require, and may approve, a canopy or balcony projection over the street boundary in accordance with the following conditions:

- (i) the canopy or balcony may not project closer than 500 millimetres to a vertical plane through the kerb line or proposed kerb line;**
- (ii) no portion of a canopy or balcony projection may be less than 2.8 metres above the pavement;**
- (iii) the Municipality may lay down more restrictive requirements relating to the dimensions, design and materials of the canopy or balcony; and**
- (iv) the owner must enter into an encroachment agreement with the Municipality.**

- This proposal does not make provision for a canopy or balcony projecting over the street boundary. Therefore, no further elaboration will be made in this regard.

(h) Public pedestrian footway along street boundary:

If the owner provides a public pedestrian footway of at least 3 metres wide on the land unit, next to a building situated alongside the street boundary, with a canopy and pavement that ties in with the street pavement, and which is accessible to the public at all times, then, in recognition of the urban design contribution to the street environment, the maximum floor factor of the building may be increased by twice the area of the public pedestrian footway.

- This development parameter is also not applicable to this application.

(i) Street corners:

The Municipality may require that the owner of a building which is to be situated at a public street corner, and which the Municipality considers to be significant, must incorporate in the building architectural features which focus visual interest on the corner, and which emphasise the importance of pedestrian movement around the corner. Such features may include building cut offs, walkthrough covered arcades, plazas or other elements.

- This development parameter is subject to municipal requirements, which have not been specified in this case. Therefore, no further elaboration is provided in this regard.

(j) Parking and access:

(i) Parking and access must be provided on a land unit in accordance with this by-law, except in a case where the Municipality has approved alternative parking supply under subsection 43(1).

(ii) Except with the approval of the Municipality, no parking bays at ground floor level on a land unit, either outside or within a building, may be located closer than 10 metres to a street boundary in order to enhance amenity at street level.

- This application makes provision for 7 parking bays, calculated at a ratio of 4 bays per 100m² GLA, as stipulated by the Municipality in the Minutes of the Pre-Application. The proposal was discussed with the Municipality's Traffic Engineer on 01 October 2025, during which the official indicated support for the proposal. Therefore, no further elaboration will be made in this regard.

(k) Loading:

Loading bays must be provided on the land unit in accordance with this by-law.

- According to the applicable requirements, businesses with a floor area between 0–1000m² are not required to provide loading bays. As the floor area of the screen printing business is 209.38m², no loading bays are required in this case.

(l) Screening:

The Municipality may require screening in accordance with this by-law.

- This development parameter is to be determined by the Municipality, which has not been done in this case. Therefore, the applicant has no further comments in this regard.

(m) Refuse room:

The Municipality may require a refuse room to be provided on the land unit in accordance with this by-law.

- The Municipality has not required the provision of a dedicated refuse room on the property. Accordingly, no such facility has been provided

at this stage. It is important to note that small volumes of refuse generated on the premises are placed in black bags and set out in the road reserve for weekly collection by the Municipality. Any larger waste items are disposed of by the owner independently. As this system of refuse management has been in place and functioning effectively since 2015, no changes or amendments are proposed in this regard.

(n) Landscaping:

The Municipality may request a landscaping plan on submission of building plans.

- The attached Site Development Plan indicates the existing vegetation and landscaping on the property. The relevant architectural firm will ensure compliance with any additional requirements should the Municipality deem it necessary.

(o) Development charges

The Municipality may impose development charges in accordance with the provisions of Section 52.

- The owner will comply with the development charges as imposed by the Municipality.

4.3.7 TITLE DEED

Title Deed No. T46009/2014 is attached to this application as Annexure 10 which lists Bussav Shelfco 001 (Pty) Ltd Registration No.: 2013/126385/07 as the registered owner. The bond registered over the property has been fully settled and subsequently cancelled, as can be seen on the attached Title Deed. Annexure 4 contains proof of company membership, indicating that there is only one director, who has duly authorised Nel & De Kock to prepare and submit this application, as confirmed by the resolution and power of attorney attached as Annexures 2 and 3. The attached Conveyancer's Certificate, Annexure 11, issued by Elene Goosen, confirms that the Title Deed contains no conditions restricting the proposed rezoning application and further verifies that no bonds are registered over the property. Accordingly, no further discussion regarding the Title Deed is necessary.

4.4 CHARACTER OF THE ENVIRONMENT

The property subject to this application is located within the George CBD and falls within a designated densification zone. The surrounding area has seen several properties successfully rezoned for business purposes, reflecting a clear shift toward mixed-use and commercial activity. As such, the proposed rezoning is consistent with the existing and evolving character of the area and will not have any adverse impact on its overall nature.

Approval of this application will align with the established development pattern and enable the owner to continue utilising the property as a business premises—an activity that has been in place since 2015 without any disruption to the surrounding environment.

4.5 POTENTIAL OF THE PROPERTY

4.5.1 AGRICULTURE

As mentioned earlier in this report, the land unit relevant to this application is situated within the urban edge of George and is currently zoned Single Residential Zone I. Therefore, the property was withdrawn from Agricultural in the past and has no agricultural potential and will subsequently not be elaborated further on in this motivation report.

4.5.2 CONSERVATION

As mentioned in the above paragraph 4.2.3 and 4.2.5 no conservation worthy vegetation can be found on the property. Therefore, conservation will not be negatively affected through the approval of this application.

4.5.3 MINING

As of date no exploitable materials have been found on the property which could lead to any mining activities taking place.

4.5.4 RECREATION

The property is currently zoned Single Residential Zone I, which may provide private recreational benefits to individuals residing on the premises. However, the property has been used as a business premises since 2015 and has, in practice, not fulfilled any recreational function during this period. As any recreational benefit under the existing zoning would apply solely to a private occupants and not to the broader public, the proposed rezoning to Business Zone I will not result in the loss of public recreational space. Accordingly, approval of this application will have no negative impact on the recreational potential or amenity of the surrounding environment.

4.5.5 RESIDENTIAL

As noted earlier in this report, the property has been used as a business premises since 2015 and has, in effect, not offered any residential potential since that time.

Given its location within the George CBD and a designated densification zone, the owner now intends to formalise the use of the property exclusively for business purposes, taking advantage of its strategic and commercially favourable position. While approval of this application will result in the loss of residential potential, it will enable the lawful continuation of the existing business use. This shift aligns more closely with the prevailing character of the area, which increasingly supports economic activity and mixed-use development.

4.6 LOCATION AND ACCESSIBILITY

Erf 3494, is situated at 33°57'54.09"S 22°27'33.93"E within George. The property is located on the corner of Mitchell and Victoria Streets. Public access to the screen printing business is proposed from Victoria Street, as shown on the attached Site Development Plan. The only amendment is that parking will be reconfigured from direct access to Victoria Street into perpendicular parking bays, in order to comply with the Municipality's requirement that all vehicle manoeuvring must occur on-site. The Victoria Street access is 7.5m wide, meeting the standard for a combined entrance and exit. The Mitchell Street access, which is 3.0m wide, is proposed for staff parking only and will serve as a single entrance or exit way. It is important to note that this application seeks to formalise the existing access points and does not propose any alterations. Therefore, no further elaboration will be made in this regard

4.7 PROVISION OF SERVICES

The property subject to this application is currently serviced by the Municipality and the owner intends to continue receiving municipal services following approval of the rezoning. As the property has been operating as a business premises since 2015 and the owner has been paying monthly business rates and taxes during this period, the proposed rezoning will not result in any change to the existing service demand. Accordingly, approval of this application will have no adverse impact on the provision or capacity of municipal services.

4.8 CONSTRUCTION PHASE

Application is made for the rezoning of the subject property to allow the owner to lawfully utilise it as a business premises, as has been the case for the past ten years. This application does not propose any additional construction or physical alterations to the property. As no building work is anticipated following approval of the rezoning, it is not necessary to provide further detail regarding a construction phase.

5. CONCLUSION

Based on the rationale presented in this report, the proposed rezoning offers clear and substantial benefits. Approval will legalise the property's long-standing use as a business premises, providing certainty and long-term security for the owner. The Municipality will also benefit from increased revenue through capital contributions and ongoing rates and taxes. Furthermore, the rezoning supports the objectives of the designated densification zone by promoting appropriate land use and strengthening economic activity within the George CBD. Importantly, it aligns the current use with municipal zoning regulations, contributing to more orderly and sustainable spatial development. Approval of this application is therefore both reasonable and desirable in light of existing land-use trends.

Nel & de Kock Town and Regional Planners
Per: Alexander Havenga Pr. Pln A/3313/2023

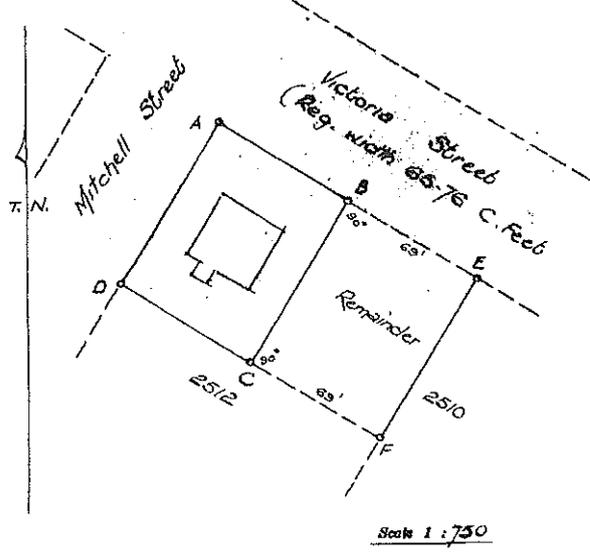
December 2025

SIDES Cape Feet		ANGLES OF DIRECTION		SYSTEM OF CO-ORDINATES	
				x	y
AB	69.0	A	90°		
BC	87.0	B	90°		
CD	69.0	C	90°		
DA	87.0	D	90°		

No. 4307/63

Approved
[Signature]

Surveyor-General.
3.9.1963



Remarks:-
A, 1/2" hole drilled into top of corner fence pillar.
B, C, iron peg 1 1/2" long & 1/2" dia. on S.W. side
D, 1/2" hole drilled into base of corner fence pole.
E, screw driven in on top of pole in concrete.

The figure ABCD _____
represents 6005 Sq. Feet _____ of land being
_____ Erf 3494 portion of Erf 2511 George _____

Municipality and Administrative District
situate in the ~~Division~~ of George _____ Province of Cape of Good Hope.
Surveyed in July 1963 by me *[Signature]*
Land Surveyor.

This diagram is annexed to
D/T. No. 17112/1963.
Registrar of Deeds.

The original diagram is
No. 2710/1946 annexed to
D/T. 1946-246-12296

File No. S. 8775/98
S.R. No. E. 1221/63
BL-7DD/141.
A. B. S.P.C.T.-1961

MUNISIPALITEIT VAN GEORGE

Ekertifiseer dat die volgende verskies van my Kaad wat as gevolg van hierdie end-revoelting geskied, oagokom is.

J. B. Durrant
S. 22
Datum 3/1/63

Approved with/without conditions in terms of Section 146 of Ordinance No. 12 of 1955 and Section 2 of Ordinance No. 33 of 1954.
Reference: *N/A.*
Date of Notification: *14.6.1963.*
D. J. K. G. / Surveyor-General.

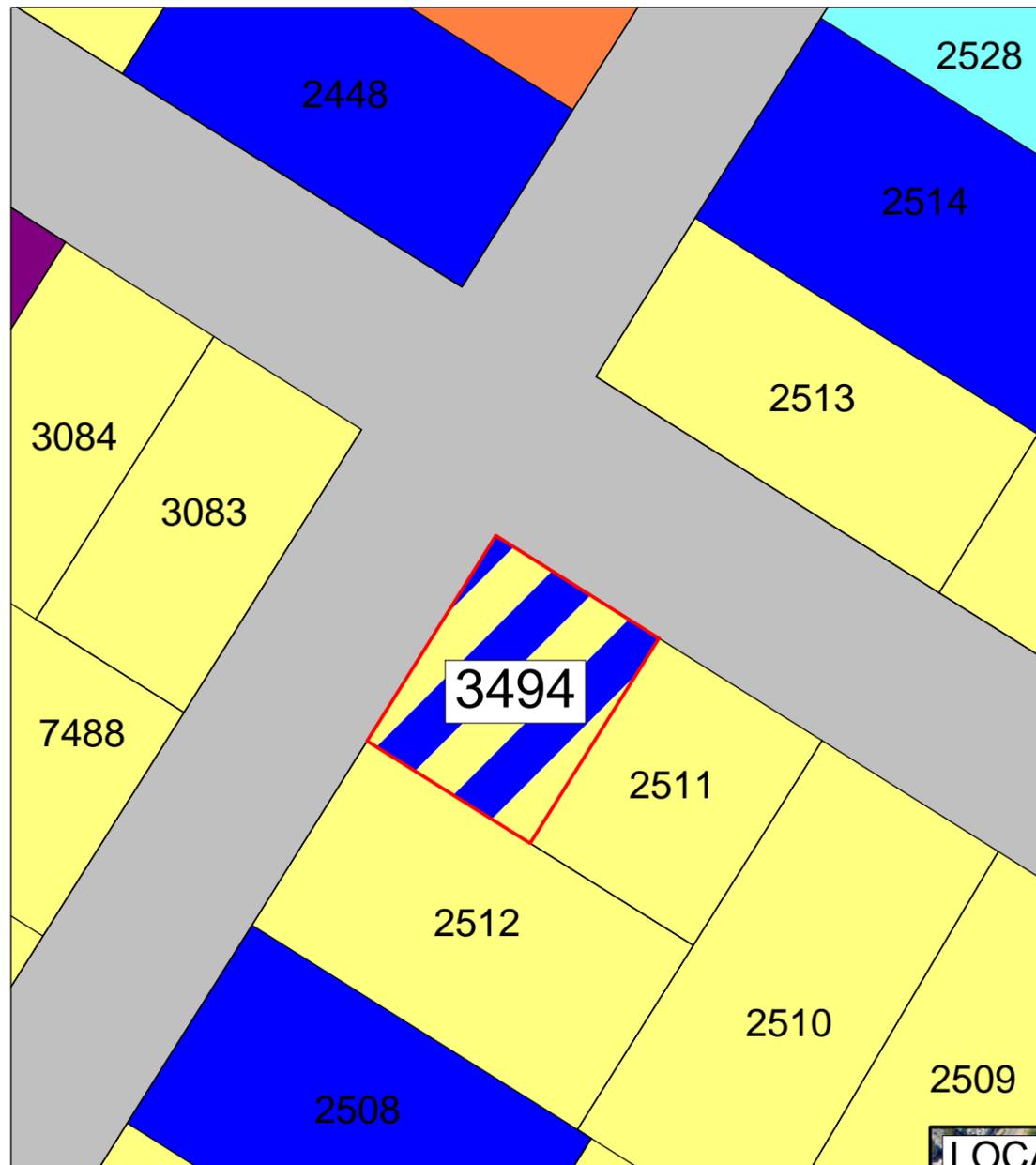
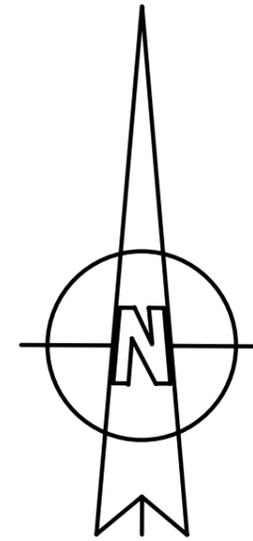
Annexure 7

PROPOSED REZONING OF
ERF 3494, GEORGE, IN TERMS
OF SECTION 15(2)(a) OF
GEORGE MUNICIPALITY'S LAND
USE PLANNING BY-LAW, 2023

 Application is being made for the rezoning of Erf 3494, George, in terms of Section 15.(2)(a) of George Municipality's Land Use Planning By-Law, 2023, from Single Residential Zone I to Business Zone I.

EXISTING ZONINGS

	Single Residential Zone I
	General Residential Zone IV
	Business Zone I
	Business Zone IV
	Community Zone II
	Transport Zone II



Note:
Locality Map obtained from Cape Farm Mapper.

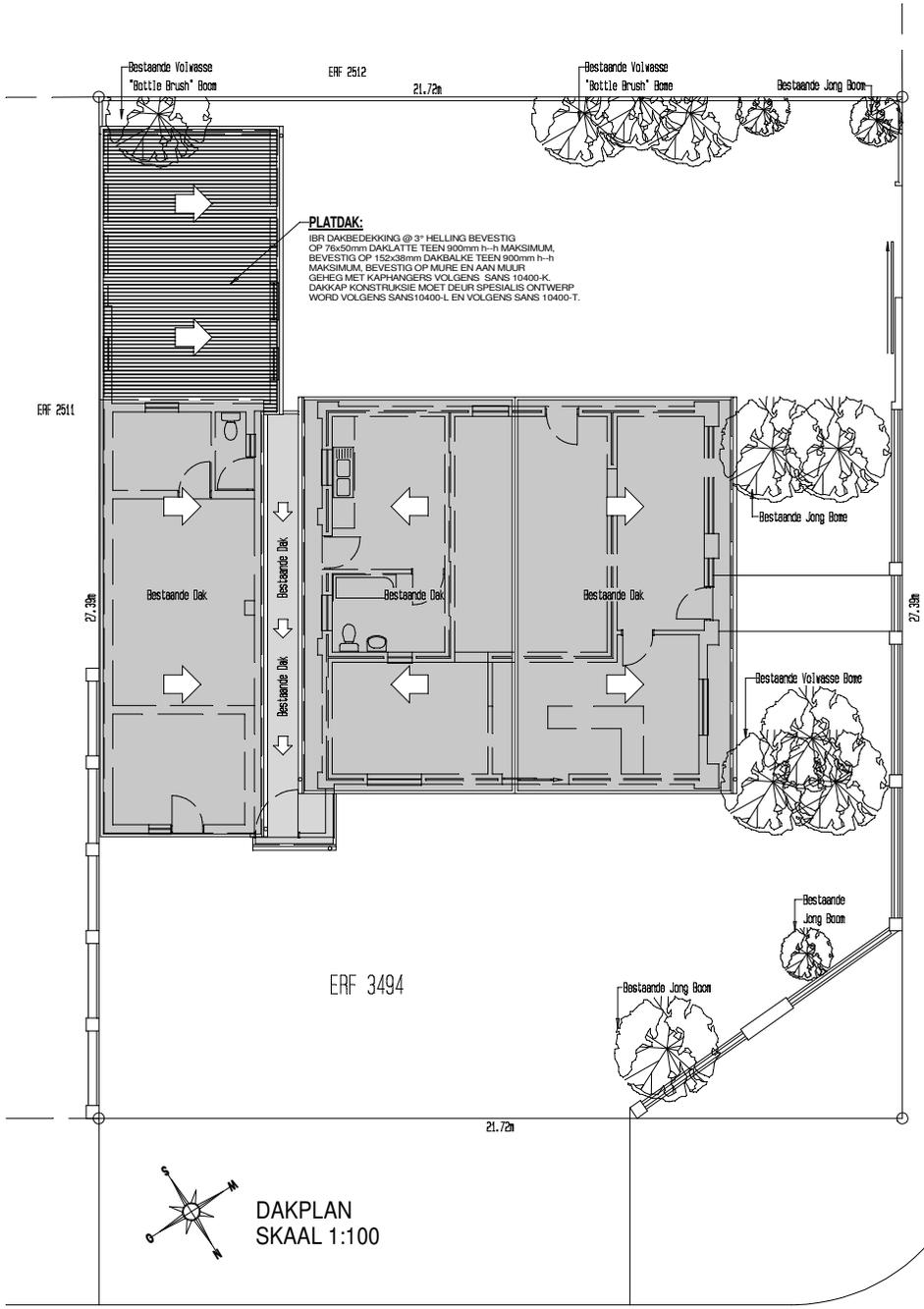
ERF 3494
c/o MITCHELL AND
VICTORIA STREET
GEORGE



 **Stads - en Streekbeplanners**
Town and Regional Planners
Yorkstraat 56 York Street Tel: (044) 874 5207
Posbus 1186 / P.O. Box 1186 Fax: (044) 873 6354
George 6530 E-pos / E-mail: neldek@mweb.co.za

SKAAL	1:750(A3)	SCALE
BEPLAN PLANNED	A.H.	PLAN NO G/G/706-1
GETEKEN DRAWN	A.H.	
DATUM DATE	October 2025	

KOPIEREG VOORBEHOU / COPYRIGHT RESERVED

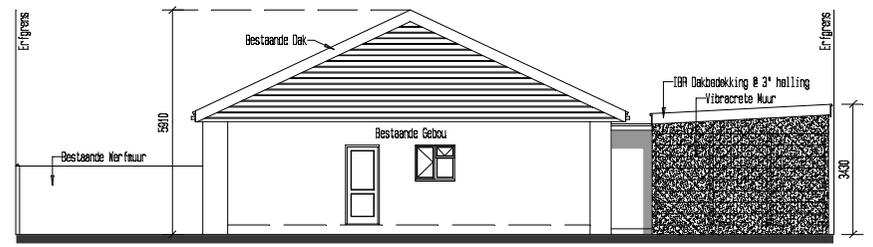


PLATDAK:
 IFR DAKBEDEKING @ 3° HELLING BEVESTIG
 OP 76x50mm DAKLATTE TEEN 900mm h-h MAKSIMUM,
 BEVESTIG OP 150x30mm DAKBALKE TEEN 900mm h-h
 MAKSIMUM, BEVESTIG OP MUURE EN AAN MUUR
 GEHEG MET KAPHANGERS VOLGENS SANS 10400-K
 DAKKAP KONSTRUKSIE MOET DEUR SPECIALIS ONTWERP
 WORD VOLGENS SANS 10400-L EN VOLGENS SANS 10400-T.

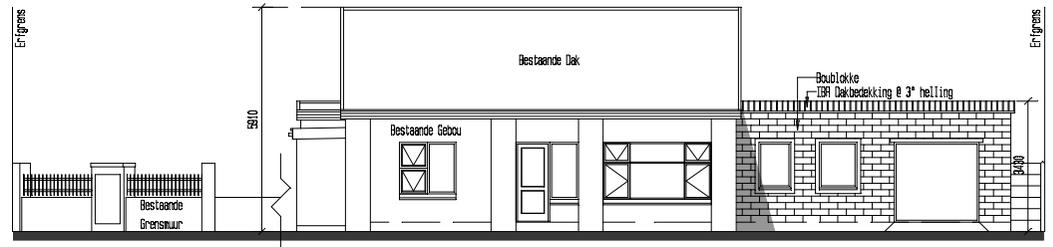
DAKPLAN
SKAAL 1:100

VICTORIA STRAAT NO. 88

LET WEL:
 ALLE MATERIAAL MOET SABS GOEDGEKEUR WEES. ALLE MATERIAAL EN
 WERK MOET VOLGENS SANS 204, SANS 10400 EN BOUWREGULASIES WEES.
 GEEN AFMETINGS MOET AFGESKAAL WORD VAN TEKENING NIE. SLEGS MATES
 GETOON MOET GEBRUIK WORD. KONTRAKTEUR MOET SEKER MAAK DAT ALLE
 GEBOUE UITGESIT WORD VOLGENS PLAN, SODAT BOULYNE NIE OORSKRY
 WORD NIE. KONTRAKTEUR MOET ALLE AFMETINGS EN VLAKKE NAGAAN OP
 TERREIN. ENIGE TEENSTRYDIGHEID MOET ONDER DIE AANDAG VAN N.A.D.
 GEBRING WORD.
 *APPOINTED AS ARCHITECTURAL PROFESSIONAL TO WORK STAGE 4.1
 (DOCUMENTATION TO ACHIEVE MUNICIPAL APPROVAL ONLY)
 NO LIABILITY WILL BE ACCEPTED FOR WORK DURING CONSTRUCTION.
 FULL LIABILITY AND RESPONSIBILITY WILL BE FOR THE OWNER OR BUILDER.*



SUID-WES AANSIG
SKAAL 1:100



NOORD-WES AANSIG
SKAAL 1:100

N.A.D.
 NEW ARCHITECTURAL DESIGN
 LEON LANGVELDT (PSAT)
 AND CO-WORKERS
 SACAP STY125, SUIT 31141
 1st FLOOR, EAGLES VIEW BUILDING
 5 PROGRESS STREET, GEORGE
 TEL: 083 3109 345
 E-MAIL: leonard4477@gmail.com

Projek:
 Project:
VOORGESTELDE AANBOUING
VIR BUSSAV SHELFKO 001 (EDMS)BPK
ERF 3494
GEORGE

Ontwerp:	L.L.	Datum:	1 Dec 2025
Geteken:	CL	Skaal:	1:100
Nagegaan:	L.L.	Oppervlakte:	34.43m ²
Owner:		Plan No.:	CL 4425/3



NOTIFICATION OF PAYMENT

To Whom it may Concern:

First National Bank hereby confirms that the following payment instruction has been received:

Date Actioned : 2026/02/23
Time Actioned : 11:58:42
Trace ID : X96WF2WP

Payer Details

Payment From : C M WAIT
Cur/Amount : ZAR12937.50

Payee Details

Recipient/Account no : 5002643
Name : GEORGE MUNICIPALITY FNB
Bank : FNB
Branch Code : 250655
Reference : INV LUA762

END OF NOTIFICATION

To authenticate this Payment Notification, please visit the First National Bank website at fnb.co.za, select the "Verify Payments" link and follow the on-screen instructions.

Our customer (the payer) has requested First National Bank Limited to send this notification of payment to you. Should you have any queries regarding the contents of this notice, please contact the payer. First National Bank Limited does not guarantee or warrant the accuracy and integrity of the information and data transmitted electronically and we accept no liability whatsoever for any loss, expense, claim or damage, whether direct, indirect or consequential, arising from the transmission of the information and data.

Disclaimer:

The information contained in this email is confidential and may contain proprietary information. It is meant solely for the intended recipient. Access to this email by anyone else is unauthorised. If you are not the intended recipient, any disclosure, copying, distribution or any action taken or omitted in reliance on this is prohibited and may be unlawful. No liability or responsibility is accepted if information or data is, for whatever reason corrupted or does not reach its intended recipient. No warranty is given that this email is free of viruses. The views expressed in this email are, unless otherwise stated, those of the author and not those of First National Bank Limited or its management. First National Bank Limited reserves the right to monitor, intercept and block emails addressed to its users or take any other action in accordance with its email use policy. Licensed divisions of FirstRand Bank Limited are authorised financial service providers in terms of the Financial Advisory and Intermediary Services Act 37 of 2002.

14

Annexure 10

Opgestel deur my

LE ROUX VAN DER MERWE
ROSBUS1893
MOSELBAAI
6500

VANDERBIJ
DAPE T

TRANSPORTBESORGER
STEPHEN UYSIE LE ROUX

Fee endorsement		
	Amount	Office fee
Purchase price/Value	R. 835 000-00	R. 800-00
Mortgage capital Amount	R.....	R.....
Reason for exemption	Exempt i.t.o	
Cat.....	section.....	Act.....

BC 00016124 / 2025
**GEKANSELLEER
 CANCELLED**
[Signature]
 REGISTRATEUR/REGISTRAR
 07 APR 2025

VERBIND MORTGAGED
 VIR FOR R 757 500-00
B 000024745 / 2014
 2014-08-28
 REGISTRATEUR/REGISTRAR

DATA / CAPTURE
 2014-09-03
 PUMELELA MNAMATA

T 000046009 / 2014

TRANSPORTAKTE

HIERBY WORD BEKEND GEMAAK DAT

LESTER ELEAZAR KLUE

voor my verskyn het, REGISTRATEUR VAN AKTES te Kaapstad, hy die genoemde komparant synde behoorlik daartoe gemagtig kragtens 'n Volmag aan hom verleen deur

PIETER JANDREI LE ROUX
 Identiteitsnommer 701119 5086 08 7
 Getroud buite gemeenskap van goed

geteken te MOSELBAAI op 1 APRIL 2014

DATA / VERIFY
 04 SEP 2014
 MASU TAMARA

En genoemde Komparant het verklaar dat sy prinsipaal, op 31 Januarie 2014, waarlik en wettiglik verkoop by Privaat ooreenkoms, en dat hy, in sy voorgenoemde hoedanigheid hierby sedeer en transporteer aan en ten gunste van

BUSSAV SHELF CO 001 EIENDOMS BEPERK
Registrasie Nommer 2013/126385/07

diese Opvolgers in titel of Regverkrygendes , in volkome en vrye eiendom

ERF 3494 GEORGE
IN DIE MUNISIPALITEIT GEORGE AFDELING VAN GEORGE

PROVINSIE WES-KAAP

GROOT 595 (VYF HONDERD VYF EN NEGENTIG) Vierkante Meter

AANVANKLIK oorgedra kragtens Akte van Transportakte Nommer T17112/1963 met Kaart Nommer 4307/1963 wat betrekking het en gehou kragtens Transportakte nommer T52925/2006.

ONDERHEWIG aan die voorwaardes waarna verwys word in Transportakte nommer T4935/1941.

WESHALWE die komparant afstand doen van al die regte en titel wat

PIETER JANDREI LE ROUX , Getroud soos vermeld

voorheen op genoemde eiendom gehad het, en gevolglik ook erken het dat hy geheel en al van die besit daarvan onthef en nie meer daartoe geregtig is nie en dat, kragtens hierdie akte, bogenoemde

BUSSAV SHELFCO 001 EIENDOMS BEPERK
Registrasie Nommer 2013/126385/07

diese Opvolgers in titel of Regverkrygendes, tans en voortaan daartoe geregtig is, ooreenkomstig plaaslike gebruik, behoudens die regte van die Staat en ten slotte erken dit dat die verkoopprijs die bedrag van **R835 000,00 (Agt Honderd Vyf en Dertig Duisend Rand)** beloop.

TEN BEWYSE WAARVAN ek, genoemde Registrateur, tesame met die Komparant hierdie Akte onderteken en dit met die ampseël bekragtig het.

ALDUS GEDOEN EN VERLY op die Kantoor van die REGISTRATEUR VAN AKTES te Kaapstad op

28 Augustus

2014

q.q.

In my teenwoordigheid

REGISTRATEUR VAN AKTES

CONVEYANCER CERTIFICATE

Annexure 11

I, the undersigned, **ELENE GOOSEN**, in my capacity as Conveyancer, practising at Cape Town, certify herewith that I had on 13 October 2025, investigated the Deeds Office records and that I have ascertained the following:

**BUSSAV SHELF CO 001 PROPRIETARY LIMITED
REGISTRATION NUMBER 2013/126385/07**

is the registered owner of the following property, namely:

**ERF 3494 GEORGE, IN THE MUNICIPALITY AND DIVISION OF GEORGE,
PROVINCE OF THE WESTERN CAPE;**

IN EXTENT: 595 (FIVE HUNDRED AND NINETY FIVE) SQUARE METRES

HELD BY DEED OF TRANSFER NO. T46009/2014

1. There are no bonds registered over the abovementioned property.
2. There are no restrictive conditions contained in the current or any of the previous title deeds that prohibit the rezoning of the property from Single Residential Zone I to Business Zone I.
3. There are no interdicts recorded against the said property.

Signed at Cape Town on 14 November 2025



Conveyancer
E GOOSEN



G E O R G E

MUNISIPALITEIT
Wes Kaap

UMASIPALA WASE
Itshona - Kolont

MUNICIPALITY
Western Cape

Posbus / P.O. Box 19 George 6530 Tel: 044 8019111 Fax: 044 8733776

VERW/REF

5/13/1

NAVRAE:
ENQUIRIES:

Kliëntediens

TEL.

(044)801 9118

Fax:

086 589 6402

*Department Financial Services
Departement Finansiële Dienste*

13 Februarie 2015

Bussav Shelfco 001 (Pty) Ltd

Posbus 10426

George

6530

Geagte Meneer/Mevrou

I/S: REKENINGNOMMER: GRG 1002151790

Die bogenoemde rekening verwys.

Dit was onder ons aandag gebring dat bogemelde eiendom as 'n besigheid bedryf word. Na aanleiding hiervan word die residensiële heffings vanaf die begin van die huidige finansiële jaar teruggeskryf en met die toepaslike besigheidshreffings vervang. Hierdie heffings is in ooreenstemming met die Raad se goedgekeurde tariewe bereken, en sal reeds op u volgende maandelikse rekening verskyn.

Ons vra vertrou u vind bostaande in orde.

Die uwe

Nms K JORDAAN

DIREKTEUR: FINANSIËLE DIENSTE

G:\STEPHANY\LETTERS\2015\WERNER\Beslgholdheffing.3494.Doc



Nathi Timakwe
Town Planning Inspector
Planning and Development
E-mail: ntimakwe@george.gov.za
Tel: +27 (044) 801 9119

Reference number: Erf 3494 George
Date: 21 February 2025
Collab No. 3584771

FOR ATTENTION:
Bussav Shelfco 001 PTY LTD (owner)
88 Mitchell Street,
George, 6529

BY Email: carin.signs@gmail.com

FIRST NOTICE: UNAUTHORISED BUSINNES (PRINT &SIGNS), ON LAND ZONED FOR SINGLE RESIDENTIAL ZONE I FOR PURPOSES OF A 'DWELLING HOUSE' AT 88 MITCHELL STREET, GEORGE, ERF 3494 GEORGE.

1. The above refers.
2. Official of the George Municipality conducted a site inspection on **Erf 3494 George, on 13 January 2025**. This subject property is zone **Single Residential Zone I, for 'Dwelling house' purposes** in terms of the George Integrated Zoning Scheme By-Law, 2023.
3. **An owner is exercising a land use right (illegal Business Print & Signs) without the necessary approvals in terms of the land Use Planning By-Law for the George Municipality, 2023.**
4. This Municipality thus has reasonable grounds to suspect that you are guilty of the following offence(s) in terms of section 86 (1) (b) of the George Municipality's By-law on Municipal Land Use Planning:

- Contravenes or fails to comply with Sections 15(1) and (5), 21(1), 62(2) and 86(3);
- Fails to comply with a compliance notice served in terms of section 86;
- Utilises land in a manner other than prescribed by a zoning scheme without the approval of the municipality; (Illegal Business Print & Signs)**
- Upon registration of the first land unit arising from a subdivision, fails to transfer all common property arising from the subdivision to the owners' association;
- Supplies particulars, information or answers in an application, or in an appeal against a decision on an application, knowing it to be false, incorrect or misleading or not believing them to be correct;
- Falsely professes to be an authorised employee or the interpreter or assistant of an authorised employee;



Hinders or interferes with an authorised employee in the exercise of any power, or the performance of any duty, of that employee.

5. You are **hereby instructed** in terms of section 86 of the said legislation, to **immediately cease the unlawful Land Use** within 30 days of date of receipt of this notice (i.e. **by no later than 20 March 2025**).
6. You are further instructed to do the following:
 - (a) Demolish, **remove** and/or alter unauthorised building, structure or work and/or **rehabilitate the land** or **restore the building**, as the case may be, to its original form within **30 days** of date of receipt of this notice: or
 - (b) **Submit an application to rectify the unlawful land use** in terms of section 86(1)(b) of the said legislation within **30 days** of date of receipt of this notice. However, this must not be construed as an indication that the application will be approved.
 - (c) The Municipality's officials found no records of the George Municipality granting such approval in terms of Planning By-Law. There are no records of approved building plans for the subject property allowing for the above-mentioned land use. **you are required to submit a Land Use Application.**
7. You may object to this notice by lodging written representations to the Municipality within 30 days of date of receipt of this notice in terms of section 87 (6) of the said legislation.
8. Please note that failure to comply with the above request will result in further action, which could lead to **criminal prosecution** or other **legal steps**, being taken against you in terms of section 86 of the said legislation. **It's important to note that should criminal prosecution be instituted against yourself, on conviction you would be liable to a fine or imprisonment not exceeding 20 years or to both a fine and such imprisonment.**
9. You are thus advised to contact the author of this letter as well Mrs Welman at 044 801 9477 or mhwelman@george.gov.za immediately to arrange a meeting to discuss your options within **14 days** of this notification with the relevant departments (Town Planning, Property Management & Civil Engineering Services).

Yours faithfully

O.B.O

A Joubert

MANAGER: COMPLIANCE, COMPLAINTS AND INVESTIGATIONS

C:\Users\ntimakwe\OneDrive - George Municipality\Documents\2025 Cases\1st notices\erf 3494 George- Illegal land use_on site (20-02-2025)
1st notice - Copy.docx

Computer Generated Tax Invoice For : November - 2025

Name		Bussav Shelfco 001 Pty Ltd		Old Account Number	1002151790
Election Ward	Ward-28	Receipts Until Date	25-11-2025	Account Number	000000024428
Property Physical Address		88 Mitchell Street, Lower Hibernia Street, George		VAT Reg Number	0
Sectional Title/Farm/PSI		SS Unit Nr	-	Market Value	R 750 000.00
SG Number	C027/0002/00003494/00000	Yearly Rates	R 9 805.56	Stand Size	595.00m ² / 0.0595ha
Consumer Deposit		Cash	R 850.00	Guarantee	-
Statement Date		25-11-2025			
Due Date		19-12-2025			
Invoice Number		202511/000000024428			

Date	Details	Charge (Excluding VAT)	VAT	Charge (Including VAT)
	Opening Balance	R 3 372.84	R 383.35	R 3 756.19
12-11-2025	Payments	(R 3 372.84)	(R 383.35)	(R 3 756.19)
	Sub Total	-	-	-
Water				
25-11-2025	Basic: Business/Industries Physical Meter Nr: 23068044 Meter Connection Size: 1 - Do not Levy on Connection Size	R 275.09	R 41.26	R 316.35
25-11-2025	Reading dates: Cur 16/10/2025 Prev 17/09/2025 (29 days) Cur 286.000 Prev 284.000 Cons 2.000 KL Meter 23068044 Factor: 1.000000 Dwelling Units: 1 2.000000 x 16.270000 = 32.54 Meter Transaction Meter Connection Size: 1 - Do not Levy on Connection Size Tariff: Business/Industries	R 32.54	R 4.88	R 37.42

The Municipality has successfully rolled out its new ERP system. For any account queries, please continue to use accounts@george.gov.za.

180+ Days	150 Days	120 Days	90 Days	60 Days	30 Days	Current
-	-	-	-	-	-	R 3 756.19
				Amount Due	VAT Due	Total Amount Due
				R 3 372.84	R 383.35	R 3 756.19
Advance	R 0.00	Please ensure that payment are made well in advance of due date when making use of EFT / 3rd Party Payments			Amount	R 3 756.19

REMITTANCE ADVICE

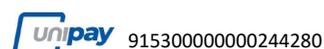
THIS STUB MUST ACCOMPANY PAYMENT

Name	Final Date for Payment	Account Number	Amount Payable
Bussav Shelfco 001 Pty Ltd	19-12-2025	000000024428	R 3 756.19



Bank Details
Bank : First National Bank
Account Number : 62869623150
Branch Code : 210114
Type : Tjek/Cheque
Vat No: 4630193664
Swift Code: FIRNZAJJ
Reference Nr : 000000024428

Proof of Payment to : payments@george.gov.za
Queries to : accounts@george.gov.za
Phone : 044-801-9111



Computer Generated Tax Invoice For : November - 2025

Name		Bussav Shelfco 001 Pty Ltd		Old Account Number	1002151790
Election Ward		Ward-28		Account Number	000000024428
Receipts Until Date		25-11-2025		VAT Reg Number	0
Property Physical Address		Consumer Deposit			
88 Mitchell Street, Lower Hibernia Street, George		Cash		Guarantee	
		R 850.00		-	
Sectional Title/Farm/PSI		SS Unit Nr		Market Value	
		-		R 750 000.00	
SG Number		Yearly Rates		Stand Size	
C027/0002/00003494/00000		R 9 805.56		595.00m ² 0.0595ha	
				Invoice Number	
				202511/000000024428	

Sub Total	R 307.63	R 46.14	R 353.77
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Electricity			
25-11-2025	Basic: Prepaid Commercial >20 Amps Physical Meter Nr: 01343093074 Meter Connection Size: 60 - 60	R 98.07	R 14.71
25-11-2025	Amps - Prepaid Commercial >20 Amps Physical Meter Nr: 01343093074 Meter Connection Size: 60 - 60	R 645.60	R 96.84
Sub Total		R 743.67	R 111.55

Property Rates			
25-11-2025	Rates - Business (M)	R 817.13	-
Sub Total		R 817.13	-

Waste Disposal			
25-11-2025	Refuse Removal Business - Grg	R 494.38	R 74.16
Sub Total		R 494.38	R 74.16

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180+ Days	150 Days	120 Days	90 Days	60 Days	30 Days	Current
-	-	-	-	-	-	R 3 756.19
				Amount Due	VAT Due	Total Amount Due
				R 3 372.84	R 383.35	R 3 756.19

Advance	R 0.00	Please ensure that payment are made well in advance of due date when making use of EFT / 3rd Party Payments	Amount	R 3 756.19
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REMITTANCE ADVICE

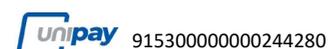
THIS STUB MUST ACCOMPANY PAYMENT

Name	Final Date for Payment	Account Number	Amount Payable
Bussav Shelfco 001 Pty Ltd	19-12-2025	000000024428	R 3 756.19



Bank Details
Bank : First National Bank
Account Number : 62869623150
Branch Code : 210114
Type : Tjek/Cheque
Vat No: 4630193664
Swift Code: FIRNZAJJ
Reference Nr : 000000024428

Proof of Payment to : payments@george.gov.za
Queries to : accounts@george.gov.za
Phone : 044-801-9111



Computer Generated Tax Invoice For : November - 2025

Name		Bussav Shelfco 001 Pty Ltd		Old Account Number	1002151790
Election Ward	Ward-28	Receipts Until Date	25-11-2025	Account Number	000000024428
Property Physical Address		Consumer Deposit		VAT Reg Number	0
88 Mitchell Street, Lower Hibernia Street, George		Cash	Guarantee	Statement Date	
		R 850.00	-	25-11-2025	
Sectional Title/Farm/PSI		SS Unit Nr	Market Value	Due Date	
		-	R 750 000.00	19-12-2025	
SG Number	Yearly Rates	Stand Size	Invoice Number		
C027/0002/00003494/00000	R 9 805.56	595.00m ²	0.0595ha	202511/000000024428	

Sanitation				
25-11-2025	Basic: Sewer: Bus/Ind/Sport Bodies	R 292.63	R 43.89	R 336.52
25-11-2025	Unit Chg: Sewer: Bus/Ind/Sport Bodies	R 717.40	R 107.61	R 825.01
	Sub Total	R 1 010.03	R 151.50	R 1 161.53
Total Levies for the Month		3 372,84	R 383.35	R 3 756.19

The Municipality has successfully rolled out its new ERP system. For any account queries, please continue to use accounts@george.gov.za.

180+ Days	150 Days	120 Days	90 Days	60 Days	30 Days	Current
-	-	-	-	-	-	R 3 756.19
				Amount Due	VAT Due	Total Amount Due
				R 3 372.84	R 383.35	R 3 756.19
Advance	R 0.00	Please ensure that payment are made well in advance of due date when making use of EFT / 3rd Party Payments			Amount	R 3 756.19

REMITTANCE ADVICE

THIS STUB MUST ACCOMPANY PAYMENT

Name	Final Date for Payment	Account Number	Amount Payable
Bussav Shelfco 001 Pty Ltd	19-12-2025	000000024428	R 3 756.19

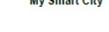


Bank Details
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Vat No: 4630193664
Swift Code: FIRNZAJJ
Reference Nr : 000000024428

Proof of Payment to : payments@george.gov.za

Queries to : accounts@george.gov.za

Phone : 044-801-9111

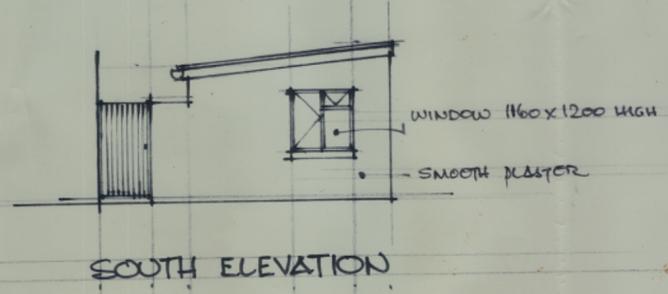
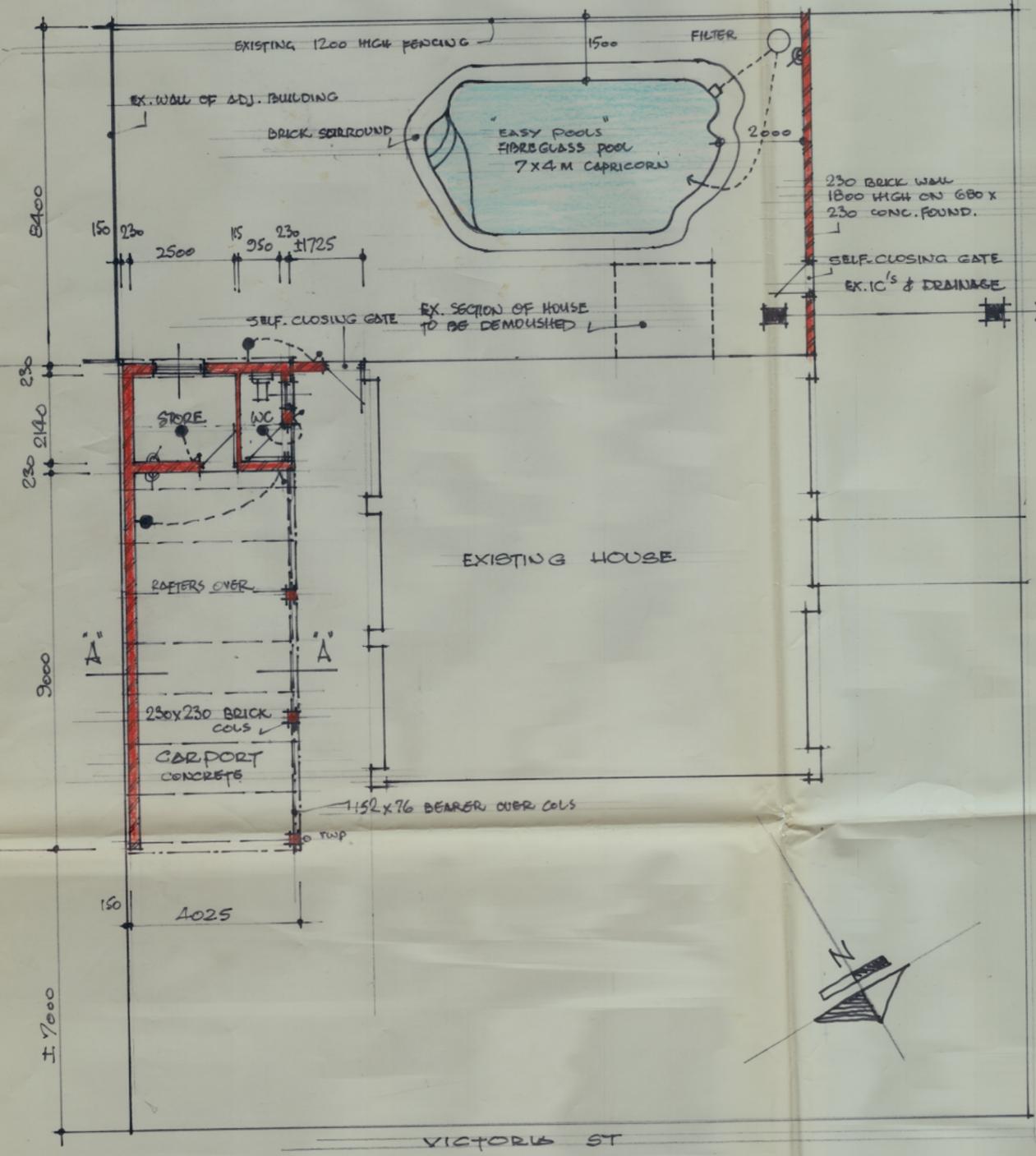
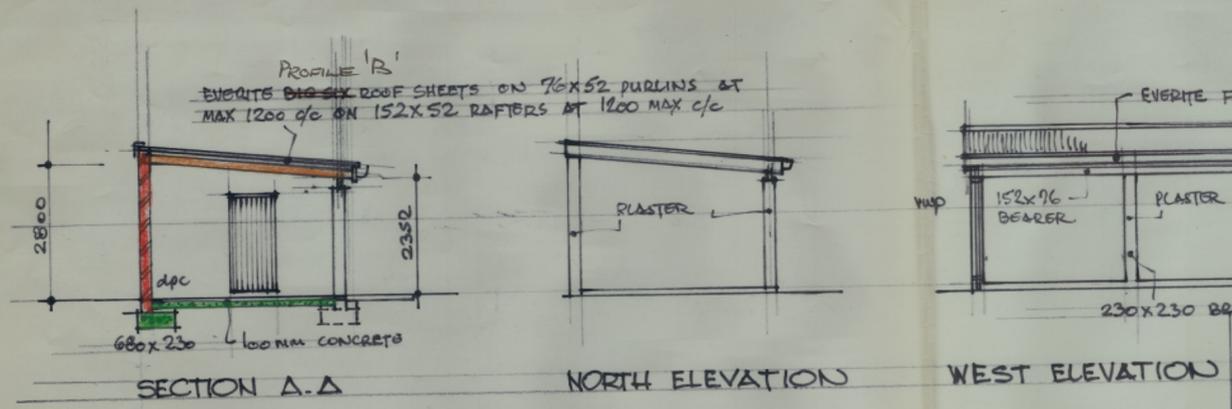


91530000000244280

ALL work in connection with plumbing and drainage installations, alterations or installations MUST be carried out by a person in possession of the appropriate valid and updated licences issued by the George Municipality, and with the Town Planner's approval.

GEORGE MUNICIPALITY	
DEPARTMENT VAN DIE STADSKLERK TOWN CLERK'S DEPARTMENT	
APPROVED	SUBJECT TO THE NATIONAL BUILDING REGULATIONS
GOEDGEKEUR	ONDERHEWIG AAN DIE NATIONALE BOUWREGULASIE
DATE DATUM: 24/10/88	PLAN No. 74/88
BOUWBEHEERAMPT BUILDING CONTROL OFFICER	

GEORGE MUNICIPALITY	
GESONDHEIDSDIENST HEALTH DEPARTMENT	
GOEDGEKEUR	ONDERHEWIG AAN DIE GESONDHEIDSEN KWADRAATREGULASIE
APPROVED	SUBJECT TO THE HEALTH AND NODENT REGULATIONS
DATE DATUM: 19-10-88	CHIEF HEALTH INSPECTOR



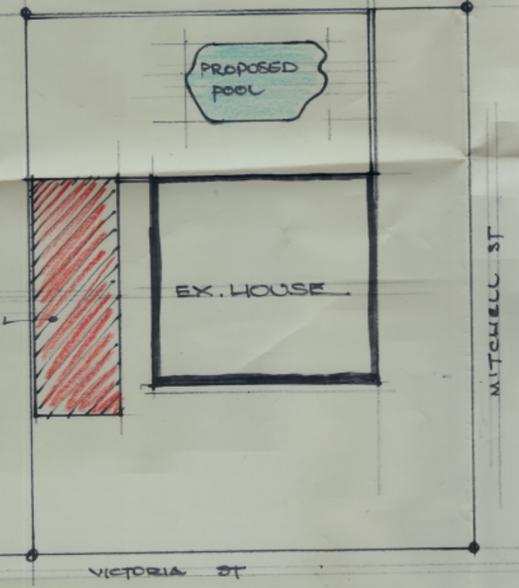
SECTION THROUGH POOL

BRICK SURROUND ON CONC.

BACKFILL IN SAND AND ROUND FIBREGLASS SHELL

Magtiging om swaaddijs te bedek moet van die Stadsingenieur verkry word. Elektriese Instal. moet deur geregistreerde Elektriese Kerkstruktuur godoen word met toestemming van die Stadsselektrogniese Ingenieur.

BUILDING INSPECTOR
BOUW-INSPEKTEUR



PROJECT :
PROPOSED OUTBUILDING & SWIMMING POOL • ERF 3494

EXISTING RESIDENCE
CORNER VICTORIA & MITCHELL STRS.
GEORGE •

FOR MR. A. J. REEDERS •

DETAILS
WORKING DRAWING

SCALE : 1:100 1:250

DATE : 3 OCT 1988

DONALD CAMERON & ASSOC.
BUILDING DESIGNERS
219 HOOGETWEG • WILDERNESS • 6560
PO BOX 74 • WILDERNESS • 6560
TEL: 0441-30558

DRAWING NO: 88-62-1

REVISIONS:

PLAN 1:100

SITE PLAN 1:250



LAND USE PLANNING PRE-APPLICATION CONSULTATION FORM

PLEASE NOTE:

Pre-application consultation is an advisory session and is required prior to submission of an application for rezoning, consent use, temporary departure and subdivision. It does not in any way pre-empt the outcome of any future application which may be submitted to the Municipality.

PART A: PARTICULARS

Reference number: **Collab Reference Number: 3639205**

Purpose of consultation: **To discuss the application.**

Brief proposal: **Proposed Rezoning of Erf 3494, George.**

Property(ies) description: **Erf 3494, George.**

Date: **24 March 2025.**

Attendees:

	Name & Surname	Organisation	Contact Number	E-mail
Official	Khuliso Mukhovha	George Municipality	044 801 9477	kjmukhovha@george.gov.za
	Naudica Swanepoel	George Municipality	044 801 9477	nswanepoel@george.gov.za
Pre-applicant	Alexander Havenga	Nel & de Kock	044 874 5207	neldek@mweb.co.za

Documentation provided for discussion:

(Include document reference, document/plan dates and plan numbers where possible and attach to this form)

1. **Title Deed No. T46009/2014;**
2. **Surveyor General Plan No. 4307/63;**
3. **Plan No. G/G/705-1;**
4. **Illegal Land Use Notice dd. 21 February 2025; and**
5. **Letter dd. 13 February 2015.**

Has pre-application been undertaken for a Land Development application with the Department of Environmental Affairs & Development Planning (DEA&DP)?

(If so, please provide a copy of the minutes)

YES	NO
-----	----

Comprehensive overview of proposal:

The owner of the subject property acquired the property in 2014 with the intention of operating a sign and printing company therefrom. The owner was issued with a letter dd. 13 February 2015 in which it was brought to her attention that the Municipality realised that the property is utilised as a business site and therefore the rates and taxes were adjusted to that of a business. She believed that her business was aligned with the Municipality's requirements at that time. The owner, however, received an illegal land use notice from the Municipality on 21 February 2025 in which it was brought to her attention that she needs to rectify the zoning of her property as it is currently utilised in an unlawful manner. The owner then contacted Nel & de Kock and application is made for the following in order to bring the land use of the property in line with the Municipality's Zoning Scheme:

Application is being made for the rezoning of Erf 3494, George, in terms of Section 15.(2)(a) of George Municipality's Land Use Planning By-Law, 2023, from Single Residential Zone I to Business Zone I in order to lawfully operate a print and sign company therefrom.

The applicant seeks to further obtain comments as to what parking requirements will be applicable to the print & sign company in order to illustrate compliance with this requirement and/or apply for relevant departures.

PART C: QUESTIONNAIRES

**SECTION A:
DETERMINATION OF APPLICATION TYPES, PRESCRIBED NOTICE AND ADVERTISEMENT PROCEDURES**

Tick if relevant		What land use planning applications are required?	Application fees payable
<input checked="" type="checkbox"/>	2(a)	a rezoning of land;	R
<input type="checkbox"/>	2(b)	a permanent departure from the development parameters of the zoning scheme;	R
<input type="checkbox"/>	2(c)	a departure granted on a temporary basis to utilise land for a purpose not permitted in terms of the primary rights of the zoning applicable to the land;	R
<input type="checkbox"/>	2(d)	a subdivision of land that is not exempted in terms of section 24, including the registration of a servitude or lease agreement;	R
<input type="checkbox"/>	2(e)	a consolidation of land that is not exempted in terms of section 24;	R
<input type="checkbox"/>	2(f)	a removal, suspension or amendment of restrictive conditions in respect of a land unit;	R
<input type="checkbox"/>	2(g)	a permission required in terms of the zoning scheme;	R
<input type="checkbox"/>	2(h)	an amendment, deletion or imposition of conditions in respect of an existing approval;	R
<input type="checkbox"/>	2(i)	an extension of the validity period of an approval;	R
<input type="checkbox"/>	2(j)	an approval of an overlay zone as contemplated in the zoning scheme;	R
<input type="checkbox"/>	2(k)	an amendment or cancellation of an approved subdivision plan or part thereof, including a general plan or diagram;	R
<input type="checkbox"/>	2(l)	a permission required in terms of a condition of approval;	R
<input type="checkbox"/>	2(m)	A determination of a zoning;	R
<input type="checkbox"/>	2(n)	A closure of a public place or part thereof;	R
<input type="checkbox"/>	2(o)	a consent use contemplated in the zoning scheme;	R
<input type="checkbox"/>	2(p)	an occasional use of land;	R
<input type="checkbox"/>	2(q)	to disestablish a home owner's association;	R
<input type="checkbox"/>	2(r)	to rectify a failure by a home owner's association to meet its obligations in respect of the control over or maintenance of services;	R
<input type="checkbox"/>	2(s)	a permission required for the reconstruction of an existing building that constitutes a non-conforming use that is destroyed or damaged to the extent that it is necessary to demolish a substantial part of the building	R
Tick if relevant		What prescribed notice and advertisement procedures will be required?	Advertising fees payable
<input type="checkbox"/>	N	Serving of notices (i.e. registered letters etc.)	R
<input type="checkbox"/>	N	Publication of notices (i.e. Provincial Gazette, Local Newspaper(s) etc.)	R
<input type="checkbox"/>	N	Additional publication of notices (i.e. Site notice, public meeting, local radio, website, letters of consent etc.)	R

Y	N	Placing of final notice (i.e. Provincial Gazette etc.)	R
TOTAL APPLICATION FEE* (VAT excluded):			TBC on submission of application

PLEASE NOTE: * Application fees are estimated on the information discussed and are subject to change with submission of the formal application and/or yearly application fee increase.

SECTION B:

PROVISIONS IN TERMS OF THE RELEVANT PLANNING LEGISLATION / POLICIES / GUIDELINES

QUESTIONS REGARDING PLANNING POLICY CONTEXT	YES	NO	TO BE DETERMINED	COMMENT
Is any Municipal Integrated Development Plan (IDP)/Spatial Development Framework (SDF) and/or any other Municipal policies/guidelines applicable? If yes, is the proposal in line with the aforementioned documentation/plans?			X	Motivate GMSDF, 2023
Any applicable restrictive condition(s) prohibiting the proposal? If yes, is/are the condition(s) in favour of a third party(ies)? [List condition numbers and third party(ies)]			X	Conveyancer Certificate required to confirm
Any other Municipal by-law that may be relevant to application? (If yes, specify)			X	
Zoning Scheme Regulation considerations: Which zoning scheme regulations apply to this site? George Integrated Zoning Scheme, 2023 What is the current zoning of the property? Single Residential Zone I What is the proposed zoning of the property? Business Zone I Does the proposal fall within the provisions/parameters of the zoning scheme? To be determined, i.e. parking and access Are additional applications required to deviate from the zoning scheme? (if yes, specify) To be determined. Parking and access				

QUESTIONS REGARDING OTHER PLANNING CONSIDERATIONS	YES	NO	TO BE DETERMINED	COMMENT
Is the proposal in line with the Provincial Spatial Development Framework (PSDF) and/or any other Provincial bylaws/policies/guidelines/documents?			X	Motivate PSDF, 2014
Are any regional/district spatial plans relevant? If yes, is the proposal in line with the document/plans?		X		

SECTION C:

CONSENT / COMMENT REQUIRED FROM OTHER ORGANS OF STATE

QUESTIONS REGARDING CONSENT / COMMENT REQUIRED	YES	NO	TO BE DETERMINED	OBTAIN APPROVAL / CONSENT / COMMENT FROM:
Is/was the property(ies) utilised for agricultural purposes?		X		Western Cape Provincial Department of Agriculture
Will the proposal require approval in terms of Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)?		X		National Department of Agriculture
Will the proposal trigger a listed activity in terms of National Environmental Management Act, 1998 (Act 107 of 1998) (NEMA)?		X		Western Cape Provincial Department of Environmental Affairs & Development Planning (DEA&DP)
Will the proposal require authorisation in terms of Specific Environmental Management Act(s) (SEMA)? (National Environmental Management: Protected Areas Act, 2003 (Act 57 of 2003) (NEM:PAA) / National Environmental Management: Biodiversity Act, 2004 (Act 10 of 2004) (NEM:BA) / National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004) (NEM:AQA) / National Environmental Management: Integrated Coastal Management Act, 2008 (Act 24 of 2008) (NEM:ICM) / National Environmental Management: Waste Act, 2008 (Act 59 of 2008) (NEM:WA) (strikethrough irrelevant)		X		National Department of Environmental Affairs (DEA) & DEA&DP
Will the proposal require authorisation in terms of the National Water Act, 1998 (Act 36 of 1998)?		X		National Department of Water & Sanitation (DWS)
Will the proposal trigger a listed activity in terms of the National Heritage Resources Act, 1999 (Act 25 of 1999)?			X	South African Heritage Resources Agency (SAHRA) & Heritage Western Cape (HWC)

QUESTIONS REGARDING CONSENT / COMMENT REQUIRED	YES	NO	TO BE DETERMINED	OBTAIN APPROVAL / CONSENT / COMMENT FROM:
Will the proposal have an impact on any National or Provincial roads?		X		National Department of Transport / South Africa National Roads Agency Ltd. (SANRAL) & Western Cape Provincial Department of Transport and Public Works (DTPW)
Will the proposal trigger a listed activity in terms of the Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations		X		National Department of Labour (DL)
Will the proposal affect any Eskom owned land and/or servitudes?		X		Eskom
Will the proposal affect any Telkom owned land and/or servitudes?		X		Telkom
Will the proposal affect any Transnet owned land and/or servitudes?		X		Transnet
Is the property subject to a land / restitution claims?		X		National Department of Rural Development & Land Reform
Will the proposal require comments from SANParks and/or CapeNature?		X		SANParks / CapeNature
Will the proposal require comments from DEFF?		X		Department of Environment, Forestry and Fishery
Is the property subject to any existing mineral rights?		X		National Department of Mineral Resources
Does the proposal lead to densification to such an extent that the number of schools, healthcare facilities, libraries, safety services, etc. In the area may be impacted on? (strikethrough irrelevant)		X		Western Cape Provincial Departments of Cultural Affairs & Sport (DCAS), Education, Social Development, Health and Community Safety

SECTION D:

SERVICE REQUIREMENTS

DOES THE PROPOSAL REQUIRE THE FOLLOWING ADDITIONAL INFRASTRUCTURE / SERVICES?	YES	NO	TO BE DETERMINED	OBTAIN COMMENT FROM: (list internal department)

Electricity supply:			X	Directorate: Electro-technical Services
Water supply:			X	Directorate: Civil Engineering Services
Sewerage and waste water:			X	Directorate: Civil Engineering Services
Stormwater:			X	Directorate: Civil Engineering Services
Road network:			X	Directorate: Civil Engineering Services
Telecommunication services:			X	
Other services required? Please specify.			X	
Development charges:			X	

PART D: COPIES OF PLANS / DOCUMENTS TO BE SUBMITTED AS PART OF THE APPLICATION

COMPULSORY INFORMATION REQUIRED:

Y	N	Power of Attorney / Owner's consent if applicant is not owner (if applicable)	Y	N	S.G. noting sheet extract / Erf diagram / General Plan
Y	N	Motivation report / letter	Y	N	Full copy of the Title Deed
Y	N	Locality Plan	Y	N	Site Layout Plan
Y	N	Proof of payment of fees	Y	N	Bondholder's consent

MINIMUM AND ADDITIONAL REQUIREMENTS:

Y	N	Site Development Plan	Y	N	Conveyancer's Certificate
Y	N	Land Use Plan	Y	N	Proposed Zoning plan
Y	N	Phasing Plan	Y	N	Consolidation Plan
Y	N	Abutting owner's consent	Y	N	Landscaping / Tree Plan
Y	N	Proposed Subdivision Plan (including street names and numbers)	Y	N	Copy of original approval letter
Y	N	Services Report or indication of all municipal services / registered servitudes	Y	N	Home Owners' Association consent
Y	N	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) (strikethrough irrelevant)	Y	N	1 : 50 / 1:100 Flood line determination (plan / report)
Y	N	Other (specify)	Y	N	Required number of documentation copies

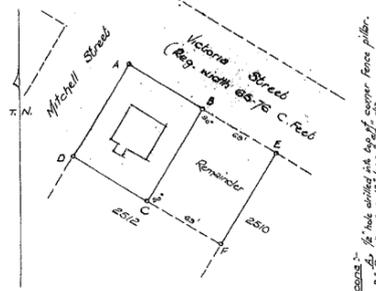
PART E: DISCUSSION

- The pre-application was submitted with the SG diagram and Zoning and Locality Plan as indicated below.
- The proposal was presented at a meeting held on 26 March 2025.

SIDES Cape Feet	ANGLES OF SUBDIVISION	SYSTEM OF CO-ORDINATES
AB 69.0	A 90	y
BC 87.0	B 90	
CD 69.0	C 90	
DA 87.0	D 90	

No. 4307/23

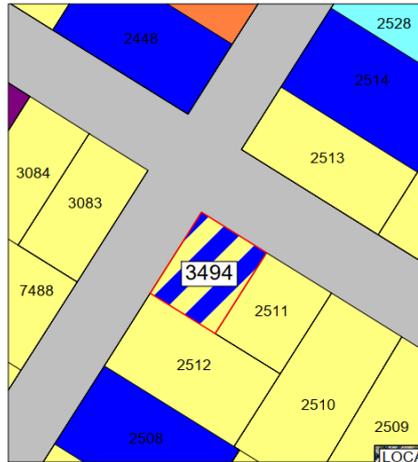
Approved
[Signature]
Surveyor-General
3.9.1963



The figure A B C D represents 600.5 Sq. Feet of land being Erf 3494 portion of Erf 2511 George

Municipality and Administrative District situated in the Division of George Province of Cape of Good Hope.

Remarks:
1. It has verified the top of corner fence pillar.
2. It has verified the top of corner fence pillar.
3. It has verified the top of corner fence pillar.
4. It has verified the top of corner fence pillar.
5. It has verified the top of corner fence pillar.



PROPOSED REZONING OF ERF 3494, GEORGE, IN TERMS OF SECTION 15(2)(a) OF GEORGE MUNICIPALITY'S LAND USE PLANNING BY-LAW, 2023

Application is being made for the rezoning of Erf 3494, George, in terms of Section 15(2)(a) of George Municipality's Land Use Planning By-Law, 2023, from Single Residential Zone I to Business Zone I.

EXISTING ZONINGS
Single Residential Zone I
General Residential Zone IV
Business Zone I
Business Zone IV
Community Zone II
Transport Zone II

Note:
Locality Map obtained from Cape Town Municipality

ERF 3494
c/o MITCHELL AND VICTORIA STREET GEORGE

Stads- en Streeklaanlegers
GROENKOP Town and Regional Planners
Korfbosweg 58, York Street, George 6520
T: (044) 871 5227
F: (044) 871 5234
E: info@groenkop.co.za
W: www.groenkop.co.za

SKAAL: 1:750(A3) SCALE

REFPLAN	A.H.	PLAN	G/G/705-1
GETEKEN	A.H.	NO	
DATUM			
DATE	March 2025		

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Town Planning

- The property is located within the George CBD where offices and businesses may be supported in terms of the George Municipal Spatial Development Framework, 2023. The proposal is found to be reconcilable with the spatial policies of the area.
- The height of the building may be restricted to ensure the proposal is reconcilable with the surrounding area.
- Please motivate the application in terms of spatial policies and objectives of the area i.e. George Municipal Spatial Development Framework 2023, George CBD Local Spatial Development Framework 2012, the Provincial Spatial Development Framework 2014, SPLUMA and LUPA.
- Address the objectives and development parameters as per the proposed zoning in terms of the George Integrated Zoning Scheme By-law, 2023.
- Parking should be provided at a ratio of 4 parking bays per 100m² GLA.
- Visual impact along roads must be considered and addressed.
- A landscaping plan will be required. Please retain existing mature trees.
- Indicate heritage significance and provide the relevant outcome from Heritage Western Cape (if applicable).

Civil Engineering Services

Access:

- Access may be restricted to Victoria Street. Access off Michell Street is subject to approval.
- Access is permitted in accordance with the George Integrated Zoning Scheme, 2023 regulations.

Parking:

- All parking must be provided on-site, in compliance with the GIZS 2023 parking requirements.
- No parking is allowed within the road reserve, and the owner may be held liable for any costs incurred to prevent unauthorized parking in this area.
- All movability should be done on site.
- PT1 parking ratio may be supported with the application.

Development Charges:

- Normal Development Charges (DCs), if applicable, will be levied in accordance with the DC policy and the applicable By-law and or policy.

Water and Sanitation:

- Water and Sewer are available, subject to the confirmation of capacity.

Stormwater:

- The developer must ensure full compliance with the relevant Stormwater By-law.

Electro-technical Services:

- DCs applicable. Any plans for SSEG to be submitted to ETS for comments and approval.

PART F: SUMMARY / WAY FORWARD

- You may proceed with the submission of the application that addresses the above issues.

OFFICIAL: KHULISO MUKHOVHA

SIGNED:



DATE: 1 APRIL 2025

PRE-APPLICANT: ALEXANDER HAVENGA

SIGNED:



DATE: 24 March 2025

OFFICIAL: NAUDICA SWANEPOEL

SIGNED:



DATE: 1 APRIL 2025

**Please note that the above comments are subject to the documents and information available to us at the time of the pre-application meeting and we reserve our rights to elaborate on this matter further and/or request more information/documents should it be deemed necessary.*