

**Collaborator No.:** 3806153  
**Reference / Verwysing:** Portion 155 of the Farm Hansmoeskraal 202  
**Date / Datum:** 6 March 2026  
**Enquiries / Navrae:** Andrea Griessel

**Email:** [info@vreken.co.za](mailto:info@vreken.co.za)

MARIKE VREKEN TOWN PLANNERS CC  
P O Box 2180  
KNYSNA  
6570

**APPLICATION FOR PERMANENT DEPARTURE AND AMENDMENT OF SITE DEVELOPMENT PLAN:  
PORTION 155 OF THE FARM HANSMOESKRAAL 202, DIVISION GEORGE**

Your application in the above regard refers.

- A. The Deputy Director: Development and Environmental Management (Authorised Official) has, under delegated authority, 4.17.3.13 of 24 April 2025 decided that the application for Permanent Departure in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for the relaxation of the following building lines applicable to Portion 155 of the Farm Hansmoeskraal 202, Division George:
- northern side boundary building line from 5m to 2.711m to accommodate the proposed new structure (frail care facility); and
  - western side boundary building line from 5m to 2.36m to accommodate an addition to the admin/reception office.

**BE APPROVED** in terms of Section 65 of said By-law for the following reasons:

**REASONS FOR DECISION:**

- The proposed departures will not have an adverse impact on the surrounding rural character, natural environment.
- There will be no negative impact on surrounding neighbours' rights or amenity in terms of views, privacy or overshadowing.
- No negative comments or objections were received.

**CONDITIONS APPLICABLE TO THE PERMANENT DEPARTURE:**

- That in terms of the Land Use Planning By-law for the George Municipality 2023, the departure approval shall lapse if not implemented within a period of five (5) years from the date it comes into operation.
- This approval shall be taken to cover only the Departures as applied for and as indicated on the site development plan, Plan no. M001 dated 18.02.2026 (Rev 7) drawn by ARCXL Architects attached as

**"Annexure A"** which bears Council's stamp and shall not be construed as to depart from any other Council requirements or legal provision.

3. The above approval will be considered as implemented on the issuing of the occupation certificate in accordance with the approved building plans.
- B. That the application for Amendment in terms of Section 15(2)(h) of the Land Use Planning By-Law for George Municipality, 2023 of condition 2 of approval letter dated 22 February 2017 to amend the Site Development Plan (SDP) as approved on Portion 155 of the Farm Hansmoeskraal 202, Division George in accordance with Plan no. M001 dated 18.02.2026 (Rev 7) and M002-M0010 (Rev 3) dated 17/03/2025 drawn by ARCXL Architects (*x10 plans total*) attached as **"Annexure A"** and which bears Council's stamp;

**BE APPROVED** in terms of Section 65 of said By-law for the following reasons:

**REASONS FOR DECISION:**

- (i). The proposed development is in line with the Land Use Planning By-law, 2023 and George Integrated Zoning Scheme By-Law, 2023.
- (ii). The proposed development meets the requirements of Section 65 of the Land Use Planning Bylaw for George Municipality, 2023.

**Notes:**

- *The conditions as per approval letter dated 22 February 2017 are still applicable.*
- *A building plan must be submitted for approval in accordance with the National Building Regulations. Stormwater must be dispersed responsibly, and the stormwater management and erosion measures must be addressed on the building plans.*

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Planning and Development, P O Box 19, George, 6530 or Directorate: Planning and Development, 46 Market Street (Old York Hostel Building), George **on or before 27 MARCH 2026**, and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

Yours faithfully



**C PETERSEN**  
**SENIOR MANAGER: TOWN PLANNING**

C:\Town Planning\Approvals\Portion 155 of the Farm Hansmoeskraal 202 approval letter.docx





# MUNICIPALITEIT GEORGE MUNICIPALITY

Approved in terms of Section 60 of the George

Municipality: Lambton Planning By-Law (2021) Subject

to the Municipality of Lambton Kent, Ontario, Canada.

DATE: 2023-08-18

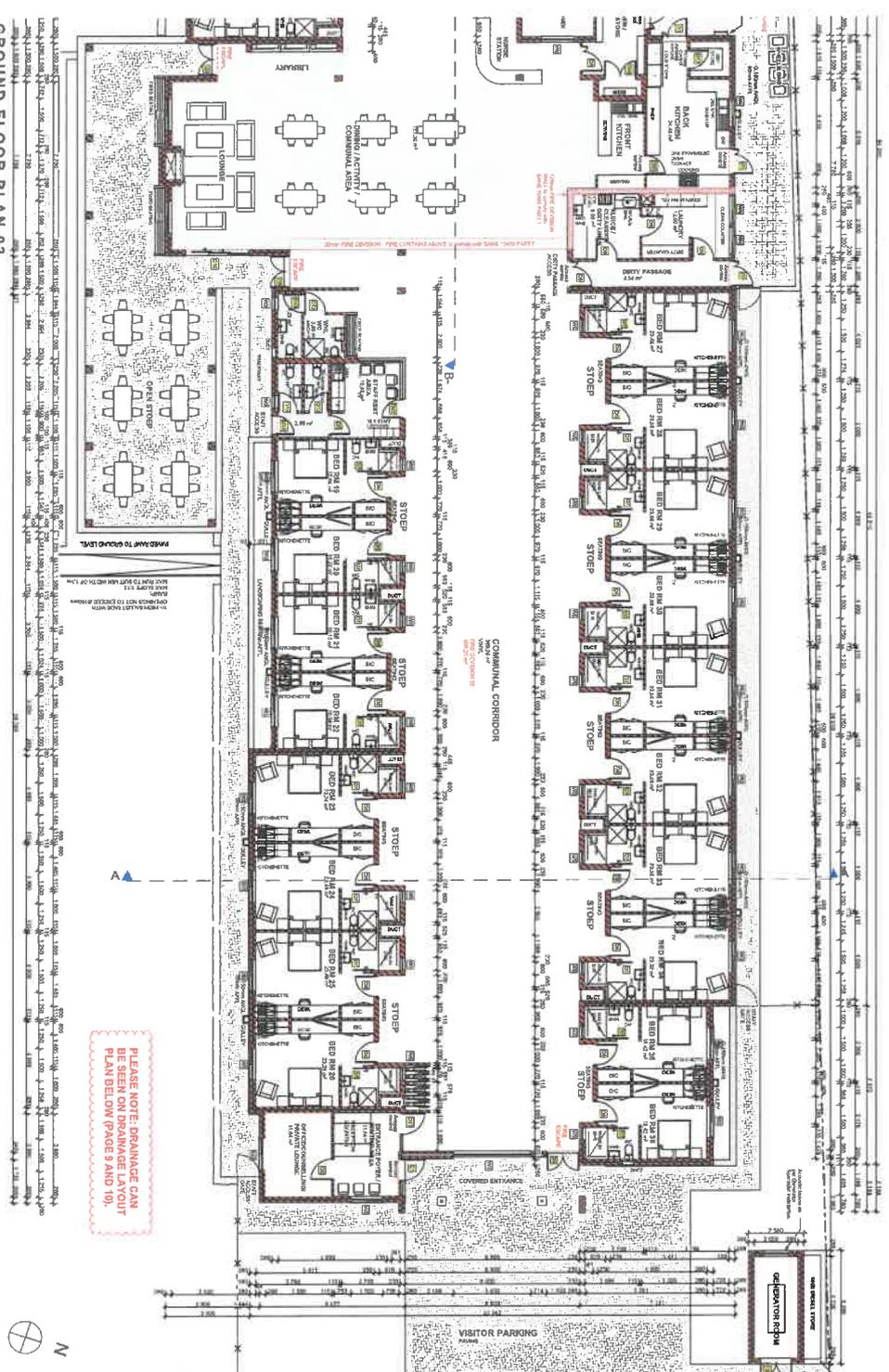
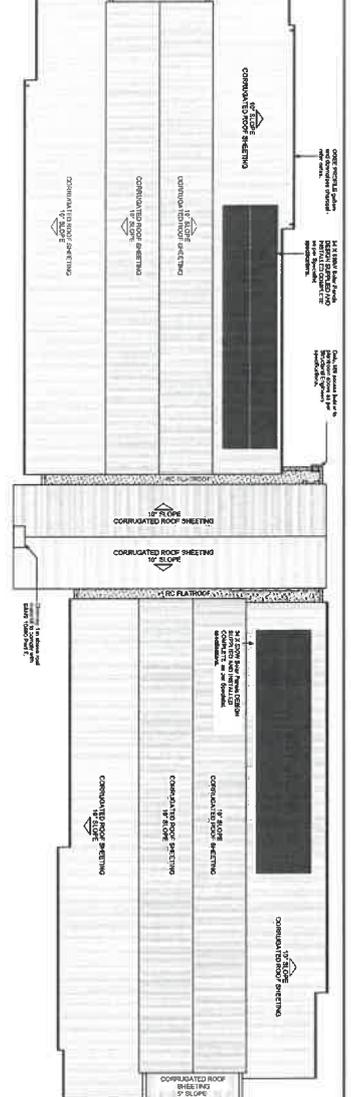
PROJECT: SENIOR RESIDENCE

PROJECT MANAGER: TOWN PLANNING

SENIOR BESTUURDER: STADSBEPLANNING

*Handwritten signature and date*  
2023/08/18

## ROOF PLAN



**GENERAL NOTES**

1. All work shall be in accordance with the latest edition of the Ontario Building Code (OBC) and the National Building Code of Canada (NBC).
2. All materials and workmanship shall be in accordance with the specifications and standards set out in the contract documents.
3. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.
4. The contractor shall maintain access to all existing utilities and structures on the site.
5. The contractor shall be responsible for the protection and preservation of all existing trees and landscaping on the site.
6. The contractor shall be responsible for the removal and disposal of all construction waste in accordance with applicable regulations.
7. The contractor shall be responsible for the installation and testing of all fire protection and life safety systems.
8. The contractor shall be responsible for the installation and testing of all mechanical, electrical, and plumbing systems.
9. The contractor shall be responsible for the installation and testing of all structural steelwork.
10. The contractor shall be responsible for the installation and testing of all exterior cladding and finishes.

**LEGEND**

1	Structural Steel
2	Concrete
3	Masonry
4	Exterior Cladding
5	Interior Finishes
6	Roofing
7	Site Work
8	Utilities
9	Landscaping
10	Other

**REVISIONS**

NO.	DATE	DESCRIPTION
01	2023-08-18	Issue for Review
02	2023-08-18	Issue for Approval

**PROJECT INFORMATION**

PROJECT TITLE: SENIOR RESIDENCE  
MUNICIPALITY: MUNICIPAL APPROVAL 01  
PROJECT MANAGER: TOWN PLANNING  
SENIOR BESTUURDER: STADSBEPLANNING

**DESIGNER**  
A B C ARCHITECTS  
2227  
M003  
3





DOOR SCHEDULE	SCALE	1:50	2:50	3:50	4:50	5:50	6:50	7:50	8:50	9:50	10:50
DOOR TYPE	ALUMINIUM										
DOOR FRAME	ALUMINIUM										
GLAZING	ALUMINIUM										
FINISH	ALUMINIUM										
IRONMONGERY	ALUMINIUM										
DOOR SCHEDULE SCALE 1:50	ALUMINIUM										
DOOR TYPE	ALUMINIUM										
DOOR FRAME	ALUMINIUM										
GLAZING	ALUMINIUM										
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DOOR SCHEDULE SCALE 1:50	ALUMINIUM										
DOOR TYPE	ALUMINIUM										
DOOR FRAME	ALUMINIUM										
GLAZING	ALUMINIUM										
FINISH	ALUMINIUM										
IRONMONGERY	ALUMINIUM										
DOOR SCHEDULE SCALE 1:50	ALUMINIUM										
DOOR TYPE	ALUMINIUM										
DOOR FRAME	ALUMINIUM										
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FINISH	ALUMINIUM										
IRONMONGERY	ALUMINIUM										
DOOR SCHEDULE SCALE 1:50	ALUMINIUM										

**MUNICIPALITEIT GEORGE MUNICIPALITY**  
 Approved in terms of Section 60 of the George Municipality Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.  
 14/01/2024

DATE: 06/03/2024  
 SENIOR MANAGER: TOWN PLANNING  
 SENIOR BESTUURDER: STADSBEPLANNING

**NOTES:**  
 1. All drawings to be approved in accordance with the relevant provisions of the National Building Regulations and Building Standards Act (Act No. 103 of 1977) and the relevant provisions of the National Building Regulations and Building Standards Act (Act No. 103 of 1977) and the relevant provisions of the National Building Regulations and Building Standards Act (Act No. 103 of 1977).

**GENERAL NOTES:**  
 1. The drawings are to be read in conjunction with the Bill of Materials and the relevant specifications.  
 2. The drawings are to be read in conjunction with the Bill of Materials and the relevant specifications.  
 3. The drawings are to be read in conjunction with the Bill of Materials and the relevant specifications.

**DRAWING NOTES:**  
 1. The drawings are to be read in conjunction with the Bill of Materials and the relevant specifications.  
 2. The drawings are to be read in conjunction with the Bill of Materials and the relevant specifications.  
 3. The drawings are to be read in conjunction with the Bill of Materials and the relevant specifications.

**COPYRIGHT:**  
 The drawings are the property of the Architect and are not to be reproduced without the written consent of the Architect.

**REVISIONS:**  
 NO. 1: AS SHOWN  
 NO. 2: AS SHOWN  
 NO. 3: AS SHOWN

**ISSUING OFFICE:**  
 MUNICIPAL APPROVAL 01

**PROJECT TITLE:**  
 FARM HOUSE GEORGE - PROPOSED NEW FARM CARE FACILITY FOR JURA CARE

**CLIENT:**  
 JURA CARE

**ARCHITECT:**  
 A B C ARCHITECTS

**DATE:**  
 22/07/2023

**SCALE:**  
 1:50

**NO.:**  
 2227

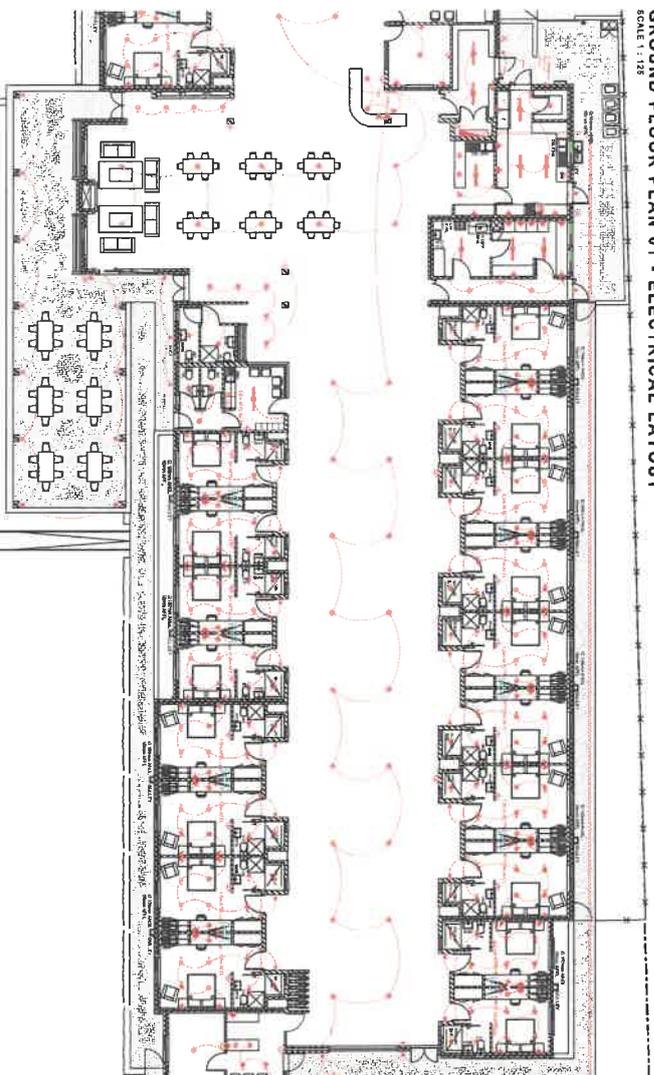
**MOOD:**  
 0006

**3**





ELECTRICAL PLAN CONTINUES BELOW



GROUND FLOOR PLAN 02 - ELECTRICAL LAYOUT  
SCALE: 1:125

STAGE 4: FARM 20/1155 GEORGE - PROPOSED NEW FEAL CARE FACILITY

**ELECTRICAL LEGEND**

**POWER (1:125)**

1	100V AC	100V AC
2	200V AC	200V AC
3	240V AC	240V AC
4	250V AC	250V AC
5	250V AC	250V AC
6	250V AC	250V AC
7	250V AC	250V AC
8	250V AC	250V AC
9	250V AC	250V AC
10	250V AC	250V AC
11	250V AC	250V AC
12	250V AC	250V AC
13	250V AC	250V AC
14	250V AC	250V AC
15	250V AC	250V AC
16	250V AC	250V AC
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28	250V AC	250V AC
29	250V AC	250V AC
30	250V AC	250V AC
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33	250V AC	250V AC
34	250V AC	250V AC
35	250V AC	250V AC
36	250V AC	250V AC
37	250V AC	250V AC
38	250V AC	250V AC
39	250V AC	250V AC
40	250V AC	250V AC
41	250V AC	250V AC
42	250V AC	250V AC
43	250V AC	250V AC
44	250V AC	250V AC
45	250V AC	250V AC
46	250V AC	250V AC
47	250V AC	250V AC
48	250V AC	250V AC
49	250V AC	250V AC
50	250V AC	250V AC

**GENERAL NOTES**

1. All electrical work shall be in accordance with the latest edition of the New Zealand Electrical Code of Practice (NZECOP).

2. All electrical work shall be done in accordance with the manufacturer's instructions for the equipment used.

3. All electrical work shall be done in accordance with the relevant standards and codes of practice.

4. All electrical work shall be done in accordance with the relevant safety regulations.

5. All electrical work shall be done in accordance with the relevant health and safety regulations.

6. All electrical work shall be done in accordance with the relevant environmental regulations.

7. All electrical work shall be done in accordance with the relevant fire and safety regulations.

8. All electrical work shall be done in accordance with the relevant building regulations.

9. All electrical work shall be done in accordance with the relevant planning regulations.

10. All electrical work shall be done in accordance with the relevant zoning regulations.

11. All electrical work shall be done in accordance with the relevant resource management regulations.

12. All electrical work shall be done in accordance with the relevant local authority regulations.

13. All electrical work shall be done in accordance with the relevant council regulations.

14. All electrical work shall be done in accordance with the relevant regional council regulations.

15. All electrical work shall be done in accordance with the relevant national regulations.

16. All electrical work shall be done in accordance with the relevant international regulations.

17. All electrical work shall be done in accordance with the relevant industry standards.

18. All electrical work shall be done in accordance with the relevant best practice.

19. All electrical work shall be done in accordance with the relevant state of the art.

20. All electrical work shall be done in accordance with the relevant current practice.

21. All electrical work shall be done in accordance with the relevant modern practice.

22. All electrical work shall be done in accordance with the relevant advanced practice.

23. All electrical work shall be done in accordance with the relevant cutting edge practice.

24. All electrical work shall be done in accordance with the relevant leading edge practice.

25. All electrical work shall be done in accordance with the relevant state of the art practice.

26. All electrical work shall be done in accordance with the relevant current practice.

27. All electrical work shall be done in accordance with the relevant modern practice.

28. All electrical work shall be done in accordance with the relevant advanced practice.

29. All electrical work shall be done in accordance with the relevant cutting edge practice.

30. All electrical work shall be done in accordance with the relevant leading edge practice.

31. All electrical work shall be done in accordance with the relevant state of the art practice.

32. All electrical work shall be done in accordance with the relevant current practice.

33. All electrical work shall be done in accordance with the relevant modern practice.

34. All electrical work shall be done in accordance with the relevant advanced practice.

35. All electrical work shall be done in accordance with the relevant cutting edge practice.

36. All electrical work shall be done in accordance with the relevant leading edge practice.

37. All electrical work shall be done in accordance with the relevant state of the art practice.

38. All electrical work shall be done in accordance with the relevant current practice.

39. All electrical work shall be done in accordance with the relevant modern practice.

40. All electrical work shall be done in accordance with the relevant advanced practice.

41. All electrical work shall be done in accordance with the relevant cutting edge practice.

42. All electrical work shall be done in accordance with the relevant leading edge practice.

43. All electrical work shall be done in accordance with the relevant state of the art practice.

44. All electrical work shall be done in accordance with the relevant current practice.

45. All electrical work shall be done in accordance with the relevant modern practice.

46. All electrical work shall be done in accordance with the relevant advanced practice.

47. All electrical work shall be done in accordance with the relevant cutting edge practice.

48. All electrical work shall be done in accordance with the relevant leading edge practice.

49. All electrical work shall be done in accordance with the relevant state of the art practice.

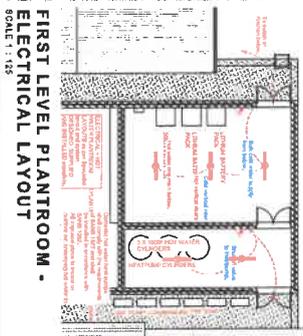
50. All electrical work shall be done in accordance with the relevant current practice.

**MUNICIPALITEIT GEORGE MUNICIPALITY**

Approved in terms of Section 60 of the Governance Act 2013, in terms of the Municipal Council's Resolution No. 12/2013, and in terms of the Municipal Council's Resolution No. 13/2013, the conditions contained in the overlying

DATE: 06/03/2016  
DATING: 06/03/2016

SENIOR MANAGER: TOWN PLANNING  
SENIOR BESTURDER: STAATSPLANNING



FIRST LEVEL PLANTROOM - ELECTRICAL LAYOUT  
SCALE: 1:125

**PROJECT INFORMATION**

PROJECT TITLE: FARM 20/1155 GEORGE PROPOSED NEW FEAL CARE FACILITY FOR JURA CARE

CLIENT: JURA CARE

ARCHITECT: A B C X I ARCHITECTS

SCALE: 1:125

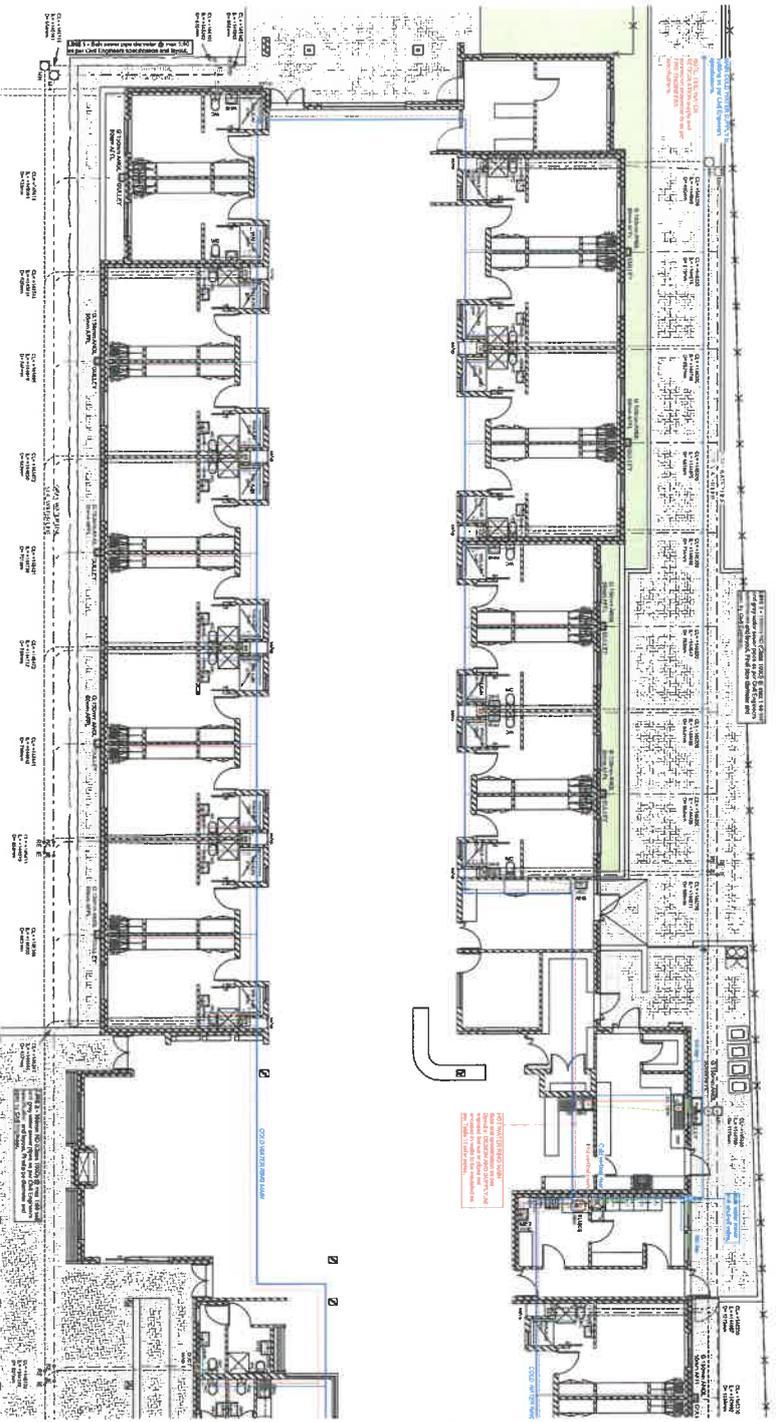
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PROJECT NO: 2227

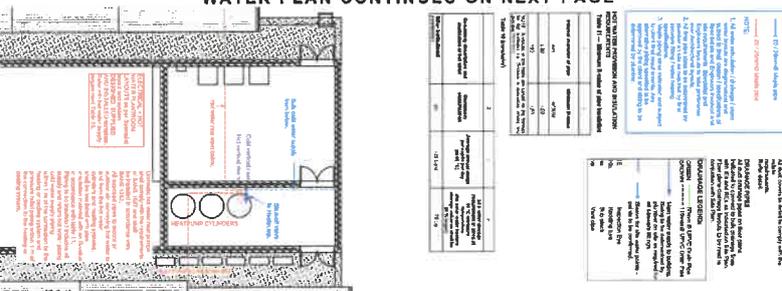
REVISION: M008

DATE: 03/03/2016

PROJECT NO: 3

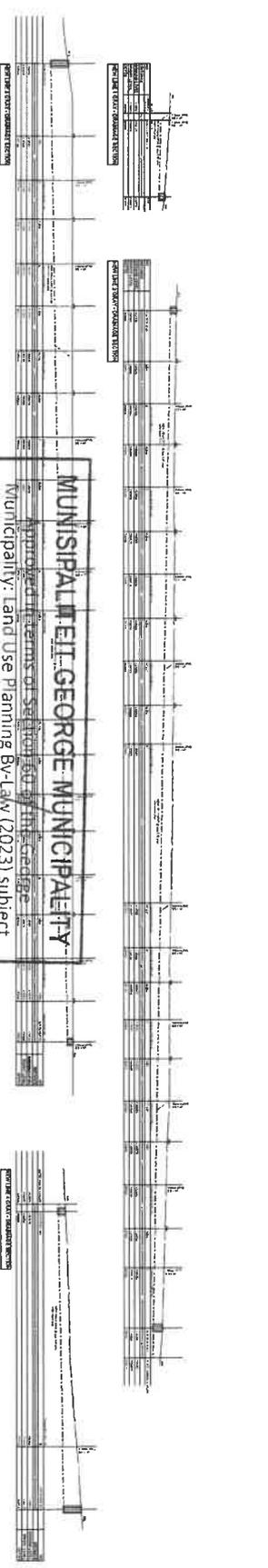


**GROUND FLOOR PLAN 01 - WATER + DRAINAGE LAYOUT**  
SCALE 1 : 100



**FIRST LEVEL PLANTROOM - WATER + DRAINAGE LAYOUT**  
SCALE 1 : 100

WATER PLAN CONTINUES ON NEXT PAGE



**GREY WATER DRAINAGE SECTION**  
SCALE 1 : 200

**MUNICIPALITEIT GEORGE MUNICIPALITY**  
Approved in terms of Section 60 of the Strategic  
Municipality Land Use Planning By-Law (2023) subject  
to the conditions contained in the covering letter.

DATE: 06/03/2026  
DATUM:

SENIOR MANAGER: TOWN PLANNING  
SENIOR BESTUURDER: STADS BEPLANNING

**GENERAL NOTES**

1. All dimensions are in millimeters unless otherwise stated.
2. All work shall be in accordance with the relevant South African Standards (SANS) and other applicable standards.
3. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.
4. The contractor shall ensure that all work is completed in accordance with the approved drawings and specifications.
5. The contractor shall maintain access to all existing services and structures throughout the project.
6. The contractor shall be responsible for the removal and disposal of all waste materials in accordance with applicable regulations.
7. The contractor shall ensure that all work is completed within the agreed time frame and budget.
8. The contractor shall provide a detailed programme of work and a list of materials to be used.
9. The contractor shall ensure that all work is completed in a safe and sound manner.
10. The contractor shall be responsible for the protection of all existing services and structures.
11. The contractor shall ensure that all work is completed in accordance with the approved drawings and specifications.
12. The contractor shall be responsible for the removal and disposal of all waste materials in accordance with applicable regulations.
13. The contractor shall ensure that all work is completed within the agreed time frame and budget.
14. The contractor shall provide a detailed programme of work and a list of materials to be used.
15. The contractor shall ensure that all work is completed in a safe and sound manner.

**DRAINAGE NOTES**

1. All drainage pipes shall be in accordance with SANS 10400-1-2012.
2. All drainage pipes shall be installed in accordance with the approved drawings and specifications.
3. The contractor shall ensure that all drainage pipes are installed in a safe and sound manner.
4. The contractor shall be responsible for the removal and disposal of all waste materials in accordance with applicable regulations.
5. The contractor shall ensure that all work is completed within the agreed time frame and budget.
6. The contractor shall provide a detailed programme of work and a list of materials to be used.
7. The contractor shall ensure that all work is completed in a safe and sound manner.

**PROJECT TITLE**  
FARM 201/55 GEORGE - PROPOSED NEW FERAL CARE FACILITY FOR JUNIA CARE

**CLIENT**  
JUNIA CARE

**DESIGNED BY**  
A B C K I ARCHITECTS

**SCALE**  
AS SHOWN

**DATE**  
2025/03/01

**DRAWN BY**  
JF

**CHECKED BY**  
BO

**DATE**  
2025/03/01

**PROJECT NO.**  
2227

**DRAWING NO.**  
M009

**SHEET NO.**  
3

**DATE**  
2025/03/01

**SCALE**  
AS SHOWN

**PROJECT TITLE**  
FARM 201/55 GEORGE - PROPOSED NEW FERAL CARE FACILITY FOR JUNIA CARE

**CLIENT**  
JUNIA CARE

**DESIGNED BY**  
A B C K I ARCHITECTS

**SCALE**  
AS SHOWN

**DATE**  
2025/03/01

**DRAWN BY**  
JF

**CHECKED BY**  
BO

**DATE**  
2025/03/01

**PROJECT NO.**  
2227

**DRAWING NO.**  
M009

**SHEET NO.**  
3

**DATE**  
2025/03/01

**SCALE**  
AS SHOWN

