



The Municipal Manager
P O Box 19
George
6530

Reference: Erf 6525 George

26 February 2026

Sir

APPLICATION FOR PERMANENT DEPARTURE (RELAXATION OF BUILDING LINES): ERF 6525 GEORGE

Attached hereto, please find an application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the following building lines on Erf 6525 George:

- the eastern side boundary building line from 3.0 metres to 0.0 metres to accommodate the conversion of the servant's room into an existing second dwelling unit.
- the rear boundary building line from 3.0 metres to 0.0 metres to accommodate the conversion of the servant's room into an existing second dwelling unit.

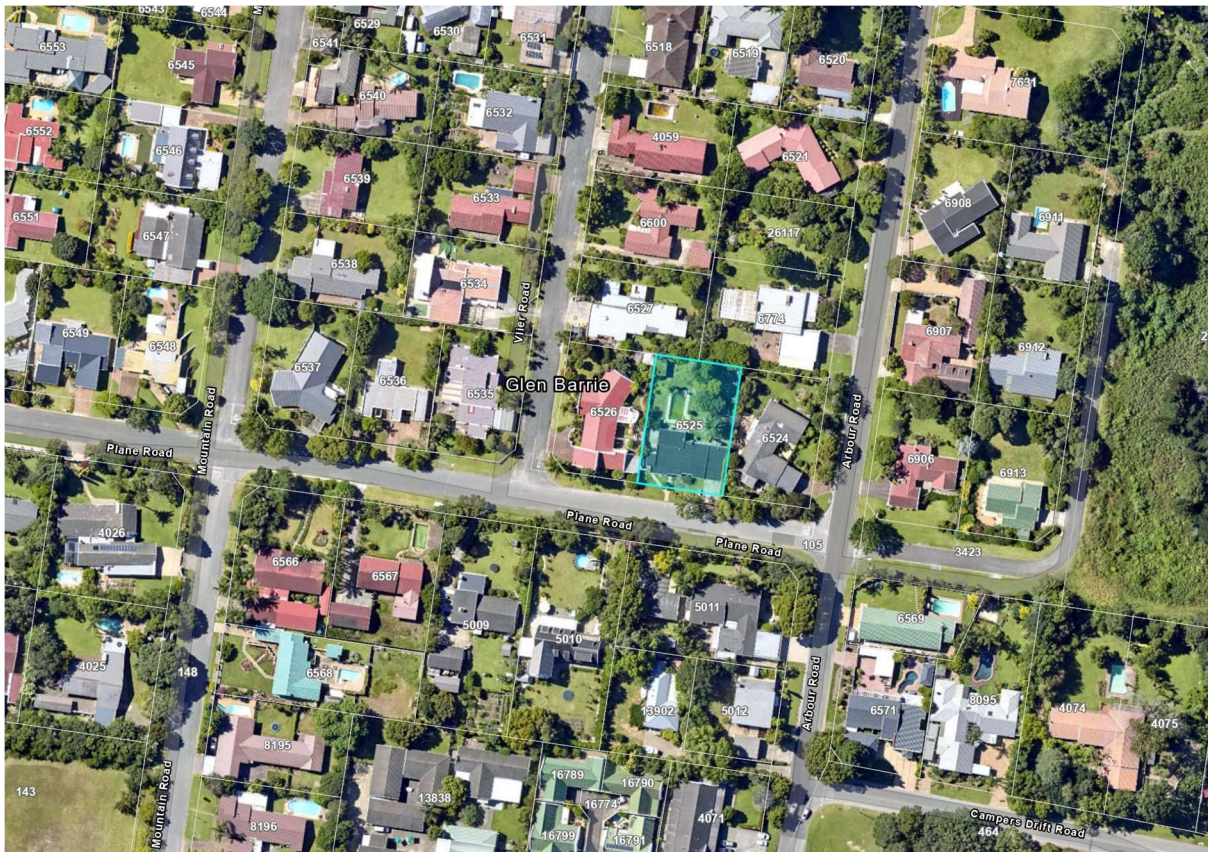
Your prompt consideration of the application will be appreciated.

Thanking you in anticipation.

Jan Vrolijk

MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURE (RELAXATION OF BUILDING LINES)
ERF 6525 GEORGE

26 February 2026



Prepared for:

S Hayman
4 Pine Road
Glen Barrie
George
6529

Prepared by:

Jan Vrolijk Town Planner/Stadsbeplanner
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SACPLAN Registration No A/1386/2011

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MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURE (RELAXATION OF BUILDING LINES)
ERF 6525 GEORGE

1. APPLICATION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the following building lines on Erf 6525 George:

- the eastern side boundary building line from 3.0 metres to 0.0 metres to accommodate the conversion of the servant's room into an existing second dwelling unit.
- the rear boundary building line from 3.0 metres to 0.0 metres to accommodate the conversion of the servant's room into an existing second dwelling unit.

The proposed site plan and building plan in respect of the development on the application erf is attached hereto as **Annexure "A"**. The completed application form for the application for permanent departure is attached hereto as **Annexure "B"**.

2. DEVELOPMENT PROPOSAL

Erf 6525 George had initially been developed with a dwelling house, a garage, as well as an outbuilding, situated in the north-western corner of the erf and a servant's room in the north-eastern corner of the erf. The servant's room has subsequently, without authorisation, been converted into a second dwelling unit. Due to its dilapidated state, the outbuilding has recently been demolished.

The development on the erf is rounded off with a swimming pool which is located on the north-western side of the dwelling house, a garden, consisting of lawn, shrubs and trees, as well as paved areas.

The owner intends to upgrade the second dwelling by means of erecting a new en-suite bedroom and a lounge on the south-western side of the existing building.

The existing building is 54m² in extent and the additions will be 42m² in extent. The total floor area of the second dwelling unit will, therefore, be 96m². The existing building is situated on both the eastern and rear boundaries of the erf.

The proposed addition will be situated on the eastern boundary building line. An open parking bay in respect of the second dwelling unit will be provided on the paved area next to the existing garage.

The following photo shows the west and south elevations of the current second dwelling unit, which is situated on the rear and eastern erf boundaries, respectively.



The following photo shows the east elevation of the remainder of the demolished outbuilding.



The coverage and building lines applicable to a “dwelling house” are set out in a table in Schedule II of the George Integrated Zoning Scheme, 2023. The extent of the application erf is 1 258m². The street boundary building line applicable to a dwelling house on an erf greater than 1 000m², is 5.0 metres and the side and rear boundary building lines are 3.0 metres, whilst the coverage applicable is the larger of 500m² or 40% of the area of the erf.

The total floor area of the improvements on the application erf is 382m², which is lower than the maximum coverage allowed.

The existing second dwelling unit (converted servant’s room) transgresses the 3.0 metres eastern side and rear boundary building lines by 3.0 metres.

The mentioned transgressions are indicated on the copy of the proposed site plan and building plan which is attached hereto as **Annexure “A”**.

The purpose of this application is, therefore, to obtain approval of the permanent departure for the relaxation of the building lines as mentioned in point 1 of this motivation report to facilitate

the submission and approval of a building plan in respect of the proposed extension to the second dwelling unit.

3. PRE – APPLICATION CONSULTATION

A pre-application consultation was not requested as the proposal entails a permanent departure for the relaxation of building lines to accommodate the existing structure on the erf. This is in line with the e-mailed directive in this regard to various consultants by the Municipal Town Planners, which was issued by e-mail dated 10 May 2022.

4. GENERAL INFORMATION IN RESPECT OF ERF 6525 GEORGE

4.1 Locality

Erf 6525 George is situated at 4 Pine Road, Glen Barrie. The locality of the erf is indicated on the locality plan attached hereto as **Annexure “C”**.

4.2 Existing land use

The application erf is used for residential purposes.

4.3 Extent of erf

The total area of Erf 6525 George is 1 258m².

4.4 Present zoning

In terms of the George Integrated Zoning Scheme, 2023, the zoning of Erf 6525 George is Single Residential Zone I.

4.5 Surveyor General Diagram

The application erf forms part of General Plan No. 9128, Amending General Plan T.P. 7851, of Glen Barrie, approved by the Surveyor General on 15 May 1974. A copy of this General Plan is attached hereto as **Annexure “D”**.

4.6 Title Deed

Erf 6525 George is registered in the name of Samantha Hayman, Identity Number 750528 0117 08 7. A copy of Title Deed T6400/2016, the Title Deed of Erf 6525 George, is attached hereto as **Annexure “E”**.

4.7 Power of Attorney

A Power of Attorney, whereby Jan Vrolijk Town Planner / Stadsbeplanner is appointed by Samantha Hayman, the registered owner of Erf 6525 George, to prepare the application referred to in point 1 of this motivation report and to sign all relevant documents is attached hereto as **Annexure “F”**.

4.8 Bondholder’s consent

Erf 6525 George is not encumbered by a bond.

4.9 Conveyancer Certificate

A Conveyancer Certificate in respect of Erf 6525 George is attached hereto as **Annexure “G”**. The certificate confirms that there are no conditions in the Title Deed of the erf which prohibits the development of the erf as proposed in this application.

5. DESIRABILITY OF APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATIONS): ERF 6525 GEORGE

5.1 Introduction

Specific issues which must be addressed in the motivation of applications are highlighted in the Land Use Planning By-Law for George Municipality, 2023. These issues are, however, aimed at more complex applications and are not applicable to lesser applications, such as permanent departures for building line relaxations.

This application will therefore be motivated with reference to the following aspects:

- *Compatibility of the proposal with the existing planning and land uses of the surrounding area.*
- *The impact that the proposal will have on the environment.*
- *The impact that the proposal will have on traffic and parking in the surrounding area.*
- *The impact that the proposal will have on surrounding facilities such as schools, open spaces and other community facilities should the application result in an increase in the population of the area concerned.*
- *The impact that the proposal will have on the existing character of the surrounding area and the right of the inhabitants of the area in respect of erf values, privacy, view, sunlight, et cetera.*
- *Provision of essential services.*

5.2 Existing planning in the area

The application erf is situated north of Pine Road, to the west of the intersection of Pine Road and Arbour Road, in the south-east of Glen Barrie. The area surrounding Erf 6525 George has a predominantly single residential land use character, with dwelling houses and outbuildings, situated in neatly kept gardens.

The following aerial photo indicates the locality of Erf 6525 George, as well as the buildings situated on the erf, in relation to the surrounding area and buildings on adjacent erven. The outbuilding visible in the north-western corner of the erf has been demolished (refer to point 2 of this motivation report).



The aerial photo also shows that there are numerous erven in the vicinity of the application erf where buildings are located on the side or rear boundaries.

The current second dwelling unit (servant's room) on the application erf, which transgresses the eastern side and rear boundary building lines, appears on the 2016 aerial imaginary of the area and has, therefore, been in existence for many years. The existing building has formed part of the ambience of the area for a considerable period and as far as could be ascertained, no objections against the locality of the building have been lodged.

The definition of an “*outbuilding*” in Chapter 1 of the George Integrated zoning Scheme By-laws, 2023, reads as follows:

““outbuilding” means a structure, whether attached or separate from the main building, which is normally ancillary and subservient to the main building on a land unit, and includes a building which is designed to be used for the garaging of motor vehicles, and any other normal activities in so far as these are usually and reasonably required in connection with the main building, but does not include a second dwelling or habitable room”

Whilst the use of the existing building which is located on the erf boundaries of the application erf for the purposes of a servant's room, was, therefore, in line with the stipulation in this regard in the George Integrated zoning Scheme By-laws, 2023, the conversion of the building into a second dwelling unit, results in the converted building transgressing the building lines mentioned.

It is not intended to extend any portion of this building along the erf boundaries. The second dwelling unit will be extended by adding a new wing (containing a second en-suite bedroom and lounge), to the south-east of the current building. This new wing will be situated 3.0 metres from the eastern boundary and will, therefore, not transgress any of the building lines. As no extension of the building on the boundaries of the application erf are proposed in this application, the proposal will have no changing effect on the surrounding area.

The application erf will still be used for residential purposes as described in the land use description of a "dwelling house" in the George Integrated Zoning Scheme, 2023. The relaxation of the side boundary building lines, as proposed in this application, will therefore not establish an undesirable precedent and can be accommodated within the existing planning of the area concerned.

5.3 Impact on schools, open spaces and other community facilities

The proposal will not result in an increase in the number of inhabitants of the erf beyond that which is accommodated in the zoning of the erf. As such, the proposed relaxation of the building lines as applied for will not have an impact on schools, open spaces and other community facilities in the area.

This aspect is, therefore, not relevant to this application.

5.4 Impact on sunlight, view and privacy

The following aerial photo shows that the only erven which could be affected by the proposed relaxation of the eastern side and rear boundary building lines on the application erf, are Erf 6524

George, which is situated to the east of the application erf and Erf 6774 George, which is situated to the north of the application erf.



As the Outeniqua Mountain range is situated to the north of Glen Barrie, the application erf is not situated directly in the line-of-sight northwards from either Erf 6774 George or Erf 6524 George and the development on the application erf does not impact negatively on the view from the 2 erven mentioned.

The aerial photo also shows that the north-eastern corner of the application erf, where the second dwelling unit is located, is situated opposite garden areas of the adjacent erven and not directly opposite the dwelling houses. The existing second dwelling unit is, therefore, hidden from view from the adjacent erven by the boundary wall and large trees and shrubs on the communal boundary between the erven. These trees and shrubs are also visible on the photos of the western and southern elevations of the existing building in point 2 of this motivation report.

It is further clear from the 2 photos that, due to the limited height of the mono-pitched roof of the existing second dwelling unit, the roof is only slightly higher than the communal wall between the respective erven.

It is clear from the motivation in this point, that the proposed relaxation of the building lines on the application erf to accommodate the existing second dwelling unit, can have no negative impact on sunlight, view or privacy in respect of any adjacent erf.

5.5 Impact on streetscape

The following photo shows the street elevation of the erf.



The building line relaxations proposed in this application will have no impact on the street elevation, as the existing second dwelling unit is situated “behind” the dwelling house and is not visible from Pine Road.

The proposed relaxation of the building lines can, therefore, not have a negative impact on the streetscape in the vicinity of the application erf.

5.6 Impact on erf values

As indicated in the previous paragraphs, the improvements in respect of which the building line relaxations are required do not have a negative impact on any of the surrounding properties. The outside finish of the structure is of good quality and fits in with the residential character of the area. The improvements described add value to the utilization of the erf and represent a substantial capital investment by the owner.

The value of surrounding properties can, therefore, not be negatively impacted upon by the relaxation of the building line as proposed in this application.

5.7 Impact on the provision of parking

The parking requirements applicable to different land uses are set out in a table entitled “Minimum off-street parking requirements” in Section 42 of the George Integrated Zoning Scheme By-Law, 2023.

In respect of a dwelling house on an erf larger than 350m², 2 parking bays are required, and 1 parking bay is required in respect of a second dwelling unit. Being larger than 350m², 3 parking bays are, therefore, required in respect of the development on the application erf. As indicated on the photo in point 5.5 of this motivation report and on the proposed site and building plan attached hereto as **Annexure “A”**, a single garage is provided in the eastern side of the dwelling house. In addition to the garage, the existing open paved area south of the garage is wide enough to accommodate 2 vehicles, without any changes to the current situation. The required on-site parking bays in respect of both the dwelling house and second dwelling unit can, therefore, be provided on the application erf.

The proposal as described in this motivation report, therefore, has no influence on the provision of parking, as the 3 parking bays required in respect of a dwelling house and second dwelling unit can still be provided. The provision of on-site parking can, therefore, not be negatively impacted upon by the relaxation of the building lines as proposed in this application.

5.8 Impact on traffic circulation

The improvements described in this application will not alter the position of the existing vehicular access to the erf. The existing second dwelling unit which transgresses the building lines is situated “behind” the dwelling house and not near the Pine Road building line and is not even visible from the street. The proposed relaxation of the mentioned building lines can thus have no negative impact on sight-distances in any direction in the street. The proposed relaxation of the building lines will not result in the generation of more traffic.

The building line relaxations as proposed in this application will, therefore, not have any negative impact on the traffic situation in Pine Road.

5.9 Provision of services

The existing development on the application erf has been connected to the municipal services in the area and the building line relaxations as proposed in this application will not have any negative impact on the existing services or the provision of services. The proposal will thus not result in infrastructure costs to any external parties and will thus not place any burden on the municipal budget for the provision services infrastructure.

5.10 Firefighting

The firefighting requirements stipulated in the fire-regulations will not be negatively impacted upon as the application erf will still be fully accessible for fire-fighting purposes.

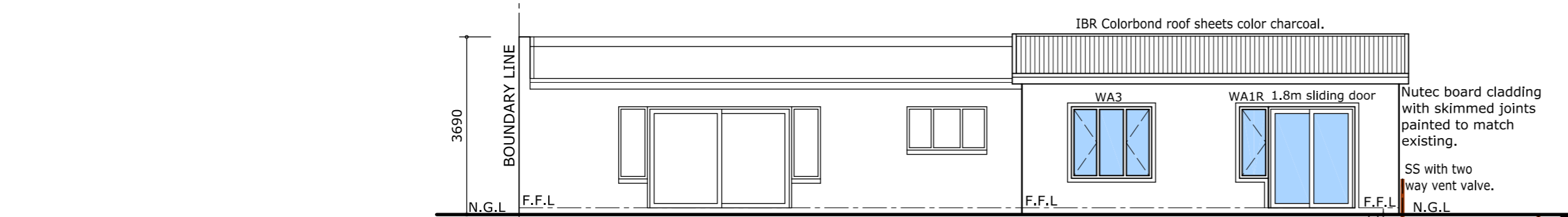
6. CONCLUSION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the eastern side - and rear boundary building lines on Erf 6525 George from 3.0 metres to 0.0 metres to accommodate the conversion of the servant’s room into an existing second dwelling unit.

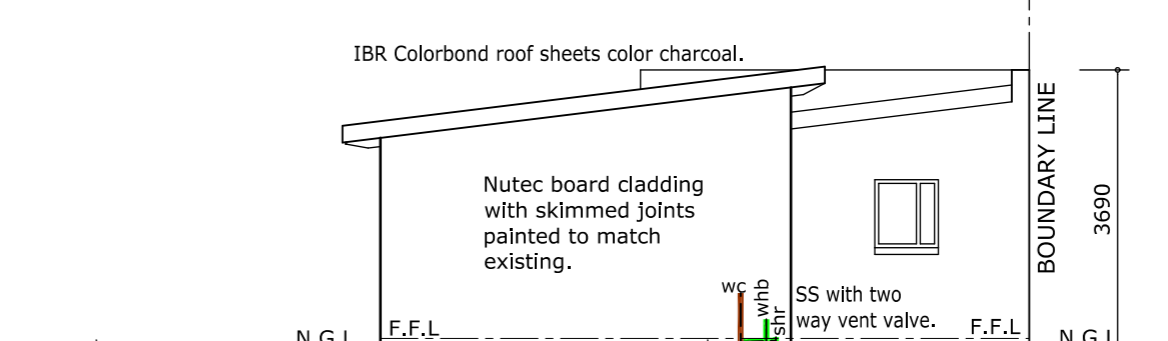
The proposed permanent departure for the relaxation of the mentioned building lines on Erf 6525 George will not have a negative impact on development, public facilities or traffic circulation in the surrounding area.

The application conforms with the prescriptions contained in the Land Use Planning By-Law for George Municipality, 2023 and is submitted for consideration in accordance with the relevant stipulations of the By-Law mentioned.

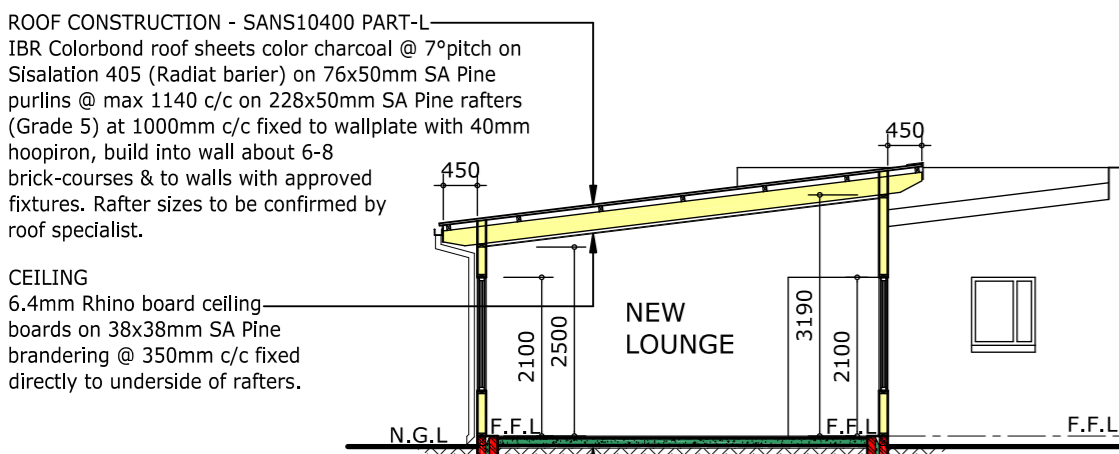
ANNEXURE "A" - PROPOSED SITE PLAN AND BUILDING PLAN



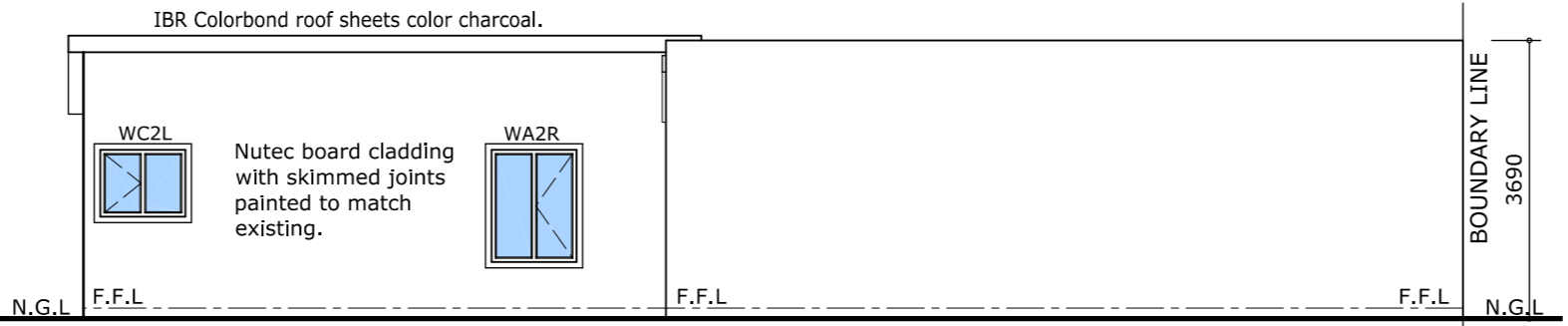
WEST ELEVATION
scale 1:100



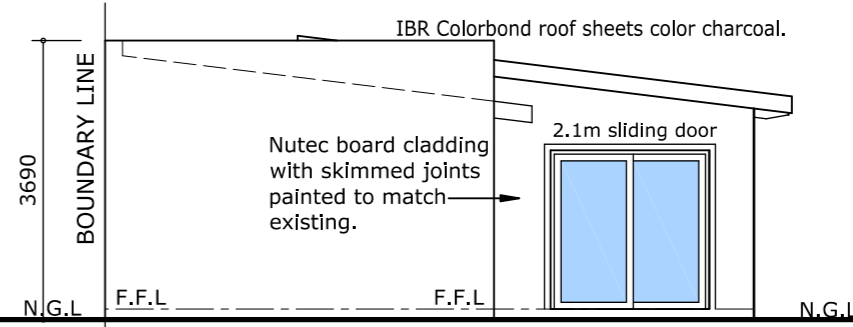
SOUTH ELEVATION
scale 1:100



SECTION A-A
scale 1:100



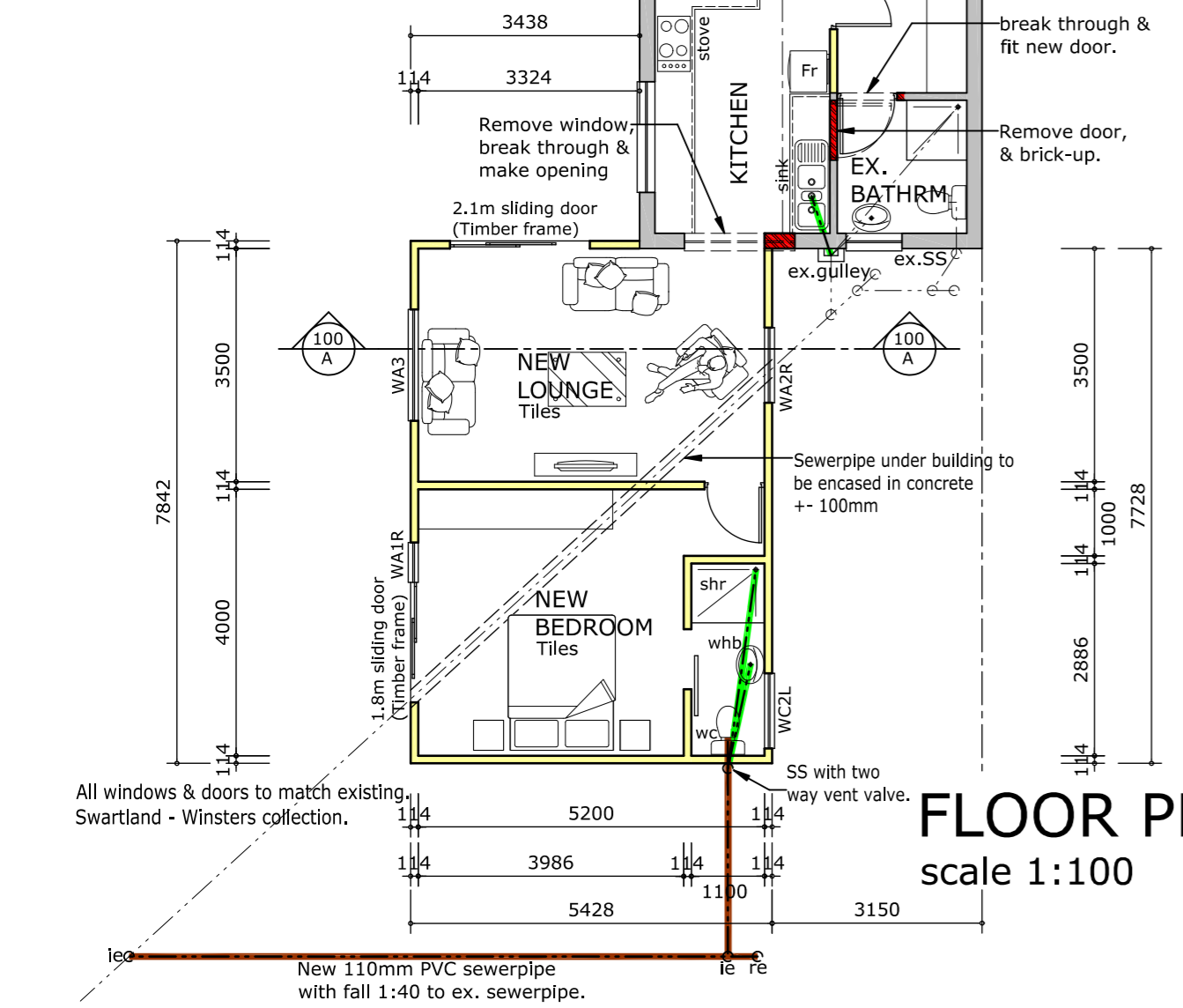
EAST ELEVATION
scale 1:100



NORTH ELEVATION
scale 1:100

FLOOR CONSTRUCTION - SANS10400 PART-J
Floor finish on 25mm sand cement screed on 100mm concrete surface bed on 250 micron DPC membrane on 30mm sandbed on well compacted earth fill in layers of 150mm.

- DRAINAGE INSTALLATION**
- Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.21).
 - Drainage Installation to comply with SANS 10400 Part P.
 - Drainage installations under building work must be installed in terms of Part P of SANS 10400 (4.19.4).
 - Drainage installations under building work must be protected in terms of Part P of SANS 10400 (4.22.2).
 - All existing drainage as per previous approved plan.



FLOOR PLAN
scale 1:100

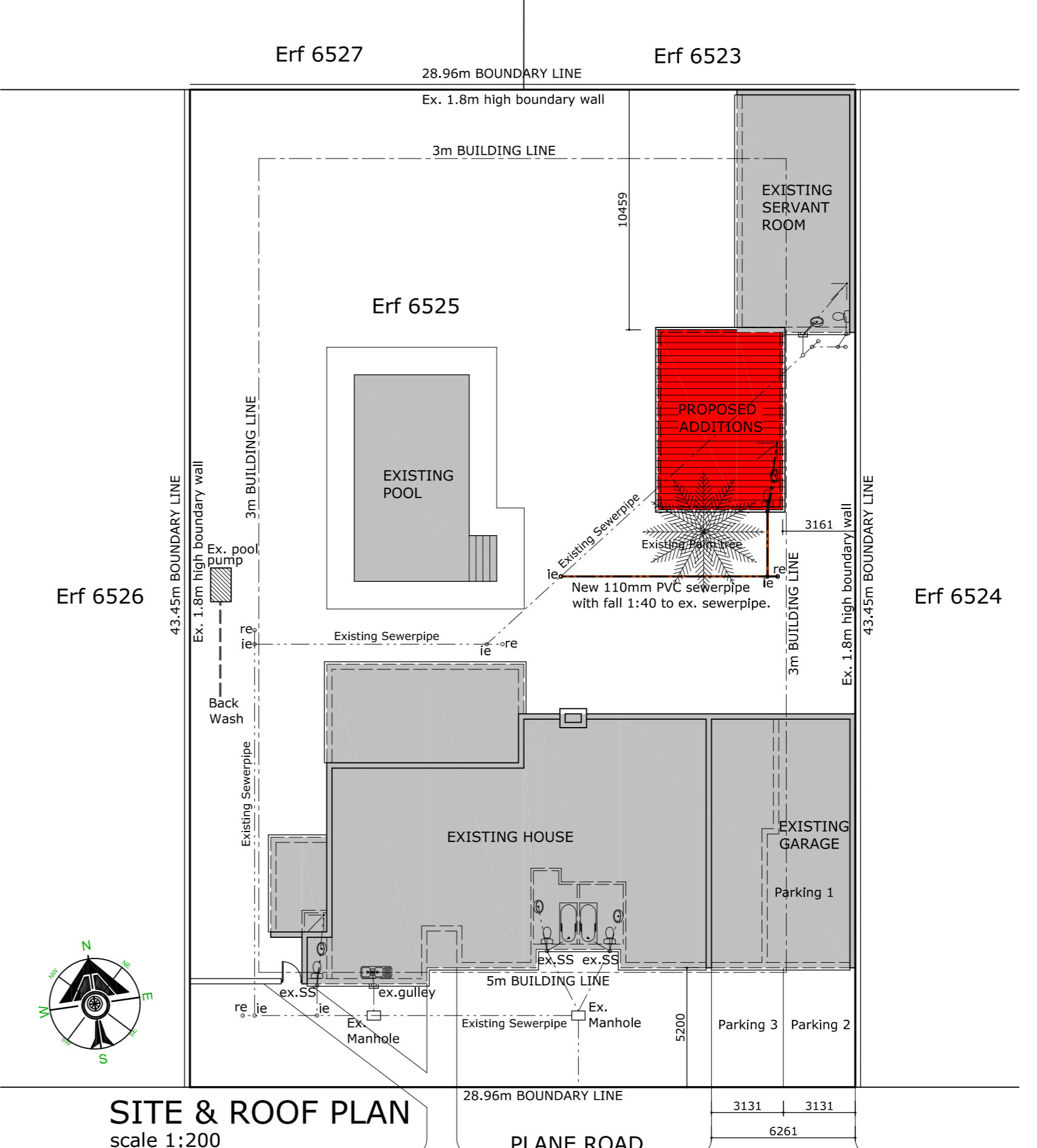
EXTERNAL DRYWALLS
114x38mm SA Pine vertical studs @ 400mm c/c with horizontal bracing. 6mm Nutec board cladding on the inside & 9mm Nutec board cladding (Skimmed joints) on Sisalation 405 (Radiat barrier) on OSB board fixed to frame. ISOVER 100mm "aerolite" R Value = 2.7 Insulation in drywalls. Timber frame to comply with SANS 10082 Table 12 & with SANS 10400 Part K 4.3.

INTERNAL DRYWALLS
114x38mm SA Pine vertical studs @ 400mm c/c with horizontal bracing. 6mm Nutec board cladding on both side's. Timber frame to comply with SANS 10082 table 12 & with SANS 10400 Part K 4.3.

NOTE:
ALL TIMBER WORK MUST COMPLY WITH NBR 082 REQUIRMENTS, SANS 10082 & SANS 10400 Part K 4.3.

Areas:

Area of erf:	1258m ²
Area of Ex. House:	246m ²
Area of Ex. Garage:	40m ²
Area of Ex. Outbuilding (Servant room):	54m ²
New Area:	
Area of Additions:	42m ²
Total Area's:	382m ²
Coverage:	30%



SITE & ROOF PLAN
scale 1:200

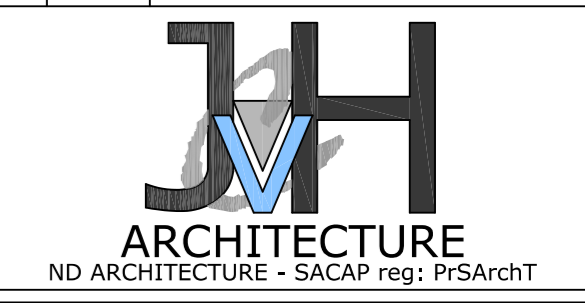
NOTES.
PROPERTY OF THE ARCHITECT

ALL RELEVANT DETAILS, LEVELS AND DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ERRORS RESULTING FROM MISINTERPRETATION OF THE DRAWINGS. ALL DIMENSIONS ARE GIVEN IN MILLIMETERS

GENERAL SPECIFICATIONS :
Registered plumber & electrician must provide a certificate of compliance before occupancy certificate can be issued by the Local Authority.

REVISIONS

REV	DATE	DESCRIPTION
...	00/00/00



In association with



DAVIAN AMERICA
CAD 41333270
53 HIBUSCUS STREET
PACALTSDORP
GEORGE
TEL: 084 393 9531
EMAIL: djmdraughting11@gmail.com

CLIENT: **S. HAYMAN**

PROJECT:
ADDITIONS ON ERF 6525, GLEN BARRIE, GEORGE.

DRAWING:
FLOOR PLAN, ELEVATIONS, SECTION & SITE PLAN.

SCALE: **1:100 / 1:200** DATE: **23 Jan. 2026**

DRAWN: **DJM** CHECKED: **JCVH**

DRAWING NO. **DJM 74-2025** SHEETS **1 OF 1**

ANNEXURE "B" - APPLICATION FORM



**PLANNING AND DEVELOPMENT
APPLICATION FORM FOR CONSENT USE FOR A SECOND
DWELLING/ADDITIONAL DWELLING AND/OR DEPARTURE**

(Please complete the form in full for consideration - tick appropriate boxes with X)

BUILDING LINE RELAXATION	<input checked="" type="checkbox"/>	SECOND DWELLING	<input type="checkbox"/>	ADDITIONAL DWELLING	<input type="checkbox"/>
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PROPERTY DETAILS

ERF NUMBER	6525	EXTENSION/A REA	Glen Barrie
ZONING	Single Residential Zone I		
EXISTING LAND USE	Residential		

CORRESPONDENCE DETAILS

IS THE APPLICANT ALSO THE REGISTERED OWNER OF THE RELEVANT PROPERTY?					YES	NO	
ADDRESS CORRESPONDENCE TO			OWNER	APPLICANT	POST OR E-MAIL	POST	E-MAIL
COLLECT BY HAND	YES	<input checked="" type="checkbox"/>	TELEPHONE NO	082 464 7871			

OWNER DETAILS

OWNER NAME	Samantha Hayman.					
STREET NAME	Pine Road	HOUSE NUMBER	4			
POSTAL ADDRESS	4 Pine Road, George	SAME AS POSTAL ADDRESS	YES	<input checked="" type="checkbox"/>	NO	
EXTENSION/AREA	Glen Barrie	CODE	6529			
ID NUMBER	750528 0117 08 7	E-MAIL ADDRESS	samhayman10@gmail.com			
TELEPHONE NO	N/a	CELL NO	082 465 5015			

APPLICANT DETAILS (strike through if registered owner is also the applicant)

NAME	Jan Vrolijk Town Planner / Stadsbeplanner					
STREET NAME	Victoria Street	HOUSE NUMBER	-			
POSTAL ADDRESS	P. O. Box 710	SAME AS POSTAL ADDRESS	YES	<input checked="" type="checkbox"/>	NO	
EXTENSION/AREA	George CBD	CODE	6530			
TEL / CELL NO	082 464 7871	E-MAIL ADDRESS	janvrolijk@jvtownplanner.co.za			
PROFESSIONAL CAPACITY	Town Planner	SACPLAN NO	A/1386/2010			

BOND HOLDERS DETAILS (Only applicable if property is encumbered by a bond)

IS THE PROPERTY ENCUMBERED BY A BOND?					YES	NO
NAME OF BOND HOLDER	N/a					

TITLE DEED DETAILS

TITLE DEED NO.	T23602/2012		
ARE THERE RESTRICTIONS IN THE TITLE DEED WHICH IMPACT THE APPLICATION? (If yes, describe restrictions below)	YES	NO	
N/a			


APPLICATION DETAILS

DESCRIPTION OF BUILDING LINE RELAXATION (STREET / LATERAL / REAR BUILDING LINE)	FROM M	TO M	DETAILS
Eastern side boundary building line	3.0m	0.0m	To accommodate the conversion of the servant's room to an existing second dwelling unit.
Rear boundary building line	3.0m		
Is an application for an increase in coverage being applied for? (Indicate increase under details)	YES	NO	
Is an application for a 2 nd dwelling /additional dwelling being applied for? (indicate size under details)	YES	NO	

HOA/ ADJACENT OWNERS DETAILS (Consent letters as well as site plans to be signed by adjacent owners)

ERF NO	ADDRESS	NAME	CONSENT LETTER ATTACHED
To be advertised	To be advertised	To be advertised	YES /NO

I hereby acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.

APPLICANT'S SIGNATURE		DATE	26 February 2026
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FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:

Locality Plan	Building Plan/ Site Plan on A3/ A4	SG Diagram/ General Plan	Title Deed
Power of Attorney	Motivation	Neighbours Consent / Comment	HOA Consent
Bond Holder Consent	Proof of Payment	Conveyance Certificate	Other (Specify)

ANNEXURE "C" - LOCALITY PLAN

Erf 6525 George - Locality plan



Date: 1/15/2026 8:29 AM

Scale: 1:1,388



Disclaimer
George Municipality makes no warranties as to the correctness of the information supplied.
Persons relying on this information do so entirely at their own risk.

George Municipality will not be liable for any claims whatsoever, whether for damages or otherwise, which may arise as a result of inaccuracies in the information supplied.

ANNEXURE "D" – SURVEYOR GENERAL DIAGRAM

TP
GENERAL PLAN No. 9128.
AMENDING GENERAL PLAN T.P. 7851

comprising 83 Erven designated 6489-6571, George
 superseding Erven 4004, 4005, 4008-4019, 4028-4058, 4060-4065,
 4072 & 4073 as shown on Amending General Plan T.P. 7851 situate
 in Glenbarrie Township, Municipality and Administrative District of George,
 Province of Cape of Good Hope.



S.G. No. 11086/73

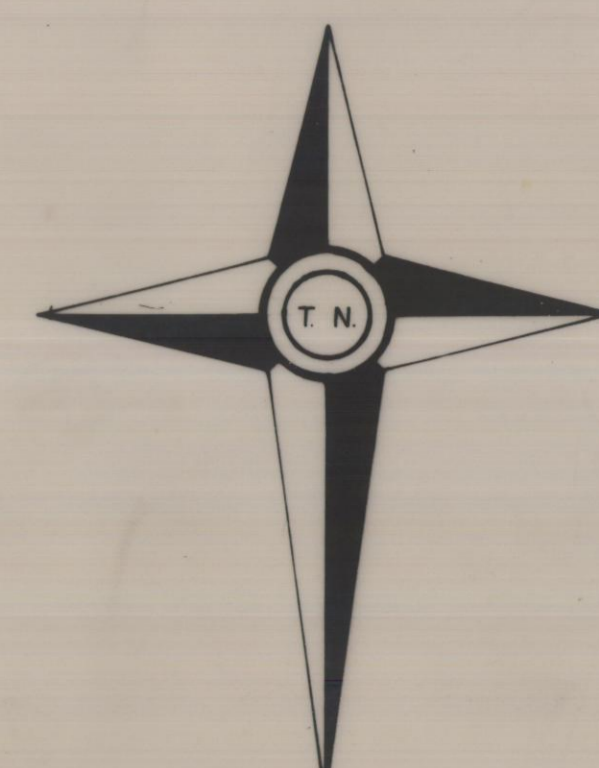
Approved

K. J. ...
 SURVEYOR - GENERAL
 15-5-1974



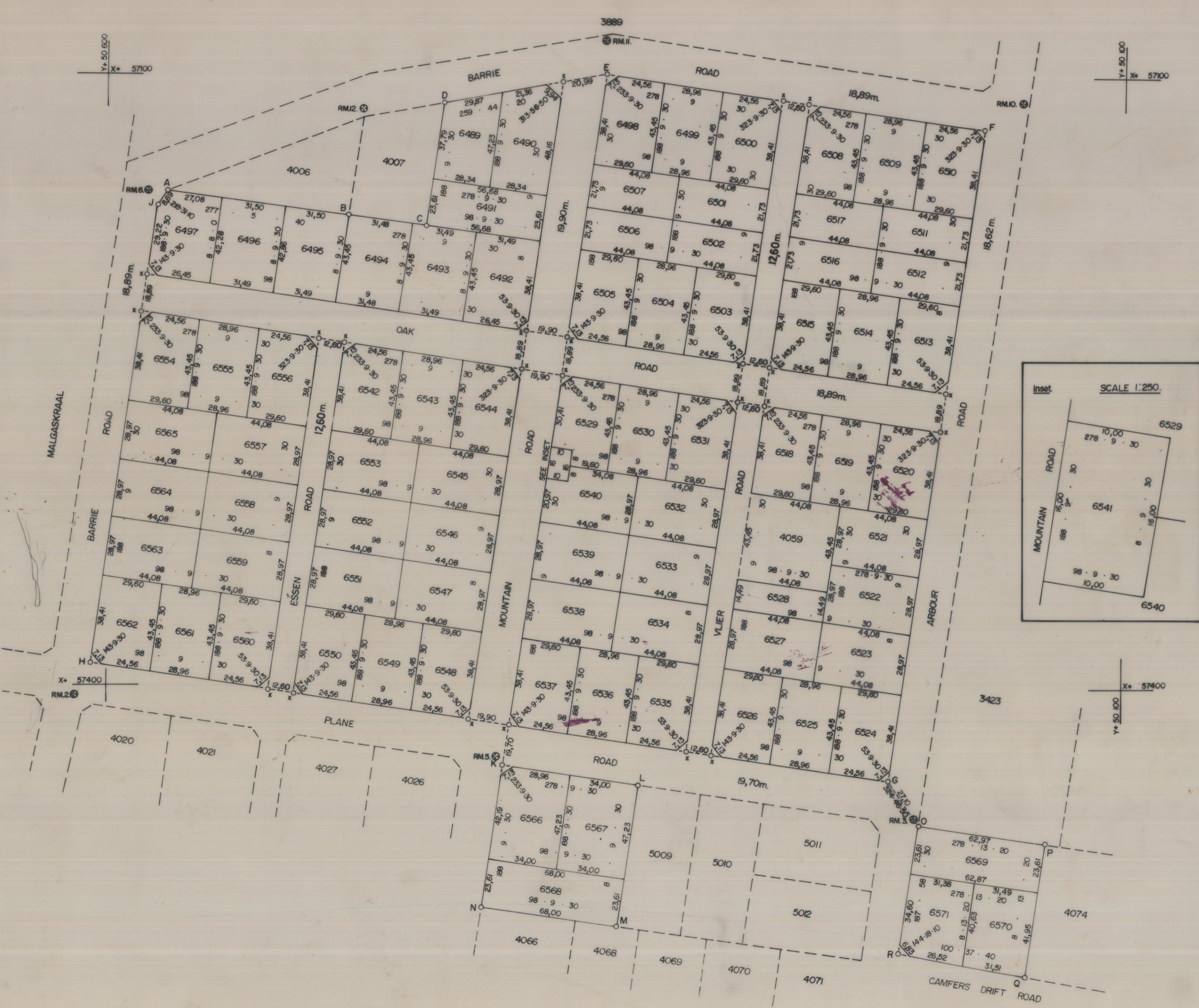
ADMINISTRATOR'S APPROVAL: 31/1/46 DATED 13/9/73

NOTIFIED AS AN APPROVED TOWNSHIP.
 NOTICE NO. 881 DATED 6-9-1974
 OFFICIAL GAZETTE NO. 3796



SCALE 1:1250.

9128 C.D.R.



SIDES Metres	DIRECTIONS	FIGURE	
		CO-ORDINATES System	Lo 23°
AB 30,08	277° 5' 40"	A + 50 000,00	+ 3 757 000,00
BC 37,76	278° 9' 30"	B + 481,73	+ 157,69
CD 61,40	188° 9' 30"	C + 444,33	+ 174,17
DE 80,72	259° 44' 20"	D + 435,62	+ 113,39
EF 168,52	276° 9' 30"	E + 356,19	+ 99,08
FG 323,04	8° 9' 30"	F + 169,19	+ 125,83
GH 357,74	28° 9' 30"	G + 216,03	+ 148,60
HJ 226,96	188° 9' 30"	H + 629,74	+ 386,40
JA 8,69	218° 51' 10"	J + 576,53	+ 164,49
KL 68,00	278° 9' 30"	K + 404,83	+ 438,29
LM 70,84	8° 9' 30"	L + 337,51	+ 447,94
MN 68,00	98° 9' 30"	M + 347,56	+ 518,06
NK 70,84	188° 9' 30"	N + 414,88	+ 508,41
OP 62,97	278° 13' 20"	O + 199,40	+ 467,76
PQ 65,56	8° 13' 20"	P + 137,08	+ 476,74
QR 62,75	100° 37' 40"	Q + 146,46	+ 541,63
RD 62,53	187° 58' 30"	R + 206,73	+ 530,06

BLOCK CORNERS

6490x	+ 376,85	+ 102,75
6492x	+ 394,40	+ 225,22
6497x	+ 581,40	+ 198,41
6500x	+ 268,92	+ 111,53
6503x	+ 287,42	+ 240,56
6505x	+ 374,69	+ 228,05
6508x	+ 256,46	+ 113,30
6511x	+ 187,69	+ 254,96
6515x	+ 274,96	+ 245,35
6518x	+ 277,64	+ 261,05
6520x	+ 190,37	+ 273,56
6526x	+ 305,30	+ 433,09
6529x	+ 377,37	+ 246,75
6531x	+ 290,14	+ 259,25
6535x	+ 314,78	+ 431,30
6537x	+ 428,03	+ 418,79
6542x	+ 484,35	+ 231,41
6544x	+ 397,08	+ 243,92
6548x	+ 461,74	+ 415,97
6550x	+ 506,01	+ 403,45
6554x	+ 584,08	+ 217,11
6556x	+ 496,81	+ 229,62
6562x	+ 521,47	+ 401,67

REFERENCE MARKS

RM. 2	+ 614,67	+ 405,03
RM. 3	+ 301,79	+ 484,25
RM. 4	+ 402,92	+ 424,73
RM. 5	+ 578,17	+ 157,43
RM. 6	+ 151,37	+ 115,48
RM. 11	+ 351,07	+ 82,99
RM. 12	+ 474,29	+ 116,92

Erf No.	AREA - SQUARE METRES	Erf No.	AREA - SQUARE METRES
6489	1 205	6531	273
6490	438	6532	277
6491	338	6533	277
6492	356	6535	273
6493	368	6536	258
6494	358	6537	273
6495	359	6538	277
6496	342	6539	277
6497	292	6540	197
6498	273	6541	180
6499	258	6542	273
6500	273	6543	258
6501	258	6544	273
6502	258	6545	277
6503	273	6546	273
6504	258	6547	277
6505	273	6548	273
6506	258	6549	258
6507	258	6550	273
6508	273	6551	277
6509	258	6552	277
6510	273	6553	277
6511	258	6554	273
6512	258	6555	258
6513	273	6556	273
6514	258	6557	277
6515	258	6558	277
6516	258	6559	277
6517	273	6560	277
6518	258	6561	258
6519	273	6562	273
6520	277	6563	277
6521	277	6564	277
6522	277	6565	277
6523	277	6566	258
6524	277	6567	606
6525	273	6568	608
6526	639	6569	488
6527	193	6570	300
6528	258	6571	240
6529	258		

CO-ORDINATES OF TRIG BEACONS.

System	Lo 23°	
	Y	X
Stoi A	+ 46 649,41	+ 59 980,32
Stoi B	+ 50 786,27	+ 59 472,47

SPRAYS: All sprays are 5,04m, except the following:
 Erf 6490 spray is 8,50m.
 Erf 6571 4,72m.

BEACON DESCRIPTIONS: R, square concrete block 150 x 150mm.
 All others, round iron peg 450mm long.

REFERENCE MARKS: iron peg, 12mm. dia, in concrete underground.

Surveyed by me,
 SEPTEMBER - OCTOBER, 1973.
T. J. ...
 LAND SURVEYOR

File No. S/8775/65
 Survey Records No. E.2804/73
 Compilation BL-700/V4 (1736)
 Original Diagram No.

S.G. OFFICE NOTES
 Erven 6522 & 6523 have been consolidated, vide Erf 6714
 Erf 6528 consolidated vide Erf 6500
 Erf 6568 now represented by datum 1332/1978
 Erf 6570 included in consol. vide Erf 8552 Dgm. 1331/1978

ANNEXURE "E" - TITLE DEED

11

MILLERS INC
BEACON HOUSE
123 MEADE STREET
GEORGE
6530

	Amount	Office fee
Purchase price/Value	R. 1 850 000.00	R. 950.00
Mortgage capital Amount	R.	R.
Reason for exemption	Exempt i.t.o	
	Cat.	section. Art.

Prepared by me

M Goldie
CONVEYANCER
MADELEINE GOLDIE

DATA / VERIFY
26 FEB 2016
OLIVIER YOLANDI

T000006400 / 2016

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

FREDERIK VAN WYK JOOSTE

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney which said Power of Attorney was signed at GEORGE on 24 NOVEMBER 2015 granted to him by

ALETTE ERIKA GROTEPASS
Identity Number 610530 0143 08 9
Married out of community of property

DATA CAPTURED
19 FEB 2016
AYINGOFF N0720160

And the appearer declared that his said principal had, on 7 November 2015, truly and legally sold by Private Treaty, and that he, the said Appearer, in his capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

SAMANTHA HAYMAN
Identity Number 750528 0117 08 7
Unmarried

her Heirs, Executors, Administrators or Assigns, in full and free property

ERF 6525 GEORGE
IN THE MUNICIPALITY AND DIVISION OF GEORGE, PROVINCE OF THE
WESTERN CAPE

IN EXTENT 1258 (ONE THOUSAND TWO HUNDRED AND FIFTY EIGHT)
Square metres

FIRST transferred by Deed of Transfer No. T15779/1975 with General Plan No. TP 9128 relating thereto and held by Deed of Transfer No. T73248/2001 ✓

A. SUBJECT to the conditions contained in Deed of Grant dated 1 February 1887 (George Freeholds volume 17 no. 92), one of which reads as follows:

Subject however to all such duties and regulations as are already or shall in future be established with regard to such lands.

B. SUBJECT further to the following conditions contained in Deed of Transfer No. T15779/1975 imposed by the Administrator of the Cape of Good Hope in terms of Ordinance 33 of 1934 when approving of the establishment of Glenbarrie Township:

1. The owner of this erf shall without compensation, be obliged to allow electricity, telephone and television cables and/or wires and main and/or other waterpipes and the sewage and drainage including stormwater of any other erf or erven to be conveyed across this erf, if deemed necessary by the local or other statutory authority, and in such manner and position as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time for the purposes of constructing, altering, maintaining, removing or inspecting any works connected with the above.
2. The owner of this erf shall be obliged without compensation, to receive such material or permit such excavation of the erf as may be required to allow use of the full width of the street and provide a safe and proper slope to its bank owing to the difference between the levels of the street as finally constructed and the erf, unless he elects to build retaining walls to the satisfaction of and within a period to be determined by the local authority.
3. This erf shall be used only for such purposes as are permitted by the town planning scheme of the local authority and subject to the conditions and restrictions stipulated by the scheme.

WHEREFORE the said Appearer, renouncing all right and title which the said

ALETTE ERIKA GROTEPASS, Married as aforesaid

heretofore had to the premises, did in consequence also acknowledge her to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

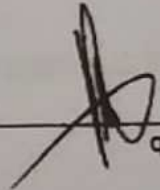
SAMANTHA HAYMAN, Unmarried

her Heirs, Executors, Administrators or Assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R1 850 000,00 (ONE MILLION EIGHT HUNDRED AND FIFTY THOUSAND RAND).

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

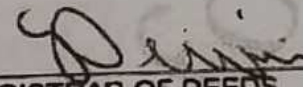
THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on 2015

11 FEB 2016



q.q.

In my presence



REGISTRAR OF DEEDS

MO
SN

ANNEXURE "F" - POWER OF ATTORNEY

POWER OF ATTORNEY

I, the undersigned

Samantha Hayman

the registered owner of

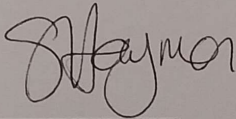
Erf 6525 George

do hereby appoint Jan Vrolijk Town Planner/Stadsbeplanner to prepare, sign and submit the following application to the George Municipality:

An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the following building lines on Erf 6525 George:

- *the eastern side boundary building line from 3.0 metres to 0.0 metres to accommodate the conversion of the servant's room into an existing second dwelling unit.*
- *the rear boundary building line from 3.0 metres to 0.0 metres to accommodate the conversion of the servant's room into an existing second dwelling unit.*

Signed at George on 20 February 2026



Samantha Hayman

ANNEXURE "G" - CONVEYANCER CERTIFICATE

CONVEYANCER'S CERTIFICATE

IN TERMS OF SECTION 38(1)(n) OF THE GEORGE MUNICIPALITY: LAND USE PLANNING BY LAW, 2023

ERF 6525 GEORGE

APPLICATION DETAILS

An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the following building lines on Erf 6525 George:

- the eastern side boundary building line from 3.0 metres to 0.0 metres to accommodate the conversion of the servant's room into an existing second dwelling unit.
- the rear boundary building line from 3.0 metres to 0.0 metres to accommodate the conversion of the servant's room into an existing second dwelling unit.

APPLICATION DATE

February 2026

I, the undersigned

ANDALEEN CHIMES a duly qualified and admitted Conveyancer, practicing at A Chimes & Van Wyk Attorneys, Cathedral Street, George do hereby certify as follows:

1. I have perused the following title Deed/s and conducted a search behind the pivot of the said title deed/s at the Deeds Office, Cape Town:

T6400/2016 (current Title Deed)

in respect of:

ERF 6525 GEORGE

**IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE**

IN EXTENT: 1 258 (ONE TWO FIVE EIGHT) SQUARE METRES

HELD BY DEED OF TRANSFER NUMBER T6400/2016

REGISTERED in the name of

Samantha Hayman

2. I have appraised myself with the details of the abovementioned Land Development Application.
3. The abovementioned Title Deed contains no conditions restricting the contemplated Land Use in terms of the abovementioned Land Development Application.
4. There is no bond registered over the property.

SIGNED at GEORGE on 20 February 2026



CONVEYANCER