



Stads- en Streekbeplanners
Town and Regional Planners

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13 March 2026

The Municipal Manager
P.O. Box 19
George
6530

Sir

PROPOSED REZONING AND PERMANENT DEPARTURES FOR ERF 9192,
SITUATED IN THE MUNICIPALITY AND ADMINISTRATIVE DISTRICT OF
GEORGE.

Duly authorized by the registered owner of Erf 9192, application is being made for the following in terms of the relevant Sections of the Land Use Planning By-Law of George Municipality, 2023:

1. Rezoning in terms of Section 15.(2)(a) of Erf 9192 from Single Residential Zone I (Dwelling House) to General Residential Zone I (Double Dwelling House); and
2. The following permanent departures in terms of Section 15.(2)(b):
 - 2.1. Departure from the requirement to permit a $\pm 12\%$ deviation in floor space between the proposed units;
 - 2.2. Relaxation of the northern rear boundary building line of proposed Unit 2 from 2.0m to ± 1.0 m for a portion of the existing structure; and
 - 2.3. Relaxation of the western lateral boundary building line of proposed Unit 2 from 3.0m to ± 1.1 m for a portion of the existing structure.

In support of the application, the following documentation is attached for your consideration:

- a) Application form fully completed and signed (**Annexure 1**);
- b) Power of Attorney by the Registered Owner (**Annexure 2**);
- c) Bondholders Consent by ABSA (**Annexure 3**);
- d) Motivation Report (**Annexure 4**);
- e) Copy of the Surveyor General Plan No. 1206/83 (**Annexure 5**);

In diens van die Suid-Kaap sedert 1985 – Kususela ngo 1985 – Serving the South Cape since 1985
Direkteur/Director: G.A. (Deon) Nel Pr. Pln A/520/1987 BA(Stel), M(S&S)(Stell).

- f) Plan No. G/GH/203-1 which includes a Locality Map (**Annexure 6**);
- g) Copy of approved building plans (**Annexure 7**);
- h) Proof of Payment will be provided in due course as it is made available to the applicant (**Annexure 8**);
- i) Copy of Title Deed T12644/2020 (**Annexure 9**);
- j) Conveyancer certificate by Herman Josias Swanepoel (**Annexure 10**); and
- k) Pre-Application feedback dd. 26 November 2025 (**Annexure 11**).

Should there be any ambiguity or additional information be required you are kindly requested to contact us.

Yours Sincerely

A handwritten signature in black ink, appearing to read 'Alexander Havenga', enclosed within a circular scribble.

Nel & de Kock Town and Regional Planners
Per: Alexander Havenga A/3313/2023



Application Form for Application(s) Submitted in terms of the Land Use Planning By-Law for George Municipality

NOTE: Please complete this form by using: Font: Calibri; Size: 11

PART A: APPLICANT DETAILS

First name(s)	Alexander					
Surname	Havenga					
SACPLAN Reg No. (if applicable)	Pr. Pln A/3313/2023					
Company name (if applicable)	Nel & de Kock Town and Regional Planners					
Postal Address	P.O. Box 1186,					
	George	Postal Code	6530			
Email	neldek@mweb.co.za					
Tel	044 874 5207	Fax	n/a		Cell	079 513 3530

PART B: REGISTERED OWNER(S) DETAILS (if different from applicant)

Registered owner	Catharina Mathilda Van Der Walt					
Address	73 Meyer Street					
	George	Postal code	6529			
E-mail	karin@vandwalt.co.za					
Tel	n/a	Fax	n/a		Cell	061 506 3327

PART C: PROPERTY DETAILS (in accordance with Title Deed)

Property Description [Erf / Erven / Portion(s) and Farm number(s), allotment area.]	Erf 9192, George					
Physical Address	73 Meyer Street, George					
GPS Coordinates	33°57'37.31"S 22°28'58.03"E			Town/City	George	
Current Zoning	Single Residential Zone I	Extent	952m ²	Are there existing buildings?	Y	N
Current Land Use	Dwelling House and approved second dwelling unit					
Title Deed number & date	T12644/2020					
Any restrictive conditions prohibiting application?	Y	N	If Yes, list condition number(s).			
Are the restrictive conditions in favour of a third party(ies)?	Y	N	If Yes, list the party(ies).			
Is the property encumbered by a bond?	Y	N	If Yes, list Bondholder(s)?		ABSA	
Has the Municipality already decided on the application(s)?	Y	N	If yes, list reference number(s)?			
Any existing unauthorized buildings and/or land use on the subject property(ies)?	Y	N	If yes, is this application to legalize the building / land use?		Y	N
Are there any pending court case / order relating to the subject property(ies)?	Y	N	Are there any land claim(s) registered on the subject property(ies)?		Y	N
PART D: PRE-APPLICATION CONSULTATION						
Has there been any pre-application consultation?	Y	N	If Yes, please complete the information below and attach the minutes.			
Official's name	Robin Hector	Reference number	3937632	Date of consultation	26 November 2025	
PART E: LAND USE APPLICATIONS IN TERMS OF SECTION 15 OF THE LAND USE PLANNING BY-LAW FOR GEORGE MUNICIPALITY & APPLICATION FEES PAYABLE						
*Application fees that are paid to the Municipality are non-refundable and proof of payment of the application fees						

must accompany the application.

BANKING DETAILS

Name: **George Municipality**
 Bank: **First National Bank (FNB)**
 Branch no.: **210554**
 Account no.: **62869623150**
 Type: **Public Sector Cheque Account**
 Swift Code: **FIRNZAJJ**
 VAT Registration Nr: **4630193664**
 E-MAIL: **msbrits@george.gov.za**
 *Payment reference: Erven ____, George/Wilderness/Hoekwil...

PART F: DETAILS OF PROPOSAL

Brief description of proposed development / intent of application:

Application is being made for the following in terms of the relevant Sections of the Land Use Planning By-Law of George Municipality, 2023, for Erf 9192, George:

1. Rezoning in terms of Section 15.(2)(a) of Erf 9192 from Single Residential Zone I (Dwelling House) to General Residential Zone I (Double Dwelling House); and
2. The following permanent departures in terms of Section 15.(2)(b):
 - 2.1. Departure from the requirement to permit a ±12% deviation in floor space between the proposed units;
 - 2.2. Relaxation of the northern rear boundary building line of proposed Unit 2 from 2.0m to ±1.0m for a portion of the existing structure; and
 - 2.3. Relaxation of the western lateral boundary building line of proposed Unit 2 from 3.0m to ±1.1m for a portion of the existing structure.

PART G: ATTACHMENTS & SUPPORTING INFORMATION FOR LAND USE PLANNING APPLICATIONS

Please complete the following checklist and attach all the information relevant to the proposal. Failure to submit all information required will result in the application being deemed incomplete.

Is the following compulsory information attached?

Y	N	Completed application form	Y	N	Pre-application Checklist (where applicable)
Y	N	Power of Attorney / Owner's consent if applicant is not owner	Y	N	Bondholder's consent
Y	N	Motivation report / letter	Y	N	Proof of payment of fees
Y	N	Full copy of the Title Deed	Y	N	S.G. noting sheet extract / Erf diagram / General Plan
Y	N	Locality Plan	Y	N	Site layout plan

Minimum and additional requirements:

Y	N	N/A	Conveyancer's Certificate	Y	N	N/A	Land Use Plan / Zoning plan
Y	N	N/A	Proposed Subdivision Plan	Y	N	N/A	Phasing Plan

			(including street names and numbers)				
Y	N	N/A	Consolidation Plan	Y	N	N/A	Copy of original approval letter (if applicable)
Y	N	N/A	Site Development Plan	Y	N	N/A	Landscaping / Tree Plan
Y	N	N/A	Abutting owner's consent	Y	N	N/A	Home Owners' Association consent
Y	N	N/A	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD)	Y	N	N/A	1 : 50 / 1:100 Flood line determination (plan / report)
Y	N	N/A	Services Report or indication of all municipal services / registered servitudes	Y	N	N/A	Required number of documentation copies 2 copies
Y	N	N/A	Any additional documents or information required as listed in the pre-application consultation form / minutes	Y	N	N/A	Other (specify)

PART H: AUTHORISATION(S) IN TERMS OF OTHER LEGISLATION

Y	N/A	National Heritage Resources Act, 1999 (Act 25 of 1999)	Y	N/A	Specific Environmental Management Act(s) (SEMA) (e.g. Environmental Conservation Act, 1989 (Act 73 of 1989), National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004), National Environmental Integrated Coastal Management Act, 2008 (Act 24 of 2008), National Environmental Management: Waste Act, 2008 (Act 59 of 2008), National Water Act, 1998 (Act 36 of 1998) (strikethrough irrelevant)
Y	N/A	National Environmental Management Act, 1998 (Act 107 of 1998)			
Y	N/A	Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)			
Y	N/A	Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)(SPLUMA)			
Y	N/A	Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations			
Y	N/A	Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)			
Y	N/A	If required, has application for EIA / HIA / TIA / TIS / MHIA approval been made? If yes, attach documents / plans / proof of submission etc. N/A	Y	N/A	Other (specify)
Y	N	If required, do you want to follow an integrated application procedure in terms of section 44(1) of the Land-Use Planning By-law for George Municipality?			

SECTION I: DECLARATION

I hereby wish to confirm the following:

1. That the information contained in this application form and accompanying documentation is complete and correct.
2. The Municipality has not already decided on the application.
3. I'm aware that it is an offense in terms of section 86(1)(d) to supply particulars, information or answers in an application, knowing it to be false, incorrect or misleading or not believing them to be correct.
4. I am properly authorized to make this application on behalf of the owner and (where applicable) copies of such full relevant Powers of Attorney/Consent are attached hereto.
5. I have been appointed to submit this application on behalf of the owner and it is accepted that correspondence from and notifications by the Municipality in terms of the by-law will be sent only to me as the authorised agent and the owner will regularly consult with the agent in this regard (where applicable).
6. That this submission includes all necessary land use planning applications required to enable the development proposed herein.
7. I confirm that the relevant title deed(s) have been read and that there are no restrictive title deed restrictions, which impact on this application, or alternatively an application for removal/amendment/suspension forms part of this submission.
8. I am aware of the status of the existing bulk services and infrastructure in the subject area and that I am liable for any possible development charges which may be payable as a result of the proposed development.
9. I acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.



Applicant's signature:

Date:

13 March 2026

Full name:

Alexander Havenga

Professional capacity:

Registered Professional Planner

SACPLAN Reg. Nr:

Pr. Pln A/3313/2023

POWER OF ATTORNEY

I, the undersigned,

Catharina Mathilda Van Der Walt

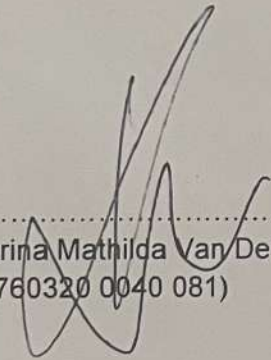
In my capacity as the Registered owner of Erf 9192, George, situated in the Municipality and division of George, Province of the Western Cape.

hereby nominate and appoint:

NEL & DE KOCK TOWN & REGIONAL PLANNERS

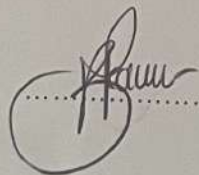
With power of substitution, to be my true and lawful Agent in my name, place and stead, to apply to George Municipality for the rezoning of Erf 9192, George, and subsequent permanent departures and I hereby ratify, allow and confirm, and promise and agree to ratify, allow and confirm all and whatsoever our said Agent shall lawfully do or cause to be done by virtue of these presents.

SIGNED at George on this 19 January 26 in the presence of the under mentioned witnesses.


.....
Catharina Mathilda Van Der Walt
(I.D.: 760320 0040 081)

AS WITNESSES:

1. Eani.....

2. .....



Huislenings
Verkope- en Diensbemahtiging

Lothburyweg 9
Auckland Park, 2092
Private Sak 72007
Cresta, 2118
Suid-Afrika

T 0860 111 007
Swift-adres: ABSAZAJJ
absa.co.za

06.03.2026

Private/Confidential

MISS CMVAN DER WALT
73 MEYER STREET
GEORGE
6529

Dear Client/s

REQUEST RECEIVED FOR: CONSENT FOR PROPOSED SUBDIVISION

Mortgage loan account number: 8087716210

Request received from: NEL & DEKOCK TOWN PLANNING: 079 513 3530

We confirm that the above request has been approved.

According to your mortgage loan agreement it is your responsibility to ensure that you have sufficient property insurance. If you are insured with Absa, please phone 0860 100 876.

Yours faithfully

A handwritten signature in black ink, appearing to read "M. M. Mazibuko", enclosed in a thin black rectangular box.

Property Control Department
Our ref: Mtonga. Mazibuko
Tel: 011 846 5470
Email: hlpc@absa.co.za

MOTIVATION REPORT

PROPOSED REZONING AND PERMANENT DEPARTURES
FOR
ERF 9192, SITUATED IN THE MUNICIPALITY AND DIVISION
OF GEORGE
FOR
THE REGISTERED OWNER



Stads- en Streekbeplanners
Town and Regional Planners

TABLE OF CONTENTS

1. APPLICATION	3
2. BACKGROUND	3
3. PURPOSE	3
4. MOTIVATION	3
4.1 NEED	3
4.2 DESIRABILITY	4
4.2.1 TOPOGRAPHY	4
4.2.2 BOTTOM CONDITIONS	5
4.2.3 VEGETATION	5
4.2.4 FLOOD LINES	5
4.2.5 SENSITIVITIES	5
4.2.6 WATER TABLE	5
4.2.7 DRAINAGE PATTERN	6
4.2.8 FILLINGS AND EXCAVATIONS	6
4.3 EXISTING PLANNING AND LEGISLATION	6
4.3.1 SPATIAL PLANNING AND LAND USE MANEGEMENT ACT, 2013, (S.P.L.U.M.A.)	6
4.3.2 LAND USE PLANNING ACT, 2014, (L.U.P.A.)	9
4.3.3 NATIONAL, PROVINCIAL AND LOCAL GOVERNMENT POLICIES AND MUNICIPAL SPATIAL DEVELOPMENT FRAMEWORK	9
4.3.4 BY-LAW ON MUNICIPAL LAND USE PLANNING OF GEORGE MUNICIPALITY, 2023	10
4.3.5 TITLE DEED	16
4.4 CHARACTER OF THE ENVIRONMENT	16
4.5 POTENTIAL OF THE PROPERTY	17
4.5.1 AGRICULTURE	17
4.5.2 CONSERVATION	17
4.5.3 MINING	17
4.5.4 RECREATION	17
4.5.5 RESIDENTIAL	18
4.6 LOCATION AND ACCESSIBILITY	18
4.7 PROVISION OF SERVICES	18
4.8 CONSTRUCTION PHASE	18
5. CONCLUSION	19

1. APPLICATION

Application is being made for the following in terms of the relevant Sections of the Land Use Planning By-Law of George Municipality, 2023, for Erf 9192, George:

1. Rezoning in terms of Section 15.(2)(a) of Erf 9192 from Single Residential Zone I (Dwelling House) to General Residential Zone I (Double Dwelling House); and
2. The following permanent departures in terms of Section 15.(2)(b):
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 - 2.2. Relaxation of the northern rear boundary building line of proposed Unit 2 from 2.0m to ± 1.0 m for a portion of the existing structure; and
 - 2.3. Relaxation of the western lateral boundary building line of proposed Unit 2 from 3.0m to ± 1.1 m for a portion of the existing structure.

2. BACKGROUND

In 2015, a previous owner obtained approval for a second dwelling unit on the property, as indicated on the attached approved building plan (Annexure 7, dated 29 September 2015). The current owner of Erf 9192, George, therefore acquired the property in 2020, with a primary dwelling house and a second dwelling unit constructed thereon.

The owner now intends to rezone the property in order to formalise the existence of the two dwelling units by registering a sectional title scheme, thereby permitting the alienation of the units to two separate owners.

3. PURPOSE

The purpose of this application is to add value to the property by obtaining approval for its rezoning, which will permit the registration of a Sectional Title Scheme. This, in turn, will allow for the alienation of the existing dwelling house and second dwelling unit to prospective owners. The permanent departure component of the application will allow for the necessary relaxations to ensure that the proposal is aligned with the provisions of the George Municipality Integrated Zoning Scheme By-Law, 2023.

4. MOTIVATION

4.1 NEED

The need for this application arises from the current owner's intention to alienate the existing, approved dwelling house and second dwelling unit to prospective buyers. Both units have been lawfully approved and constructed in accordance with the applicable planning approvals and the proposal does not entail any additional

development rights, increase in density, or physical expansion of the existing built form.

The proposal supports residential densification within George East, an area located well within the urban edge of George, where access to existing municipal services, infrastructure and social amenities is readily available. The application is therefore aligned with the spatial planning principles, land use management objectives and densification strategies of George Municipality, as further detailed in this motivation report. Allowing the separate ownership of the two dwelling units promotes efficient use of urban land and contributes to the provision of housing opportunities within an established residential area.

The deviation from the development parameter which limits the permissible difference in floor space between the two units comprising a double dwelling house to $\pm 12\%$ is considered acceptable and reasonable in this instance. This deviation is effectively mitigated by the fact that both dwelling units are existing, approved structures that have been in place for some time. No new construction, extensions, or alterations are proposed that would exacerbate the existing floor space differential.

Furthermore, the approval of the application will not result in any negative impact on the character of the surrounding area. The property will continue to function as it currently does, with two residential units occupying the site. From a streetscape and visual perspective, the development will remain unchanged and indistinguishable from its current form.

This application merely facilitates a change in ownership structure, rather than a change in land use or development footprint. As such, no additional burden will be placed on municipal services or infrastructure.

The only material outcome of the approval is that two households will have the opportunity to own their respective places of residence independently. This outcome is consistent with the principles of equitable access to housing, efficient land use and sustainable urban development and supports the broader objectives of the Municipality to accommodate residential growth within existing urban areas.

4.2 DESIRABILITY

PHYSICAL CONDITION:

4.2.1 TOPOGRAPHY

The property is characterised by a flat topography, which is well-suited to its current residential use. The surrounding area has an average slope of approximately 1:100, indicating a minimal gradient. As such, the topography does not present any constraints and no challenges are anticipated should this application for rezoning and permanent departures be approved. Approval of the application will not result in

any additional construction. In light of this, no further elaboration on topography is required.

4.2.2 BOTTOM CONDITIONS

The bottom conditions of the property appear to be stable as the current owner has not experienced any structural issues with the existing structures since taking ownership of the erf. However, should the Municipality have any records or concerns regarding unstable ground conditions in the area, a geotechnical investigation can be submitted as a condition of approval, to be provided prior to the approval of the as-built building plans.

4.2.3 VEGETATION

The proposed rezoning will not result in any additional construction. Consequently, there is no sensitive or conservation-worthy vegetation on the erf that would be negatively affected by the approval of this application.

4.2.4 FLOOD LINES

The property does not border the sea or a river with a designated flood line and is therefore not subject to any flood-related restrictions that could affect the approval of this application.

4.2.5 SENSITIVITIES

There is a single Yellowwood tree on the property, located along the rear boundary adjoining Erf 9193. The property is situated within the urban edge of George and is designated for development and is therefore not identified as an open space intended for the conservation of sensitive vegetation. As no new construction is proposed that would necessitate the removal or disturbance of vegetation, the existing Yellowwood tree, together with the other mature trees on the property, will remain unaffected by the proposed application.

4.2.6 WATER TABLE

There is no watercourse near the subject property and no problems have been encountered with regard to the water table. Therefore, this subject will not be elaborated further on in this motivation report.

4.2.7 DRAINAGE PATTERN

The design and construction of the existing structures have adequately made provision for proper drainage and appear to comply with the Municipality's Stormwater By-Law. Should this application be approved, the Municipality may impose a condition of approval requiring the submission of building plans, which would afford the Municipality an opportunity to assess the drainage patterns in accordance with the Stormwater By-Law. As no additional construction is proposed as part of this application, no further discussion of the property's drainage patterns is considered necessary.

4.2.8 FILLINGS AND EXCAVATIONS

Application is being made for the rezoning and permanent departures in respect of Erf 9192, to enable the registration of a Sectional Title Scheme, which will allow the owner to alienate the units to prospective buyers if the need arises. As no additional construction is proposed with this application—which is typically the aspect affected by filling or excavation—no further elaboration on this matter is required.

4.3 EXISTING PLANNING AND LEGISLATION

4.3.1 SPATIAL PLANNING AND LAND USE MANAGEMENT ACT, 2013, (S.P.L.U.M.A.)

4.3.1.1 SPATIAL JUSTICE

- **Past spatial and other development imbalances must be redressed through improved access to and use of land.**

The property that is the subject of this application measures 952m² and was acquired by the owner on the open market in 2020. While this application may not fully address the principle of equitable access to and use of land, the approval of the application will enable the registration of a Sectional Title Scheme. This, in turn, will create an additional opportunity for home ownership by allowing a prospective buyer to acquire the unit on the open market, thereby contributing to the provision of housing within an established urban area.

- **Spatial development frameworks and policies at all spheres of government must address the inclusion of persons and areas that were previously excluded, with an emphasis on informal settlements, former homeland areas and areas characterised by widespread poverty and deprivation.**

Due to considerations discussed above, this objective is not achievable with this application.

- **Spatial Planning mechanisms, including land use schemes, must incorporate provisions that enable redress in access to land by disadvantaged communities and persons.**
As discussed above, the limited size of the land unit does not lend itself to the compliance of this objective as the property is zoned for residential purposes and not to address the access to land by disadvantaged communities or persons.
- **Land use management systems must include all areas of a Municipality and specifically include provisions that are flexible and appropriate for the management of disadvantaged areas, informal settlements and former homeland areas.**
A pragmatic approach to the management of land use systems to follow flexible and appropriate processes to facilitate housing for the disadvantaged community is indispensable.
- **Land development procedures must include provisions that accommodate access to secure tenure and the incremental upgrading of informal areas.**
This aspect has already been discussed above.
- **A Municipal Planning Tribunal considering an application before it, may not be implemented or restricted in the exercise of its discretion solely on the ground that the value of land or property is affected by the outcome of the application.**
This provision does not apply to this application.

4.3.1.2 PRICIPLE OF SPATIAL SUSTAINABILITY

- **Promote land development that is within the fiscal, institutional and administrative means of the Republic.**
The proposed development is done with private funding and therefore the fiscal, institutional and administrative capacity of government agencies are not relevant to this application.
- **Ensure that special consideration is given to the protection of prime and unique agricultural land.**
The property forming the focus of this application is zoned Single Residential Zone I, while application is made for the rezoning thereof to General Residential Zone I and is situated within a developed neighbourhood of George which is included within the Urban Edge. Therefore, the protection of prime and unique agricultural land is not relevant to this application.
- **Uphold consistency of land use measures in accordance with the environmental management instruments.**

This application is not accompanied by any activities that require special environmental management measures.

- **Consider all current and future costs to all parties for the provision of infrastructure and social services in land developments.**

Approval of this application will result in the installation/ rerouting of the necessary meters and infrastructure for the proposed Unit 2. The existing dwelling house (proposed Unit 1) is already a fully serviced dwelling house. Consequently, any costs arising from this application will be borne solely by the owner.

- **Promote land development in locations that are sustainable and limit urban sprawl.**

Application is made for the rezoning of an existing Single Residential Zone I erf situated within the urban edge. Approval of this application will promote densification within the urban edge and contribute to limiting urban sprawl by creating an additional residential opportunity within George East.

- **Result in communities that are viable.**

Approval of this application will result in an additional residential opportunity becoming available on the market within George East. This will support more cost-effective service delivery in the neighbourhood, thereby contributing to the development of a sustainable and viable community.

4.3.1.3 PRINCIPLE OF EFFICIENCY

- **Land development optimises the use of existing resources and infrastructure.**

This application aligns with the principle of efficiency, as it seeks approval for the rezoning of an existing Single Residential Zone I property. Approval will enable the optimal use of existing resources and infrastructure, while also generating additional revenue for the Municipality through rates and taxes from the proposed 'new' residential opportunity.

- **Decision-making procedures are designed to minimise negative financial, social, economic, or environmental impacts.**

As a privately funded project, sensible decision-making is essential to minimize any negative consequences and ensure successful implementation. As previously noted, the application will not cause any adverse social, economic, or environmental impacts, but will instead create a valuable opportunity for the property owner to sell a newly residential opportunity.

- **Development applications procedures are efficient and streamlined and timeframes are adhered to by all parties.**

Adherence to prescribed timeframes vest in the Municipality and therefore the applicant does not have any control over it.

4.3.1.4 PRINCIPLE OF SPATIAL RESILIENCE

This principle, which is primarily aimed at a sustainable way of life for communities that are most vulnerable to economic and environmental setbacks, is not directly applicable to this application.

4.3.1.5 PRINCIPLE OF GOOD ADMINISTRATION

- **All spheres of government ensure an integrated approach to land use and land development that is guided by the spatial planning and land use management systems as embodied in this Act.**

The only authority involved in this application is George Municipality and therefore there is no other authority with which an integrated approach needs to be followed. The various departments of the Municipality involved function as an integrated team and the applicant has no further comment on this principle.

- **Policies, legislation and procedures must be clearly set in order to inform and empower members of the public.**

Public participation procedures, as outlined in the Section 38 Letter, will be followed and will commence upon receipt of instructions.

4.3.2 LAND USE PLANNING ACT, 2014, (L.U.P.A.)

As far as the proposed development is concerned, there is a great deal of overlap between the principles of spatial justice, sustainability, good administration and resilience that are pursued under this legislation, but which have already been discussed in par 4.3.1 above. To avoid duplication, these principles will not be discussed again.

4.3.3 NATIONAL, PROVINCIAL AND LOCAL GOVERNMENT POLICIES AND MUNICIPAL SPATIAL DEVELOPMENT FRAMEWORK

National, Provincial, and Local Government each establish coherent policies and frameworks to support municipalities in fulfilling their planning mandates in alignment with broader governmental agendas. This application is submitted in terms of Section 15 of the Land Use Planning By-Law of the George Municipality, 2023. Accordingly, the Municipality's local policies and frameworks have been developed with consideration of national and provincial directives. For the purpose of this

application, only the George Municipal Spatial Development Framework (MSDF), 2023, will be addressed.

According to Paragraph 3.1.2 of the George MSDF, 2023, the George City Area is identified as a Regional Development Anchor, with an emphasis on growth and densification. The subject property borders the designated densification zone and thus aligns with this planning principle as only a road is situated between the densification zone and the subject property. Approval of this application will contribute to residential densification within the neighbourhood and promote cost-effective service delivery.

Furthermore, the proposed rezoning supports the spatial concepts outlined in Paragraph 4.4 of the MSDF, which advocate for residential densification across all urban areas. In light of the above, it is evident that this application aligns with the Municipality's spatial planning policies and no further elaboration will be made in this regard.

4.3.4 BY-LAW ON MUNICIPAL LAND USE PLANNING OF GEORGE MUNICIPALITY, 2023

4.3.4.1 According to Section 38(1), the following documents are required in support of the application:

4.3.4.1.1 **Annexure 1**, Application form fully completed and signed;

4.3.4.1.2 **Annexure 2**, Power of Attorney to Nel & de Kock Town and Regional Planners by the registered owner to prepare and submit this application;

4.3.4.1.3 **Annexure 3**, Bondholders Consent by ABSA is attached to this application;

4.3.4.1.3 **Annexure 4**, Motivation Report by Nel & de Kock Town and Regional Planners;

4.3.4.1.4 **Annexure 5**, Copy of the Surveyor General Plan No. 1206/83 is attached to this application;

4.3.4.1.5 **Annexure 6**, Plan No. G/GH/203-1 dd. March 2026 is attached to this application which includes a Locality Map;

4.3.4.1.6 **Annexure 7**, Copy of approved building plans is attached to this application;

4.3.4.1.7 **Annexure 8**, Proof of Payment will be provided in due course as it is made available to the applicant;

4.3.4.1.8 **Annexure 9**, Copy of Title Deed No. T12644/2020 is attached to this application;

4.3.4.1.9 **Annexure 10**, Conveyancer certificate by Herman Josias Swanepoel practicing in Great Brak River is attached to this application; and

4.3.4.1.10 **Annexure 11**, Pre-Application feedback dd. 26 November 2025 is attached to this application which includes the following comments:

Town Planning comment:

- **The density of a double dwelling unit in principle may be supported.**
 - The applicant takes note of this comment.
- **Applicant to motivate proposal in terms of SPLUMA, LUPA, PSDF, MSDF and LSDF (where applicable). Any deviation must be motivated.**
 - The listed legislation is discussed in this report in paragraphs 4.3.1 to 4.3.4, therefore this comment is complied with.
- **Applicant must indicate compliance with the zoning objective, land use description and development parameters as per the George Integrated Zoning Scheme By-law, 2023. Any deviation from the latter requires a departure application.**
 - Compliance with the George Municipality Integrated Zoning Scheme By-Law, 2023, is discussed in Par. 4.3.4.2 of this report.
- **All structures and development parameters to be indicated on the site plan.**
 - All structures and development parameters are indicated on Plan No. G/GH/203-1 which is attached to this application as Annexure 6.
- **Applicant to sufficiently motivate deviation from development parameters i.e. floor space variations.**
 - The deviation from the development parameters is discussed throughout this motivation report, but specifically in Par. 4.3.4.2.2 below.

Civil Engineering Services comment:

- **Access be restricted via Meyer Street.**
 - As indicated on the attached Plan No. G/GH/203-1, the existing approved accesses will be utilised to serve the proposed dwelling units. These accesses are obtained from Meyer Street and are therefore in compliance with the comments of the Municipality's CES Department.
- **Access should comply to the GIZS 2023, alternatively any deviation should be included within a land use application.**

- The George Municipality Integrated Zoning Scheme By-Law, 2023, stipulates that access to dwelling units may range between 2.5m and 8.0m and that no two accesses may be located closer than 12m to one another, provided that the street boundary exceeds 30m. As indicated on the attached Plan No. G/GH/203-1, the access to proposed Unit 1 measures 4.5m, while the access to proposed Unit 2 measures 3.5m, with a separation distance of approximately 20.3m between the two. The existing approved accesses therefore comply with the Municipality's access requirements.
- **All parking must be provided on-site, in compliance with the GIZS 2023 parking requirements.**
 - The George Municipality Integrated Zoning Scheme By-Law, 2023, requires that provision be made for 1.75 parking bays per dwelling unit with more than three habitable rooms, plus an additional 0.25 parking bays for visitors. As indicated on the attached Plan No. G/GH/203-1, provision is made for two parking bays (2.5m × 5.0m) for proposed Unit 2, while two vehicles can be accommodated in the garage for Unit 1. The proposal therefore complies with the Municipality's parking requirements.
- **No parking is allowed within the road reserve, and the owner may be held liable for any costs incurred to prevent unauthorized parking in this area.**
 - No parking is provided within the road reserve and in light thereof, no further elaboration is required in this regard.
- **PT1 parking ratio may be applied for (departure application and motivation required).**
 - Sufficient parking is provided on site for 'normal areas' and in light thereof, this application does not propose any deviation from the parking requirements.
- **All vehicle mobility should be done on site and must be indicated on the layout plan.**
 - In terms of Section 46(1)(c) of the George Municipality Integrated Zoning Scheme By-Law, 2023, vehicles are permitted to reverse across the sidewalk for properties zoned General Residential Zone I, which is the zoning applied for in this application. Accordingly, vehicle manoeuvrability on site is not required and is therefore not indicated on the attached Plan No. G/GH/203-1.
- **Normal Development Charges (DCs), applicable on services available, will be levied in accordance with the DC policy and the applicable By-law and or policy.**

- Note is taken of this comment, however, the applicant wishes to indicate that the property has approval for a main dwelling and a second dwelling unit, which should be considered when calculating the Development Charges. The existing main dwelling measures approximately 205m², while the second dwelling unit measures approximately 169m².
- **Municipal water and sanitation are available subject the capacity confirmation.**
 - The applicant takes note of this comment provided by the Municipality's Civil Engineering Department.
- **The location of all existing municipal services must be confirmed on site.**
 - Should this application be approved, the Municipality may impose a condition requiring that building plans for the proposed two units be submitted, during which phase the existing Municipal services should be verified on site and reflected on the relevant building plans.
- **The developer must ensure full compliance with the relevant Stormwater By-law.**
 - Compliance with the Municipality's Stormwater By-law is normally assessed during the building plan approval process. Therefore, the Municipality can evaluate the compliance therewith once the application is approved and building plans are submitted.
- **Developer will be required to conduct a stormwater management plan.**
 - As indicated above, this requirement can be imposed as a condition of approval, since stormwater is assessed during the scrutiny of building plans. Accordingly, a stormwater management plan does not accompany this application, but may be required as a condition of approval to be submitted to the Municipality along with the building plans.

4.3.4.2 Development Parameters: Double Dwelling House:

Land use description: "double dwelling house" means— a building designed as a single architectural entity that appears as a single dwelling house, containing two dwelling units on one land unit and may include, with the consent of the other owner in the scheme - a home occupation, home child care facility and bed and breakfast establishment, but does not include a second dwelling.

- This proposal complies with the land use description of a double dwelling house as stipulated in George Municipality's Integrated Zoning Scheme By-Law, 2023, in that it comprises an approved dwelling house and an approved second dwelling unit constructed in the same architectural style and

presenting as a single dwelling house. The proposal does not make provision for a home occupation, home child care facility, or bed and breakfast establishment, nor does it propose the addition of a second dwelling unit. In light of the above, no further elaboration is considered necessary in this regard.

4.3.4.2.1 Coverage:

The coverage may not exceed 50%.

- As indicated on the attached Plan No. G/GH/203-1, the coverage of the proposal equates to 39% which is in line with this development parameter.

4.3.4.2.2 Floor space:

There may not be more than 10% difference in the floor space of the two dwelling units and the total floor space of each of the two units may not exceed 250m² per unit.

- The floor area of proposed Unit 1 is approximately 205m² in total. When the 53m² garage area is excluded, the net floor area amounts to 152m². The floor area of proposed Unit 2 is approximately 169m², resulting in a deviation of approximately 12% between the two units. Application is made for a departure from this requirement, as both units constitute an existing approved dwelling house and second dwelling unit. The practical and sensible approach is to register a Sectional Title Scheme over the existing units, rather than enlarging Unit 1 or reducing Unit 2 solely to comply with the floor space ratio. Approval of this deviation will avoid unnecessary construction costs associated with reconfiguring the existing units. Furthermore, should this application be approved, the owner will be able to register a Sectional Title Scheme over the current units without impacting the character of the area, as the existing streetscape and visual appearance will be retained.

4.3.4.2.3 Height:

- (i) The height of a double dwelling house may not exceed 6.5 metres to the wall plate in all cases, and 8.5 metres to the ridge of the roof in the case of a pitched roof, provided that if the intention is to utilise any area above the roof for recreational or entertainment purposes, the height may not exceed 6.5 metres.**
- (ii) The general provisions regarding earth banks and retaining structures in this by-law apply.**

- The approved building plans, attached to this application as Annexure 7, indicate a height of 4.925m from natural ground level (NGL) to the ridge of the roof, demonstrating compliance with this development parameter.

4.3.4.2.4 Building lines:

- (i) The street building line is at least 4 metres.**

- (ii) The side building line is at least 3 metres.**
- (iii) The rear building line is at least 2 metres.**
- (iv) The general building line encroachments in this by-law apply.**

- The building lines applicable to a double dwelling house are indicated on the attached Plan No. G/GH/203-1. Application is made for a relaxation of the western side boundary building line from 3.0m to approximately 1.11m and the rear boundary building line from 2.0m to approximately 1.0m. These departures are necessitated by the fact that the existing approved dwelling house and second dwelling unit are proposed to be rezoned as a Double Dwelling House. Given that the neighbouring property owners have not raised any concerns regarding the structures positioned closer to the boundaries and considering that the existing development was previously approved by the Municipality, these departures are considered to not have a negative impact on the approval of this application.

4.3.4.2.5 Window and door placement

Any portion of a building which contains an external window or door facing onto a common boundary must—

- (i) be set back at least 1.5 metres from such boundary; and**
 - (ii) the portion of building to be set back from the boundary must include the door or window, together with the additional length of wall as is required to make up a total minimum length of 3 metres.**
- As indicated on the attached approved building plans, no windows or doors are positioned closer than 1.5m facing onto any common boundary. Accordingly, the proposal complies with this development parameter.

4.3.4.2.6 Garages, carports and outbuildings

- The development parameter pertaining to garages, carports and outbuildings relates to the positioning of such structures in relation to the applicable building lines. The existing garage on Erf 9192 was constructed in accordance with approved building plans and is not located within any building line. No new garages, carports, or outbuildings are proposed as part of this application that would encroach upon any building lines. Accordingly, no further elaboration is required in this regard.

4.3.4.2.7 Parking and access

Parking and access must be provided in accordance with the requirements of this by-law. Both dwelling units must obtain vehicle access from and to a street and each dwelling unit is limited to a maximum of two garages per dwelling unit.

- As noted earlier in this report, both proposed Units 1 and 2 will continue to utilise their existing approved accesses to Meyer Street, with only Unit 2

featuring a double garage. Accordingly, the development complies with the relevant development parameter.

4.3.4.2.8 Refuse room and/or service yard

The Municipality may require a refuse room and/or service yard to be provided on the land unit(s) concerned, in accordance with this by-law.

- No refuse rooms or service yards form part of this application, as the units will continue to place their refuse on the sidewalk for collection by the Municipality on the allocated refuse collection day, as is currently the practice. Should the Municipality require the provision of a refuse room and/or service yard as a condition of approval, the owner will comply accordingly.

4.3.4.2.9 Connection

The two units must be connected vertically or horizontally by means of a communal wall or floor of the dwelling but may not exclusively be connected by outbuildings, outside lapa and braai areas to satisfy this requirement.

- As indicated on the attached Plan No. G/GH/203-1, the units are connected by means of a communal wall and therefore comply with this development parameter.

4.3.4.2.10 Development charges

The Municipality may impose development charges in accordance with the provisions of Section 52.

- The owner will abide to the development charges as determined by Section 52.

4.3.5 TITLE DEED

Title Deed No. T12644/2020 lists Catharina Mathilda Van Der Walt as the registered owner of Erf 9192, George. Attached hereto as Annexure 2 is a Power of Attorney in which the registered owner authorises Nel & de Kock to prepare and submit this application. Attached to this application as Annexure 3 is consent by the Bondholder, ABSA, as there is a bond registered over the property. Annexure 9 contains a Conveyancer's Certificate prepared by Herman Swanepoel practicing in Great Brak River, confirming that the relevant title deed does not contain any conditions that restrict the proposed application.

4.4 CHARACTER OF THE ENVIRONMENT

The property to which this application relates is located in George East, an established residential neighbourhood within George. The proposed application entails the rezoning of the property from Single Residential Zone I to General

Residential Zone I, which will enable the owner to register a Sectional Title Scheme and thereby permit the alienation of the respective dwelling units to prospective owners. The rezoning will allow the property to continue to be utilised for residential purposes, with the only material change being that two families will have the opportunity to take ownership of their respective places of residence.

Approval of the application will facilitate the alienation of the two proposed units, making them available for purchase by prospective families who will occupy the units as primary dwellings. Importantly, the proposal does not involve any additional development or intensification beyond the existing approved structures, nor does it require the removal of any mature or significant trees on the property. As a result, the established character and visual quality of the surrounding area will be retained.

In light of the above, the proposed application is not anticipated to have any adverse impact on the character of the surrounding residential environment.

4.5 POTENTIAL OF THE PROPERTY

4.5.1 AGRICULTURE

As mentioned earlier in this report, the land unit relevant to this application is situated within a residential neighbourhood of George and is currently zoned for residential purposes. Therefore, the property has no Agricultural potential and will not be elaborated further on in this report.

4.5.2 CONSERVATION

As discussed in Paragraph 4.2.5 of this report, a Yellowwood tree is present on the property. However, it will not be negatively affected by the approval of this application, as no new construction is proposed. Accordingly, the approval of this application will not have any negative impact on conservation.

4.5.3 MINING

As of date no exploitable materials have been found on the property which could lead to any mining activities taking place on the property. In light thereof, no further elaboration will be made in this regard.

4.5.4 RECREATION

The current zoning of Erf 9192 is Single Residential Zone I and the property comprises an approved primary dwelling house and a second dwelling unit. Accordingly, the recreational amenities associated with the property are for the

private use of the current owner and are not accessible to the general public. Approval of this application will enable the owner to register a Sectional Title Scheme, thereby permitting the sale of the respective units to prospective families. As a result, the approval of this application will not alter the recreational potential of the property, as it will continue to be occupied by two families making use of private recreational spaces.

4.5.5 RESIDENTIAL

Erf 9192 is currently zoned Single Residential Zone I and this application proposes its rezoning to General Residential Zone I (Double Dwelling House). Approval of the application will enable the registration of a Sectional Title Scheme, thereby permitting the sale of the two proposed units for residential purposes. Consequently, the approval will increase residential ownership opportunities within the area by allowing an additional family to take ownership of its place of residence.

4.6 LOCATION AND ACCESSIBILITY

Erf 9192 is located at 33°57'37.31"S 22°28'58.03"E within the established residential neighbourhood of George East. The property is currently accessed from Meyer Street. As the two proposed units will continue to utilise their existing approved accesses to Meyer Street, no further elaboration regarding the location and accessibility of the property is considered necessary.

4.7 PROVISION OF SERVICES

The erf is currently serviced by the Municipality and the owner wishes to continue receiving municipal services for the proposed units. New meters and infrastructure will be installed at the owner's expense. Therefore, approval of this application will not incur any additional costs to the Municipality. On the contrary, approval will generate additional income for the Municipality through capital contributions, as well as ongoing rates and taxes for the proposed 'additional' unit. This increased revenue will contribute to the Municipal fiscus and potentially support more cost-effective service delivery in the area.

4.8 CONSTRUCTION PHASE

This application seeks approval for the rezoning of Erf 9192, George, to General Residential Zone I (Double Dwelling House), which will enable the registration of a Sectional Title Scheme and permit the alienation of the existing approved primary dwelling house and second dwelling unit. Approval of this application will not result in

any additional construction or physical alteration to the property and accordingly no further elaboration is required in this regard.

5. CONCLUSION

Based on the rationale presented in this report, it is clear that approval of this application offers substantial benefits not only to the property owner, but also to the broader George urban area. Approval will result in an additional residential unit becoming available on the market in George. This aligns with the Municipality's policy objectives of densification and the optimal utilization of existing infrastructure and resources within the urban edge. Furthermore, approval will generate capital contributions for the Municipality from the newly created unit as well as increased ongoing revenue from rates and taxes associated with the additional dwelling unit, compared to the current single dwelling and second dwelling. As such, this application will positively contribute to the Municipal fiscus and support more cost-effective service delivery.

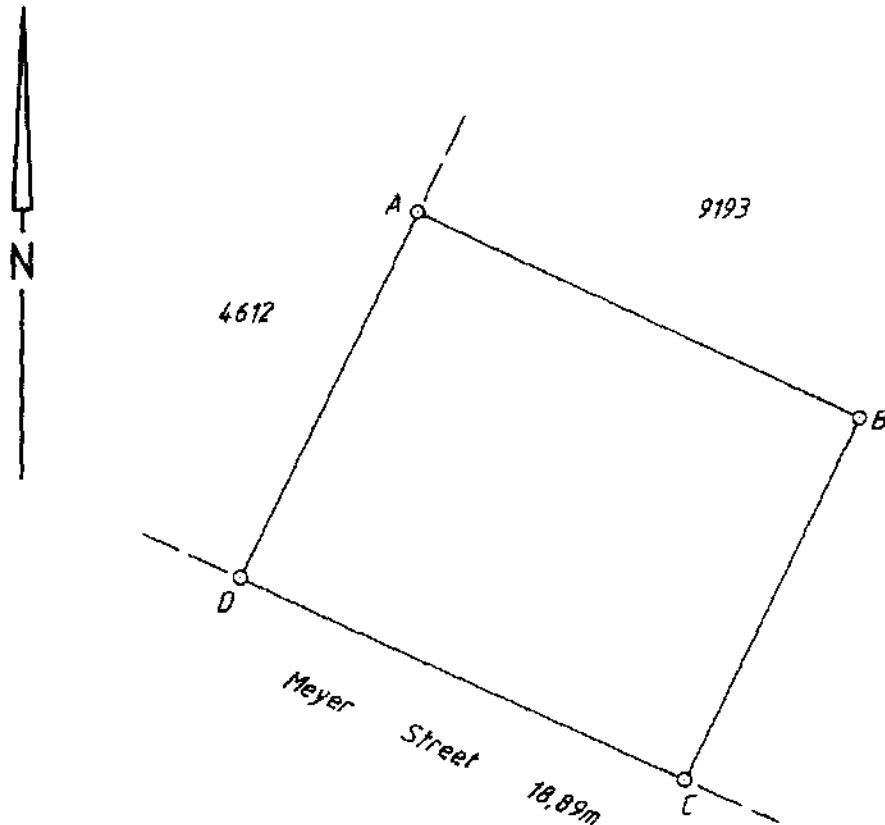
Nel & de Kock Town and Regional Planners
Per: Alexander Havenga Pr. Pln A/3313/2023

February 2026

	SYE METERS	RIGTINGS-HOEKE	KOÖRDINATE (prov.)		L.G. No.	
			Y	X		
		<i>Konstante</i>		$\pm 0,00$	$+ 3700\ 000,00$	1206-83
AB	33,69	295 0 0	A	+47 763,04	+59 068,10	
BC	28,26	25 0 0	B	+47 732,51	+59 082,34	Goedgekeur <i>N. J. Deling</i> Landmeter-generaal 10.03.1983.
CD	33,69	115 0 0	C	+47 744,45	+59 107,95	
DA	28,26	205 0 0	D	+47 774,98	+59 093,71	
		53P4	⊕	+47 779,93	+58 903,36	
		101P4	⊕	+47 957,38	+59 290,36	

Bakenbeskrywing

A Teer hoekpaal
B.C.D 12mm ysterpen



Skaal 1: 500

Die figuur *A B C D*

stel voor 952 vierkante meter

grond, synde

ERF 9192 gedeelte van Erf 4123 GEORGE

geleë in die Munisipaliteit en

Administratiewe Distrik

George,

Provinsie Kaap die Goeie Hoop.

Opgemeet in Desember 1982 en Januarie 1983

deur my,

O. T. Trevor
Landmeter

Hierdie kaart is geheg aan
Transportakte
No. T.26500/1983
gedateer
t.g.v.

Die oorspronklike kaart is.
No. 2558/1968 geheg aan
Transport/Grondbrief
No. 1969.341 17017

Lêer No. S 8775/4/9
M.S. No. B 318/83
Komp. BL-7DD/W53 (1748)
Alg. Plan G42a (2669)

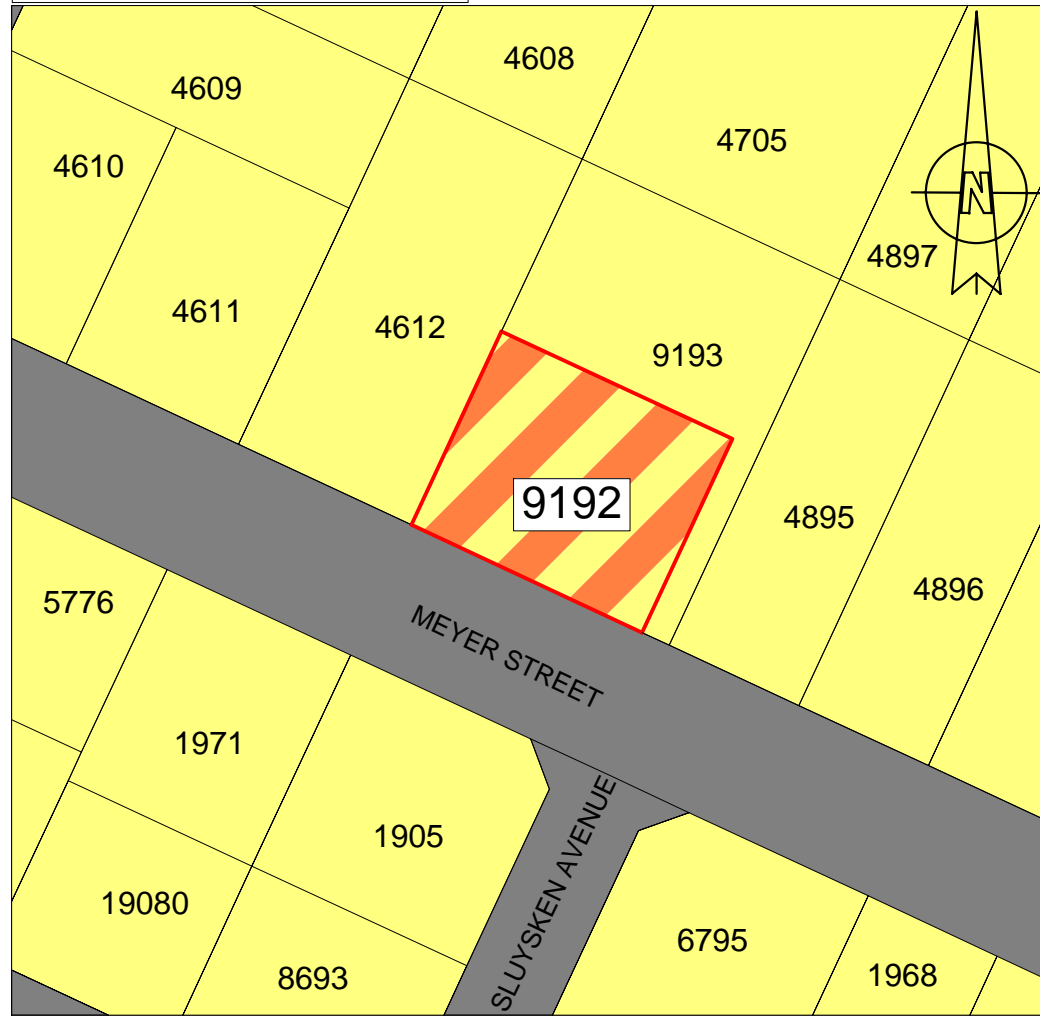
Registrateur van Aktes

REG. N. 1714 - 1982 - 03 - 11

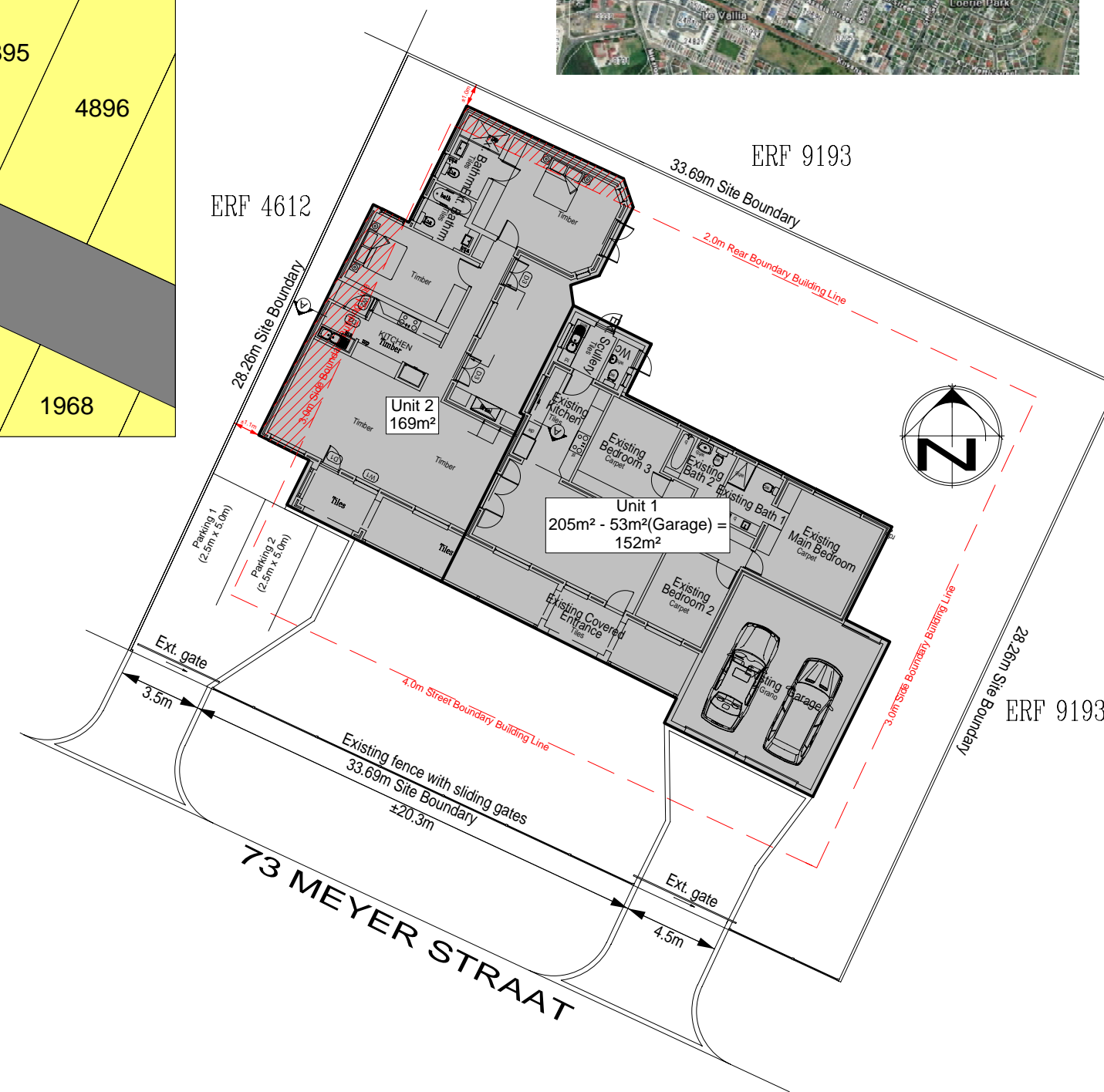
AF 37/4/203
1982-03-11

Annexure 6

Rezoning Plan (1:1 000):




Locality Map (1:20 000):



PROPOSED REZONING AND PERMANENT DEPARTURES IN TERMS OF SECTION 15.(2) OF THE BY-LAW ON MUNICIPAL LAND USE PLANNING OF GEORGE MUNICIPALITY, 2023, FOR ERF 9192, GEORGE

Application is being made for the following in terms of the relevant Sections of the Land Use Planning By-Law of George Municipality, 2023, for Erf 9192, George;

- 
Rezoning in terms of Section 15.(2)(a) of Erf 9192 from Single Residential Zone I (Dwelling House) to General Residential Zone I (Double Dwelling House); and
- The following permanent departures in terms of Section 15.(2)(b):**
 - Departure from the requirement to permit a $\pm 12\%$ deviation in floor space between the proposed units;
 - Relaxation of the northern rear boundary building line of proposed Unit 2 from 2.0m to ± 1.0 m for a portion of the existing structure; and
 - Relaxation of the western lateral boundary building line of proposed Unit 2 from 3.0m to ± 1.1 m for a portion of the existing structure.

Zoning Table:

Zoning:	Land Use:
Single Residential Zone I	Dwelling House
Transport Zone II	Public Street

Remarks:

- The existing structures will be surveyed and registered as a Sectional Title Scheme, should the rezoning application be approved.
- Parking is provided in accordance with the requirements as set out in George Municipality's Integrated Zoning Scheme By-Law, 2023, for proposed Unit 2, while two vehicles can be accommodated in the existing garage in proposed Unit 1.
- Accesses adhere to the requirements as set out in George Municipality's Integrated Zoning Scheme By-Law, 2023.
- Coverage of the total development equates to 39% which is in line with the maximum coverage requirement.
- The existing structures does not contain any windows or doors facing onto a common boundary closer than 1.5m from such boundary.

Notes:

- Cadastral Information: Evergreen.
- Locality Map: Cape Farm Mapper.

**ERF 9192
MEYER STREET
GEORGE**

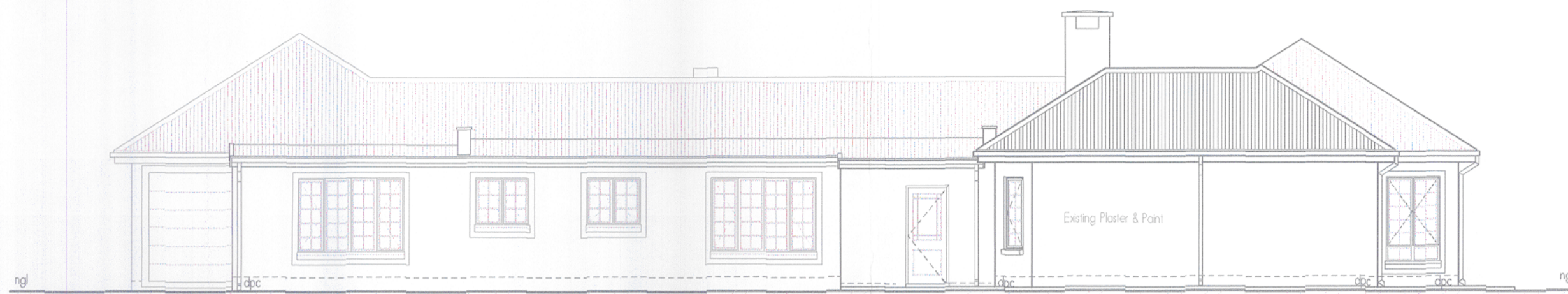


Stads - en Streekbeplanners
Town and Regional Planners

Yorkstraat 56 York Street Tel: (044) 874 5207
 Posbus 1186 / P.O. Box 1186 Fax: (044) 873 6354
 George 6530 E-pos / E-mail: neldek@mweb.co.za

SKAAL	1:250 (A3)		SCALE
BEPLAN PLANNED	A.H.	PLAN NO	G/GH/203-1
GETEKEN DRAWN	A.H.		
DATUM DATE	March 2026		

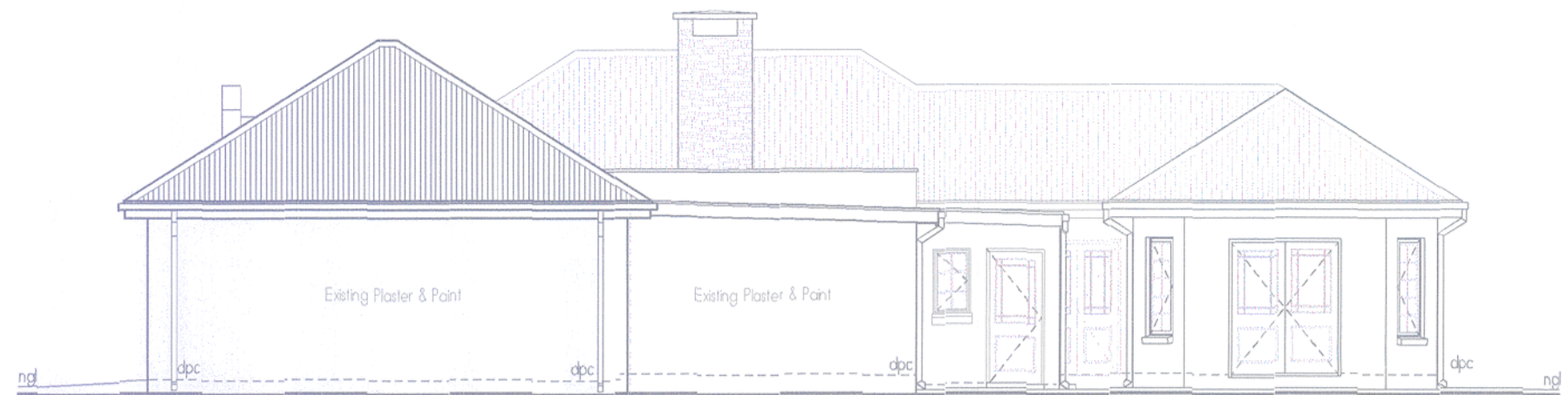
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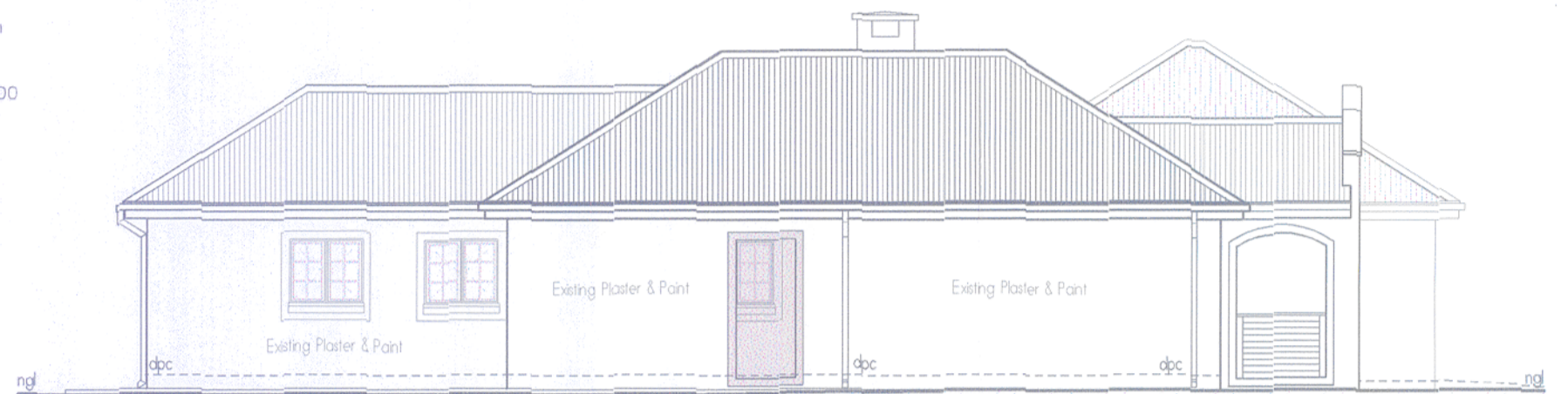
NORTH ELEVATION
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100

GENERAL NOTES

FOUNDATIONS

- Concrete foundation to engineer design and specifications

FLOORS

- 25mm smooth floated screed on 85mm 1:3:6 concrete slab
- USB 250 micron damp proof membrane on 50mm sand blinding layer on minimum 150mm well tamped hardcore.
- Approved floor finish to Kroaibosch Residential Estate Pty specifications
- Approved paving to Kroaibosch Residential Estate Pty specifications

WALLS

- Internal walls to be smooth plastered, skimmed and painted. Colour to Kroaibosch Residential Estate Pty specifications
- 25 Degree down-tilted plastered external sill
- Stepped approved DPC to all cavity walls, leave a vertical joint open after every 4th joint as weepholes.
- Door / Window to schedule
- Plaster and paint to Kroaibosch guidelines

CEILINGS

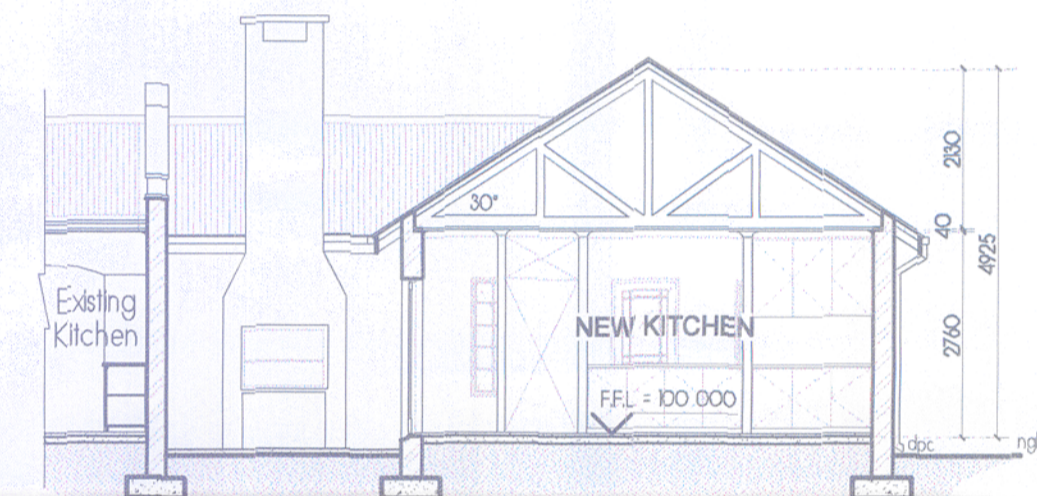
- 6mm Gypsumboard on 38 x 38mm battens at max 400mm centers worked off with Rhinolit lightweight finishing plaster Nail 63mm wire scrim over all joints and plaster surface finish and painting to Kroaibosch Residential Estate Pty specifications. Cornice to confirmed.
- 130mm Glasswool insulation to comply with the requirements in SANS 10400
- Plaster and paint under side of concrete slab

ROOFS

- 0.6mm Corrugated "Colorbond pre-coloured galvanised steel roof sheeting fixed to 50x70mm S.A pine battens on timber roof trusses to engineer design and specifications. Roof colour to Kroaibosch Manor guidelines
- Pre-manufactured "Gangplank" roof trusses to Engineers.
- Seamless eave profile aluminium gutter with a 20mm dia round down pipe. Gutter fixed against 15x225mm Nutec fascia board.
- RC slab & beam to engineer specifications
- Cover end of roof with Nutec 30x200mm barge board.
- Galvanised steel flashing to roof manufacturer specifications
- Inverted roof insulation: 2x layers of 50mm ISOBOARD high density extruded polystyrene insulation board with shiplap joints laid tightly butted on waterproofing below in accordance with the manufacturer's specifications and recommendations. The insulation to be taken all the way to the walls and the contractor must avoid cold bridges.
- Water-permeable geofabric filter membrane to be laid over insulation with upstands at wall connections.
- 20mm Nominal size rounded gravel ballast to resist floating or wind lift of the insulation.
- Timber pergola to specialist details and specifications

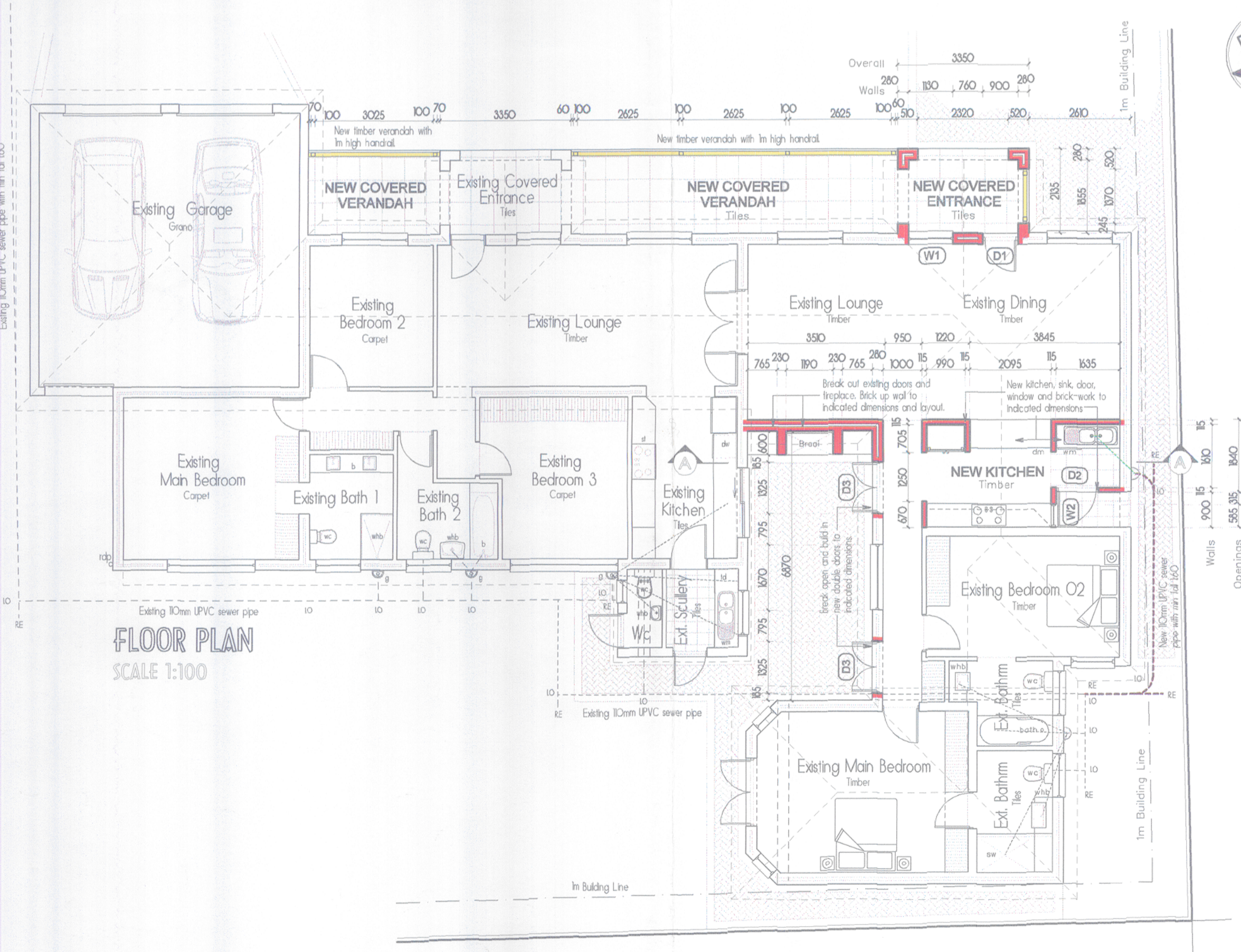
GENERAL

- Wall light @ 2.1m high fittings to KRAAIBOSCH COUNTRY ESTATE specifications.

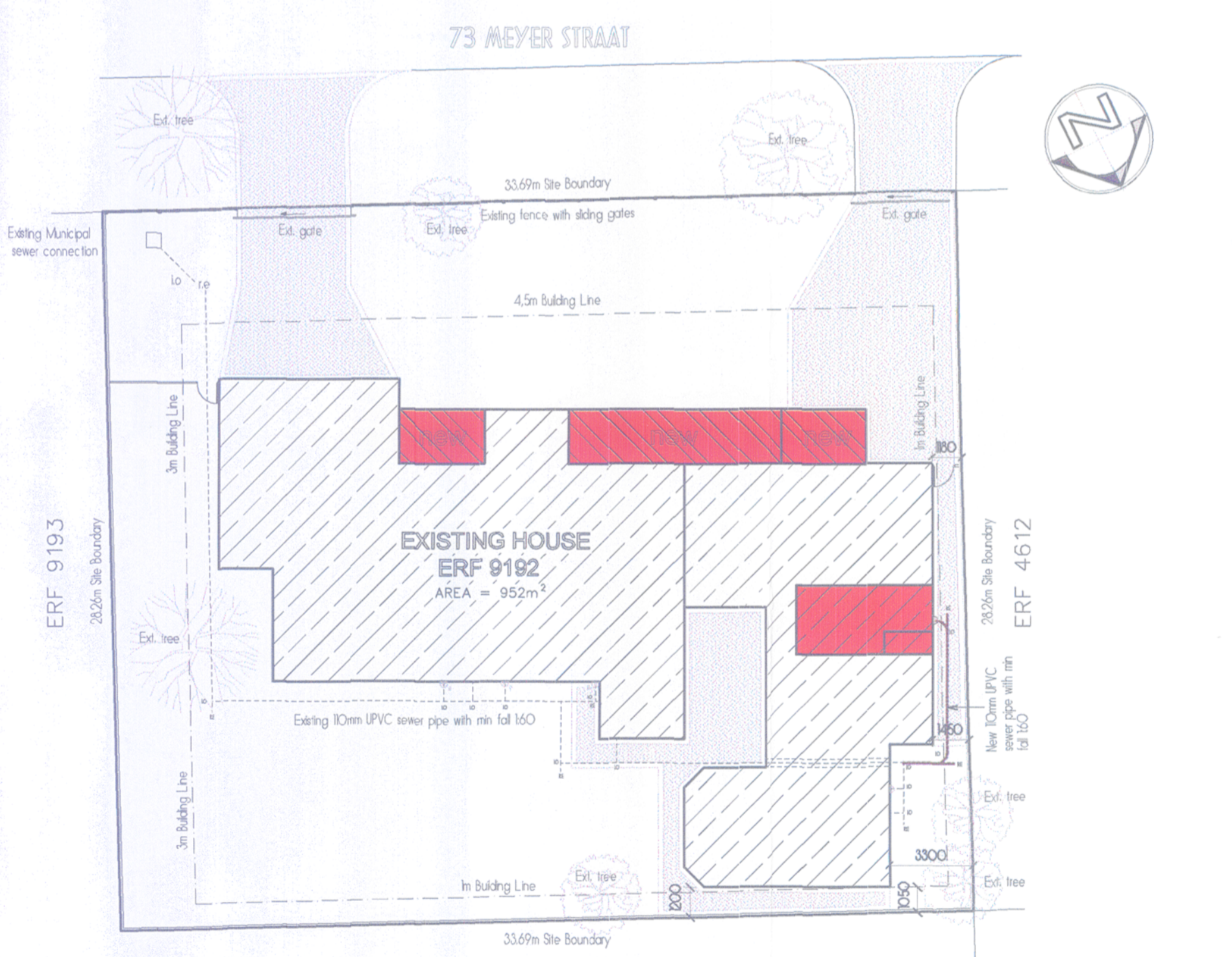


SECTION A:A
SCALE 1:100

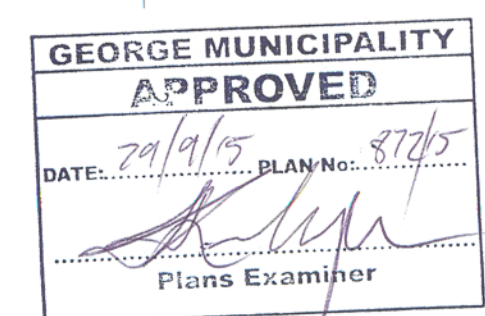
DOOR SCHEDULE	D1	D2	D3	WINDOW SCHEDULE	W1	W2
DOOR	Alum. 1200mm x 2000mm 1200mm x 2000mm 1200mm x 2000mm	Alum. 1200mm x 2000mm 1200mm x 2000mm 1200mm x 2000mm	Alum. 1200mm x 2000mm 1200mm x 2000mm 1200mm x 2000mm	WINDOW	Alum. 1200mm x 1500mm 1200mm x 1500mm 1200mm x 1500mm	Alum. 1200mm x 1500mm 1200mm x 1500mm 1200mm x 1500mm
FRAME	Alum. 1200mm x 2000mm 1200mm x 2000mm 1200mm x 2000mm	Alum. 1200mm x 2000mm 1200mm x 2000mm 1200mm x 2000mm	Alum. 1200mm x 2000mm 1200mm x 2000mm 1200mm x 2000mm	GLAZING	Alum. 1200mm x 1500mm 1200mm x 1500mm 1200mm x 1500mm	Alum. 1200mm x 1500mm 1200mm x 1500mm 1200mm x 1500mm
GLAZING	Alum. 1200mm x 2000mm 1200mm x 2000mm 1200mm x 2000mm	Alum. 1200mm x 2000mm 1200mm x 2000mm 1200mm x 2000mm	Alum. 1200mm x 2000mm 1200mm x 2000mm 1200mm x 2000mm	FINISHES	Alum. 1200mm x 1500mm 1200mm x 1500mm 1200mm x 1500mm	Alum. 1200mm x 1500mm 1200mm x 1500mm 1200mm x 1500mm
FINISHES	Alum. 1200mm x 2000mm 1200mm x 2000mm 1200mm x 2000mm	Alum. 1200mm x 2000mm 1200mm x 2000mm 1200mm x 2000mm	Alum. 1200mm x 2000mm 1200mm x 2000mm 1200mm x 2000mm			



FLOOR PLAN
SCALE 1:100



SITE DEVELOPMENT PLAN
SCALE 1:200



GENERAL NOTES

All drawings and measurements must be checked and verified before the drawing of material or before any building takes place. Differences must be brought to the attention of the designer immediately. All work, according to National Building Regulations and local authority rules. All building, electrical and plumbing to comply with SANS O-400 Regulations. The copyright on all drawings and designs are reserved. This drawing is to be read in conjunction with all relevant consultants drawings, details and specifications. Only the latest agreed and approved drawings to be used. Never scale from the drawing.

NOTES

STOREY	AREA
Existing	318m ²
New Addition	32m ²
Total Area	350m²

Erf size	952m ²
Coverage	36.76%
Height	8,5m
Storeys	Ground
Bldg Lines	As indicated
Servitudes	N/A

House van der Walt 9192

Proposed additions and alterations for
Owner on Erf 9192 in the Town of George.



KRAAIBOSCH - GEORGE - 6530
PO BOX 4703 FAX: 086 571 0935
E-MAIL: energreen@gmail.com
CELL: 072 9997810
PROFESSIONAL ARCHITECT TECH-NOLOGIST
REG. NO. T0645 (SACP)

Floor Plan, Section, Elevations & Site Plan

SCALE N/A DATE 2015/06/01

DRAWING NUMBER
9192-1000

George Municipality
York Street | George 6530
George
VAT Registration Number: 4630193664

Receipt No 08042026/256833
Receipt Date 08/04/2026 09:43:00

C.M - VAN DER WALT
Planning - Departure / Rezoning / Advertising
INVOICE NO : LJA817 ERF 9192 GEORGE

Amount 22990.00
Vat Amount 3448.50

Total 26438.50

Payment Type Credit Card

Cashier Lisakhanya Nibala
Cash Office George - York Street

Thank you.



GEORGE MUNICIPALITY 71

01-26 T:09:43:07
61 R:20240717
B:239

CUSTOMER COPY

(**APPROVED**)

N:0028 B:0252 RRN:YN01009288
477958*****2984 TSN: 9288

Host:Cless A:R6T76B

Visa

UTI: 00495090-0252-0000-9288-
bd17ade22d93

Purchase R26,438.50

TOTAL R26,438.50

AID: A0000000031010
CTQ: 0000
TVR: 0000000000
AC : B85AB152078911DF
IAD: 1F42FF32A000000000100302730
00000004000000000000000000000000
00000


Thank you

1082

Annexure 9

Symington De Kok Inc
Vineyard Square South
The Vineyard Office Estate
99 Jip de Jager Street
Bellville
7530

Prepared by me


CONVEYANCER
JANINE FOUCHÉ

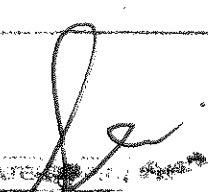
Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 1 650 000,00	R. 1 220,00
Reason for exemption	Category Exemption	Exemption i t o. Sec/Reg Act/Proc

UNREGISTERED MORTGAGED

R. 1 650 000,00

B 00007377 / 2020

04 JUN 2020



T 000012644 / 2020

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

JANINE FOUCHÉ

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him by



1. **HENDRIK PETRUS VAN DER WALT**
Identity Number 460815 5092 08 9
and
MAGDALENA CATHARINA VAN DER WALT
Identity Number 470414 0060 08 1
Married in community of property to each other
2. **HENDRIK PETRUS VAN DER WALT**
Identity Number 731108 5054 08 2
Married out of community of property

which said Power of Attorney was signed
at George on 3 March 2020.

And the appearer declared that his said principal had, on 22 January 2020, truly and legally sold by Private Treaty, and that he, the said Appearer, in his capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

CATHARINA MATHILDA VAN DER WALT
Identity Number 760320 0040 08 1
Unmarried

her Heirs, Executors, Administrators or Assigns, in full and free property

ERF 9192 GEORGE,
IN THE MUNICIPALITY AND DIVISION OF GEORGE,
PROVINCE OF THE WESTERN CAPE

IN EXTENT 952 (NINE HUNDRED AND FIFTY TWO) Square metres

FIRST TRANSFERRED by Deed of Transfer Number T 26500/1983 with Diagram SG No. 1206/83 relating thereto and held by Deed of Transfer Number T54674/2005

- A. SUBJECT to the conditions referred to in Deed of Transfer No. T3794/1927 dated 25 April 1927.
- B. SUBJECT FURTHER to the following condition contained in Deed of Transfer No. T3794/1927, namely:

The said Council and its successors in office reserve the right to construct, use and maintain across the above property any pipe line for water leading, sewerage, drainage and any poles and structures for the conducting of any electric or other light or power."

- C. SUBJECT FURTHER to the following condition contained in Deed of Transfer No. T1105/1974 imposed by the Administrator with the approval of the subdivision in terms of Section 9 of Ordinance No. 33 of 1934, namely:



The owner of this erf shall be obliged without compensation, to receive such material or permit such excavation on the erf as may be required to allow use of the full width of the street and provide a safe and proper slope to its bank owing to difference between the levels of the street as finally constructed and the erf, unless he elects to build retaining walls to the satisfaction of and within a period to be determined by the local authority.

D. SUBJECT FURTHER to the following conditions, as contained in Deed of Transfer No. T26500/1983, imposed by the Administrator of the Province of the Cape of Good Hope in terms of Section 9 of Ordinance No.33 of 1934 with the approval of the subdivision namely:

1. The owner of this erf shall without compensation, be obliged to allow gas mains, electricity, telephone and television cables and/or wires and main and/or other waterpipes and the sewage and drainage, including stormwater of any other erf or erven to be conveyed across this erf, and surface installation such as mini-substations, meter kiosks and service pillars to be installed thereon, if deemed necessary by the local authority and in such manner and positions as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time for the purpose of constructing, altering removing or inspecting any works connected to the above.



WHEREFORE the said Appearer, renouncing all rights and title which the said

1. **HENDRIK PETRUS VAN DER WALT and MAGDALENA CATHARINA VAN DER WALT, Married as aforesaid**
2. **HENDRIK PETRUS VAN DER WALT, Married as aforesaid**

heretofore had to the premises, did in consequence also acknowledge them to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

CATHARINA MATHILDA VAN DER WALT, Unmarried

her Heirs, Executors, Administrators or Assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R1 650 000,00 (ONE MILLION SIX HUNDRED AND FIFTY THOUSAND RAND) .

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on

04 JUN 2020

In my presence

REGISTRAR OF DEEDS

q.q.

CONVEYANCERS CERTIFICATE

I, the undersigned,

HERMAN JOSIAS SWANEPOEL (44409)

Conveyancer practising in GREAT BRAK RIVER, hereby certifies from enquiries made by me that:-

**ERF 9192 GEORGE
IN THE MUNICIPALITY AND DIVISION OF GEORGE
PROVINCE OF THE WESTERN CAPE
IN EXTENT: 952 (NINE HUNDRED AND FIFTY-TWO) SQUARE METRES**

and held in terms of Deed of transfer no. T12644/2020:

The Deed by which the property is held, has been examined and is subject to the following conditions:

- 1.The Council reserves the right to construct, use and maintain across the above property any pipeline for water leading, sewerage, drainage and any poles and structures for the conducting of any electric or other light or power.
- 2.The owner of this erf shall be obliged without compensation, to receive such material or permit such excavation on the erf as may be required to allow use of the full width of the street and provide a safe and proper slope to its bank owing to difference between the levels of the street as finally constructed and the erf unless he elects to build retaining walls to the satisfaction of and within the period to be determined by the local authority.
- 3.The owner of this erf shall without compensation, be obliged to allow gas mains, electricity, telephone and television cables and/or wires and main and/or other waterpipes and the sewerage and drainage, including stormwater of any other erf or erven to be conveyed across this erf, and surface installation such as mini-substations, meter kiosks and service pillars to be installed thereon, if deemed necessary by the local authority and in such manner and positions as may from time to time be reasonable required. This shall include the right of access to the erf at any reasonable time for the purpose of constructing, altering removing or inspecting any works connected to the above.

Bond no B7377/2020 in favour of ABSA Bank Ltd in the amount of R 1 650 000 is registered against this property.

The proposed application for rezoning and departures will not be restricted by the conditions set out above.

Signed at Great Brak River on 28 January 2026

A handwritten signature in black ink, appearing to be 'HJS', written over a horizontal line.

**CONVEYANCER
HERMAN JOSIAS SWANEPOEL (44409)**



Planning and Development
 E-mail: rlhector@george.gov.za
 Tel: +27 (0)44 801 9477

LAND USE PLANNING PRE-APPLICATION CONSULTATION FORM

PLEASE NOTE:

Pre-application consultation is an advisory session and is required prior to submission of an application for rezoning, consent use, temporary departure and subdivision. It does not in any way pre-empt the outcome of any future application which may be submitted to the Municipality.

PART A: PARTICULARS

Reference number: **3937632**

Purpose of consultation: **To discuss the proposed application**

Brief proposal: **Rezoning and Permanent Departures**

Property(ies) description: **Erf 9192, George**

Date: **26 November 2025**

Attendees:

	Name & Surname	Organisation	Contact Number	E-mail
Official	Robin Hector	George Municipality	0448019477	rlhector@george.gov.za
	Naudica Swanepoel	George Municipality	0448019477	nswanepoel@george.gov.za
Pre-applicant	Alexander Havenga	Nel & de Kock Town and Regional Planners	044 874 5207	neldek@mweb.co.za

Documentation provided for discussion:

(Include document reference, document/plan dates and plan numbers where possible and attach to this form)

1. **Title Deed No. T12644/2020;**
2. **SG Diagram No. 1206/83;**
3. **Plan No. G/GH/203-1; and**
4. **Previous Pre-Application Feedback dd. 10 January 2024.**

Has pre-application been undertaken for a Land Development application with the Department of Environmental Affairs & Development Planning (DEA&DP)?

YES	NO
-----	----

(If so, please provide a copy of the minutes)

Comprehensive overview of proposal:

In December 2023 the owner of Erf 9192, George, submitted a Pre-Application to George Municipality for the Rezoning of the subject property from Single Residential Zone I to General Residential Zone I (Double Dwelling House) on which she received the attached feedback dd. 10 January 2024. The owner now approached Nel & de Kock Town and Regional Planners to assist in compiling and submitting the relevant application. The applicant discussed the departure of the difference in floor space of the proposed two units with Municipal Officials during a meeting and was instructed to submit a new Pre-Application to obtain the Municipality's formal comments on the proposal. The owner wishes to obtain approval for the rezoning of the property in order to establish a Sectional Title Scheme on the property which will in turn grant her the opportunity to alienate a portion should the need exist. The application entails the following:

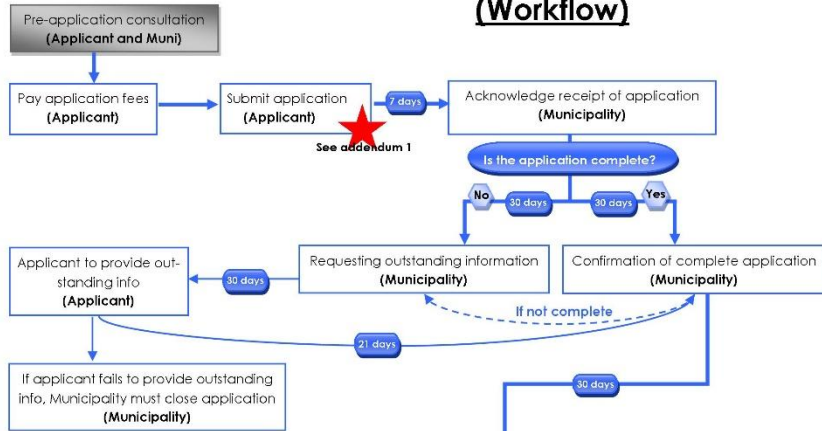
Application is being made for the following in terms of the relevant Sections of the Land Use Planning By-Law of George Municipality, 2023, for Erf 9192, George:

1. Rezoning in terms of Section 15 (2)(a) of Erf 9192 from Single Residential Zone I (Dwelling House) to General Residential Zone I (Double Dwelling House); and
2. The following permanent departures in terms of Section 15 (2)(b):
 - 2.1 Departure from the requirement to permit a 18% deviation in floor space between the proposed units;
 - 2.2 Relaxation of the northern rear boundary building line of proposed Unit 2 from 2.0m to ± 1.0 m for a portion of the existing structure; and
 - 2.3 Relaxation of the western lateral boundary building line of proposed Unit 2 from 3.0m to ± 1.1 m for a portion of the existing structure.

PART B: APPLICATION PROCESS (WILL FULLY APPLY ONLY ONCE LUPA REGULATIONS ARE IN FORCE)

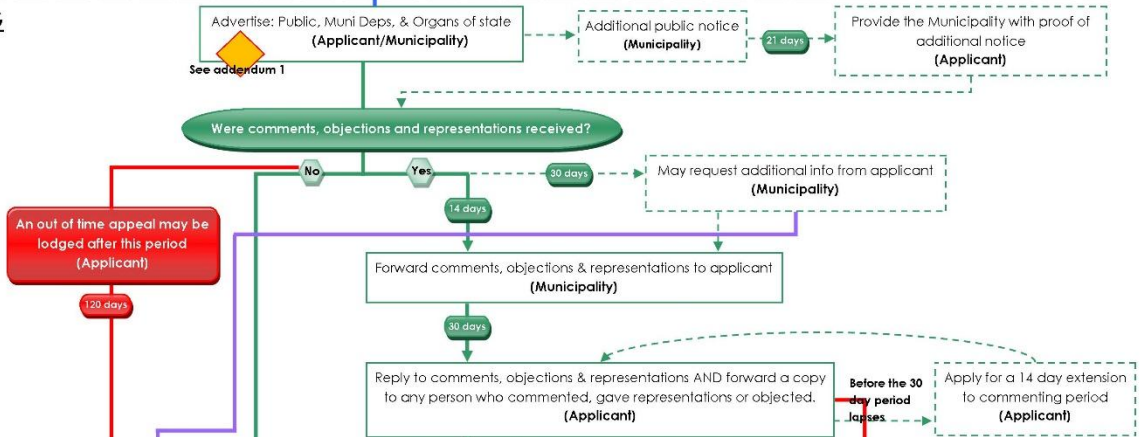
**Draft By-Law on Municipal Land Use Planning
(Workflow)**

SUBMISSION



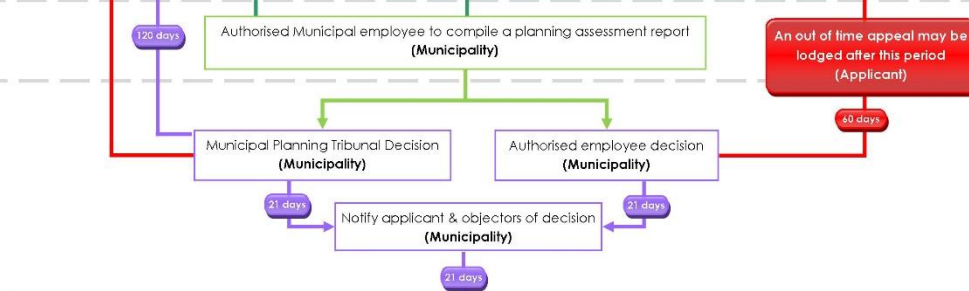
- Types of applications that can be submitted in terms of Section 15 (2)**
- (a) Rezoning of land
 - (b) Permanent departure
 - (c) Temporary departure
 - (d) Subdivision of land
 - (e) Consolidation of land
 - (f) Amendment, suspension or removal of restrictive conditions
 - (g) Permission required in terms of the zoning scheme
 - (h) Amendment, deletion or imposition of condition in respect of an approval
 - (i) Extension of validity period of an approval
 - (j) Approval of an overlay zone
 - (k) Phasing, amendment or cancellation of a subdivision plan or part thereof
 - (l) Permission required in terms of condition of approval
 - (m) Determination of zoning
 - (n) Closure of public place or part thereof
 - (o) Consent use
 - (p) Occasional use

ADVERTISING



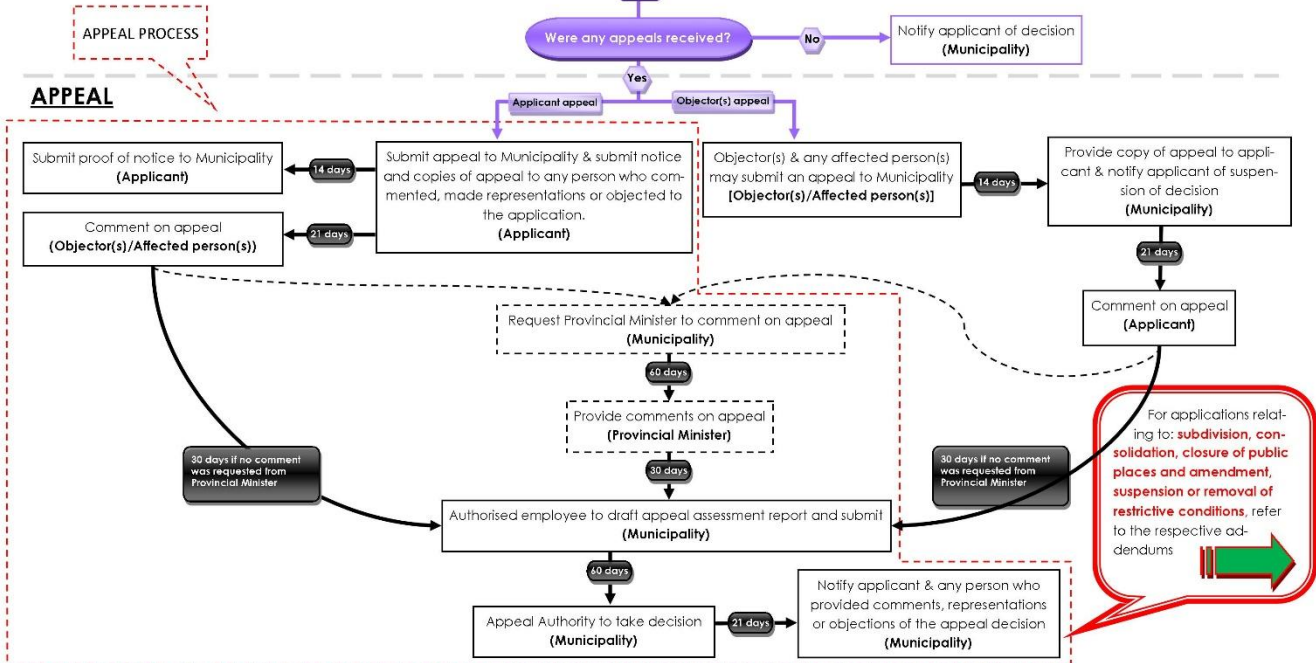
ASSESSMENT

DECISION



APPEAL PROCESS

APPEAL



PART C: QUESTIONNAIRES

SECTION A:

DETERMINATION OF APPLICATION TYPES, PRESCRIBED NOTICE AND ADVERTISEMENT PROCEDURES

Tick if relevant		What land use planning applications are required?	Application fees payable
<input checked="" type="checkbox"/>	2(a)	a rezoning of land;	R
<input checked="" type="checkbox"/>	2(b)	a permanent departure from the development parameters of the zoning scheme;	R
	2(c)	a departure granted on a temporary basis to utilise land for a purpose not permitted in terms of the primary rights of the zoning applicable to the land;	R
	2(d)	a subdivision of land that is not exempted in terms of section 24, including the registration of a servitude or lease agreement;	R
	2(e)	a consolidation of land that is not exempted in terms of section 24;	R
	2(f)	a removal, suspension or amendment of restrictive conditions in respect of a land unit;	R
	2(g)	a permission required in terms of the zoning scheme;	R
	2(h)	an amendment, deletion or imposition of conditions in respect of an existing approval;	R
	2(i)	an extension of the validity period of an approval;	R
	2(j)	an approval of an overlay zone as contemplated in the zoning scheme;	R
	2(k)	an amendment or cancellation of an approved subdivision plan or part thereof, including a general plan or diagram;	R
	2(l)	a permission required in terms of a condition of approval;	R
	2(m)	A determination of a zoning;	R
	2(n)	A closure of a public place or part thereof;	R
	2(o)	a consent use contemplated in the zoning scheme;	R
	2(p)	an occasional use of land;	R
	2(q)	to disestablish a home owner's association;	R
	2(r)	to rectify a failure by a home owner's association to meet its obligations in respect of the control over or maintenance of services;	R
	2(s)	a permission required for the reconstruction of an existing building that constitutes a non-conforming use that is destroyed or damaged to the extent that it is necessary to demolish a substantial part of the building	R
Tick if relevant		What prescribed notice and advertisement procedures will be required?	Advertising fees payable
<input type="checkbox"/>	<input type="checkbox"/>	Serving of notices (i.e. registered letters etc.)	R
<input type="checkbox"/>	<input type="checkbox"/>	Publication of notices (i.e. Provincial Gazette, Local Newspaper(s) etc.)	R
<input type="checkbox"/>	<input type="checkbox"/>	Additional publication of notices (i.e. Site notice, public meeting, local radio, website, letters of consent etc.)	R
<input type="checkbox"/>	<input type="checkbox"/>	Placing of final notice (i.e. Provincial Gazette etc.)	R
TOTAL APPLICATION FEE* (VAT excluded):			TBD on submission

PLEASE NOTE: * Application fees are estimated on the information discussed and are subject to change with submission of the formal application and/or yearly application fee increase.

SECTION B:

PROVISIONS IN TERMS OF THE RELEVANT PLANNING LEGISLATION / POLICIES / GUIDELINES

QUESTIONS REGARDING PLANNING POLICY CONTEXT	YES	NO	TO BE DETERMINED	COMMENT
Is any Municipal Integrated Development Plan (IDP)/Spatial Development Framework (SDF) and/or any other Municipal policies/guidelines applicable? If yes, is the proposal in line with the aforementioned documentation/plans?			X	Applicant to motivate proposal in line with George Municipal Spatial Development Framework, 2023.
Any applicable restrictive condition(s) prohibiting the proposal? If yes, is/are the condition(s) in favour of a third party(ies)? [List condition numbers and third party(ies)]			X	Submit Conveyancer's Certificate indicating title deed restrictions relating to the proposal, the beneficiaries to be notified as well as method to be dealt with.
Any other Municipal by-law that may be relevant to application? (If yes, specify)			X	
<p>Zoning Scheme Regulation considerations:</p> <p>Which zoning scheme regulations apply to this site?</p> <p>George Integrated Zoning Scheme By-Law, 2023</p> <p>What is the current zoning of the property?</p> <p>Single Residential Zone I</p> <p>What is the proposed zoning of the property?</p> <p>General Residential Zone I</p> <p>Does the proposal fall within the provisions/parameters of the zoning scheme?</p> <p>No</p> <p>Are additional applications required to deviate from the zoning scheme? (if yes, specify)</p> <p>To be determined</p>				

QUESTIONS REGARDING OTHER PLANNING CONSIDERATIONS	YES	NO	TO BE DETERMINED	COMMENT
Is the proposal in line with the Provincial Spatial Development Framework (PSDF) and/or any other Provincial bylaws/policies/guidelines/documents?			X	Motivate i.t.o PSDF
Are any regional/district spatial plans relevant? If yes, is the proposal in line with the document/plans?		X		

SECTION C:

CONSENT / COMMENT REQUIRED FROM OTHER ORGANS OF STATE

QUESTIONS REGARDING CONSENT / COMMENT REQUIRED	YES	NO	TO BE DETERMINED	OBTAIN APPROVAL / CONSENT / COMMENT FROM:
Is/was the property(ies) utilised for agricultural purposes?		X		Western Cape Provincial Department of Agriculture
Will the proposal require approval in terms of Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)?		X		National Department of Agriculture
Will the proposal trigger a listed activity in terms of National Environmental Management Act, 1998 (Act 107 of 1998) (NEMA)?		X		Western Cape Provincial Department of Environmental Affairs & Development Planning (DEA&DP)
Will the proposal require authorisation in terms of Specific Environmental Management Act(s) (SEMA)? (National Environmental Management: Protected Areas Act, 2003 (Act 57 of 2003) (NEM:PAA)/ National Environmental Management: Biodiversity Act, 2004 (Act 10 of 2004) (NEM:BA)/ National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004) (NEM:AQA)/ National Environmental Management: Integrated Coastal Management Act, 2008 (Act 24 of 2008) (NEM:ICM)/ National Environmental Management: Waste Act, 2008 (Act 59 of 2008) (NEM:WA) (strikethrough irrelevant)		X		National Department of Environmental Affairs (DEA) & DEA&DP
Will the proposal require authorisation in terms of the National Water Act, 1998 (Act 36 of 1998)?		X		National Department of Water & Sanitation (DWS)
Will the proposal trigger a listed activity in terms of the National Heritage Resources Act, 1999 (Act 25 of 1999)?		X		South African Heritage Resources Agency (SAHRA) & Heritage Western Cape (HWC)
Will the proposal have an impact on any National or Provincial roads?		X		National Department of Transport / South Africa National Roads Agency Ltd. (SANRAL) & Western Cape Provincial Department of Transport and Public Works (DTPW)
Will the proposal trigger a listed activity in terms of the Occupational Health and Safety Act, 1993 (Act 85		X		National Department of Labour (DL)

QUESTIONS REGARDING CONSENT / COMMENT REQUIRED	YES	NO	TO BE DETERMINED	OBTAIN APPROVAL / CONSENT / COMMENT FROM:
of 1993): Major Hazard Installations Regulations				
Will the proposal affect any Eskom owned land and/or servitudes?		X		Eskom
Will the proposal affect any Telkom owned land and/or servitudes?		X		Telkom
Will the proposal affect any Transnet owned land and/or servitudes?		X		Transnet
Is the property subject to a land / restitution claims?		X		National Department of Rural Development & Land Reform
Will the proposal require comments from SANParks and/or CapeNature?		X		SANParks / CapeNature
Will the proposal require comments from DEFF?		X		Department of Environment, Forestry and Fishery
Is the property subject to any existing mineral rights?		X		National Department of Mineral Resources
Does the proposal lead to densification to such an extent that the number of schools, healthcare facilities, libraries, safety services, etc. In the area may be impacted on? (strikethrough irrelevant)		X		Western Cape Provincial Departments of Cultural Affairs & Sport (DCAS), Education, Social Development, Health and Community Safety

SECTION D:

SERVICE REQUIREMENTS

DOES THE PROPOSAL REQUIRE THE FOLLOWING ADDITIONAL INFRASTRUCTURE / SERVICES?	YES	NO	TO BE DETERMINED	OBTAIN COMMENT FROM:
Electricity supply:			X	Directorate: Electro-technical Services
Water supply:			X	Directorate: Civil Engineering Services
Sewerage and waste water:			X	Directorate: Civil Engineering Services
Stormwater:			X	Directorate: Civil Engineering Services
Road network:			X	Directorate: Civil Engineering Services
Telecommunication services:			X	
Other services required? Please specify.			X	
Development charges:			X	

PART D: COPIES OF PLANS / DOCUMENTS TO BE SUBMITTED AS PART OF THE APPLICATION

COMPULSORY INFORMATION REQUIRED:

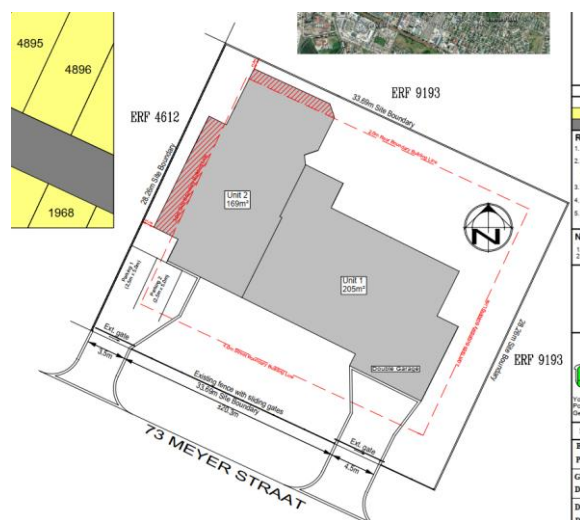
Y	N	Power of Attorney / Owner's consent if applicant is not owner (if applicable)	Y	N	S.G. noting sheet extract / Erf diagram / General Plan
Y	N	Motivation report / letter	Y	N	Full copy of the Title Deed
Y	N	Locality Plan	Y	N	Site Layout Plan
Y	N	Proof of payment of fees	Y	N	Bondholder's consent

MINIMUM AND ADDITIONAL REQUIREMENTS:

Y	N	Site Development Plan	Y	N	Conveyancer's Certificate
Y	N	Land Use Plan	Y	N	Proposed Zoning plan
Y	N	Phasing Plan	Y	N	Consolidation Plan
Y	N	Abutting owner's consent	Y	N	Landscaping / Tree Plan
Y	N	Proposed Subdivision Plan (including street names and numbers)	Y	N	Copy of original approval letter
Y	N	Services Report or indication of all municipal services / registered servitudes	Y	N	Home Owners' Association consent
Y	N	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) / (strikethrough irrelevant)	Y	N	1 : 50 / 1:100 Flood line determination (plan / report)
Y	N	Other (specify)	Y	N	Required number of documentation copies

PART E: DISCUSSION

Pre-application as discussed on 26 November 2025 for the proposed Rezoning and Departures for Erf 9192, George. The following site layout plan and documents attached were presented:



Town Planning comment:

- The density of a double dwelling unit in principle may be supported.
- Applicant to motivate proposal in terms of SPLUMA, LUPA, PSDF, MSDF and LSDF (where applicable). Any deviation must be motivated.
- Applicant must indicate compliance with the zoning objective, land use description and development parameters as per the George Integrated Zoning Scheme By-law, 2023. Any deviation from the latter requires a departure application.
- All structures and development parameters to be indicated on the site plan.
- Applicant to sufficiently motivate deviation from development parameters i.e. floor space variations.

Civil Engineering Services comment:

- Access be restricted via Meyer Street.
- Access should comply to the GIZS 2023, alternatively any deviation should be included within a land use application.
- All parking must be provided on-site, in compliance with the GIZS 2023 parking requirements.
- No parking is allowed within the road reserve, and the owner may be held liable for any costs incurred to prevent unauthorized parking in this area.
- PT1 parking ratio may be applied for (departure application and motivation required).
- All vehicle mobility should be done on site and must be indicated on the layout plan.
- Normal Development Charges (DCs), applicable on services available, will be levied in accordance with the DC policy and the applicable By-law and or policy.
- Municipal water and sanitation are available subject the capacity confirmation.
- The location of all existing municipal services must be confirmed on site.
- The developer must ensure full compliance with the relevant Stormwater By-law.
- Developer will be required to conduct a stormwater management plan.

PART F: SUMMARY / WAY FORWARD

- Applicant to take note of the comments above and proceed with submission of the land use application addressing all aspects above.
- Applicant to take note of public participation process in line with letter dated 19 September 2025 relevant to the December holiday period (attached).


OFFICIAL: Robin Hector

PRE-APPLICANT: Alexander Havenga

SIGNED:



SIGNED:



DATE:

03 December 2025

DATE:

18 November 2025

OFFICIAL: Naudica Swanepoel

SIGNED:



DATE:

3 December 2025

**Please note that the above comments are subject to the documents and information available to us at the time of the pre-application meeting and we reserve our rights to elaborate on this matter further and/or request more information/documents should it be deemed necessary.*

1082

Symington De Kok Inc
Vineyard Square South
The Vineyard Office Estate
99 Jip de Jager Street
Bellville
7530

Prepared by me

CONVEYANCER
JANINE FOUCHÉ

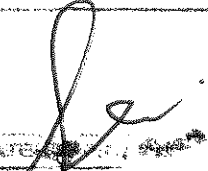
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UNREGISTERED MORTGAGED

R. 1 650 000,00

B 00007377 / 2020

04 JUN 2020



T 000012644 / 2020

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

JANINE FOUCHÉ

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him by



1. **HENDRIK PETRUS VAN DER WALT**
Identity Number 460815 5092 08 9
and
MAGDALENA CATHARINA VAN DER WALT
Identity Number 470414 0060 08 1
Married in community of property to each other
2. **HENDRIK PETRUS VAN DER WALT**
Identity Number 731108 5054 08 2
Married out of community of property

which said Power of Attorney was signed
at George on 3 March 2020.

And the appearer declared that his said principal had, on 22 January 2020, truly and legally sold by Private Treaty, and that he, the said Appearer, in his capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

CATHARINA MATHILDA VAN DER WALT
Identity Number 760320 0040 08 1
Unmarried

her Heirs, Executors, Administrators or Assigns, in full and free property

ERF 9192 GEORGE,
IN THE MUNICIPALITY AND DIVISION OF GEORGE,
PROVINCE OF THE WESTERN CAPE

IN EXTENT 952 (NINE HUNDRED AND FIFTY TWO) Square metres

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The said Council and its successors in office reserve the right to construct, use and maintain across the above property any pipe line for water leading, sewerage, drainage and any poles and structures for the conducting of any electric or other light or power."

- C. SUBJECT FURTHER to the following condition contained in Deed of Transfer No. T1105/1974 imposed by the Administrator with the approval of the subdivision in terms of Section 9 of Ordinance No. 33 of 1934, namely:

The owner of this erf shall be obliged without compensation, to receive such material or permit such excavation on the erf as may be required to allow use of the full width of the street and provide a safe and proper slope to its bank owing to difference between the levels of the street as finally constructed and the erf, unless he elects to build retaining walls to the satisfaction of and within a period to be determined by the local authority.

D. SUBJECT FURTHER to the following conditions, as contained in Deed of Transfer No. T26500/1983, imposed by the Administrator of the Province of the Cape of Good Hope in terms of Section 9 of Ordinance No.33 of 1934 with the approval of the subdivision namely:

1. The owner of this erf shall without compensation, be obliged to allow gas mains, electricity, telephone and television cables and/or wires and main and/or other waterpipes and the sewage and drainage, including stormwater of any other erf or erven to be conveyed across this erf, and surface installation such as mini-substations, meter kiosks and service pillars to be installed thereon, if deemed necessary by the local authority and in such manner and positions as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time for the purpose of constructing, altering removing or inspecting any works connected to the above.



WHEREFORE the said Appearer, renouncing all rights and title which the said

1. **HENDRIK PETRUS VAN DER WALT and MAGDALENA CATHARINA VAN DER WALT, Married as aforesaid**
2. **HENDRIK PETRUS VAN DER WALT, Married as aforesaid**

heretofore had to the premises, did in consequence also acknowledge them to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

CATHARINA MATHILDA VAN DER WALT, Unmarried

her Heirs, Executors, Administrators or Assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R1 650 000,00 (ONE MILLION SIX HUNDRED AND FIFTY THOUSAND RAND) .

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on

04 JUN 2020

In my presence

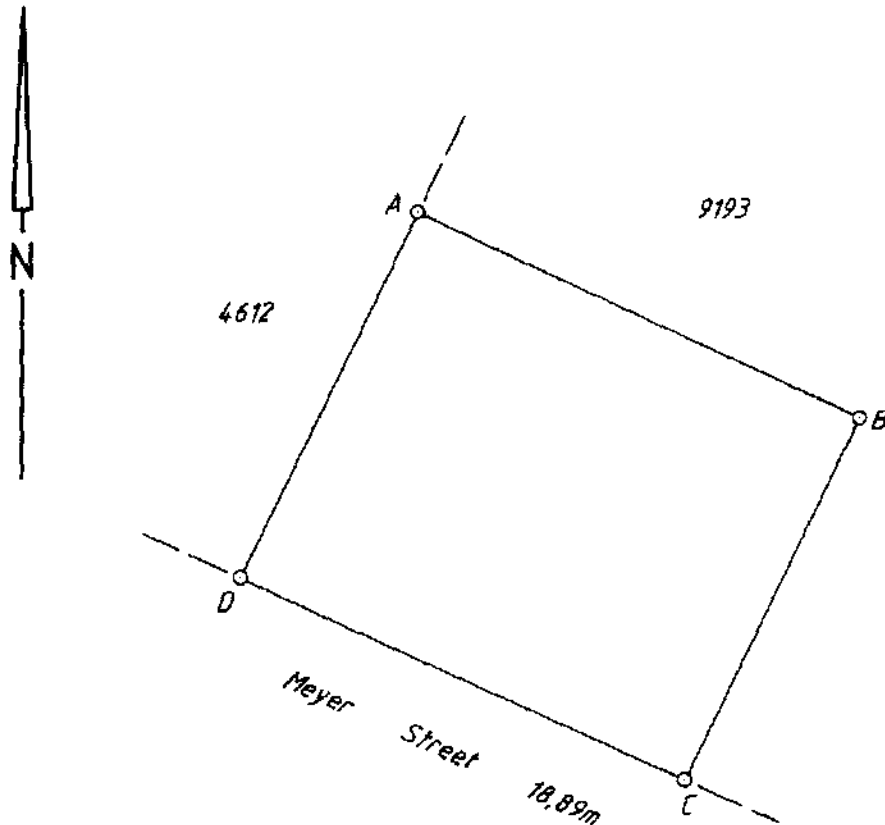
REGISTRAR OF DEEDS

q.q.

SYE METERS	RIGTINGS-HOEKE	KOÖRDINATE (prov.) Stelsel Lo 23°		L.G. No.
		Y	X	
	<i>Konstante</i>		± 0,00 + 3700 000,00	1206-83
AB	295 0 0	A	+47 763,04 +59 068,10	
BC	25 0 0	B	+47 732,51 +59 082,34	Goedgekeur <i>N. D. J. g.</i> Landmeter-generaal 10.03.1983.
CD	115 0 0	C	+47 744,45 +59 107,95	
DA	205 0 0	D	+47 774,98 +59 093,71	
	53P4	⊕	+47 779,93 +58 903,36	
	101P4	⊕	+47 957,38 +59 290,36	

Bakenbeskrywing

A Teer hoekpaal
B.C.D 12mm ysterpen



Skaal 1: 500

Die figuur A B C D

stel voor 952 vierkante meter

grond, synde

ERF 9192 gedeelte van Erf 4123 GEORGE

geleë in die Munisipaliteit en

Administratiewe Distrik

George,

Provinsie Kaap die Goeie Hoop.

Opgemeet in Desember 1982 en Januarie 1983

deur my,

O. T. Trevor
Landmeter

Hierdie kaart is geheg aan
Transportakte
No. T.26500/1983
gedateer
t.g.v.

Die oorspronklike kaart is.
No. 2558/1968 geheg aan
Transport/Grondbrief
No. 1969.341 17017

Lêer No. S 8775/4/9
M.S. No. B 318/83
Komp. BL-7DD/W53 (1748)
Alg. Plan G42a (2669)

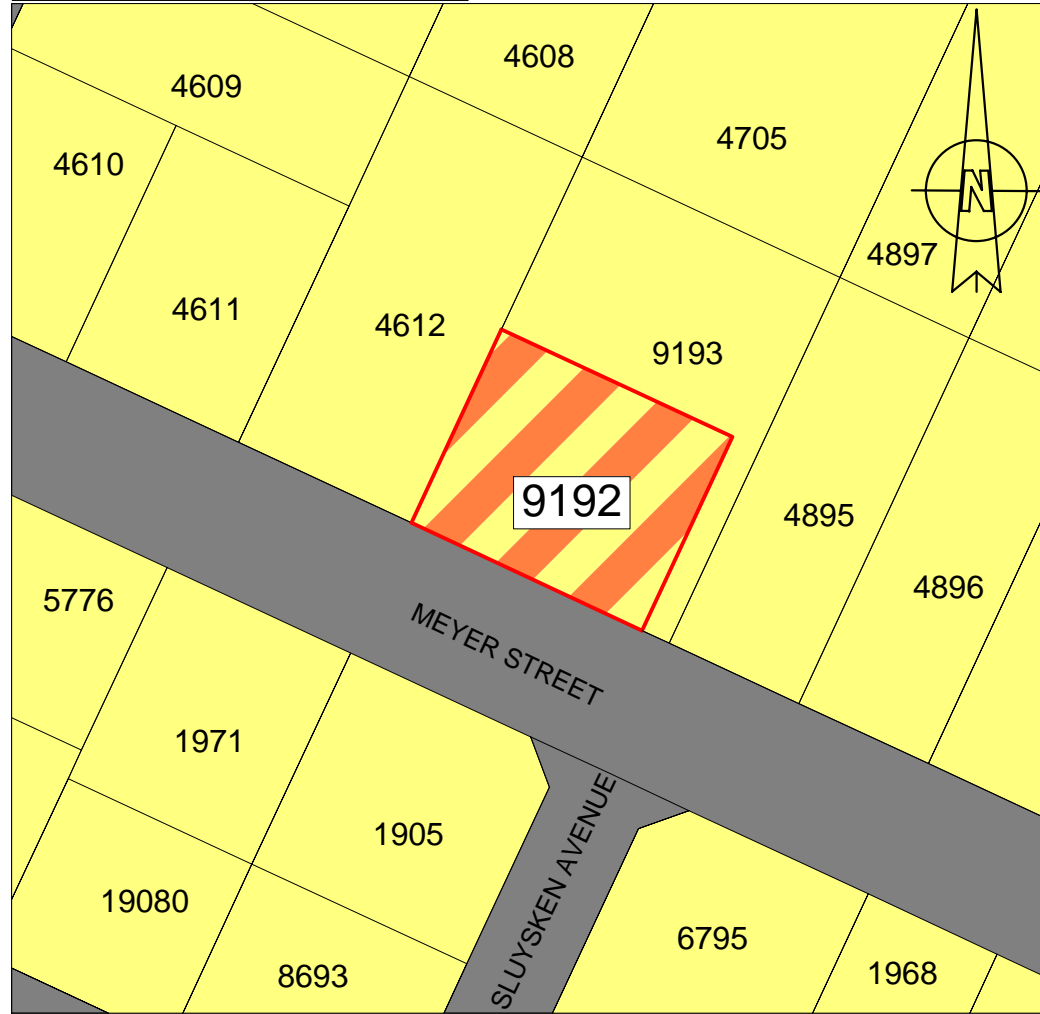
Registrateur van Aktes

REG. N. 1714 - 1982 - 03 - 11

AF 37/4/203

1982-03-11

Rezoning Plan (1:1 000):




Locality Map (1:20 000):





PROPOSED REZONING AND PERMANENT DEPARTURES IN TERMS OF SECTION 15.(2) OF THE BY-LAW ON MUNICIPAL LAND USE PLANNING OF GEORGE MUNICIPALITY, 2023, FOR ERF 9192, GEORGE

Application is being made for the following in terms of the relevant Sections of the Land Use Planning By-Law of George Municipality, 2023, for Erf 9192, George;

-  Rezoning in terms of Section 15.(2)(a) of Erf 9192 from Single Residential Zone I (Dwelling House) to General Residential Zone I (Double Dwelling House); and
- The following permanent departures in terms of Section 15.(2)(b):
 - Departure from the requirement to permit a 18% deviation in floor space between the proposed units;
 - Relaxation of the northern rear boundary building line of proposed Unit 2 from 2.0m to ±1.0m for a portion of the existing structure; and
 - Relaxation of the western lateral boundary building line of proposed Unit 2 from 3.0m to ±1.1m for a portion of the existing structure.

Zoning Table:

Zoning:	Land Use:
 Single Residential Zone I	Dwelling House
 Transport Zone II	Public Street

Remarks:

- The existing structures will be surveyed and registered as a Sectional Title Scheme, should the rezoning application be approved.
- Parking is provided in accordance with the requirements as set out in George Municipality's Integrated Zoning Scheme By-Law, 2023, for proposed Unit 2, while two vehicles can be accommodated in the existing garage in proposed Unit 1.
- Accesses adhere to the requirements as set out in George Municipality's Integrated Zoning Scheme By-Law, 2023.
- Coverage of the total development equates to 39% which is in line with the maximum coverage requirement.
- The existing structures does not contain any windows or doors facing onto a common boundary closer than 1.5m from such boundary.

Notes:

- Cadastral Information: Evergreen.
- Locality Map: Cape Farm Mapper.

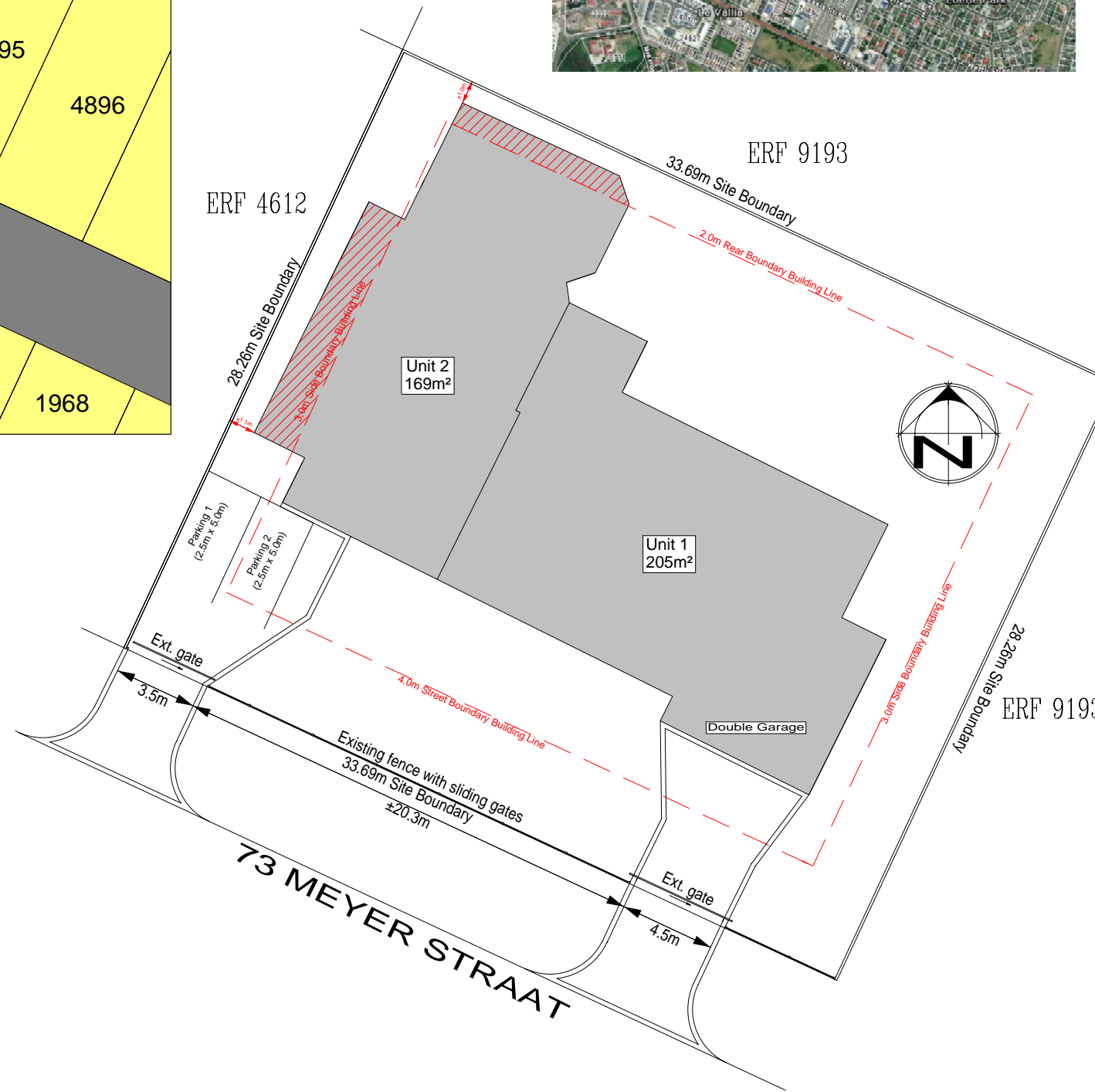
**ERF 9192
MEYER STREET
GEORGE**

 **nedek & rock** Stads - en Streekbeplanners
Town and Regional Planners

Yorkstraat 56 York Street Tel: (044) 874 5207
Posbus 1186 / P.O. Box 1186 Fax: (044) 873 6354
George 6530 E-pos / E-mail: neldek@mweb.co.za

SKAAL	1:250 (A3)	SCALE
BEPLAN PLANNED	A.H.	PLAN NO G/GH/203-1
GETEKEN DRAWN	A.H.	
DATUM DATE	November 2025	

KOPIEREG VOORBEHOU / COPYRIGHT RESERVED





Planning and Development
 E-mail: town.planning.application@george.gov.za
 Tel: +27 (0)44 801 9477

LAND USE PLANNING PRE-APPLICATION CONSULTATION FORM

PLEASE NOTE:

Pre-application consultation is an advisory session and is required prior to submission of an application for rezoning, consent use, temporary departure and subdivision. It does not in any way pre-empt the outcome of any future application which may be submitted to the Municipality.

PART A: PARTICULARS

Reference number: 2998977

Purpose of consultation: **Rezoning from Single Residential Zone I to General Residential Zone I**

Brief proposal: **Erf 9192 rezoning from Single Residential Zone I to General Residential Zone I in order to register a sectional title.**

Property(ies) description: **Erf 9192, Loerie Park, George**

Date: 18 December 2023

Attendees:

	Name & Surname	Organisation	Contact Number	E-mail
Official	Jeanne Muller	George Mun.	044 801 9138	jmuller@george.gov.za
	Martin Botha	George Mun.	044 801 9191	pmbbotha@george.gov.za
Pre-applicant	Karin van der Walt (Owner)	Private	064 608 8885	karinvandwalt@gmail.com

Documentation provided for discussion:

(Include document reference, document/plan dates and plan numbers where possible and attach to this form)

- A. Title Deed - Annexure A
- B. Site Layout and Elevation Plan – Annexure B
- C. Unit 1 and 2 layout – Annexure C
- D. Site layout Unit 1 and 2 – Annexure D
- E. SG Diagram – Annexure E
- F. Motivation Section 38(1) (f) of land use planning by-law – Annexure F
- G. Surrounding neighbours’ consent – Annexure G
- H. Conveyancer Certificate – Annexure F

Has pre-application been undertaken for a Land Development application with the Department of Environmental Affairs & Development Planning (DEA&DP)?

(If so, please provide a copy of the minutes)

N/A

Comprehensive overview of proposal:

YES	NO
-----	----

Erf 9192 rezoning from Single Residential Zone I to General Residential Zone I in order to register a sectional title.

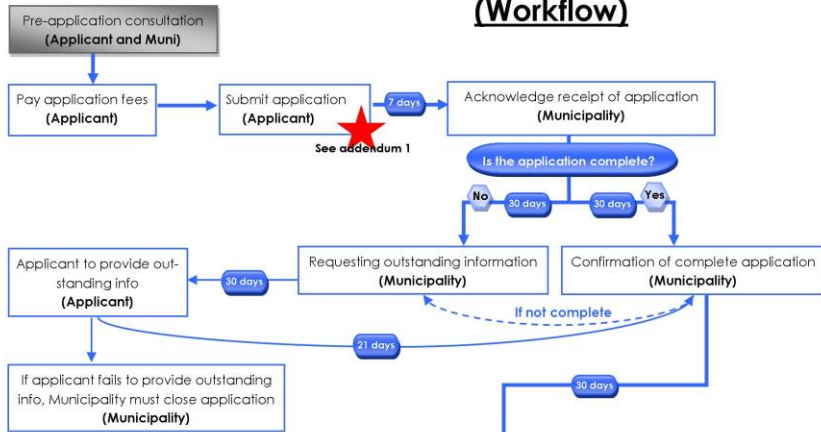
PART B: APPLICATION PROCESS

(WILL FULLY APPLY ONLY ONCE LUPA REGULATIONS ARE IN FORCE)

Draft By-Law on Municipal Land Use Planning

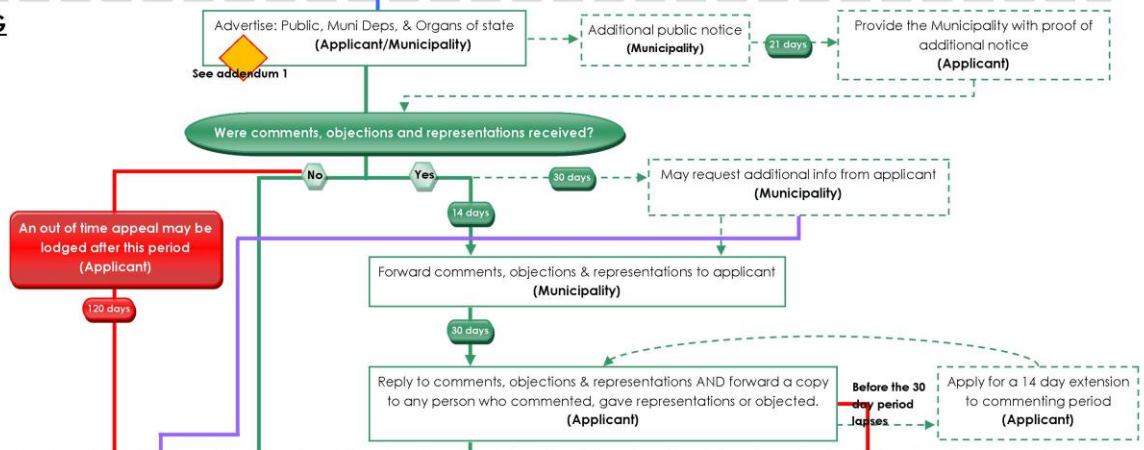
(Workflow)

SUBMISSION



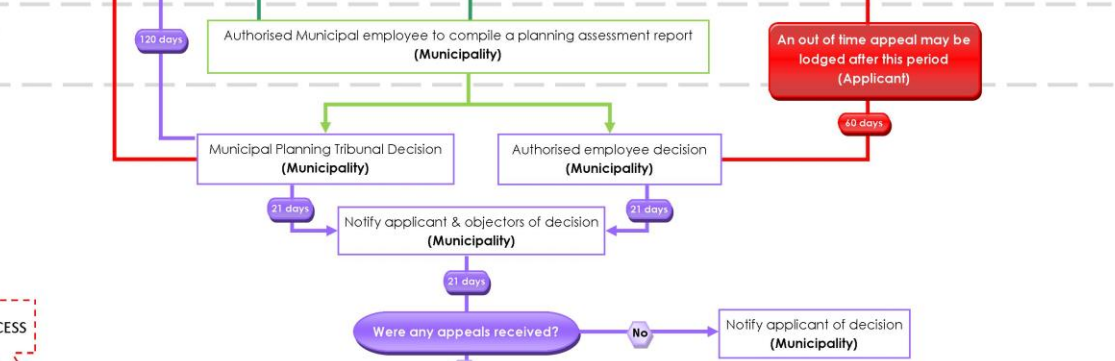
- Types of applications that can be submitted in terms of Section 15 (2)**
- (a) Rezoning of land
 - (b) Permanent departure
 - (c) Temporary departure
 - (d) Subdivision of land
 - (e) Consolidation of land
 - (f) Amendment, suspension or removal of restrictive conditions
 - (g) Permission required in terms of the zoning scheme
 - (h) Amendment, deletion or imposition of condition in respect of an approval
 - (i) Extension of validity period of an approval
 - (j) Approval of an overlay zone
 - (k) Phasing, amendment or cancellation of a subdivision plan or part thereof
 - (l) Permission required in terms of condition of approval
 - (m) Determination of zoning
 - (n) Closure of public place or part thereof
 - (o) Consent use
 - (p) Occasional use

ADVERTISING



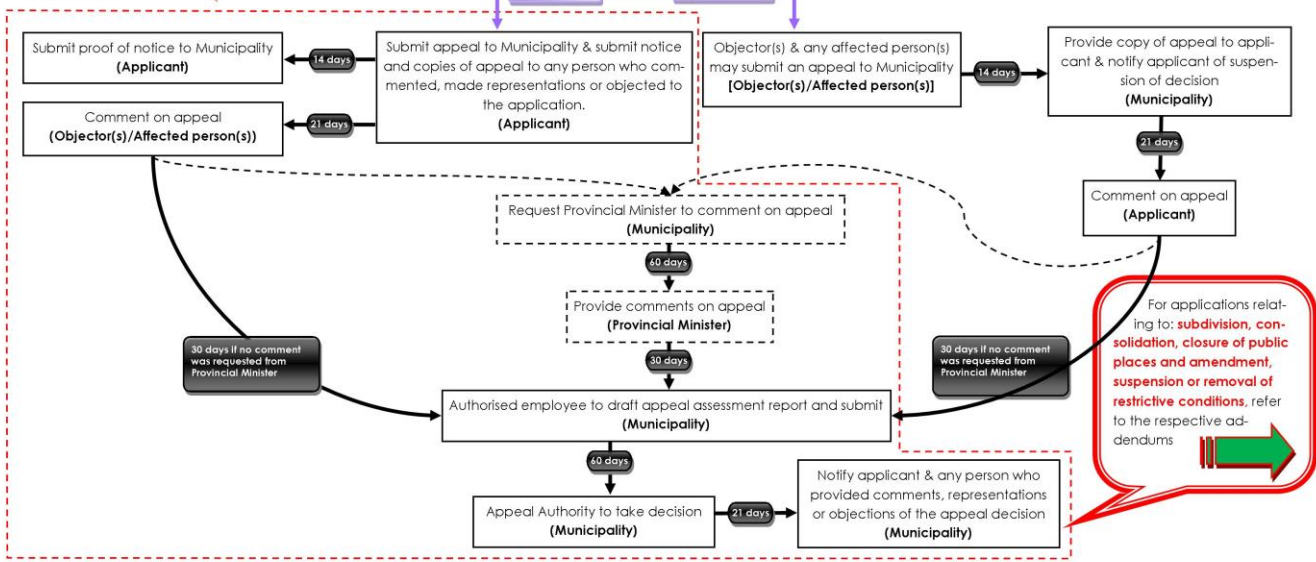
ASSESSMENT

DECISION



APPEAL PROCESS

APPEAL



For applications relating to: **subdivision, consolidation, closure of public places and amendment, suspension or removal of restrictive conditions**, refer to the respective addendums

PART C: QUESTIONNAIRES

**SECTION A:
DETERMINATION OF APPLICATION TYPES, PRESCRIBED NOTICE AND ADVERTISEMENT PROCEDURES**

Tick if relevant		What land use planning applications are required?	Application fees payable
<input checked="" type="checkbox"/>	2(a)	a rezoning of land;	R10 200
<input checked="" type="checkbox"/>	2(b)	a permanent departure from the development parameters of the zoning scheme;	R4 050
	2(c)	a departure granted on a temporary basis to utilise land for a purpose not permitted in terms of the primary rights of the zoning applicable to the land;	R
	2(d)	a subdivision of land that is not exempted in terms of section 24, including the registration of a servitude or lease agreement;	R
	2(e)	a consolidation of land that is not exempted in terms of section 24;	R
	2(f)	a removal, suspension or amendment of restrictive conditions in respect of a land unit;	R
	2(g)	a permission required in terms of the zoning scheme;	R
	2(h)	an amendment, deletion or imposition of conditions in respect of an existing approval;	R
	2(i)	an extension of the validity period of an approval;	R
	2(j)	an approval of an overlay zone as contemplated in the zoning scheme;	R
	2(k)	an amendment or cancellation of an approved subdivision plan or part thereof, including a general plan or diagram;	R
	2(l)	a permission required in terms of a condition of approval;	R
	2(m)	A determination of a zoning;	R
	2(n)	A closure of a public place or part thereof;	R
	2(o)	a consent use contemplated in the zoning scheme;	R
	2(p)	an occasional use of land;	R
	2(q)	to disestablish a home owner's association;	R
	2(r)	to rectify a failure by a home owner's association to meet its obligations in respect of the control over or maintenance of services;	R
	2(s)	a permission required for the reconstruction of an existing building that constitutes a non-conforming use that is destroyed or damaged to the extent that it is necessary to demolish a substantial part of the building	R
Tick if relevant		What prescribed notice and advertisement procedures will be required?	Advertising fees payable
<input type="checkbox"/>	N	Serving of notices (i.e. registered letters etc.)	R
<input type="checkbox"/>	N	Publication of notices (i.e. Provincial Gazette, Local Newspaper(s) etc.)	R
<input type="checkbox"/>	N	Additional publication of notices (i.e. Site notice, public meeting, local radio, website,	R

		letters of consent etc.)	
Y	N	Placing of final notice (i.e. Provincial Gazette etc.)	R
TOTAL APPLICATION FEE* (VAT excluded):			TBC following submission of application

PLEASE NOTE: * Application fees are estimated on the information discussed and are subject to change with submission of the formal application and/or yearly application fee increase.

SECTION B:

PROVISIONS IN TERMS OF THE RELEVANT PLANNING LEGISLATION / POLICIES / GUIDELINES

QUESTIONS REGARDING PLANNING POLICY CONTEXT	YES	NO	TO BE DETERMINED	COMMENT
Is any Municipal Integrated Development Plan (IDP)/Spatial Development Framework (SDF) and/or any other Municipal policies/guidelines applicable? If yes, is the proposal in line with the aforementioned documentation/plans?			x	The IDP and MSDF Must be addressed in the motivation report.
Any applicable restrictive condition(s) prohibiting the proposal? If yes, is/are the condition(s) in favour of a third party(ies)? [List condition numbers and third party(ies)]			x	The Conveyancer's Certificate that was submitted must be amended. The certificate must specifically state if any of the title deed conditions (including conditions of the pivot deeds) impact on the application.
Any other Municipal by-law that may be relevant to application? (If yes, specify)		x		
Zoning Scheme Regulation considerations: Which zoning scheme regulations apply to this site? George Integrated Zoning Scheme By-law (2023) What is the current zoning of the property? Single Residential Zone I What is the proposed zoning of the property?				

<p>General Residential Zone I</p> <p>Does the proposal fall within the provisions/parameters of the zoning scheme?</p> <p>Yes</p> <p>Are additional applications required to deviate from the zoning scheme? (if yes, specify)</p> <p>Yes, building line relaxations.</p>	
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--

QUESTIONS REGARDING OTHER PLANNING CONSIDERATIONS	YES	NO	TO BE DETERMINED	COMMENT
Is the proposal in line with the Provincial Spatial Development Framework (PSDF) and/or any other Provincial bylaws/policies/guidelines/documents?			x	
Are any regional/district spatial plans relevant? If yes, is the proposal in line with the document/plans?		x		

SECTION C:

CONSENT / COMMENT REQUIRED FROM OTHER ORGANS OF STATE

QUESTIONS REGARDING CONSENT / COMMENT REQUIRED	YES	NO	TO BE DETERMINED	OBTAIN APPROVAL / CONSENT / COMMENT FROM:
Is/was the property(ies) utilised for agricultural purposes?		x		
Will the proposal require approval in terms of Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)?		x		
Will the proposal trigger a listed activity in terms of National Environmental Management Act, 1998 (Act 107 of 1998) (NEMA)?		x		
Will the proposal require authorisation in terms of Specific Environmental Management Act(s) (SEMA)? (National Environmental Management: Protected Areas Act, 2003 (Act 57 of 2003) (NEM:PAA) / National Environmental Management: Biodiversity Act, 2004 (Act 10 of 2004) (NEM:BA) / National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004) (NEM:AQA) / National Environmental Management: Integrated Coastal Management Act, 2008 (Act 24 of 2008) (NEM:ICM) / National Environmental Management: Waste Act, 2008 (Act 59 of 2008) (NEM:WA) (strikethrough irrelevant)		x		
Will the proposal require authorisation in terms of the National Water Act, 1998 (Act 36 of 1998)?		x		

QUESTIONS REGARDING CONSENT / COMMENT REQUIRED	YES	NO	TO BE DETERMINED	OBTAIN APPROVAL / CONSENT / COMMENT FROM:
Will the proposal trigger a listed activity in terms of the National Heritage Resources Act, 1999 (Act 25 of 1999)?			X	
Will the proposal have an impact on any National or Provincial roads?		X		
Will the proposal trigger a listed activity in terms of the Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations		X		
Will the proposal affect any Eskom owned land and/or servitudes?		X		

SECTION D:

SERVICE REQUIREMENTS

DOES THE PROPOSAL REQUIRE THE FOLLOWING ADDITIONAL INFRASTRUCTURE / SERVICES?	YES	NO	TO BE DETERMINED	OBTAIN COMMENT FROM: (list internal department)
Electricity supply:			X	
Water supply:			X	
Sewerage and waste water:			X	
Stormwater:			X	
Road network:			X	
Telecommunication services:			X	
Other services required? Please specify.			X	
Development charges:			X	

PART D: COPIES OF PLANS / DOCUMENTS TO BE SUBMITTED AS PART OF THE APPLICATION

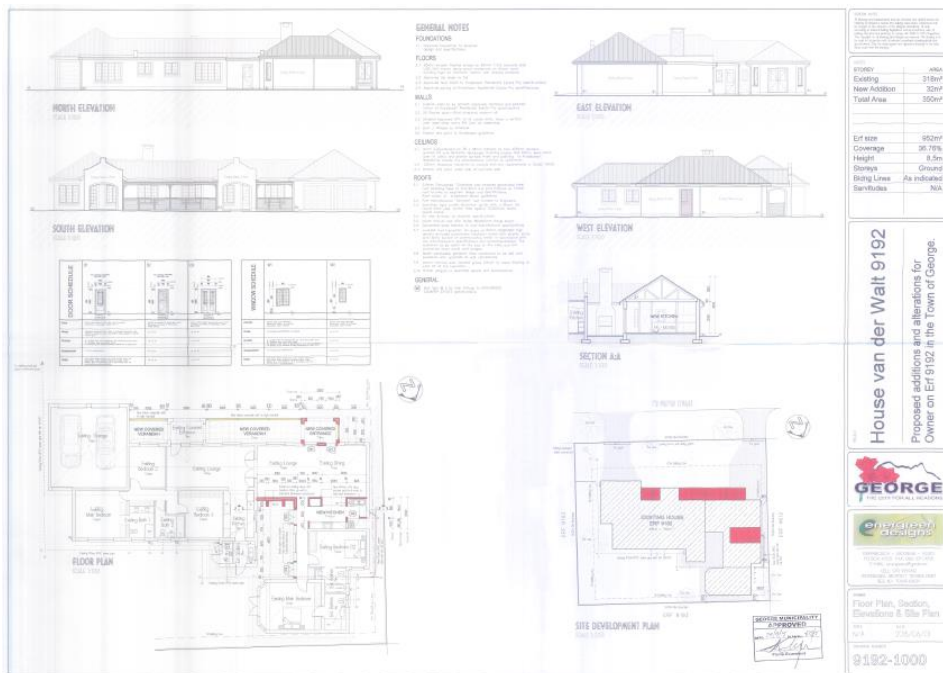
COMPULSORY INFORMATION REQUIRED:					
Y	N	Power of Attorney / Owner's consent if applicant is not owner (if applicable)	Y	N	S.G. noting sheet extract / Erf diagram / General Plan
Y	N	Motivation report / letter	Y	N	Full copy of the Title Deed
Y	N	Locality Plan	Y	N	Site Layout Plan
Y	N	Proof of payment of fees	Y	N	Bondholder's consent
MINIMUM AND ADDITIONAL REQUIREMENTS:					
Y	N	Site Development Plan	Y	N	Conveyancer's Certificate
Y	N	Land Use Plan	Y	N	Proposed Zoning plan

Y	N	Phasing Plan	Y	N	Consolidation Plan
Y	N	Abutting owner's consent	Y	N	Landscaping / Tree Plan
Y	N	Proposed Subdivision Plan (including street names and numbers)	Y	N	Copy of original approval letter
Y	N	Services Report or indication of all municipal services / registered servitudes	Y	N	Home Owners' Association consent
Y	N	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) (strikethrough irrelevant)	Y	N	1 : 50 / 1:100 Flood line determination (plan / report)
Y	N	Other (specify)	Y	N	Required number of documentation copies

PART E: DISCUSSION

Town & Spatial Planning:

The plan below and attached documents were discussed.



- A permanent departure application will be required for the relaxation of building lines (rear & side boundaries where applicable).
- The applicant must indicate the compliance of the proposal with all the development parameters for a Double Dwelling in terms of the George Integrated Zoning Scheme By-law (2023).
- An updated site plan must be submitted. Please indicate all dimensions/distances on the plan (building lines, access spacing, carriageway crossing width etc.).

- Parking must be indicated on the plan for both dwellings.
- Section 15(7) of the Land Use Planning By-law for George Municipality (2023) states the following:

“(7) When an application is made in terms of Section 15(2), which the Municipality must cause public notice to be given in terms of Section 45(1), the agent must:

(a) be registered as a technical or professional planner as determined in Section 13 of the Planning Profession Act, unless the South African Council for Planners has identified certain areas of work which may be carried out by persons registered in terms of other legislation, without subjecting such persons to the prohibitions contained in section 16(3) of the Planning Profession Act; or

(b) be registered as a technical or professional practitioner with a professional Council associated with their profession.”

In the above regard, please find attached a list of Private Town Planning Consultants to assist with the application.

- The application must be comprehensively motivated.
- The application should be motivated in terms of the relevant legislation and spatial planning policies (i.e. MSDF 2023, SPLUMA 2013, LUPA 2014 etc.).
- The standard public participation requirements will apply.

PART F: SUMMARY / WAY FORWARD

See Part E above.

OFFICIAL: Martin Botha
(FULL NAME)

PRE-APPLICANT: **CATHARINA VAN DER WALT**
(FULL NAME)



SIGNED: _____

SIGNED: _____

DATE: 10/01/2024

DATE: 8 January 2024

OFFICIAL: Jeanne Muller
(FULL NAME)



SIGNED:

DATE: **10/01/2024**

**Please note that the above comments are subject to the documents and information available to us at the time of the pre-application meeting and we reserve our rights to elaborate on this matter further and/or request more information/documents should it deemed necessary.*

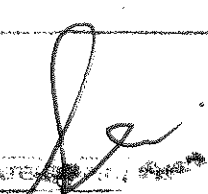
1082

Symington De Kok Inc
Vineyard Square South
The Vineyard Office Estate
99 Jip de Jager Street
Bellville
7530

Prepared by me

CONVEYANCER
JANINE FOUCHÉ

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 1 650 000,00	R. 1 220,00
Reason for exemption	Category Exemption	Exemption i t o. Sec/Reg Act/Proc

MORTGAGED	
R. 1 650 000,00	
B 00007377 / 2020	
04 JUN 2020	

T 000012644 / 2020

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

JANINE FOUCHÉ

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him by



1. **HENDRIK PETRUS VAN DER WALT**
Identity Number 460815 5092 08 9
and
MAGDALENA CATHARINA VAN DER WALT
Identity Number 470414 0060 08 1
Married in community of property to each other
2. **HENDRIK PETRUS VAN DER WALT**
Identity Number 731108 5054 08 2
Married out of community of property

which said Power of Attorney was signed
at George on 3 March 2020.

And the appearer declared that his said principal had, on 22 January 2020, truly and legally sold by Private Treaty, and that he, the said Appearer, in his capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

CATHARINA MATHILDA VAN DER WALT
Identity Number 760320 0040 08 1
Unmarried

her Heirs, Executors, Administrators or Assigns, in full and free property

ERF 9192 GEORGE,
IN THE MUNICIPALITY AND DIVISION OF GEORGE,
PROVINCE OF THE WESTERN CAPE

IN EXTENT 952 (NINE HUNDRED AND FIFTY TWO) Square metres

FIRST TRANSFERRED by Deed of Transfer Number T 26500/1983 with Diagram SG No. 1206/83 relating thereto and held by Deed of Transfer Number T54674/2005

- A. SUBJECT to the conditions referred to in Deed of Transfer No. T3794/1927 dated 25 April 1927.
- B. SUBJECT FURTHER to the following condition contained in Deed of Transfer No. T3794/1927, namely:

The said Council and its successors in office reserve the right to construct, use and maintain across the above property any pipe line for water leading, sewerage, drainage and any poles and structures for the conducting of any electric or other light or power."

- C. SUBJECT FURTHER to the following condition contained in Deed of Transfer No. T1105/1974 imposed by the Administrator with the approval of the subdivision in terms of Section 9 of Ordinance No. 33 of 1934, namely:



The owner of this erf shall be obliged without compensation, to receive such material or permit such excavation on the erf as may be required to allow use of the full width of the street and provide a safe and proper slope to its bank owing to difference between the levels of the street as finally constructed and the erf, unless he elects to build retaining walls to the satisfaction of and within a period to be determined by the local authority.

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WHEREFORE the said Appearer, renouncing all rights and title which the said

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2. **HENDRIK PETRUS VAN DER WALT, Married as aforesaid**

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CATHARINA MATHILDA VAN DER WALT, Unmarried

her Heirs, Executors, Administrators or Assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R1 650 000,00 (ONE MILLION SIX HUNDRED AND FIFTY THOUSAND RAND) .

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

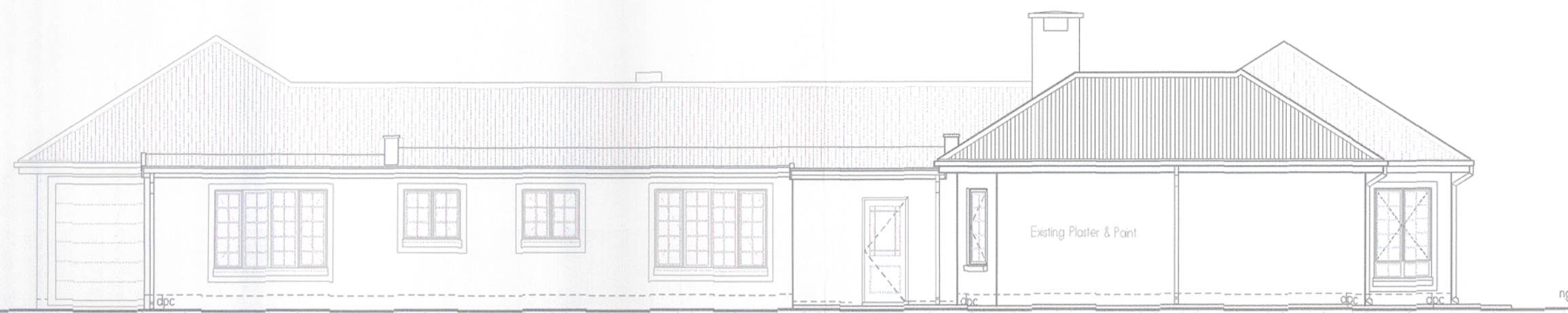
THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on

04 JUN 2020

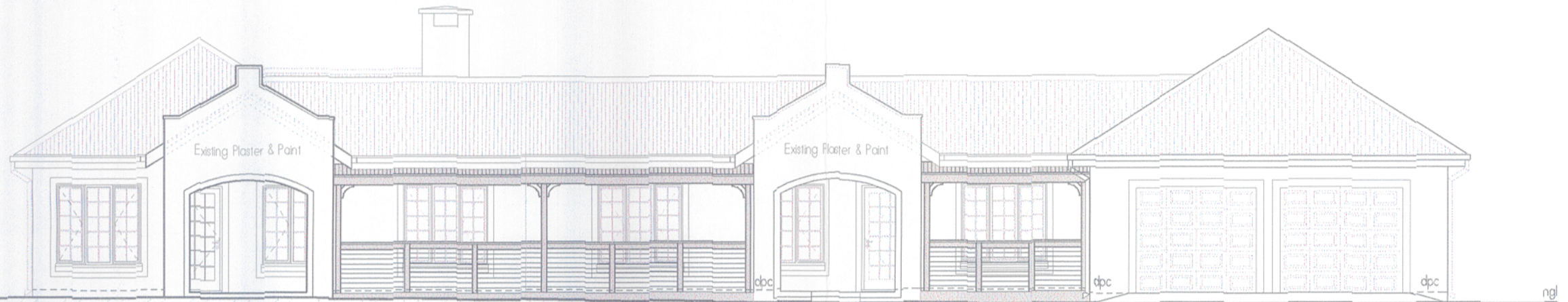
In my presence

REGISTRAR OF DEEDS

q.q.

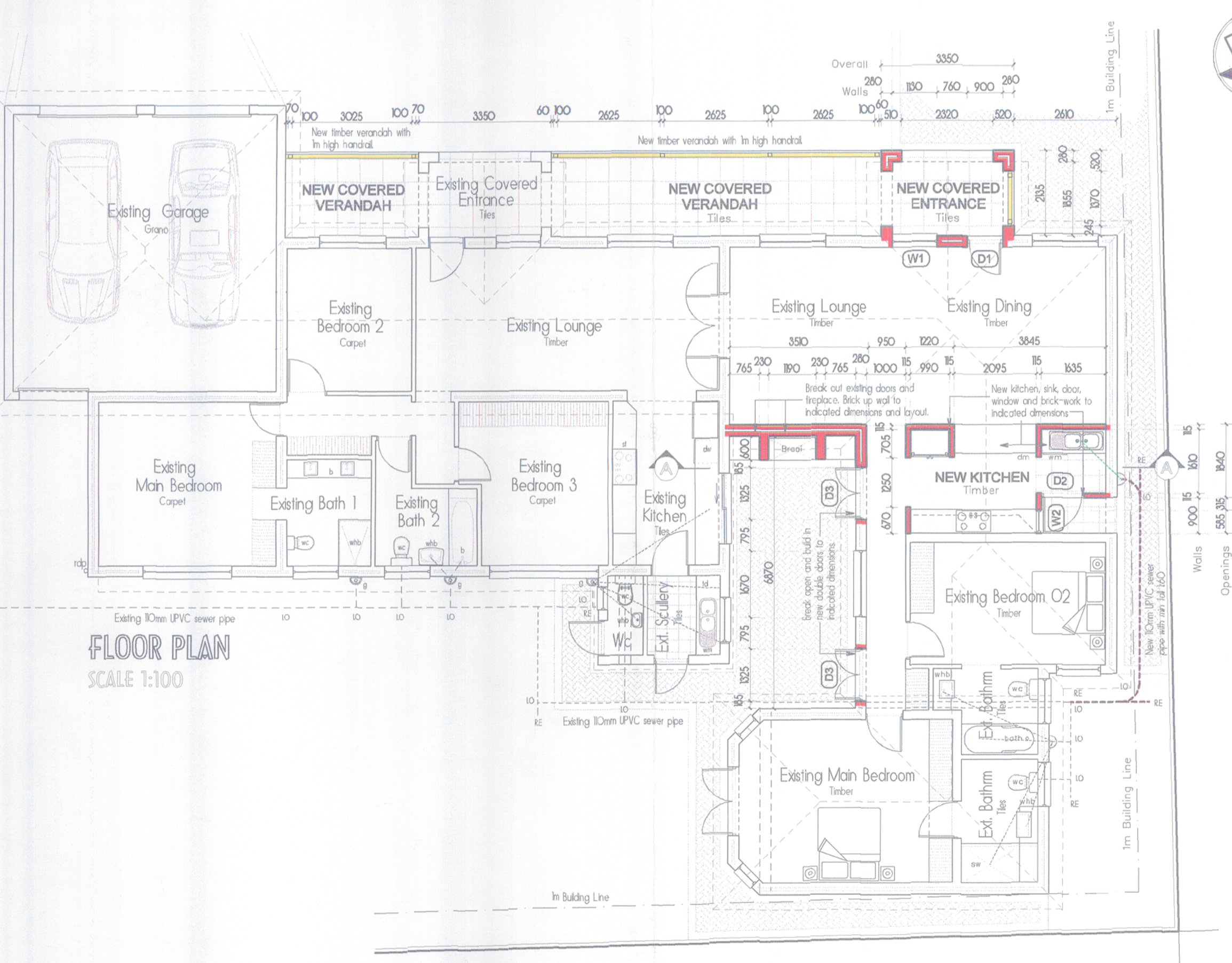


NORTH ELEVATION
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100

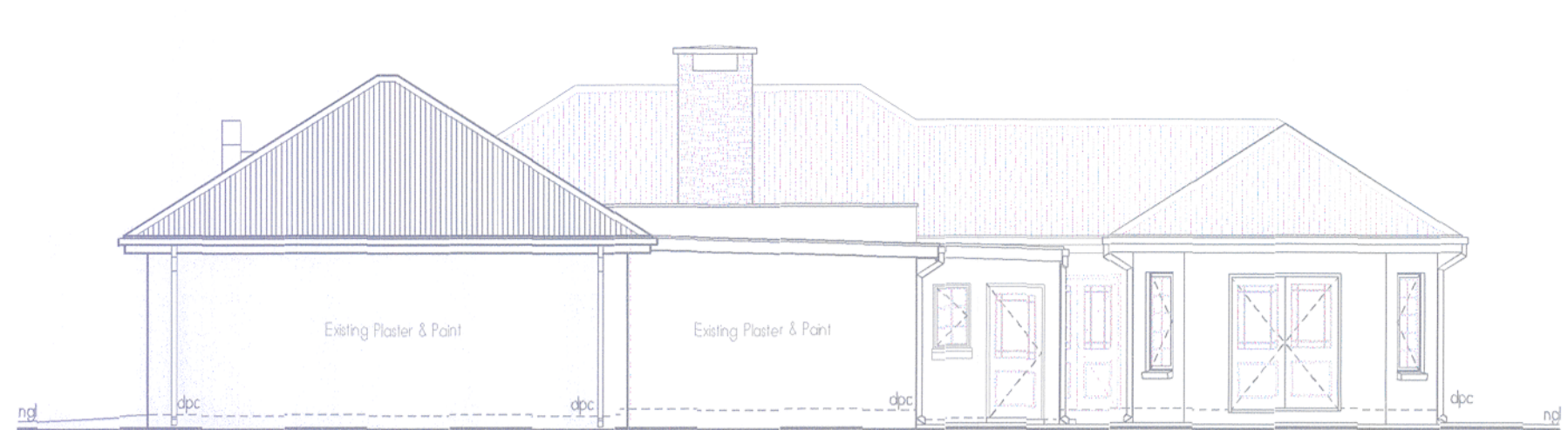
DOOR SCHEDULE	D1	D2	D3	WINDOW SCHEDULE	W1	W2
DOOR	Alum. 2000mm x 2000mm 2000mm x 2000mm 2000mm x 2000mm	Alum. 2000mm x 2000mm 2000mm x 2000mm 2000mm x 2000mm	Alum. 2000mm x 2000mm 2000mm x 2000mm 2000mm x 2000mm	WINDOW	Alum. 2000mm x 2000mm 2000mm x 2000mm 2000mm x 2000mm	Alum. 2000mm x 2000mm 2000mm x 2000mm 2000mm x 2000mm
FRAME	Alum. 2000mm x 2000mm 2000mm x 2000mm 2000mm x 2000mm	Alum. 2000mm x 2000mm 2000mm x 2000mm 2000mm x 2000mm	Alum. 2000mm x 2000mm 2000mm x 2000mm 2000mm x 2000mm	GLAZING	Alum. 2000mm x 2000mm 2000mm x 2000mm 2000mm x 2000mm	Alum. 2000mm x 2000mm 2000mm x 2000mm 2000mm x 2000mm
GLAZING	Alum. 2000mm x 2000mm 2000mm x 2000mm 2000mm x 2000mm	Alum. 2000mm x 2000mm 2000mm x 2000mm 2000mm x 2000mm	Alum. 2000mm x 2000mm 2000mm x 2000mm 2000mm x 2000mm	FINISHES	Alum. 2000mm x 2000mm 2000mm x 2000mm 2000mm x 2000mm	Alum. 2000mm x 2000mm 2000mm x 2000mm 2000mm x 2000mm
FINISHES	Alum. 2000mm x 2000mm 2000mm x 2000mm 2000mm x 2000mm	Alum. 2000mm x 2000mm 2000mm x 2000mm 2000mm x 2000mm	Alum. 2000mm x 2000mm 2000mm x 2000mm 2000mm x 2000mm	GENERAL	Alum. 2000mm x 2000mm 2000mm x 2000mm 2000mm x 2000mm	Alum. 2000mm x 2000mm 2000mm x 2000mm 2000mm x 2000mm



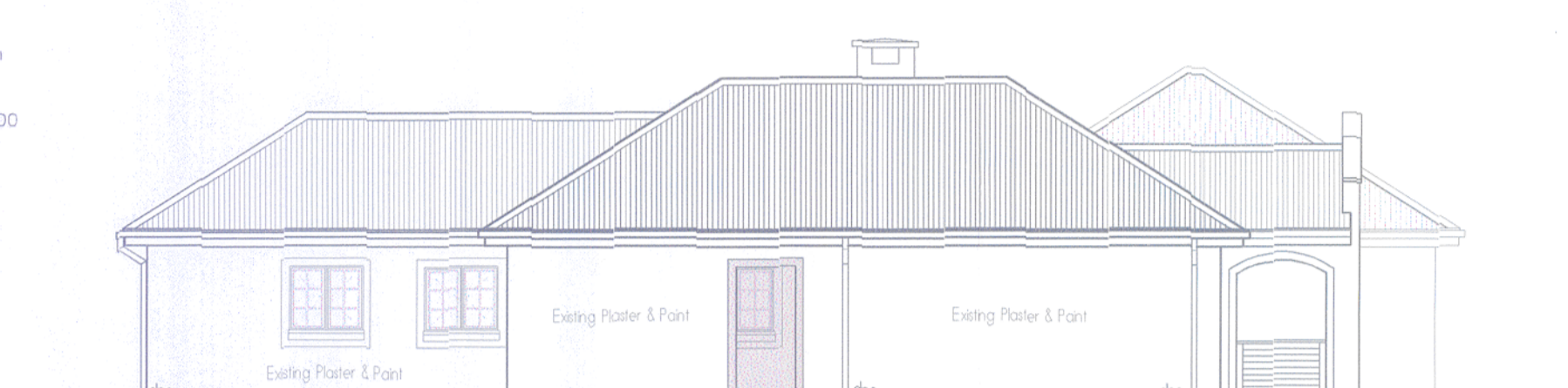
FLOOR PLAN
SCALE 1:100

GENERAL NOTES

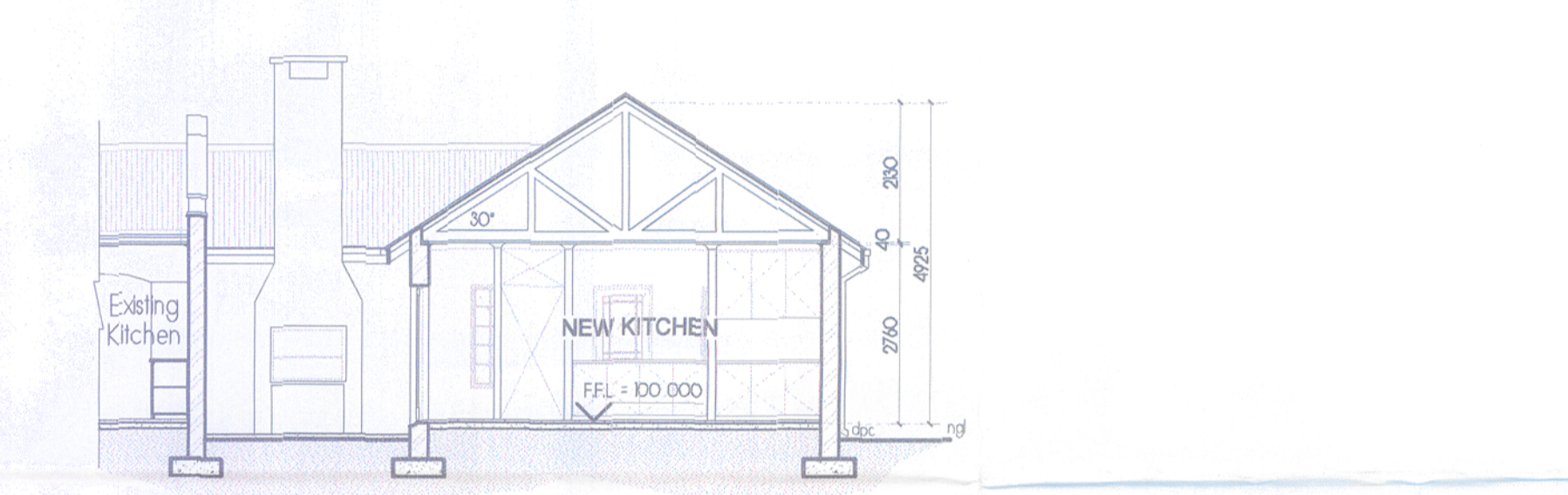
- FOUNDATIONS**
- Concrete foundation to engineer design and specifications
- FLOORS**
- 25mm smooth floated screed on 85mm 1:3:6 concrete slab
 - 250 micron damp proof membrane on 50mm sand blinding layer on minimum 150mm well tamped hardcore.
 - Approved floor finish to Kraaibosch Residential Estate Pty specifications
 - Approved paving to Kraaibosch Residential Estate Pty specifications
- WALLS**
- Internal walls to be smooth plastered, skimmed and painted. Colour to Kraaibosch Residential Estate Pty specifications
 - 25 Degree down-tilted plastered external sill
 - Stepped approved DPC to all cavity walls, leave a vertical joint open after every 4th joint as weepholes.
 - Door / Window to schedule
 - Plaster and paint to Kraaibosch guidelines
- CEILINGS**
- 6mm Gypsumboard on 38 x 38mm battens at max 400mm centers worked off with Rhinolie lightweight finishing plaster Nail 63mm wire scrim over all joints and plaster surface finish and painting to Kraaibosch Residential Estate Pty specifications. Cornice to confirmed.
 - 150mm Glasswool insulation to comply with the requirements in SANS 10400
 - Plaster and paint under side of concrete slab
- ROOFS**
- 0.6mm Corrugated "Colorbond pre-coloured galvanised steel roof sheeting fixed to 50x70mm S.A pine battens on timber roof trusses to engineer design and specifications. Roof colour to Kraaibosch Manor guidelines
 - Pre-manufactured "Dangmat" roof trusses to Engineers.
 - Seamless eave profile aluminium gutter with a 20mm dia round down pipe. Gutter fixed against 15x225mm Nutec fascia board.
 - RC slab & beam to engineer specifications
 - Cover end of roof with Nutec 200mm barge board.
 - Galvanised steel flashing to roof manufacturer specifications
 - inverted roof insulation: 2x layers of 50mm ISOBOARD high density extruded polystyrene insulation board with shiplap joints laid tightly butted on waterproofing below in accordance with the manufacturer's specifications and recommendations. The insulation to be taken all the way to the walls and the contractor must avoid cold bridges.
 - Water-permeable geofabric filter membrane to be laid over insulation with upstands at wall connections.
 - 20mm Nominal size rounded gravel ballast to resist floating or wind lift of the insulation.
 - Timber pergola to specialist details and specifications
- GENERAL**
- Wall light @ 2.1m high fittings to KRAAIBOSCH COUNTRY ESTATE specifications.



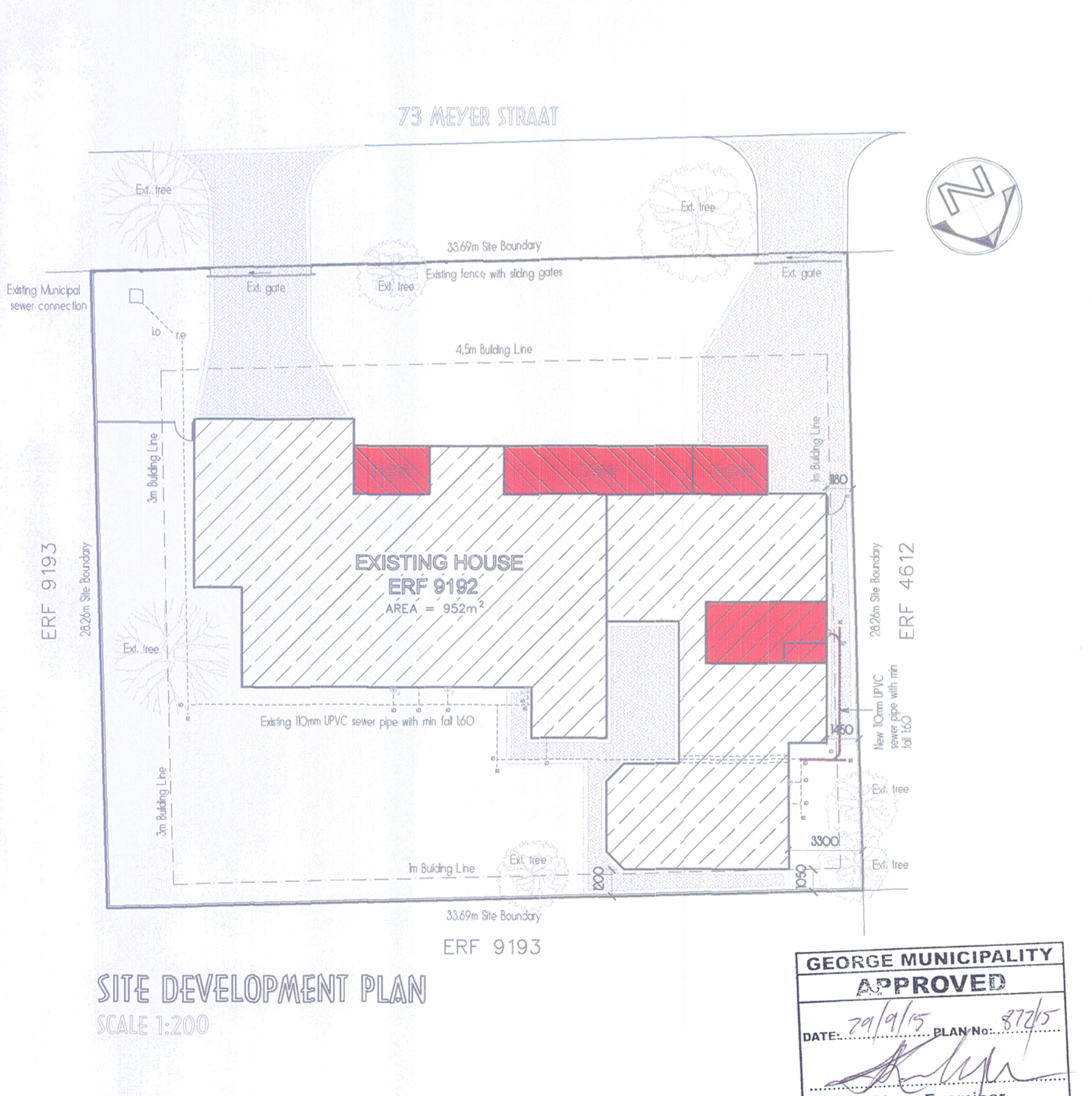
EAST ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100



SECTION A:A
SCALE 1:100



SITE DEVELOPMENT PLAN
SCALE 1:200

GEORGE MUNICIPALITY
APPROVED
DATE: 29/9/15 PLAN No: 8725
Plans Examiner

GENERAL NOTES
All drawings and measurements must be checked and verified before the drawing of material or before any building takes place. Differences must be brought to the attention of the design immediately. All work, according to National Building Regulations and local authority rules. All building, electrical and plumbing to comply with SANS O-400 regulations. The copyright on all drawings and designs are reserved. This drawing is to be read in conjunction with all relevant consultants drawings, details and specifications. Only the latest agreed and approved drawings to be used. Never scale from the drawing.

NOTES

STOREY	AREA
Existing	318m ²
New Addition	32m ²
Total Area	350m²

Erf size	952m ²
Coverage	36.76%
Height	8,5m
Storeys	Ground
Bldg Lines	As indicated
Servitudes	N/A

House van der Walt 9192
Proposed additions and alterations for
Owner on Erf 9192 in the Town of George.



energreen designs
KRAAIBOSCH - GEORGE - 6530
PO BOX 4703 FAX: 086 571 0935
E-MAIL: energreen@gmail.com
CELL: 072 999780
PROFESSIONAL ARCHITECT TECH-NOLOGIST
REG. NO. T0645 (BACP)

DRAWING
Floor Plan, Section, Elevations & Site Plan
SCALE N/A DATE 2015/06/01
DRAWING NUMBER
9192-1000

C.M. VAN DER WALT
Erf 9192 / 73 MEYER STREET
LOERIE PARK, GEORGE
karinvandwalt@gmail.com
+27(0)64 608 8885

ANNEXURE F
REZONING MOTIVATION SECTION 38(1) (f) OF LAND USE PLANNING BY-LAW

GEORGE MUNICIPALITY
Planning and Development
George

Att: J Fourie and I Huyser

jfourie@george.gov.za / ihuyser@george.gov.za / cpetersen@george.gov.za
town.planning.application@george.gov.za

8 January 2024

Re: ERF 9192, LOERIE PARK, GEORGE
Rezoning Single Residential Zone I to General Residential Zone I / Sectional Title Scheme registration

Dear Sir/Madam,

I am writing this letter to formally submit my application for the rezoning for Erf 9192 from Single Residential Zone I to General Residential Zone I in accordance with George Municipality By-Law. This application is based on the criteria referred to in Section 38(1)(f) of the Planning By-Law.

Below, I have outlined the minimum information required as specified in the aforementioned by-law:

a) Type of Application:

- Rezoning Single Residential Zone I to General Residential Zone I

b) Property Details:

- Property Description: Erf 9192, Loerie Park, George
- Property size: 952 m²
- House Size: 350m²
- Ownership: C.M. van der Walt

C.M. VAN DER WALT
 Erf 9192 / 73 MEYER STREET
 LOERIE PARK, GEORGE
 karinvandwalt@gmail.com
 +27(0)64 608 8885

c) Title Conditions:

- No restrictions or servitudes (see Annexure F Conveyancer Certificate)

d) Locality:

- Current Zonings and Land Uses: Single Residential Zone I
- 73 Meyer Street, Loerie Park, George East

e) Character of the Area and Streetscape:

The property presents itself as a unified architectural structure, resembling a single dwelling house while encompassing two separate dwelling units on a single plot, demarcated by a vertical communal wall and roof. The architectural design adheres to the traditional Cape Dutch style with walls painted in white and featuring a charcoal corrugated roof. Two distinct entrances, each leading to one of the two houses, are incorporated into the property. A white picket fence divides the eastern and western sections of the property, establishing a clear boundary between the two.

Development parameters:

Total coverage: 36.76%

PARAMATER	UNIT 1	UNIT 2	TOTAL
Floor Space	192,92	157,08	350m ²
Height wall plate	2,760m	2,760m	
Height roof ridge	4,925m	4,925	
Building Lines:			
street building line	4,5m	4,5m	
side building line	3m	3m	
rear building line	4m	1m	With build relaxation of 1m
Window and door placement	Set back at 3.5 metres from boundary	set back at 2.5 metres from boundary	
Garages /Carports	Double garage 40m ² (6x6,65m) Height 2,760m	No garage or carport	
Parking and Access	Own access to and from street. 2 parking bays	Own access to and from street. 2 parking bays	
Refuse yard	Own yard	Own yard	

C.M. VAN DER WALT
Erf 9192 / 73 MEYER STREET
LOERIE PARK, GEORGE
karinvandwalt@gmail.com
+27(0)64 608 8885

Connection: The two units are connected vertically by means of a communal wall and roof of the dwelling (see Annexure C and D).

f) Necessity for and Desirability of the Proposed Development:

Rezoning from Single Residential Zone I to General Residential Zone I is essential to facilitate the subdivision of the existing single residential property into individually owned units within a Sectional Title Scheme. The Single Residential Zone I is currently restricting the property to optimal utilization of the land.

By transitioning to the General Residential Zone I, the property gains the flexibility required for sectional title development, allowing for the creation of distinct units under shared ownership. This rezoning aligns with the George Municipality's urban planning objectives, fostering increased housing density and promoting a more efficient use of available land resources. Additionally, the desirability of this rezoning lies in its potential to enhance the overall property value, contribute to urban infill, and address the contemporary demand for sectional title living arrangements, thereby aligning with broader developmental goals and responding to market dynamics.

g) Reference to the objectives of surrounding neighbouring properties (Annexure H):

- Erf 4612 Owner
- Erf 9193 Owner
- Erf 4895 Owner
- Erf 1905 Owner



C.M. VAN DER WALT
Erf 9192 / 73 MEYER STREET
LOERIE PARK, GEORGE
karinvandwalt@gmail.com
+27(0)64 608 8885

h) Reference to and Compliance with National, Provincial, and Local Government Policies and Municipal Spatial Development Frameworks:

- National Spatial Development Framework (NSDF) 2050
- Spatial Planning and Land Use Management Act (SPLUMA) Act 16 of 2013
- George Municipality Spatial Development Framework (SDF)
- George Municipality Integrated Development Plan (IDF) 2022-2027
- George Municipality Section 42 of the Spatial Planning Land Use Act, 2013
- George Municipality Land Use Planning By-Law Section 38 (1) (f)

I believe that this application aligns with the principles and regulations outlined in the George Municipality By-Law and relevant national and provincial legislation. I am committed to adhering to all necessary requirements and ensuring that the proposed development contributes positively to the community and the environment.

Thank you for considering my application. I am available to provide any additional information or clarification as required.

Yours sincerely,

C.M. VAN DER WALT
karinvandwalt@gmail.com
+27(0)64 60 88 885

ANNEXURE G – NEIGHBOURS CONSENT

CM (Karin) van der Walt

73 Meyer Street
Loerie Park
George
6529

18 December 2023

Dear neighbour,

*Owner Erf 4612 (71 Meyer street)
Owner Erf 9193 Owner (75 Meyer street)
Owner Erf 4895 Owner (77 Meyer street)
Owner Erf 1905 Owner (Corner Meyer and Sluysken Streets)*

Subject: Request for Consent for Rezoning from Single Residential Zone I to General Residential Zone



I trust this letter finds you well. My name is CM van der Walt, and I am writing to you as a concerned neighbor regarding a proposal that involves the rezoning of my property located at 73 Meyer Street (Erf 9192). I am reaching out to you to seek your support and consent for the rezoning application from Single Residential Zone I to General Residential Zone.

The purpose of this rezoning is to accommodate the existing structure on my property, which currently consists of two units. I believe that rezoning to General Residential Zone would be more appropriate for the current use of the property, providing a legal framework that aligns with the existing configuration of the house.

This proposal is not intended to disrupt the harmony of our neighborhood but rather to bring the property in line with its current usage, ensuring compliance with local regulations and zoning guidelines. The rezoning will have no adverse impact on the character of our community, as the existing structure will remain unchanged.

I have attached a site plan for your reference, which outlines the layout of the rezoning application and addresses any potential concerns that may arise. I am committed to ensuring that this process is transparent and respectful of the concerns of our neighbors.

I understand the importance of community cooperation, and I am more than willing to discuss any questions or concerns you may have about this proposal. Your support in this matter is crucial, and I am hopeful that we can work together to enhance the overall well-being of our neighborhood.

If you have any questions or if you would like to discuss this matter further, please feel free to contact me at **064 608 8885** or **karinvandwalt@gmail.com**. I am open to arranging a meeting at your convenience to provide more information and address any concerns you may have.

Thank you for your time and consideration. I appreciate your understanding and cooperation in this matter.

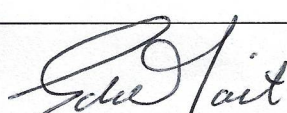


Sincerely,

C van der Walt

Attachment: Rezoning Proposal and Site layout.

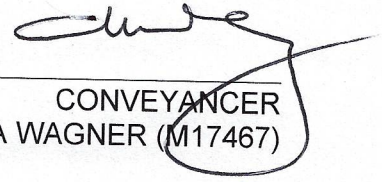
CONSENT AND APPROVAL TO THE REZONING OF 73 MEYER STREET (ERF 9192)

I, neighbouring to 73 Meyer Street (Erf 9192) consent and approve to the rezoning from Single Residential Zone I to General Residential Zone.

Erf no. / Address	Owner Name	Signature
Owner Erf 4612 (71 Meyer Str)		
Owner Erf 9193 Owner (75 Meyer Str)	E M du Toit	
Owner Erf 4895 Owner (77 Meyer street)	J W Lerm	
Owner Erf 1905 Owner (Corner Meyer and Sluysken Streets)	G C Vermeulen	

Wagner Attorneys
Kingswood Gardens No 7
Kingswood Golf Estate
George
6531

Prepared by me



CONVEYANCER
ANNA WAGNER (M17467)

CONVEYANCER CERTIFICATE REGARDING: TITLE DEED CONDITIONS

I, Anna Wagner, duly admitted conveyancer, do hereby certify as follows:

Catharina Mathilda van der Walt (herein referred to as the "owner")
with identify number 7603200040081

Is the registered owner of the following property:

Erf 9192 portion of 4123 George (herein referred to as the "Property")
In the Municipality and Division of George (herein referred to as the "Council")
Province of the Western Cape

In extent 952 (nine hundred and fifty-two) square meters

Held by Deed of Transfer Number T12644/2020

Also known as 73 Meyer Street, Loerie Park, George

INTRODUCTION

The witin property was first registred in 1923 as a free standing property (by virtue of Deed of Transfer No T3794/1927) with the description as Lot (of erf no. 9192 of portion 4123).

TITLE DEED CONDITIONS

I confirmed that I conducted a search on the Title Deed conditions contained in the holding title and can report that the property is subject to the following conditions:

- 1) Subject to the conditions referred to in Title Deed TA search 3793/1927 on this Title Deed was performed, the said Council and its successors in office reserve the right to construct, use and maintain across the above property any pipe for water leading, sewerage, drainage and any poles or structures for the conducting of any electric or other light or power.
- 2) Subject to the conditions referred to in Title Deed T115/1974, the owner of this erf shall be obliged without compensation, to receive such material or permit such excavation on the erf as may be required to allow use of the full width of the street and provide a safe and property slope to its bank owing to difference between the levels of the street as finally constructed and the erf, unless she elects to build retaining walls to the satisfaction of and within a period to be determined by the local authority.
- 3) Subject to the conditions in Deed of Transfer No T26500/1983, imposed by the Administrator of the Province of the Cape of Good Hope in terms of Section 9 of Ordinance no. 33 of 1934 with the approval of the subdivision namely: The owner of the erf shall without compensation, be obliged to allow gas mains, electricity, telephone and television cables and/or wires and main and/or other waterpipes and the sewage and draining, including stormwater of any other erf or even to be conveyed across this erf, and surface installation such as mini-substations, meter kiosks and service pillars to be installed there on, if deemed necessary by the local authority and in such manner and positions ad many from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time for the purpose of constructing, altering removing or inspecting any works connected to the above.

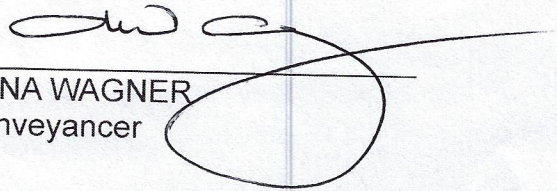
CONCLUSION

To the best of my knowledge, based on the information as set out above, the Title Deed conditions are set out in no 1, 2 and 3 as per the above.

For ease of reference, I attached hereto the following documents:

1. Property search Erf 9192, Loerie Park, George
2. Copy of Deed of Transfer no. T12644/2020
3. Copy of Deed of Transfer no. T54674/2005
4. Copy of Deed of Transfer no. T26500/1983
5. Copy of Deed of Transfer no. T3794/1927
6. Copy of Pivot Title Deed no. T1969.341 17017
7. Copy of Diagram no SG 2558/1968

Signed at George on 19 December 2023.



ANNA WAGNER
Conveyancer

Directorate: Planning and Development

19 September 2025

To whom it may concern

**APPLICATION SUBMISSION AND PUBLIC PARTICIPATION DURING THE
DECEMBER SCHOOL HOLIDAYS
2025/2026**

In consideration of the December / January school holiday period, the following arrangements will apply with regards to the submission and advertising of land use application:

1. No **pre application** meetings will take place between 22 December 2025 and 02 January 2026. The first pre application meeting for 2026 will thus be on 07 January 2026.
2. In terms of Section 36(3) of the Land Use Planning By-Law for George Municipality, the **advertisement and comment period** (Public Participation Process) may not occur during or coincide with the December School Holidays which is from 10 December 2025 to 14 January 2026.
3. The Public Participation Process may however proceed from 14 January 2026.
4. Notwithstanding paragraphs 2 and 3 the commenting period for all **external departments and/or IAPs** may proceed during the December School Holidays provided that an additional 14 days are given (i.e., 74 days) to these bodies and that they are also reminded in January 2026 (14 days before closing date of the commenting period) to submit their comment by the due date.
5. Paragraphs 2 and 3 do not apply to applications where the consent from the adjacent property owners were obtained or where no further public participation is required.
6. The **Section 38** request should be sent as follows:
 - i. Applications that require a notice in the press: Applicant submits request by 09 October 2025. Last S38 issued by 23 October 2025. To ensure due dates for publication by 06 November 2025 are met.
 - ii. Applications that do not require a notice in the press: Applicant submits request by 20 October 2025. Last S38 issued by 03 November 2025. To ensure due dates for issue of notice by 10 November 2025 are met.
 - iii. Applications submitted with the neighbour's consent: Applicant submits request by 28 November 2025. Last S38 issued on 12 December 2025.


Incomplete applications will be returned to the applicant, and the revised submission will be addressed in a chronological order. Should amendments to the application be required, the final complete application must reach the department by the dates as stipulated above. This will enable applicants to commence with the public participation within the given timeframe.

7. These measures are applied to ensure the SPLUMA principle of good administration is endorsed in the land development processes whereby an open and transparent participation process is promoted,

**APPLICATION SUBMISSION AND PUBLIC PARTICIPATION DURING THE DECEMBER SCHOOL HOLIDAYS
2025/2026**

affording interested and affected parties a fair opportunity to participate in the public participation processes.

8. The **last decision letter for 2025**, to which an appeal period applies, will be issued on 14 November 2025. These letters will thereafter only be issued on 16 January 2026.
9. Notwithstanding paragraph 8, the letter that confirms a decision (final notice) as well as letters of decision where no appeal period applies, will be issued throughout this period.



DELIA POWER

DEPUTY DIRECTOR: DEVELOPMENT AND ENVIRONMENTAL PLANNING