



The Municipal Manager
P O Box 19
George
6530

Reference: Erf 2152 Wilderness

4 May 2026

Sir

APPLICATION FOR PERMANENT DEPARTURE (COVERAGE, BUILDING LINE RELAXATION, WALL PLATE OF DWELLING HOUSE AND CONDITIONS OF APPROVAL FOR HEIGHT, BOUNDARY WALL AND BUILDING MATERIALS): ERF 2152 WILDERNESS (CONSTANTIA KLOOF)

Attached hereto please find an application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for various departures in respect of a proposed development on Erf 2152 Wilderness.

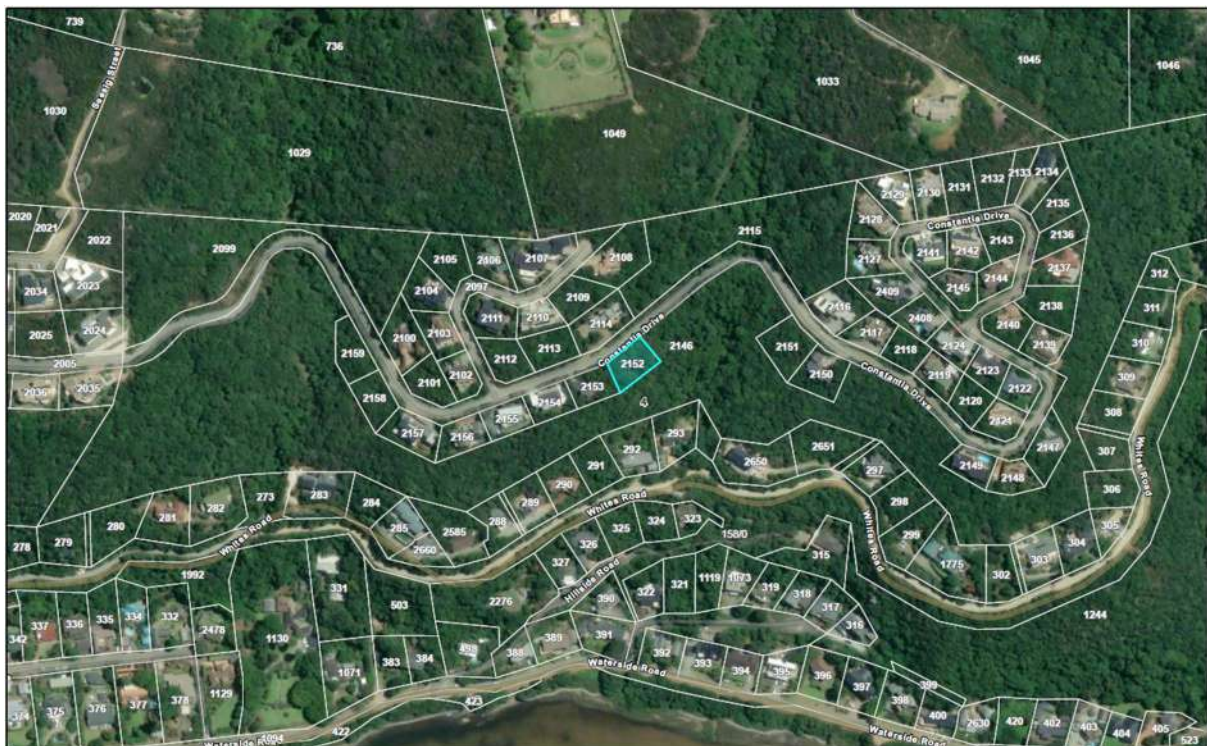
Your prompt consideration of the application will be appreciated.

Thanking you in anticipation.

Jan Vrolijk

MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURES (COVERAGE, RELAXATION OF
BUILDING LINE, WALL PLATE HEIGHT AND CONDITIONS OF APPROVAL FOR
HEIGHT, BOUNDARY WALLS AND BUILDING MATERIALS)
ERF 2152 WILDERNESS (CONSTANTIA KLOOF)

4 May 2026



Prepared for:

Goodford Family Trust
2152 Constantia Kloof Drive
Wilderness
6560

Prepared by:

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SACPLAN Registration No A/1386/2011

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MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURES (COVERAGE, RELAXATION OF
BUILDING LINE, WALL PLATE HEIGHT AND CONDITIONS OF APPROVAL FOR
HEIGHT, BOUNDARY WALL AND BUILDING MATERIAL)
ERF 2152 WILDERNESS (CONSTANTIA KLOOF)

1. APPLICATION

- Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure of the western side boundary building line from 2 metres to 0 metres to allow for a retaining structure with a height of 3.461 metres along the western boundary of Erf 2152 Wilderness.
- Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the original conditions of approval for Farm 158 known as Constantia Kloof, with specific reference to Condition 4.3 of the approval dated 25 November 1996, to allow for
 - a boundary wall (also serving as a retaining wall) with a height of 2.1 metres varying to 4.144 metres along the western boundary of Erf 2152 Wilderness, and
 - a boundary wall (also serving as a retaining wall) with a height of 1.764 metres varying to 2.1 metres along the street boundary of Erf 2152 Wilderness.
- Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the original conditions of approval for Farm 158 known as Constantia Kloof, with specific reference to Condition 4.1 of the approval dated 25 November 1996 to allow for the dwelling house on Erf 2152 Wilderness
 - ⇒ which appears as a three storey dwelling house from an eastern and southern direction; and
 - ⇒ with a height of 11.972 metres along the dwelling house's western elevation, a height of 12.392 metres along the dwelling house's eastern elevation and a height varying

between 14.330 metres to 16.403 metres along the dwelling house's southern elevation.

- Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the original conditions of approval for Farm 158 known as Constantia Kloof, with specific reference to Condition 4.2 of the approval dated 25 November 1996 to allow a concrete and painted dwelling house on Erf 2152 Wilderness.
- Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure to increase the coverage applicable to the proposed dwelling house on Erf 2152 Wilderness from 50% to 53.8%.
- Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure on Erf 2152 Wilderness to increase the wall plate height from 6.5 metres to a height of 11.972 metres along the dwelling house's western elevation, a height of 12.392 metres along the dwelling house's eastern elevation and a height varying between 14.330 metres to 16.403 metres along the dwelling house's southern elevation.

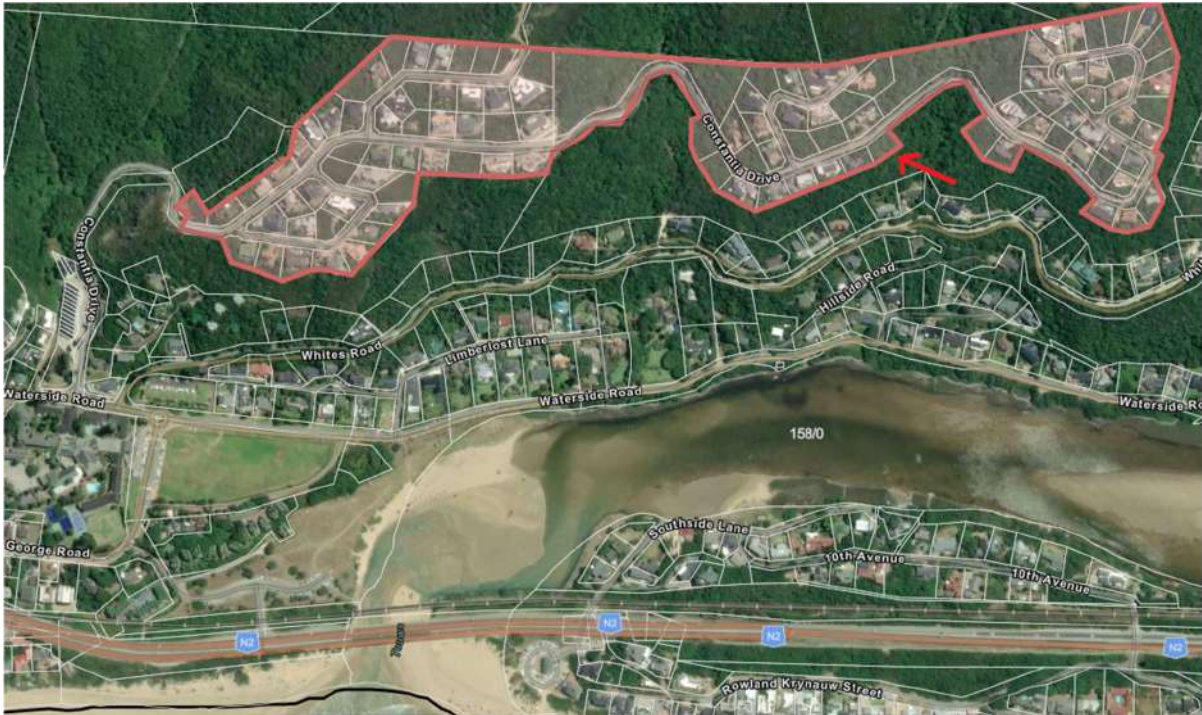
The proposed site and building plans are attached hereto as **Annexure "A"**. The completed application form for the permanent departures is attached hereto as **Annexure "B"**.

2. BACKGROUND

Erf 2152 Wilderness is located in the area of Wilderness known as Constantia Kloof. The aerial image below indicates Constantia Kloof as well as the locality of the subject property.

The design of the dwelling houses in Constantia Kloof is restricted to two-storeys with a maximum height of 8.5 metres as per the original Constantia Kloof development approval applicable to Farm 158 with specific reference to Condition 4.1 which reads as follows:

“4.1 No building or outbuilding erected on THE PROPERTY shall be higher than two storeys as seen from any direction and a maximum of 8,5m measured from the average natural ground level of THE PROPERTY that immediately adjoins the building to the highest point of the roof.”



The design of the dwelling houses in Constantia Kloof is furthermore restricted to certain building materials as per the original Constantia Kloof development approval applicable to Farm 158 with specific reference to Condition 4.2 which reads as follows:

“4.2 That all exterior finishes of buildings and boundary wall/fences be constructed of clinker brick (facebrick) and/or timber logs and that all roofs be of a green, brown or black colour.”

Furthermore, the height of boundary walls/fences are also restricted as per the original Constantia Kloof development approval applicable to Farm 158 with specific reference to Condition 4.2 which reads as follows:

“4.3 That no boundary wall or fence exceed 1,2 m in height.”

The George Municipality has granted approval to depart from Condition 4.1, 4.2 and 4.3 in various cases in Constantia Kloof to allow for dwelling houses and boundary walls on erven with slopes steeper than 1:4 and to use more modern building materials which include concrete, iron sheets for cladding and grey colors to give the dwelling houses a more modern look.

In terms of the George Integrated Zoning Scheme By-law, 2023 the coverage applicable to a dwelling house on an erf smaller than 1 000m² is 50%. The proposed dwelling house will have a coverage of 53.80%. The development proposal there departs from the coverage applicable to the erf.

3. DEVELOPMENT PROPOSAL

Erf 2152 Wilderness is 856m² in extent and is currently vacant. Erf 2152 is one of only a few undeveloped properties in Constantia Kloof as the area has been developing consistently in the last few years.

The owner intends to develop a dwelling house on Erf 2152 Wilderness with a basement floor area of 324m² with a covered patio of 28.46m². The ground floor will consist of a living area of 385m² with a covered patio of 75m². The first floor will consist of a living area of 264m² with a covered patio of 30m². The proposed dwelling house will thus have a floor area of approximately 973m² with covered patios of approximately 134m².

The dwelling house will have a footprint of 460m² which is equivalent to coverage of 53.80%. In terms of the George Integrated Zoning Scheme By-law, 2023 the coverage applicable to a dwelling house on an erf smaller than 1 000m² is 50%. An application for a permanent departure to increase the coverage applicable to the proposed dwelling house on Erf 2152 Wilderness from 50% to 53.8% will thus also be necessary.

The dwelling house itself has a height of 8.014 metres and is thus within the maximum height of 8.5 metres as per the original Constantia Kloof development approval applicable to Farm 158 with specific reference to Condition 4.1. Because of the very steep slope of the erf, the dwelling house has to be developed on pillars which raise the height of the dwelling house, from natural ground level to the top of the dwelling house, to a distance ranging between 11.972 metres



As is visible from the picture above a departure will be required from the two-storey height restriction as seen from any direction and the maximum height of 8.5 metres to allow for the dwelling house, as indicated above, to be developed on this steep sloping erf. As can be seen from the pictures the pillars on which the dwelling house is to be developed will be hidden behind the existing extensive vegetation that exists on the erf which will as such lessen the impact of the height of the dwelling house.

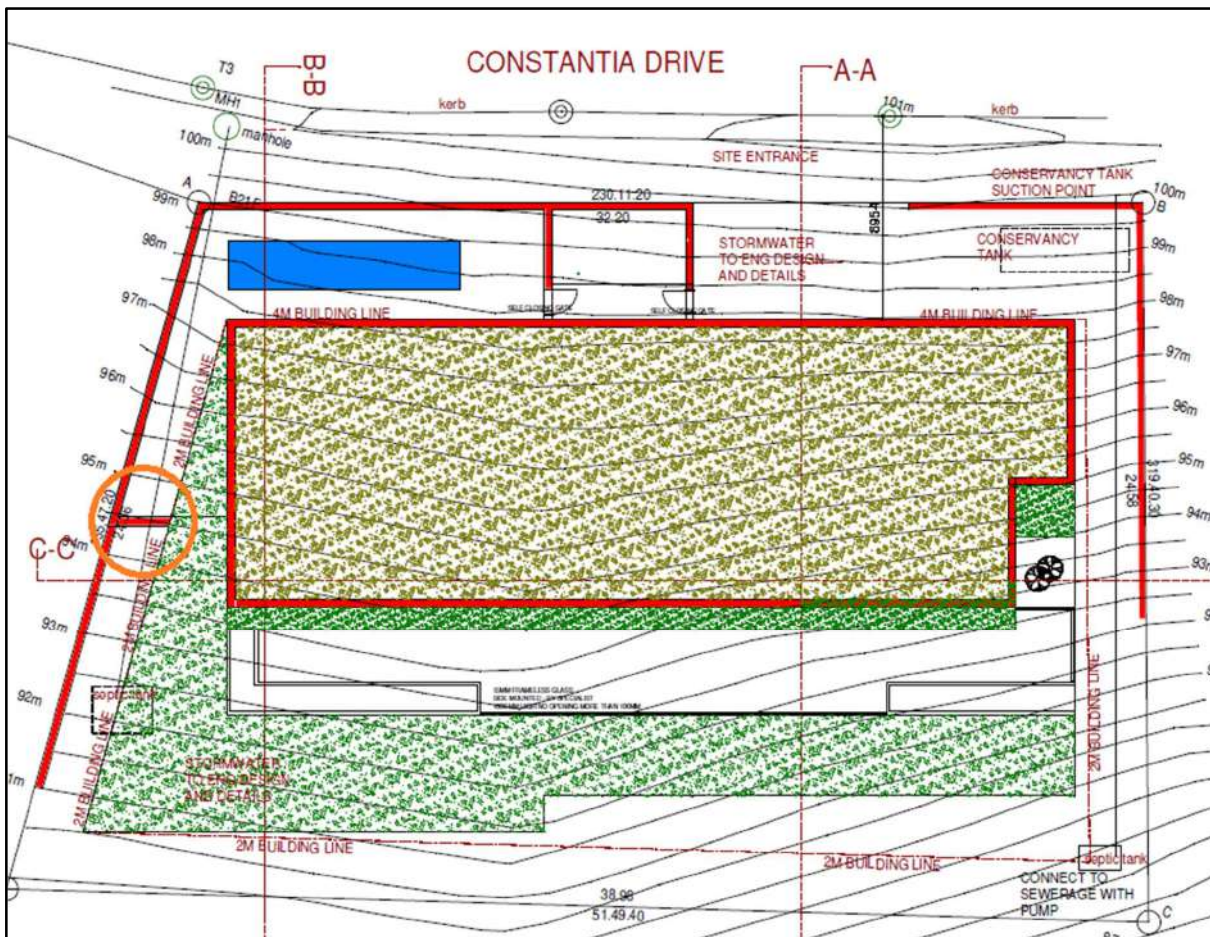
The picture below gives an indication of the dwelling house as seen from Constantia Drive. No departure is required as far as the street elevation of the proposed dwelling house is concerned.



The design and style of the proposed dwelling house is modern and will be constructed from concrete and will be painted with natural colors including greys. Therefore, a departure is also

required from the original conditions of approval for Constantia Kloof, to allow the use of concrete and to paint the proposed dwelling house.

The proposed dwelling house complies with the building lines in terms of the George Integrated Zoning Scheme, 2023, however, the retaining wall on the western common boundary encroaches into the western lateral building line. The development of a dwelling house is quite difficult due to the steep slopes of the property and therefore the design of the dwelling house includes retaining wall structures to stabilize the area around the dwelling house. The extract of the site plan below indicates the retaining structure that is located over the western common boundary building line of Erf 2152 Wilderness, that requires building line relaxation. The other boundary walls indicated on the plan will also serve as retaining walls.



The retaining structures will be constructed in terms of engineering design and standards.

The height of boundary walls is restricted in terms of Condition 4.3 of the original approval of Constantia Kloof to a height of 1.2 metres. However, due to the slope of the property a building platform will have to be created along the street boundary of the erf to allow for access to the erf from Constantia Kloof Drive. This necessitates that the height of various boundary walls have to exceed the 1.2 metres height as specified in Condition 4.2 of the approval conditions applicable to Farm 158. A departure from condition 4.2 is thus required to allow for the following boundary wall heights on Erf 2152 Wilderness:

- a boundary wall (also serving as a retaining wall) with a height of 2.1 metres varying to 4.144 metres along the western boundary of Erf 2152 Wilderness, and
- a boundary wall (also serving as a retaining wall) with a height of 1.764 metres varying to 2.1 metres along the street boundary of Erf 2152 Wilderness.

The purpose of this application is to obtain approval for a dwelling house to be developed on Erf 2152 Wilderness which exceeds the allowable coverage, the height restriction and utilizes modern construction materials and colors. The allowable height applicable to boundary walls will also be exceeded whilst a relaxation of the western building line is required to allow for a retaining structure that encroaches into the western side boundary building line.

After the successful land use planning application, an OSCAE application will be submitted and thereafter building plans will be submitted for approval.

4. PRE-APPLICATION CONSULTATION

A pre-application consultation is not required as the proposal entails an application for permanent departures including relaxation of building lines and conditions of approval. This is in line with the e-mailed directive in this regard to various consultants by the Municipal Town Planners, which was issued by e-mail dated 10 May 2022.

5. GENERAL INFORMATION REGARDING ERF 2152 WILDERNESS

5.1 Locality

Erf 2152 Wilderness is located in Constantia Kloof which is directly north of the CBD of Wilderness. Wilderness is located approximately 20km east of George. The locality of the property is indicated on the locality plan which is attached hereto as **Annexure "D"**.

5.2 Existing land use

The application property is currently vacant.

5.3 Extent of erf

Erf 2152 Wilderness, Constantia Kloof is 856m² in extent.

5.4 Existing zoning

In terms of the George Integrated Zoning Scheme By-Law, 2023, the zoning of Erf 2152 Wilderness is Single Residential Zone I.

5.5 General Plan

A copy of the Surveyor General Plan of Constantia Kloof, where Erf 2152 Wilderness is located is attached hereto as **Annexure "E"**.

5.6 Title Deed

Erf 2152 Wilderness is registered in the name of The Trustees for the time being of Goodford Family Trust, Registration number IT.22/2016(S). A copy of Title Deed of the property, Title Deed No. T45040/2019, is attached hereto as **Annexure "F"**.

5.7 Power of Attorney

A Power of Attorney, whereby Jan Vrolijk Town Planner / Stadsbeplanner is appointed by the Trustees of the Goodford Family Trust, Registration number IT.22/2016(S), the registered owner of Erf 2152 Wilderness, to prepare the application referred to in point 1 of this motivation report and to sign all relevant documents is attached hereto as **Annexure “G”**.

A copy of the Trust Registration Document indicating the names of the Trustees of the Goodford Family Trust, Registration number IT.22/2016(S) is attached hereto as **Annexure “H”**.

5.8 Bondholder’s Consent

Erf 2022 Wilderness is not encumbered by a bond.

5.9 Conveyancer Certificate

A Conveyancer Certificate in respect of Erf 2152 Wilderness is attached hereto as **Annexure “I”**. The Conveyancer Certificate confirms that there are no conditions in the Title Deed of the application property which restricts the proposed uses on the property.

6. DESIRABILITY OF APPLICATION FOR PERMANENT DEPARTURE (COVERAGE, BUILDING LINE, WALL PLATE HEIGHT AND CONDITIONS OF APPROVAL FOR HEIGHT, BOUNDARY WALL AND BUILDING MATERIAL FOR CONSTANTIA KLOOF): ERF 2152 WILDERNESS

6.1 Introduction

Specific issues which must be addressed in the motivation of applications are highlighted in the Land Use Planning By-Law for George Municipality, 2023. These issues are, however, aimed at more complex applications and are not applicable to lesser applications, such as permanent departures of the conditions of approval for Constantia Kloof.

This application will therefore be motivated with reference to the following aspects:

- *Compatibility of the proposal with the existing planning and land uses of the surrounding area.*
- *The impact that the proposal will have on the environment.*
- *The impact that the proposal will have on traffic and parking in the surrounding area.*
- *The impact that the proposal will have on surrounding facilities such as schools, open spaces and other community facilities, should the application result in an increase in the population of the area concerned.*
- *The impact that the proposal will have on the existing character of the surrounding area and the right of the inhabitants of the area in respect of property values, privacy, view, sunlight, et cetera.*
- *Provision of essential services.*

It will be indicated in the following paragraphs that the proposal can be regarded as being desirable as far as the mentioned aspects are concerned.

6.2 Existing planning in the area

The area of Wilderness where the application erf is located has a single residential land use character and because of the unique location, some guesthouses are present. The steep slopes prevalent in Constantia Kloof make departures from the height restriction of the dwelling house and boundary walls common in this area.

The conditions of approval for Constantia Kloof are outdated and therefore the George Municipality has in the past granted various applications for departures from the conditions of approval. Several properties exist in Constantia Kloof for which similar type of applications were approved by the George Municipality.

In this instance a departure is required to allow for:

- a dwelling house which appears as a three-storey dwelling house from an eastern and southern direction,
- a dwelling house with a height of 11.972 metres along the dwelling house's western elevation, a height of 12.392 metres along the dwelling house's eastern elevation and a

height varying between 14.330 metres to 16.403 metres along the dwelling house's southern elevation.

- a dwelling house making use of different construction materials including concrete and grey colour paint.
- boundary walls which will exceed a height of 1.2 metres.
- a relaxation of the western building line to allow for a retaining structure that encroaches into the western side boundary building line.
- an increased in the coverage of the proposed dwelling house from 50% to 53,8% which equates to 32m² in excess.
- a wall plate height exceeding the 6.5 metre restriction.

As stated before these types of departures are not uncommon in Constantia Kloof with numerous dwelling house which depart from the conditions of approval applicable to Farm 158. The permanent departures, as proposed in this application, will therefore not establish an undesirable precedent, and can be accommodated within the existing planning of the area.

6.3 Impact on schools, open spaces and other community facilities

The permanent departures proposed in this application will not result in an increase in the number of permanent inhabitants. As such, the proposal will not have an impact on schools and community facilities in the area. Ample open space is available in the close proximity of the erf and the proposal will thus have no impact on open spaces. This aspect is therefore not relevant to this application.

6.4 Impact on the streetscape

The proposed dwelling house will be visible from Constantia Drive.

Constantia Drive is the main road, providing access to most properties in Constantia Kloof. Erf 2152 Wilderness is located in the middle section of Constantia Kloof and south of Constantia Drive. Constantia Drive is not a road that carries through traffic and primarily gives access to the properties located along the road and located in Constantia Kloof.

The photo below indicates the existing street frontage and Erf 2152 Wilderness. The property is undeveloped and in a natural state.



Most of the properties along Constantia Drive have been developed and the proposed dwelling house on Erf 2152 Wilderness will not be out of character with the dwelling houses along Constantia Drive and will therefore not have any impact on the streetscape along Constantia Drive. The proposed departure from the conditions of approval for Constantia Kloof to make use of modern building materials and colors will also not negatively impact the streetscape as there are dwelling houses with similar design features within Constantia Drive in the Constantia Kloof area, as can be seen in the photos below.



The departure from the height of the dwelling house as well as departure of the wall plate height will not be visible from the street and will therefore not have a negative impact on the streetscape. The photo below is an illustration of what the structure will look like from street level.



The street boundary wall will have a height ranging from 1.740 metres to 2.1 metres. This height is in keeping with the street boundary wall height permitted for a Single Residential Zone I erf as per the George Integrated Zoning Scheme By-law, 2023. No undesirable precedent will thus be created as far as the height of the street boundary wall is concerned.

The permanent departures as proposed in this application will, therefore, not have a negative impact on the streetscape in the vicinity of the application property.

6.5 Impact on sunlight, view and privacy

The orientation of the proposed dwelling house on Erf 2152 Wilderness is positioned to make the most of the beautiful view over Wilderness and the ocean.

Erf 2152 Wilderness only has one adjacent residential property. East and south of Erf 2152 Wilderness is an open space and the only residential neighbouring properties are to the north

and west, both developed. The locality of the two mentioned properties can be seen on the aerial photo below.



The proposed dwelling house on Erf 2152 Wilderness cannot have any negative effect on the adjacent properties, Erf 2153 Wilderness and Erf 2114 Wilderness, as it keeps within its building lines, except for one retaining wall.

The increase in coverage from 50% to 53,8% is very small in relation to the vast open area of Constantia Kloof. Erf 2152 Wilderness is 856m² in size and may have footprint of 428m². The footprint of the proposed dwelling house on Erf 2152 Wilderness is 460m², which is 32m² bigger than what the zoning scheme allows. However, because of the steep slopes, the positioning of the proposed dwelling house in relation to the existing surrounding properties and the surrounding open space, the opinion is held that the increase in coverage will not have a negative effect on the neighbouring residential erven.

The dwelling house on Erf 2153 Wilderness is located approximately 12 metres from its eastern boundary and as is visible from the aerial photo above it is screened from Erf 2152 Wilderness by extensive existing vegetation on Erf 2153 Wilderness. The proposed boundary wall, which

will also serve as retaining wall with a height ranging between 2.1 metres to 4.14 metres will be developed along the common boundary between the two erven. Although the seemingly excessive height, it will not have any effect on the dwelling house on Erf 2153 Wilderness sunlight, view or privacy due to the vegetation and significant distance and steep slope between the dwelling houses. It is important to note that the entire western boundary is not enclosed by boundary walls and only certain sections to define the dwelling house and property. The dwelling house on Erf 2153 Wilderness furthermore faces to the south, thus not in the direction of the dwelling house on Erf 2152 Wilderness. The proposed dwelling house on Erf 2152 Wilderness will thus not be visible from Erf 2153 Wilderness and will as such have no affect on the sunlight, view or privacy of the existing dwelling house on Erf 2153 Wilderness.

The dwelling house on Erf 2114 Wilderness is constructed of the same material that is proposed for the dwelling house on Erf 2152 Wilderness. The proposed departure from this condition of approval will thus have no effect whatsoever on the dwelling house on Erf 2114 Wilderness. The proposed dwelling house on Erf 2152 Wilderness will portray as a double storey structure to the north and due to the significant steep slopes, the dwelling house on Erf 2114 Wilderness, north of the subject property, is situated at a considerably higher level than the proposed dwelling house on Erf 2152 Wilderness. The height difference will have the effect that the proposed dwelling house on Erf 2152 Wilderness cannot have any negative effect on the sunlight, view or privacy of the dwelling house on Erf 2114 Wilderness.

The permanent departures as proposed in this application can thus have no negative impact on the sunlight, view or privacy in respect of the mentioned adjacent erven.

6.6 Impact on property values

As indicated in the previous paragraphs, the proposed dwelling house in respect of which the permanent departures are required, do not have a negative impact on any of the surrounding properties. The outside finishes of the dwelling house will be of good quality and have a modern architectural style. The proposal will add value to the erf and represents a substantial capital investment by the owner.

The value of surrounding properties can, therefore, not be negatively impacted upon by the permanent departure as proposed in this application.

6.7 Impact on provision of parking

The parking requirements applicable to different land uses are set out in table format in Section 42 of the George Integrated Zoning Scheme By-law, 2023.

As indicated on the site and building plans attached hereto as **Annexure "A"**, it will be possible to provide the required number of parking bays within the boundaries of the erf. A double and single motor vehicle garage is proposed, which complies with the minimum parking requirement to provide 2 parking bays per dwelling house on an erf. The proposal can provide 3 parking bays. The departures applied for will have no effect on provision of parking.

The provision of on-site parking will therefore not be negatively impacted upon by the granting the permanent departures as proposed.

6.8 Impact of traffic circulation

Erf 2152 Wilderness is located in Constantia Drive, Wilderness, which is a residential street, serving primarily the local residents residing in Constantia Kloof.

The proposed access to Erf 2152 Wilderness complies with the George Integrated Zoning Scheme, 2023 requirements and is 7.328 metres wide. This singular access to the residential property cannot have any impact on traffic circulation.

The departures applied for cannot have any impact on traffic circulation in Constantia Drive.

6.9 Provision of services

The dwelling house will connect to the municipal services that are available in the area, the permanent departures as proposed in this application will not have any negative impact on existing services or the provision of services in the area concerned.

6.10 Firefighting

The firefighting requirements stipulated in the fire-regulations will not be negatively impacted upon as the application erf will still be fully accessible for fire-fighting purposes.

7. CONCLUSION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for various departures on Erf 2152 Wilderness.

As indicated in this motivation report the opinion is held that the proposal will not have a negative impact on the environment, development, public facilities, traffic circulation or municipal services in the surrounding area.

The application can therefore be considered desirable and is submitted for consideration in terms of the relevant stipulations of the Land Use Planning By-Law for the George Municipality, 2023.

ANNEXURE "A" - SITE PLAN AND BUILDING PLAN



**PLANNING AND DEVELOPMENT
APPLICATION FORM FOR CONSENT USE FOR A SECOND
DWELLING/ADDITIONAL DWELLING AND/OR DEPARTURE**

(Please complete the form in full for consideration - tick appropriate boxes with X)

BUILDING LINE RELAXATION	<input checked="" type="checkbox"/>	SECOND DWELLING	<input type="checkbox"/>	ADDITIONAL DWELLING	<input type="checkbox"/>
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PROPERTY DETAILS

ERF NUMBER	2152	EXTENSION/A REA	Constantia Kloof, Wilderness
ZONING	Single Residential Zone I		
EXISTING LAND USE	Vacant		

CORRESPONDENCE DETAILS

IS THE APPLICANT ALSO THE REGISTERED OWNER OF THE RELEVANT PROPERTY?				YES	NO
ADDRESS CORRESPONDENCE TO		OWNER	APPLICANT	POST OR E-MAIL	
COLLECT BY HAND	YES	NO	TELEPHONE NO	0824647871	

OWNER DETAILS

OWNER NAME	Goodford Family Trust				
STREET NAME	Constantia Drive	HOUSE NUMBER	2152		
POSTAL ADDRESS	PO Box 5010	SAME AS POSTAL ADDRESS	YES	NO	
EXTENSION/AREA	Walmer, Port Elizabeth 6065	CODE	6065		
ID NUMBER	N/A	E-MAIL ADDRESS	dgoodford@multisure.co.za		
TELEPHONE NO	087 943 2502	CELL NO	087 943 2502		

APPLICANT DETAILS (strike through if registered owner is also the applicant)

NAME	Jan Vrolijk Town Planner / Stadsbeplanner				
STREET NAME	Victoria Street	HOUSE NUMBER	-		
POSTAL ADDRESS	P O Box 710	SAME AS POSTAL ADDRESS	YES	NO	
EXTENSION/AREA	George CBD	CODE	6530		
TEL / CELL NO	082 464 7871	E-MAIL ADDRESS	janvrolijk@jvtownplanner.co.za		
PROFESSIONAL CAPACITY	Town Planner	SACPLAN NO	A/1386/2011		

BOND HOLDERS DETAILS (Only applicable if property is encumbered by a bond)

IS THE PROPERTY ENCUMBERED BY A BOND?		YES	NO
NAME OF BOND HOLDER	N/A		

TITLE DEED DETAILS

TITLE DEED NO.	T45040/2019		
ARE THERE RESTRICTIONS IN THE TITLE DEED WHICH IMPACT THE APPLICATION? (If yes, describe restrictions below)		YES	NO
N/A			


APPLICATION DETAILS

DESCRIPTION OF BUILDING LINE RELAXATION (STREET / LATERAL / REAR BUILDING LINE)	FROM M	TO M	DETAILS
Side boundary building line	2.0 m	0.0 m	Retaining structure
Departure of Constantia Kloof Condition 4.1			Height
Departure of Constantia Kloof Condition 4.2			Other building material and colours
Departure of Constantia Kloof Condition 4.3			Boundary wall height
Departure of wall plate height of proposed dwelling house	6.5 m	As per Motivation Report	Wall plate of proposed dwelling house
Is an application for an increase in coverage being applied for? (Indicate increase under details)	YES	NO	50% to 53.8%
Is an application for a 2 nd dwelling /additional dwelling being applied for? (indicate size under details)	YES	NO	

HOA/ ADJACENT OWNERS DETAILS (Consent letters as well as site plans to be signed by adjacent owners)

ERF NO	ADDRESS	NAME	CONSENT LETTER ATTACHED
To be advertised			

I hereby acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.

APPLICANT'S SIGNATURE		DATE	4 May 2026
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FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:

Locality Plan	Building Plan/ Site Plan on A3/ A4	SG Diagram/ General Plan	Title Deed
Power of Attorney	Motivation	Neighbours Consent / Comment	HOA Consent
Bond Holder Consent	Proof of Payment	Conveyance Certificate	Other (Specify)

ANNEXURE "B" - APPLICATION FORM



SPECIFICATIONS
GENERAL:
 Dpm to be min 150mm above finish ground level
 Step risers and treads as indicated.

LINTELS:
 PVC lintels to have min 4 courses of brickwork with brickforce in every course over all openings
 not more than 3.0m laid to man. specs.

STRUCTURE:
 All support structures such as beam, retaining walls, concrete slabs, steel and concrete staircases, structural walls and roofs as per structural engineers details.

MECHANICAL EXTRACTION:
 To comply with SANS 10400, Part O.

FOUNDATION FOOTINGS:
 All new foundation footings as per engineers drawings.
 All existing foundations and footings to be inspected by the engineer.

WALLS:
 Internal brick walls - 110mm or 230mm thick to be plastered and painted to later specification.
 External brick walls - 270mm cavity walls to be plastered and painted to later specification.
 All existing boundary walls to be retained.
 New boundary walls are to comply with part 'KK11' of the SANS 10 400.
 All retaining walls to engineers detail.
 All lateral walls exceeding their max. unsupported length to have stiffeners as eng. detail.

FLOORS:
 New concrete surface beds, to engineers detail, on 250 micron Dpm on 50mm sand binding layer on well compacted fill.
 New surface bed to lie in with existing. New and existing Dpm to overlap and sealed from water penetration.
 All new floor slabs to engineers design and detail in accordance with part 'E' of the SANS 10 400.
 New concrete floor slabs to allow for finish on cement screed. Finishes to later specification.

ROOF:
 Waterproofing system as per specialist detail on screed to fall to fullbore outlets on new flat concrete roof slab as per engineers detail.
 New steel roof structure with kip lok roof sheeting.

GLAZING:
 All new glazing less than 500mm above fl to be safety glazed in accordance with SANS 10400 part N.
 All glazing to comply with SANS 10137 and SANS 10400 Part N. Access doors and side lights, windows lower than 1800mm above pitch line of stairs and shop fronts to be safety glass. Glass type to adhere to Table 1-6 of SANS 10400 Part N.

WINDOWS:
 All new windows to be aluminum framed. All glazing to comply with SANS 10 400 part N as per the note on glazing above. Windows to be waterproofed.

SLIDING DOORS:
 New sliding doors throughout the house to be 2635 mm high glazed aluminum frame. All glazing to comply with SANS 10 400 part N as per the note on glazing above.
 External sliding doors to be waterproofed.

DOORS:
 New doors throughout the house to be 2400mm high semi solid core doors.
 External doors to be waterproofed.

CEILINGS AND SOFFITS:
 All new soffits to be off shutter as indicated.
 All new ceilings to be skimmed and painted as indicated.

BALCONY BALUSTRADES:
 New frameless glass balustrade to be 1.0m above floor level. Balustrade fixing to engineers detail. Comply with Part D, and SANS 10400. Glass balustrades to eng. detail.

DRAINAGE: (where applicable)
 100mm W sewer pipe with a minimum fall of 1:50, 100mm W stub vent at head of sewer drain pipe.
 Rodding eyes (re) at head of drain, at all changes of direction, and at a maximum of 25m intervals. Inspection eyes' (ie) at all junctions of drain, and to have marked covers at ground level.
 All waste fittings to have 65mm re-seal traps, all waste pipes to be accessible over entire length for cleaning and repairs.
 All waste pipes underground to be sleeved.
 All drainage fixtures on first floor to be antisiphoned.
 All soil fittings with a vertical discharge greater than 1220mm to have anti-siphon vent pipes (asv). Pipe diameter sizes wc - W100mm; sink - W40mm; w/b - W32mm.
 All drainage work to be carried out in accordance with the SANS 10 400, part P.
 All drain pipes less than 450mm at invert level are to be protected as per part 'PP24' of the SANS 10 400.
 All pipes below surface beds to be encased in concrete.
 50% OF HOT WATER TO BE BY NON-ELECTRICAL MEANS
 HOT WATER PIPING INSULATION TO BE - R-VALUE OF 1

STAMP OF APPROVAL

EDDIE DA SILVA AND ASSOCIATES ARCHITECTS

EDDIE DA SILVA AND ASSOCIATES
 (SACAP reg pr arch 7719)
 S.A. / O.F.A. REG NO 1734

CHURCH CORNER BUILDING
 SHOP BESPOKE GROUND FLOOR
 TEL: 044 873 2454

CONDESIGNATIVE.CO.ZA
 WWW.EDDIEDASILVA.CO.ZA

PROJECT

PROPOSED NEW DWELLING
 FOR GOODFORD AND FAMILY
 ERF 2152 WILDERNESS
 CONSTANTIA KLOOF

ELEVATIONS	SIGNATURE ARCHITECT
DESIGNED EDS	DRAWN EDS RNEL
REVISED	DATE
REVISED	DATE
REVISED	DATE
SEPTEMBER 2025	REF NO

THIS DRAWING IS THE COPYRIGHT OF EDDIE DA SILVA

ANNEXURE "C" – 3D RENDERINGS














ANNEXURE "D" – LOCALITY PLAN

ANNEXURE "E" – GENERAL PLAN


CO-ORDINATES			
System: 1 to 25 metres			
Constant: Y ± 0,00		X ± 3 700 000,00	
REFERENCE MARKS :			
RH1	+ 38 569,36	+ 62 243,15	
RH2	+ 38 653,71	+ 62 322,48	
RH3	+ 38 805,75	+ 62 439,78	

(WILDERNESS ALLOTMENT AREA)
GENERAL PLAN NO. 8139/1995
 OF SUBDIVISIONS OF ERF 2005 WILDERNESS
 Situate in the Wilderness District Council
 Administrative District of George
 Province of Western Cape

CDR

SG No. 8139/95
 SHEET 2 OF 2 SHEETS
 Approved :

 for Surveyor-General
 Date: 1996-1-18

Surveyed In December 1994 - September 1996
 by me


 D. K. Munnis PLS 0429
 Pt. Land Surveyor

DESCRIPTION OF BEACONS :
 12mm drill hole in rock : A3, A11, A14
 X : Not beacons
 All reference marks are 12mm round iron pegs in concrete
 0,20m below ground level.
 All other beacons are 12mm round iron pegs.

FILE No. S/8092
 SURVEY RECORDS No. E.25/92/95
 COMP.
 BL-8CC/2487658

ANNEXURE "F" – TITLE DEED

Pagdens Incorporated
18 Castle Hill
Central
PORT ELIZABETH
6001

Prepared by me

CONVEYANCER
BRETT ANDREW WEDDELL

MØEGSIENA ISHMAIL

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 1.300.000,00	R. 1146,00
Reason for exemption	Category Exemption.....	Exemption I to. Sec/Reg..... Act/Proc.....

T 000045040 / 2019

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

MARYKE CARINE HENNIG

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him/her by

1. PIETER GERT WESSEL SNYMAN
Identity Number 710218 5001 08 5
Married out of community of property
2. ESTELLE ADRIANA SNYMAN
Identity Number 620103 0027 08 8
Married out of community of property



which said Power of Attorney was signed at PRETORIA on 18 September 2019



And the appearer declared that his/her said principal had, on 18 July 2019, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

**The Trustees for the time being of GOODFORD FAMILY TRUST
Registration Number IT.22/2016(S)**

its Successors in Office or assigns, in full and free property

ERF 2152 WILDERNESS

in the Municipality and Division of George, Western Cape Province

IN EXTENT 856 (EIGHT HUNDRED AND FIFTY SIX) Square metres

FIRST TRANSFERRED by Deed of Transfer No T.1490/2003 with General Plan SG No 240/1998 relating thereto AND HELD by Deed of Transfer No T.52004/2016.

- A. SUBJECT to the conditions referred to in Deed of Transfer No T.2059/1923
- B. SUBJECT FURTHER to the terms of the servitude referred to in an endorsement on Deed of Transfer No T.4632/1905 to the effect that certain water and other rights have been ceded in favour of the land transferred by Deeds of Transfer Nos T.2955/1907 and T.2956/1907.
- C. SUBJECT FURTHER to the following conditions contained in Deed of Transfer No T.2059/1923, namely:

"Special Conditions

Wilderness Estate

George freehold Vol 12 No 7 – 13 March 1852.

General Plan W71

Remaining extent (259,8037 Hectares). Without prejudice to existing vested rights (if any) of the public or of any persons whomsoever the Liquidator of the Wilderness Estate Company Limited, in so far as the said Company may be entitled so to do imposes the following special conditions.

RECOGNIZED PATHS

In this term are included:

- (1) A path leading from Lots "d" and "dd" across the remaining extent to the Kaaimans River and to the top of the Hill on the remaining extent, overlooking the Kaaimans River and what is known as the "Map of Africa"
- (2) A path leading from Lots "d" and "dd" across the remaining extent direct to the Beach.

The Recognized Paths shall (subject to the provisions hereinafter contained) remain free and open for the use of owners as hereinafter defined, provided always that the use of these Recognized Paths shall not constitute a servitude for camping or picnicking and further that the owner of the remaining extent shall be at liberty at any time to deviate the whole or any part of these paths or

to close the same upon providing other roads or paths giving facilities of access of substantially equal degree.

In respect of the portion of the Road shown on General Plan W71 and included in the Diagram of Transfer No 9087/1921 the owners of:

- (1) Lots "a", "b", "d" "dd", Block E lots 1, 2 and 3.
- (2) The park.
- (3) The Remaining Extent.
- (4) Any portions hereafter transferred therefrom.

Shall make no claim in respect of above portion of the road included in the Diagram of Transfer No 9087/1921 and no objection shall be raised by such owners to the closing and cancellation of the said portion of such road should the owner of the land described in said Transfer hereafter take any steps to have the same closed or cancelled according to law.

Nothing hereinbefore contained shall be taken as preventing the owner of the Remaining Extent from passing transfer of further portions of the Wilderness Estate subject to similar conditions with or without modification in regard to such future transfer.

BUILDINGS

It shall be a condition in respect of all portions which may be hereafter laid out as lots and transferred from the present Remaining Extent that all dwelling houses erected on any such portions shall be built of brick, stone or concrete, provided that this shall not apply to what are known as "Sand Plots" being the Lots comprised in Blocks "A", "B", "C", "D".

WATER

The owner of the Remaining Extent shall allow the owner of Lots "d" and "dd" access to the Kaaimans River and other sources of water for the purposes of drawing a reasonable supply of water therefrom, whether by pipes or otherwise, provided that this shall not interfere with the present and future rights, if any other parties entitled."

D.

E.

F. ENTITLED FURTHER to benefits under the terms of the servitude referred to in the endorsement dated 11th July 1929 on Deed of Transfer No T2059/1923, namely:

"By Notarial Deed dd 22 May 1929 the conditions in favour of the land contained in Transfer 9209/1925 relating to paths buildings and water, etc. have been cancelled and certain other conditions imposed as will more fully appear on reference to copy annexed hereto."

G.

H.

- I. ENTITLED FURTHER to the benefits under the terms of the servitude referred to in the endorsement dated 21st June 1940 on Deed of Transfer No T2059/1923, namely:

"By Notarial Deed No 152/1940 dated 10.6.1940 the properties conveyed by Transfer 6029/1940 have been made subject to conditions relating to persons who may own, lease or occupy the properties, prohibition of trades or business, nature of buildings, nature of buildings, walls, fences, etc. provisions for sanitations, water, electric light, etc. clearing or destroying bush or shrub, for the benefit of Wilderness (1921) Limited as owners of the property conveyed by Para 2 hereof and the owners of properties which are subject to similar conditions as will more fully appear on reference to the said Notarial Deed registered this day in the Servitude Register under No 152/1940."

- J.
- K.
- L.
- M.

- N. SUBJECT FURTHER to the terms of the servitude referred to in the endorsement dated 25th February 1952 on Deed of Transfer No T.2059/1923, namely:

"By Not Deed No 61/1952 dated 15.5.51 the owner of the remainder held under para 2 hereof has granted to the owners of the properties held by Trfs. 4691/1947, 15345/1947, 20653/1949 and 19389/1950 the unimpeded access of light, air and view of the servitude area on the said remainder as indicated in red on extract from General Plan W71 annexed to said Not. Deed (more fully described therein) subject to condition as will more fully appear on reference to the said Not. Deed, a copy of which is annexed hereto."

- O.
- P.

- Q. ENTITLED FURTHER to the benefits under the terms of the servitude referred to in the endorsement dated 18th November 1958 on Deed of Transfer No T.2059/1923, namely:

"By Notarial Deed No 705/1958 dated 21st May 1958.

(1) A condition prohibiting the establishment of hotels and boarding houses on Lots 15 and 16, Block F, Wilderness held by T.20653/1949, Lot 15, Block G, and Lot 5, Block F, Wilderness held by T.15345/1947 the remainder of Wilderness Extension Township 1G and Lots 88 and 85, Wilderness Extension Township site 1G held by T4691/1947 has been cancelled. (The said conditions being referred to in endorsement dated 12/8/1947 and 23/12/1949 on this Deed).

(2) Conditions b to f hereinafter set out are imposed against Lots 15 and 16, Block F, Wilderness held by Transfer 20653/1949 and the remaining extent of Wilderness Extension Township 1G (excluding the figure abcde marked on diagram A4501/1931 annexed to Certificate of Consolidated Title No 4126/1932, held by T4691/1947:-

(b) No trade or business of any description may be carried out on the Lot without the written permission of the Company first had and obtained.

B

[Handwritten signature]

[Handwritten initials]

- (c) All buildings erected on the Lot shall be built of brick, stone or concrete, and the ground plan showing the relation of the position of such buildings to the boundaries of the Lot, as well as the elevation plans of such buildings shall be submitted to the Company for its approval, in writing before any buildings are commenced.
- (d) All walls, fences or hedges or like structures abutting upon any road or pathway shall be of a type approved of by the Company. The Company shall not be liable to contribute to the cost of any party for dividing fence or wall, nor to the costs of repair thereof, but it may call upon the said Grant agrees to observe uniformity in respect of fencing line for all fences that may abut on to any road, pathway, open space, or property of the Company and to maintain all boundary fences of the said Lot in good repair and order. No corrugated iron fence or screen shall be erected on the lot without the leave of the company.
- (e) The said Grant shall be obliged to plant and maintain at a suitable height such life hedge and/or such trees or shrubs and shall be prescribed by the Company suitably to screen any premises situate on the Lot.
- (f) the said Grant agrees to be bound not to clear or destroy the trees and bush on the Lot without first consulting the Company, whose consent to such clearing or destroying shall be necessary but shall not unreasonably interfere with the said Grant's full use and enjoyment of the Lot."

(3) The following condition is imposed against Lot 15, Block G of Lot H, held by Deed of Transfer T15345/1947.

"No trade or business or any description may be carried out on the Lot without the written permission of the Company first had and obtained."

(4) That the area marked xCDY on diagram A.4026/1924 annexed to Trf 7863/1926 of Lot 5 Block F Wilderness held by T15345/1947 is subject to the conditions that the owner shall not without the permission of Wilderness (1921) (Ltd) make or suffer to stand any building, structure or thing whatsoever, including fencings.

(5) That Hugh Owner Bruce Grant as owner of the following properties:-

1. Certain piece of freehold land situate in the Division of George, being Lot 15, Block F, Wilderness: Held under T.20653/1949.
2. Certain piece of freehold land, situate as above, being Lot 16, Block F, Wilderness: Held under T20653/1949.
3. Certain piece of freehold land, situate as above, being Lot 5, Block F Wilderness: Held under T.15345/1947.
4. Certain piece of freehold land, situate as above, being the remaining extent of Wilderness Extension Township No 1G.
5. Certain piece of freehold land, situate as above, being Lot No 88 a portion of Wilderness Extension Township No 1G.

6. Certain piece of freehold land, situate as above, being Lot 85 a portion of Wilderness Extension Site No 1G.

Held Under T4691/1947.

Shall not sell or dispose of any of them save as provided in Clause 5 of the said Notarial Deed."

R. SUBJECT FURTHER to the terms of the endorsement dated 17 May 1978 on Deed of Transfer No T.6167/1973, which endorsement reads as follows:-

Remainder Para 2

By Deed of Transfer No T.10573/1978 dated this day the remainder of the Farm 158 George is subject to the conditions imposed by the Administrator of the province of the Cape of Good Hope in terms of Section 9 of Ordinance 33/1934 when approving the said subdivision:-

- (a) The owner of this erf shall without compensation, be obliged to allow electricity, telephone and television cables and/or wires and main and/or other water-pipes and the sewage and drainage, including storm-water of any other erf or erven to be conveyed across this erf, if deemed necessary by the local authority and in such manner and position as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time for the purpose of constructing, altering, removing or inspecting any works connected with the above.
- (b) The owner of this erf shall be obliged, without compensation, to receive such material or permit such excavation on the erf, as may be required to allow use of the full width of the street and provide a safe and proper slope to it bank owing to difference between the levels of the street as finally constructed and the erf, unless he elects to build retaining walls to the satisfaction of and within a period to be determined by the local authority."

U. SUBJECT FURTHER to the terms of the endorsement dated 5 March 1987 on Deed of Transfer No T.6167/1973, which endorsement reads as follows:-

Kragtens Akte van Transport Nr T.9457/1987 hede gedateer, is die restant van die plaas Nr 158 groot 175,9896 Ha gehou hieronder, onderhewig aan die volgende voorwaardes opgelê deur die Administrateur i.t.v Art 9 van Ord. 33/1934 tydens die goedkeuring van onderverdeling.

- (a) The owner of this erf shall without compensation, be obliged to allow gas mains, electricity, telephone and television cables and/or wires and main and/or other waterpipes and the sewage and drainage, including stormwater of any other erf or erven to be conveyed across this erf, and surface installations such as mini-substations, meter kiosks and service pillars to be installed thereon if deemed necessary by the local authority and in such manner and position as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time for the purpose of constructing, altering, removing or inspecting any works connected with the above.

WHEREFORE the said Appearer, renouncing all rights and title which the said

1. PIETER GERT WESSEL SNYMAN, Married as aforesaid
2. ESTELLE ADRIANA SNYMAN, Married as aforesaid

heretofore had to the premises, did in consequence also acknowledge them to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

**The Trustees for the time being of GOODFORD FAMILY TRUST
Registration Number IT.22/2016(S)**

its Successors in Office or assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R1 300 000,00 (ONE MILLION THREE HUNDRED THOUSAND RAND) .

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on 24/10/2019.



A large, stylized handwritten signature in black ink, written over a horizontal line. The signature is highly cursive and loops around the line.

In my presence



A smaller handwritten signature in black ink, written over a horizontal line. The signature is more compact and less stylized than the one above.

REGISTRAR OF DEEDS



A small, handwritten mark or signature in the bottom left corner of the page.



A large, handwritten mark or signature in the bottom center of the page, consisting of several parallel diagonal lines.



A small, handwritten mark or signature in the bottom right corner of the page.

ANNEXURE "G" – TRUST DOCUMENT



the dtj & cu

Department:
Justice and Constitutional Development
REPUBLIC OF SOUTH AFRICA

TRUST ACT 1989

0924805

J85

MASTER OF THE HIGH COURT: PORT ELIZABETH

Ref : IT000022/2016(S)

Masters Office(MO) Box:

Enq:

E-mail: MasterPortElizabeth@justice.gov.za

Your Ref :

NANDI SAUER
ABSA TRUST

6000

Meneer/ Menere/Mevrou/Mejuffrou
Mr/Sirs/Madam

RE: GOODFORD FAMILY TRUST

Items gemerk "X" is aangeheg.
Items marked "X" are attached.

- Letters of Authority
- Amended Letters of Authority

Die uwe/Yours faithfully

MEESTER VAN DIE HOOGGEREGSHOF
MASTER OF THE HIGH COURT
PORT ELIZABETH

ABSATRUST
LIMITED LIABILITY
15 JUN 2023
PORT ELIZABETH

Access to Justice for All

URN: 8982016TRU000022

Meester van die Oos kaapse Hooggeregshof
PORT ELIZABETH
13 JUN 2023
PORT ELIZABETH
MASTER OF THE EASTERN CAPE HIGH COURT



REPUBLIC OF SOUTH AFRICA

MAGTIGINGSBRIEF LETTERS OF AUTHORITY

Ingevolge Artikel 6(1) van die Wet op Beheer oor Trustgoed, 1988 (Wet 57 van 1988)
In terms of Section 6(1) of the Trust Property Control Act, 1988 (Act 57 of 1988)

No: IT000022/2016(S)

Hiermee word gesertifiseer dat /
This is to certify that

- 1) **DENTON JOHN FRANK GOODFORD - 7001165001083 (ID)**
- 2) **NANDI SAUER - 9102050070080 (ID), Representing: ABSA TRUST - 191500466506**

gemagtig word om op te tree as trustee(s) van die /
is/are hereby authorized to act as trustee(s) of the

GOODFORD FAMILY TRUST

GEGEE onder my hand te _____ op hede die _____ dag van _____
GIVEN under my hand at PORT ELIZABETH this 13th day of JUNE year 2023

Signature

**ASSISTENT MEESTER
ASSISTANT MASTER**

Meester van die Oos kaapse Hooggeregshof
PORT ELIZABETH
13 JUN 2023
PORT ELIZABETH
MASTER OF THE EASTERN CAPE HIGH COURT

Approved by: VERONIQUE VAN STADEN

ANNEXURE "H" – POWER OF ATTORNEY

POWER OF ATTORNEY

We, the undersigned

Denton John Frank Goodford - 7001165001083 (ID)

Nandi Sauer - 9102050070080 (ID), Representing: ABSA TRUST - 191500466506

the only Trustees of the

Goodford Family Trust, Registration number IT.22/2016(S)

the registered owner of

Erf 2152 Wilderness

do hereby appoint Jan Vrolijk Town Planner/Stadsbeplanner to prepare, sign and submit the following applications to the George Municipality

- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure of the western side boundary building line from 2 metres to 0 metres to allow for a retaining structure with a height of 3.461 metres along the western boundary of Erf 2152 Wilderness.
- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the original conditions of approval for Farm 158 known as Constantia Kloof, with specific reference to Condition 4.3 of the approval dated 25 November 1996, to allow for
 - a boundary wall (also serving as a retaining wall) with a height of 2.1 metres varying to 4.144 metres along the western boundary of Erf 2152 Wilderness, and
 - a boundary wall (also serving as a retaining wall) with a height of 1.764 metres varying to 2.1 metres along the street boundary of Erf 2152 Wilderness.



- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the original conditions of approval for Farm 158 known as Constantia Kloof, with specific reference to Condition 4.1 of the approval dated 25 November 1996 to allow for the dwelling house on Erf 2152 Wilderness
 - which appears as a three storey dwelling house from an eastern and southern direction; and
 - with a height of 11.972 metres along the dwelling house's western elevation, a height of 12.392 metres along the dwelling house's eastern elevation and a height varying between 14.330 metres to 16.403 metres along the dwelling house's southern elevation.

- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the original conditions of approval for Farm 158 known as Constantia Kloof, with specific reference to Condition 4.2 of the approval dated 25 November 1996 to allow a concrete and painted dwelling house on Erf 2152 Wilderness.

- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure to increase the coverage applicable to the proposed dwelling house on Erf 2152 Wilderness from 50% to 53.8%.

Signed at Port Elizabeth on 9 April 2026

Denton John Frank Goodford



Nandi Sauer representing Absa Trust Ltd



ANNEXURE "I" - CONVEYANCER CERTIFICATE

CONVEYANCER'S CERTIFICATE

IN TERMS OF SECTION 38(1)(n) OF THE GEORGE MUNICIPALITY: LAND USE PLANNING BY LAW, 2023

ERF 2152 WILDERNESS

APPLICATION DETAILS

- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure of the western side boundary building line from 2 metres to 0 metres to allow for a retaining structure with a height of 3.461 metres along the western boundary of Erf 2152 Wilderness.
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 - which appears as a three storey dwelling house from an eastern and southern direction; and
 - with a height of 11.972 metres along the dwelling house's western elevation, a height of 12.392 metres along the dwelling house's eastern elevation and a height varying between 14.330 metres to 16.403 metres along the dwelling house's southern elevation.

- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the original conditions of approval for Farm 158 known as Constantia Kloof, with specific reference to Condition 4.2 of the approval dated 25 November 1996 to allow a concrete and painted dwelling house on Erf 2152 Wilderness.
- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure to increase the coverage applicable to the proposed dwelling house on Erf 2152 Wilderness from 50% to 53.8%.

APPLICATION DATE

August 2025

I, the undersigned

ANDALEEN CHIMES a duly qualified and admitted Conveyancer, practicing at A Chimes & Van Wyk Attorneys, Cathedral Street, George do hereby certify as follows:

1. I have perused the following title Deed/s and conducted a search behind the pivot of the said title deed/s at the Deeds Office, Cape Town:

T45040/2019 (current Title Deed)

in respect of:

**ERF 2152 WILDERNESS
IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE**

IN EXTENT: 856 (EIGHT FIVE SIX) SQUARE METRES

HELD BY DEED OF TRANSFER NUMBER T45040/2019

REGISTERED in the name of

GOODFORD FAMILY TRUST, REGISTRATION NUMBER IT.22/2016(S)

2. I have appraised myself with the details of the abovementioned Land Development Application.
3. The abovementioned Title Deed contains no conditions restricting the contemplated Land Use in terms of the abovementioned Land Development Application.
4. There is no bond registered over the property.

SIGNED at GEORGE on 2 April 2026

A handwritten signature in black ink, appearing to read 'D. J. S.', written in a cursive style.

CONVEYANCER