

Collaborator No.: 3893638
Reference / Verwysing: Erf 6181, George
Date / Datum: 15 May 2026
Enquiries / Navrae: Primrose Nako

Email: nina@lifeofarchitecture.com

Catharina Malan Bruyns
52 Clivia Close
Heather Park
GEORGE
6529

APPLICATION FOR PERMANENT DEPARTURE: ERF 6181, GEORGE

Your application in the above regard refers.

The Deputy Director: Development and Environmental Management (Authorised Official) has, under delegated authority, 4.17.1.17 of 24 April 2025 decided that the application for Permanent Departure in terms of Section 15(2)(b) of the Land Use Planning By-law for George Municipality, 2023 to accommodate an extension to the existing garage and carport as well as a proposed non-interleading room to be used as an art studio on Erf 6181, George;

BE APPROVED in terms of Section 60 of said Bylaw for the following reasons:

REASONS:

1. The proposed departure will not have an adverse impact on the surrounding residential character of the area or the streetscape.
2. There will be no adverse impact on surrounding neighbours' rights or amenity in terms of views, privacy or overshadowing.
3. No negative comments or objections were received.

Subject to the following conditions imposed of Section 66 of said Bylaw, namely:

CONDITIONS:

1. That in terms of the Land Use Planning By-law for the George Municipality 2023, the approval shall lapse if not implemented within a period of five (5) years from the date it comes into operation.
2. This approval shall be taken to cover only the Departures as applied for and as indicated on the site layout plan, Plan no. 101-00, 101-01, 201-01, 201-02, dated 07/10/2025 drawn by Life of Architecture attached as "Annexure A" which bears Council's stamp and shall not be construed as to depart from any other Council requirements or legal provision.
3. The above approval will be considered as implemented on the issuing of the occupation certificate in accordance with the approved building plans.

Note:

- i. *A building plan must be submitted for approval in accordance with the National Building Regulations.*
- ii. *Stormwater must be dispersed responsibly, and the stormwater management and erosion measures must be addressed on the building plans.*
- iii. *Applicant to show all existing structures on site when submitting Building Plans for approval.*
- iv. *The owner of the property is reminded of their duty of care in terms of Section 28 of the National Environmental Management Act, 1998 (Act No. 107 of 1998), to take all reasonable measures to prevent environmental degradation and to protect the environment.*
- v. *The applicant is to comply with the National Forestry Act, Act No 84 of 1998, should it be required.*

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Planning and Development, P O Box 19, George, 6530 or Directorate: Planning and Development, 46 Market Street (Old York Hostel Building), George **on or before 05 JUNE 2026**, and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

Yours faithfully



C PETERSEN
SENIOR MANAGER: TOWN PLANNING

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Project: **HOUSE ALEXANDER**
 Address: 100 Protea Rd, George, South Africa
 Drawing: **ROOF & SITE PLAN**
 Date: 20/05/2028
 Drawing no: 10-006
 Revision number:
 Scale: As indicated on drawings
 Client Signature:

Architects:
Lo d
 100 Protea Rd, George, South Africa
 Cell: 082 922 1222
 Email: info@lo-d.co.za
 Website: www.lo-d.co.za

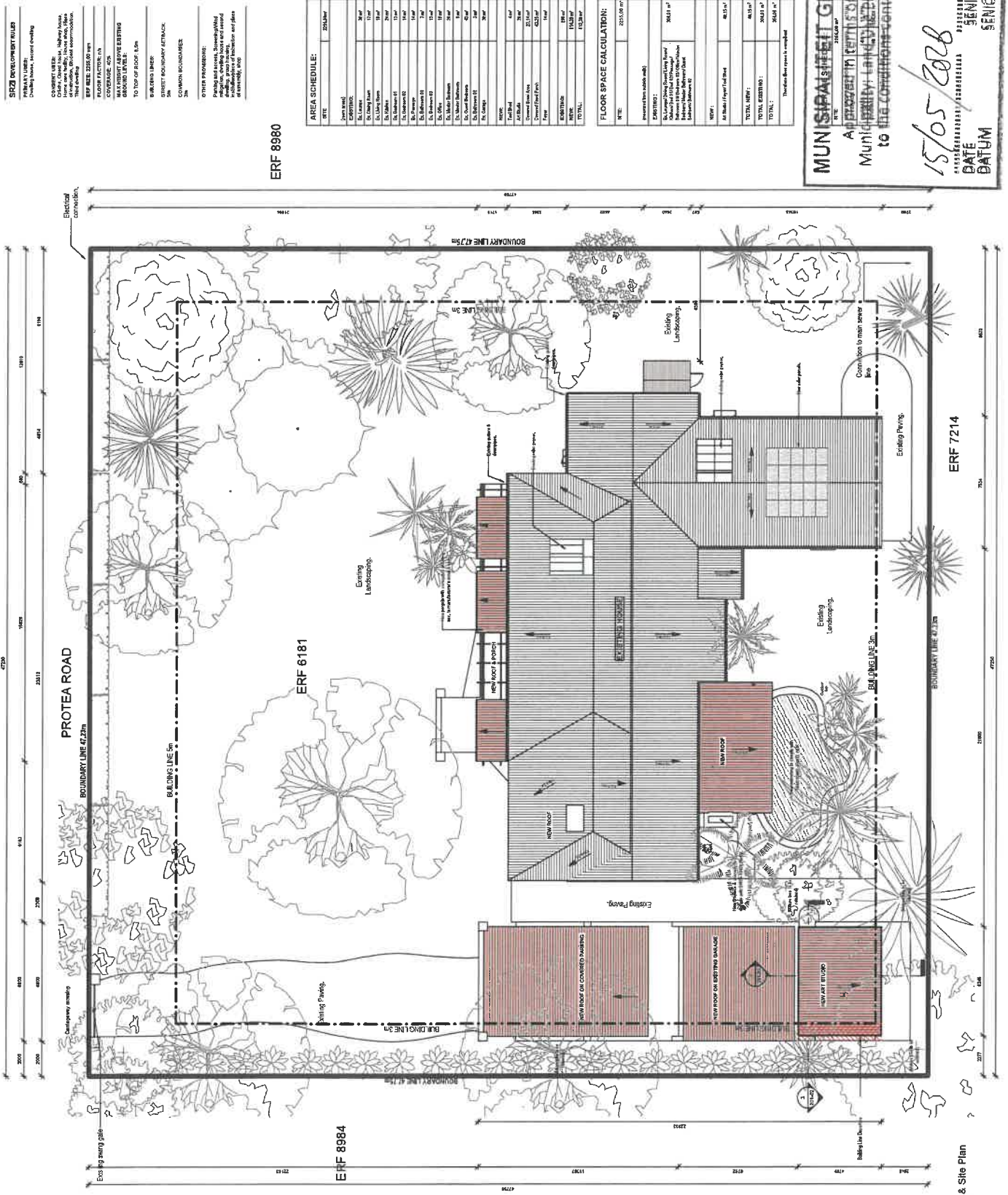
Area Schedule:
 ERF 8984: 255,00 m²
 ERF 6181: 255,00 m²
 ERF 7214: 255,00 m²
 ERF 8980: 255,00 m²

Floor Space Calculation:
 ERF 8984: 255,00 m²
 ERF 6181: 255,00 m²
 ERF 7214: 255,00 m²
 ERF 8980: 255,00 m²

Other Particulars:
 1. All buildings shall be constructed in accordance with the applicable building regulations, including but not limited to the requirements of the National Building Regulations and Building Standards Act, 1977 (Act No. 103 of 1977).
 2. The site plan shall be submitted to the relevant authorities for approval.

Client Signature:
 Date: 20/05/2028

MUNICIPALITY OF GEORGE MUNICIPALITY
 APPROVED IN TERMS OF SECTION 60 OF THE GEORGE MUNICIPALITY LAND USE PLANNING BY-LAW (2023) SUBJECT TO THE CONDITIONS CONTAINED IN THE COVERING LETTER.
 15/05/2028
 SENIOR MANAGER: TOWN PLANNING
 SENIOR DESIGNER: STATSBEPANNING



Roof & Site Plan
 1:100

Project: **HOUSE ALEXANDER**
 Address: 130 Protea Rd, George, South Africa
 Drawing: **GROUND FLOOR PLAN**
 Date: 2023/08/07
 Drawing no: 19/141
 Revision number: 1

SIZE DEVELOPMENT RULES
 PUBLIC USE: 1:500
 COMMERCIAL: 1:200
 RESIDENTIAL: 1:100

COVERED AREAS
 Includes: Covered porches, walkways, terraces, balconies, pergolas, carports, and other structures with a roof or other overhead covering.

FLOOR FACTORS
 FLOOR AREA: 255.24m²
 COVERED AREA: 255.24m²

MAX HEIGHT ABOVE GRADING
 GRADING LEVEL: TO TOP OF FLOOR, 1.0m

BUILDING DEPTH
 STREET BOUNDARY SETBACK: 3m
 COMMON BOUNDARY SETBACK: 3m

OTHER PROVISIONS
 All buildings shall be constructed in accordance with the provisions of the National Building Regulations and Building Standards Act (No. 103 of 1977) and any amendments thereto.

NOTE: As indicated on drawing.

CLIENT SIGNATURE: _____

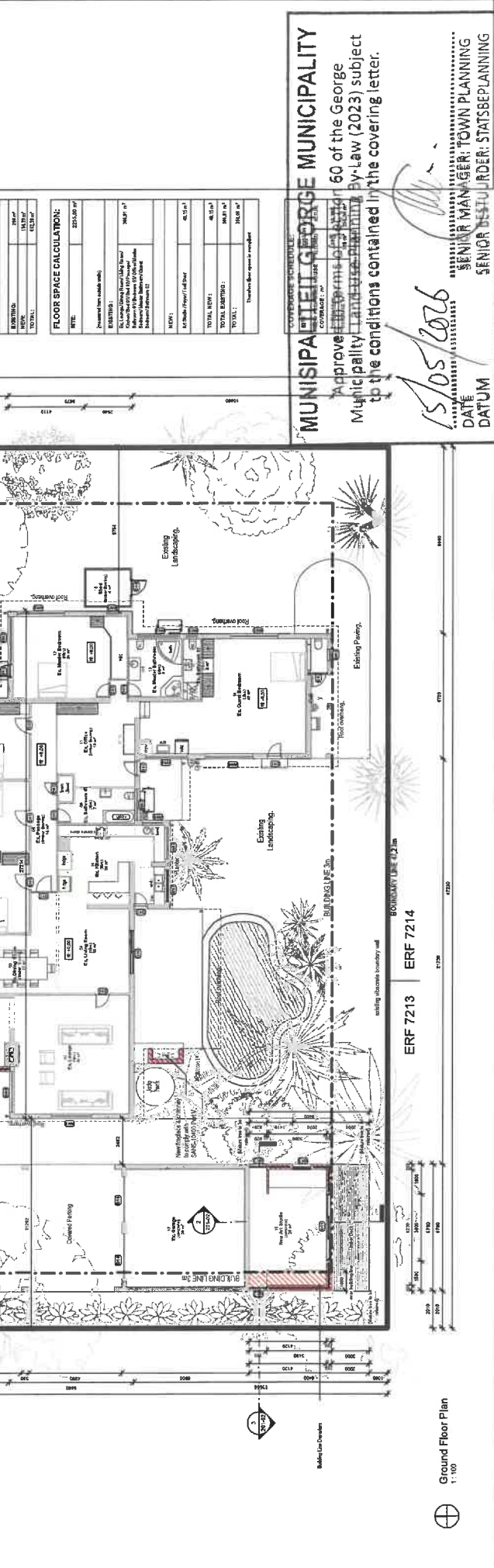
ARCHITECTS
lo d
 ARCHITECTS
 130 Protea Rd, George, South Africa
 Cell: 082 922 1122
 Fax: 027 212 1122
 Email: info@lod.co.za
 Website: www.lod.co.za

AREA SCHEDULE:

ITEM	DESCRIPTION	AREA (m ²)
1	Area road	255.24
2	Roof	255.24
3	Walls	1100.00
4	Windows	100.00
5	Doors	100.00
6	Stairs	100.00
7	Other	100.00
8	Other	100.00
9	Other	100.00
10	Other	100.00
11	Other	100.00
12	Other	100.00
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100	Other	100.00

FLOOR SPACE CALCULATION:

ITEM	DESCRIPTION	AREA (m ²)
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99	Other	100.00
100	Other	100.00



MUNICIPALITY OF GEORGE
 APPROVE: _____
 MUNICIPALITY OF GEORGE
 60 of the George Municipality Land Use Management By-Law (2023) subject to the conditions contained in the covering letter.
 15/05/2026
 DATE
 SENIOR MANAGER: TOWN PLANNING
 SENIOR DESIGNER: STATSBEPANNING

