

**Collaborator No.:** 380349  
**Reference / Verwysing:** Erf 67, Pacaltsdorp  
**Date / Datum:** 08 May 2026  
**Enquiries / Navrae:** Primrose Nako

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JAN VROLIJK TOWN PLANNER  
P O Box 710  
GEORGE  
6530

**APPLICATION FOR REZONING, SUBDIVISION AND PERMANENT DEPARTURE: ERF 67,  
PACALTSDORP**

Your application in the above regard refers.

The Deputy Director: Development and Environmental Management (Authorised Official) has, under delegated authority, 4.17.1.17 of 24 April 2025 decided that the following applications applicable to Erf 67, Pacaltsdorp:

- Rezoning in terms of Section 15(2)(a) of the Land Use Planning By-Law for George Municipality, 2023 of Erf 67, Pacaltsdorp from "Single Residential Zone I" to a "Subdivisional Area" to allow for a residential development comprising of the following:
  - 1x General Residential Zone III (Town Housing) erf (*with a density of  $\pm 51$  du/ha*);
  - 1x Transport Zone II (public street) erf;
- Subdivision in terms of Section 15(2)(d) of the Land Use Planning By-Law for George Municipality, 2023 of the Subdivisional Area applicable to Erf 67, Pacaltsdorp into the following:
  - 1 x General Residential Zone III portion;
  - 1x Transport Zone II portion;
- Permanent Departure, in terms of Section 15(2)(b) of the Land Use Planning By-law for George Municipality, 2023 for the relaxation of the minimum off-street parking requirements applicable to Town Housing from 2 parking bays per unit to 1,7 parking bays per unit;

**BE APPROVED** in terms of Section 60 of the Land Use Planning Bylaw for George Municipality, 2023, for the following reasons:

**REASONS:**

- The proposal promotes residential densification and intensification of land use in line with the spatial planning principles, objectives and guidelines applicable to the surrounding area.
- The proposed development will not have an adverse impact on the character of the area or the environment;
- The subject property is located within walking distance from public transport facilities ("bus stops") and

- supports the efficiency of public transport systems and transport orientated developments;
- d. The development will provide for much needed affordable housing opportunities within a low-density urban area;
  - e. The development is compatible with the spatial planning objectives of the area.

Subject to the following conditions imposed in terms of Sections 66 of the Land Use Planning Bylaw for George Municipality, 2023, namely:

#### **CONDITIONS OF THE DIRECTORATE: PLANNING AND DEVELOPMENT**

1. In terms of the Land Use Planning By-law for George Municipality, 2023, the above approvals shall lapse if not implemented within a period of five (5) years from the date it comes in operation.
2. This approval shall be taken to cover only the rezoning, subdivision, and departure application as applied for and indicated on the Site Plan No. DJM 46-2023 dated 17 October 2025 drawn by DJM Draughting, attached as "**Annexure A**" and Subdivision Plan No. 67/1 dated August 2025, attached as "**Annexure B**", which bears Council's stamp and shall not be construed as to depart from any other Council requirements or legal provisions.
3. All structures erected over the common boundary lines between the subdivided portions as well as the structures on the Remainder that do not comply with the provisions of the George Integrated Zoning Scheme, 2023 must be demolished prior to the transfer of any portion.
4. 1x200l tree must be planted on site for every 2 units constructed – i.e. minimum of 10 trees.
5. The position of the trees must be spread across the site and indicated on a landscaping plan to be submitted to the satisfaction of the Directorate with the building plans for the development.
6. The subdivision approval will only be regarded as implemented on the approval of the SG Diagram by the Surveyor General as well as the registration of Portion A in terms of the Deeds Registries Act.

#### **Notes:**

1. *As built building plans/layout plan must be submitted in accordance with the National Building Regulations (NBR) for Portion A for record purposes to indicate the new property boundaries and building lines.*
2. *The approved Surveyor General diagram must be submitted to the Directorate: Planning and Development for record purposes.*
3. *The required demolition permits must be obtained from the Directorate: Planning and Development prior to the demolition of any structure.*
4. *Stormwater must be dispersed responsibly, and the stormwater management, retention and erosion measures must be addressed on the building plans.*
5. *No trees in the road reserve may be removed before the approval of the relevant Authorities.*
6. *Provision for the removal of solid waste are to be addressed in conjunction with the Directorate: Community Services.*
7. *The developer is to adhere to the requirements of all relevant Acts, as well as all conditions stipulated by any other authority whose approval is required and obtained for this proposed development.*
8. *The DC calculations below are based on the information available to the Engineering Departments at the time of approval. The owner is advised to engage with said Departments prior to the transfer of Portion A to obtain a final calculation.*

#### **CONDITIONS OF THE DIRECTORATE: CIVIL ENGINEERING SERVICES**

7. The conditions imposed by the Directorate Civil Engineering Services are attached as '**Annexure C**' dated 21/02/2026, must be adhered to.
8. Note that as stipulated in the attached conditions imposed by the Directorate Civil Engineering Services, the amount of Development Charges (DCs) to be paid by the developer are calculated in terms of the George Municipality Land Use Planning By-Law (as amended) and the approved DC Guidelines. With reference to clause above, with regards to the proposed development, the developer will be required to make development contribution, as follows:

The amounts of the development contributions are reflected on the attached calculation sheet dated 21/02/2026 and are as follows:

Roads: R 168 922.36

Sewer: R 234 014.16

Water: R 216 893.56

**Total: R 619 830.08 (Excluding VAT)**

9. The total amount of the development charges of **R 619 830.08 (Excluding VAT)** shall be paid prior to the first transfer of a land unit pursuant to the application or upon the approval of building plans, whichever occurs first, unless otherwise provided in an engineering services agreement or, in the case of a phased development, in these or any other relevant conditions of approval.
10. Any amendments or additions to the proposed development, which is not contained within the calculation sheet attached, which might lead to an increase in the proportional contribution to municipal public expenditure, will result in the recalculation of the development charges and the amendment of these conditions of approval or the imposition of other relevant conditions of approval.

#### **CONDITIONS OF THE DIRECTORATE: ELECTROTECHNICAL SERVICES**

11. The conditions imposed by the Directorate Electrotechnical Services are attached as 'Annexure D' dated 16/09/2025, must be adhered to.
12. Note that as stipulated in the attached conditions imposed by the Directorate Electrotechnical Engineering Services, the amount of Development Charges (DCs) to be paid by the developer are calculated in terms of the George Municipality Land Use Planning By-Law (as amended) and the approved DC Guidelines. With reference to clause above, with regards to the proposed development, the developer will be required to make development contribution, as follows:

The amounts of the development contributions are reflected on the attached calculation sheet dated 16/09/2025 and are as follows:

Electricity: **R 240 893.81 (VAT Excluded)**

13. The total amount of the development charges of **R 240 893.81** Excluding VAT shall be paid prior to the first transfer of a land unit pursuant to the application or upon the approval of building plans, whichever occurs first, unless otherwise provided in an engineering services agreement or, in the case of a phased development, in these or any other relevant conditions of approval.
14. Any amendments or additions to the proposed development, which is not contained within the calculation sheet attached, which might lead to an increase in the proportional contribution to municipal public expenditure, will result in the recalculation of the development charges and the amendment of these conditions of approval or the imposition of other relevant conditions of approval.

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Planning and Development, P O Box 19, George, 6530 or Directorate: Planning and Development, 46 Market Street (Old York Hostel Building), George **on or before 29 May 2026**, and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. *Please also note that the appeal must be e-mailed to the administrative officer mentioned above.*

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

Yours faithfully

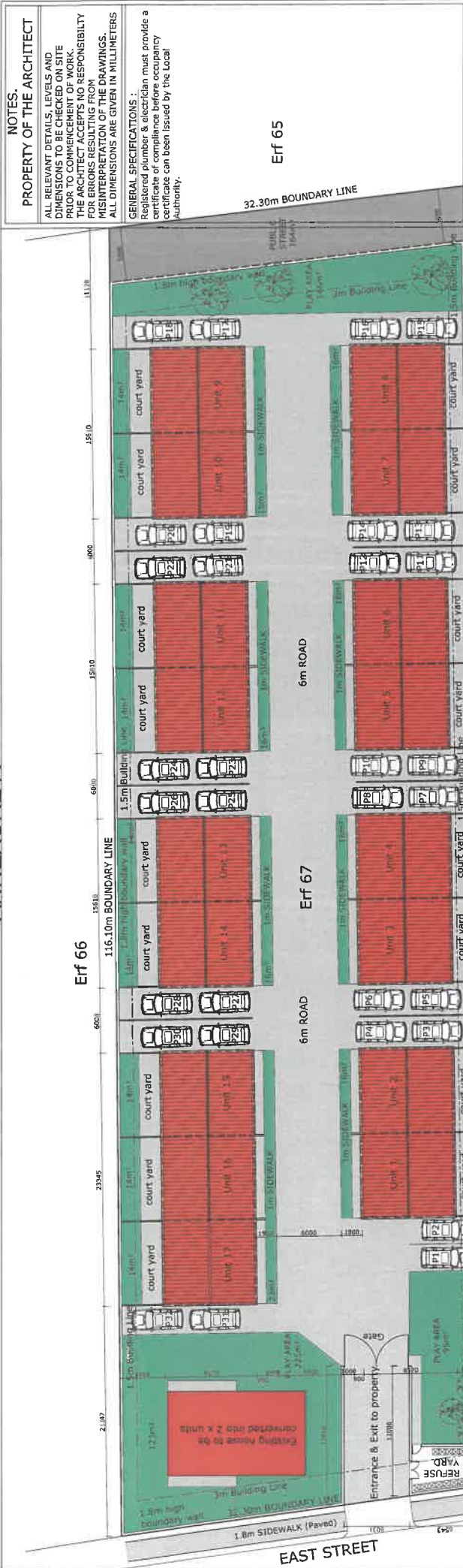


**C PETERSEN**

**SENIOR MANAGER: TOWN PLANNING**

C:\scan\Erf 67 Pacaltsdorp(Rezoning, Subdivision & Permanent Departure\_ Approval)Jan Vrolijk.docx

ANNEXURE A



**NOTES.**  
 PROPERTY OF THE ARCHITECT  
 ALL RELEVANT DETAILS, LEVELS AND DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ERRORS RESULTING FROM MISINTERPRETATION OF THE DRAWINGS. ALL DIMENSIONS ARE GIVEN IN MILLIMETERS.

**GENERAL SPECIFICATIONS:**  
 Registered plumber & electrician must provide a certificate of compliance before occupancy certificate can be issued by the Local Authority.

**REVISIONS**

REV	DATE	DESCRIPTION
0000/000		

**ARCHITECTURE**  
 ND ARCHITECTURE - SACAP reg: PPSArchT  
*In association with*

**DJM DRAUGHTING**  
 DAVIAN AMERICA  
 CAD 41333270  
 53 HIBUSCUS STREET  
 PACALTSDDORP  
 GEORGE  
 TEL: 084 393 9531  
 EMAIL: djmdraughting1@gmail.com

CLIENT: LIONEL FORTUIN

PROJECT: PROPOSED UNITS ON ERF 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 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**NOTES.**  
**PROPERTY OF THE ARCHITECT**  
 ALL RELEVANT DETAILS, LEVELS AND DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ERRORS RESULTING FROM MISINTERPRETATION OF THE DRAWINGS. ALL DIMENSIONS ARE GIVEN IN MILLIMETERS.

**GENERAL SPECIFICATIONS :**  
 Registered plumber & electrician must provide a certificate of compliance before occupancy certificate can be issued by the Local Authority.

**REVISIONS**

REV	DATE	DESCRIPTION
....	09/09/09	.....



**DJ M DRAUGHTING**  
 DAVIAN AMERICA  
 CAD 41333270  
 53 HIBUSCUS STREET  
 PACALTSORDORP  
 GEORGE  
 TEL: 084 393 9531  
 EMAIL: djmdraughting11@gmail.com

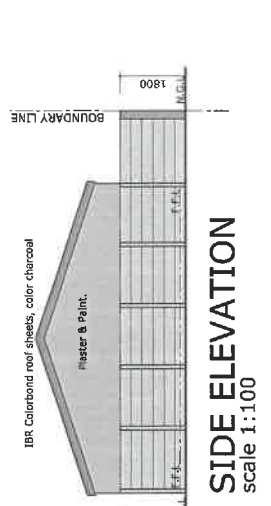
CLIENT: LIONEL FORTUIN

PROJECT: PROPOSED UNITS ON ERF 67, EAST STREET, PACALTSORDORP.

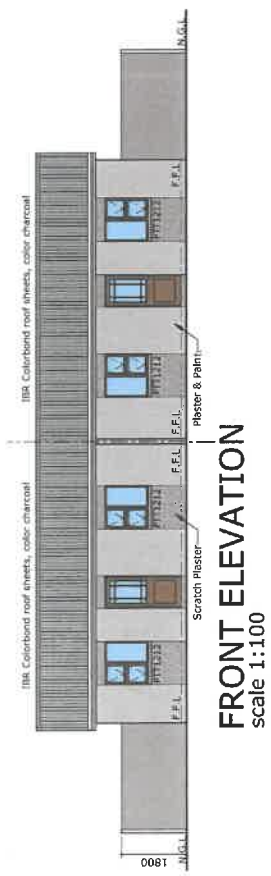
DRAWING: ELEVATIONS & SECTION

SCALE: 1:100/1:200  
 DATE: 17 Oct. 2025

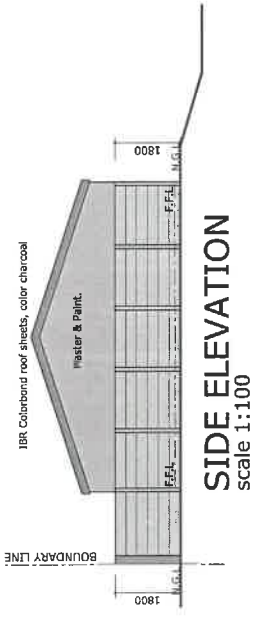
DRAWN: DJM  
 CHECKED: JCVH  
 SHEETS: 2 OF 2  
 DRAWING NO. DJM 47-2023



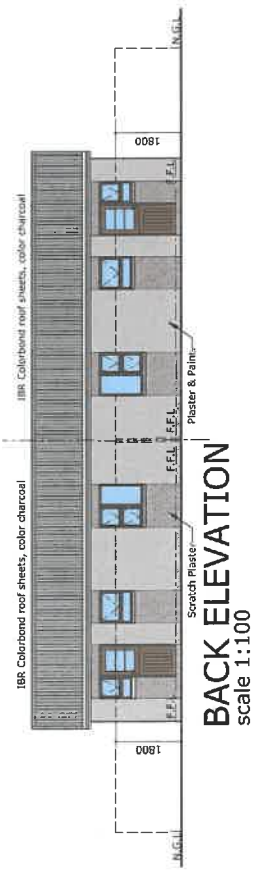
**FRONT ELEVATION**  
 scale 1:100



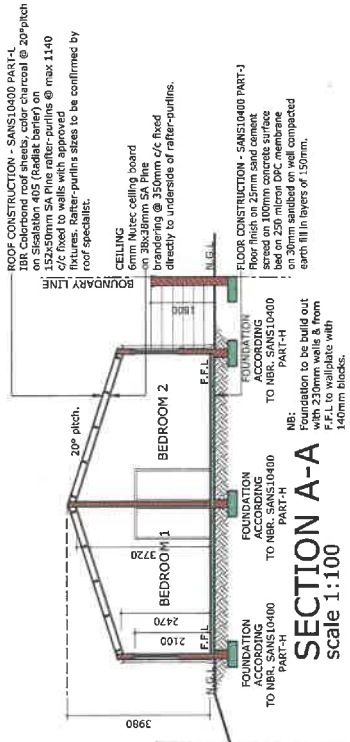
**BACK ELEVATION**  
 scale 1:100



**SIDE ELEVATION**  
 scale 1:100



**SIDE ELEVATION**  
 scale 1:100



**MUNICIPALITEIT GEORGE MUNICIPALITY**  
 Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

08/05/2026

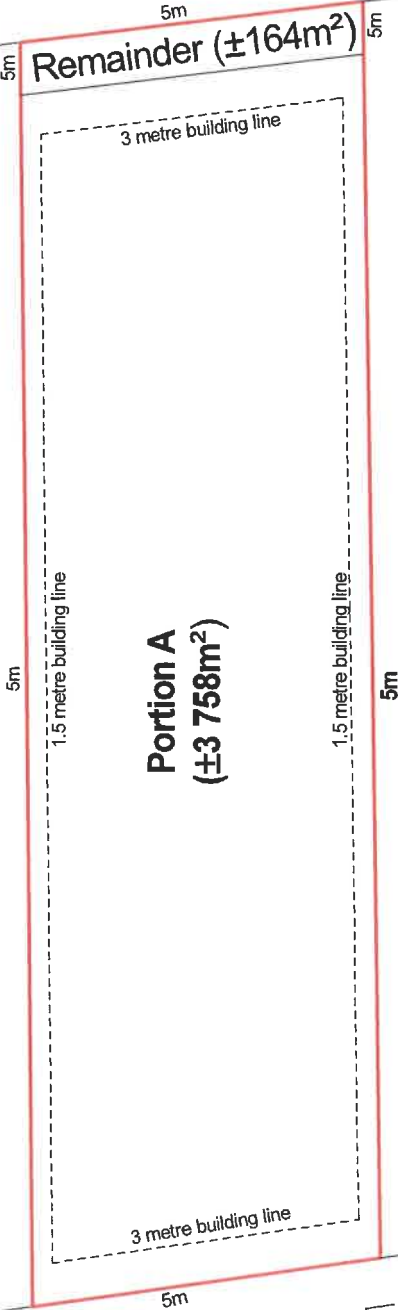
DATE: .....  
 DATUM: .....  
 SENIOR MANAGER: TOWN PLANNING  
 SENIOR SURVEYOR: ST/1386/PLANNING

# ANNEXURE B

4225

7351

RE/66



EAST STREET

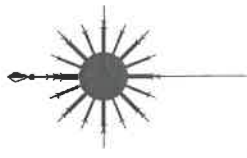
100

**MUNISIPALITEIT GEORGE MUNICIPALITY**  
 Approved in terms of section 60 of the George Municipality Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.  
*O.S./S. 68*  
 SENIOR MANAGER: TOWN PLANNING  
 SENIOR-GETTUURDER: STADSBEPLANNING  
 DATE: 08/08/2023  
 BATUM

**APPLICATION FOR REZONING AND SUBDIVISION OF ERFPACALTSDOOR**

1. Application is made in terms of Section 152(1)(c) of the Land Use Planning By-law for George Municipality, 2023 for the rezoning of Erf 67 Pacaltsdorp from Single Residential Zone 1 to a Subdivisional Area consisting of General Residential Zone II and I and I Transport Zone II etc.

2. Application is made in terms of Section 152(1)(c) of the Land Use Planning By-law for George Municipality, 2023 for the subdivision of Subdivisional Area in 1 General Residential Zone I seven (Portion A) and 1 Transport Zone I etc (Remainder)



Subdivision plan
------------------

Erf 67 Pacaltsdorp




Project No.	67/1
Project Name	Erf 190 Pacaltsdorp
Project Date	August 2025
Project Status	Subdivision plan

ALL MEASUREMENTS APPROXIMATE  
 ALLE AFMETINGS BY BENADERING

KOPREG VOORBEHOU / COPY RIGHT RESERVED

# ANNEXURE C

GEORGE DC CALCULATION MODEL		Version 1.00	31 August 2021
For Internal information use only (Not to publish)			
	Erf number *	67	
	Allotment area *	Pacaltsdorp	
	Water & Sewer System *	George System	
	Road network *	Pacaltsdorp	
	Developer/Owner *	LR & K Fortuin Familietrust	
	Erf Size (ha) *	3 949,28	
	Date (YYYY/MM/DD) *	2026-02-21	
	Current Financial Year	2025/2026	
	Collaborator Application Reference	3803497	

Application: Rezoning & Subdivision

Service applicable	Description
Roads	Service available, access via East Street (Subject to the Road master plan & access approval)
Sewer	Service available (Subject to the Sewer Master Plan, WWTW treatment & network capacity)
Water	Service available (Subject to the Water Master Plan, WTW treatment & network capacity)

## Conditions

### General conditions

- The amount of Development Charges (DCs) to be paid by the developer are calculated in terms of the George Municipality Land Use Planning By-Law (as amended) and the approved DC Guidelines. With reference to clause above, with regards to the proposed development, the developer will be required to make development contribution, as follows:
  - The amounts of the development charges are reflected on the attached calculation sheet dated 21/02/2026 and are as follows:

Roads:	R	168 922,36	Excluding VAT (Refer to attached DC calculation sheet)
Sewer:	R	234 014,16	Excluding VAT (Refer to attached DC calculation sheet)
Water:	R	216 893,56	Excluding VAT (Refer to attached DC calculation sheet)
<b>Total</b>	<b>R</b>	<b>619 830,08</b>	<b>Total Excluding VAT</b>
  - The total amount of the development charges of R619 830,08 shall be paid prior to the first transfer of a land unit pursuant to the application or upon the approval of building plans, whichever occurs first, unless otherwise provided in an engineering services agreement or, in the case of a phased development, in these or any other relevant conditions of approval.
  - Any amendments or additions to the proposed development which is not contained within the calculation sheet as dated in clause 2 above, which might lead to an increase in the proportional contribution to municipal public expenditure, will result in the recalculation of the development charges and the amendment of these conditions of approval or the imposition of other relevant conditions of approval
- Note: The Development Charges indicated above are based on the information available to the respective engineering departments at the time of approval. It is advised that the owners consult with these departments prior to submission of the subdivision plan to ascertain what information they require to provide a more accurate calculation.*
- As provided in section 66(5B)(b) of the Planning By-Law (as amended), using the date of approval as the base month the amount of R619 830,08 shall be adjusted in line with the consumer price index published by Statistic South Africa up to the date when payment is made in terms of paragraph 3 above.
  - Development charges are to be paid to the Municipality in cash or by electronic funds transfer or such other method of payment as may be accepted by the Municipality at the time when payment is made.
  - All services -internal, link and relocation of or upgrades to existing - are to be designed by a registered consulting engineer in accordance with Council specifications. This may include bulk services outside the development area but that must be upgraded to specifically cater for the development. All drawings and plans are to be submitted to the applicable department, or any other relevant authority, (hard copy and electronically) for approval prior to any construction work taking place. All work is to be carried out by a suitable qualified/registered contractor under the supervision of the consulting engineer who is to provide the relevant authority with a certificate of completion, and as-built plans in electronic format. All costs will be for the developer. No transfers will be approved before all the municipal services have been satisfactorily installed and as-builts submitted electronically as well as the surveyor's plan.
  - Any, and all, costs directly related to the development remain the developers' responsibility.
  - Only one connection permitted per registered erf (water and sewer connections). Condition 7 applies.
  - Any services from the development that must be accommodated across another erf must be negotiated between the developer and the owner of the relevant erf. Any costs resulting from the accommodation of such services or the incorporation of these services into the network of another development are to be determined by the developer and the owner of the other erf. (condition 7 applicable)

- 11 Any service from another erf that must be accommodated across the development or incorporated into the services of the development: all negotiations will be between the owner/developer of the relevant erf and the developer. Costs for the accommodation of these services or the upgrade of the developments services to incorporate such services are to be determined by the developers/owners concerned. (condition 7 applicable)
- 12 Any existing municipal or private service damaged during the development will be repaired at the developers cost and to the satisfaction of the George Municipality. (condition 7 applicable)
- 14 Note, the developer is to adhere to the requirements of the Environmental Authorisation (EA). The onus is on the developer to provide the Dir: CES with the necessary proof of compliance with the EA.
- 15 Suitable servitudes must be registered for any municipal service not positioned within the normal building lines.
- 16 Note, the applicant is to comply with the National Forestry Act, Act No 84 of 1998, should it be required.
- 17 Note, provisions for the removal of solid waste is to be addressed in conjunction with the Dir: Environmental Services.
- 18 Note, the developer is to adhere to the requirements of all relevant Acts, as well as all conditions stipulated by any other authority whose approval is required and obtained for this proposed development.
- 19 A home owners' association/body corporate (as applicable) is/are to be established incorporating all erven within any security development / private and /or access-controlled developments. All internal services (water, sewer, private roads including the associated stormwater and private open spaces within the development will be transferred by the developer to this / these home owners' association/s who will assume responsibility for the maintenance thereof.
- 20 The association shall see to it that the officials and contractors of the Municipality shall at all times have access to any portion of the development that may otherwise not be generally accessible to the general public due to security measures, including guarded entrances, electronic gates or booms. For the avoidance of doubt, it is agreed that this requirement relates to the Municipality's emergency services, entry for normal maintenance and replacement, meter reading and inspection and refuse removal. If access to the development is denied to the Municipality or a contractor appointed by the Municipality, the developer and the association will jointly and severally be liable for the full cost of the municipal infrastructure repairs and any damages the Municipality may suffer as a result thereof and will be billed for any water losses or loss in electrical sales from the system.
- 21 Transfers, building plan approvals and occupation certificates may be withheld if any sums of money owing to the George Municipality are not paid in full, or if any services have not been completed to the satisfaction of the Dir: CES & ETS, or any condition of any authority has not been satisfactorily complied with.
- 22 The Developer is responsible to obtain the necessary approval / way leaves from third parties which include, but is not limited to the George Municipality, Telkom & Fibre optic service provider.
- 23 No construction activity may take place until all approvals, including way leave approval, are in place, all drawings and material have been approved by the Technical Directorates.
- 24 Municipal water is provided for potable use only. No irrigation water will be provided.
- 25 A water meter must be installed by the developer prior to construction to monitor water usage during the construction phase. The Dir: CES (Water section) is to be consulted by the developer, prior to installation, regarding the required specifications. Failure to complying with the water meter application process, will result in the developer being responsible for payment of penalties and/or an estimated non-metered water consumption by this department at a rate as per the applicable annual Tariff List. In this regard, transfers, building plan approval and occupation certificates may be withheld if any sums of money owing to the George Municipality are not paid in full. The water meter is to be removed on completion of construction if so required by the Dir: CES.
- 26 The developer / erf owner is to apply to the George Municipality for the installation of an individual erf water meter prior to any building work commencing on an erf.
- 27 The development, in its entirety or in phases, is subject to confirmation by the Dir. CES of the availability of Water and Sanitation bulk treatment capacity at the time of the development implementation, or if developed in phases before the commencement of each phase. A development/implementation program is to be provided by the Developer when requesting confirmation of this capacity from the Dir. CES. If the Developer does not adhere to the program the Dir. CES will be entitled to revise the availability of such bulk capacity
- 28 Public and private roads are to be clearly indicated on all layout plans submitted. The road reserves must be clearly indicated on all plans submitted for approval. The cadastral layout can only be approved if the road reserves have been included on plans and approved by CES.
- 29 The private roads and the associated stormwater and private open spaces are to be registered as private and transferred to the HOA/BC, or other relevant governing or controlling body. Public roads must be transferred to the George Municipality.
- 30 If required, the developer is to have a Traffic Impact Assessment (TIA) conducted by a registered traffic engineer. The terms of reference of the TIA are to be finalised with the Dir. CES together with any other approving authority, and who must also approve the TIA. All recommendations stipulated in the TIA report and as approved by the Dir. CES and/or relevant authority are to be implemented by the developer. All costs involved will be for the developer.
- 31 Maintenance and/or upgrading of all private / servitude roads are the responsibility of all the owners who make use thereof.
- 32 The discharge of surface stormwater is to be addressed by the developer. Condition 7 applies. All related costs are for the developer. The developer is to consult with the Dir: CES to ensure that stormwater planning is done on line with the available stormwater master plans.
- 33 Internal parking requirements (ie within the development area), position of accesses, provision for pedestrians and non-motorised transport, and other issues related to traffic must be addressed and all measures indicated on plans and drawings submitted for approval.
- 34 Adequate parking with a hardened surface must be provided on the premises of the proposed development.
- 35 No private parking will be allowed in the road reserve. The developer will be required at own cost to install preventative measures to insure compliance.

- 36 The approval of the layout of the development and accesses is subject to the George Roads Master Plan and approved by the Dir: CES. A site development plan is to be submitted to the Dir: CES, or any other relevant authority for approval prior to any construction work taking place.
- 37 Should it be required, the developer is to cede any portion of property required for public road reserve, free of charge, to the relevant authority.
- 38 Permission for access onto municipal, provincial or national roads must be obtained from the relevant authorities.
- 39 Access to parking must confirm to George Integrated Zoning Scheme 2023, and sufficient stacking distance ( 6m for less than 15 units and 12 meter for more than 15 units, measured form the property boundary) should be allowed for, and indicated on the Site development Plan.
- 40 Minimum required off-street parking provided, must be provided in terms of the George Integrated Zoning Scheme 2023 parking requirements and vehicles must readily leave the site without reversing across the sidewalk. Alternative Parking may be supplied.
- 41 Site access to conform to the George Integrated Zoning Scheme 2023.  
Access to the development is permitted only through the existing municipal road. Direct access from York Street is not allowed.



**Ricus Fivaz**  
Manager (CES): Land development  
Civil Engineering Services

**21 Feb 26**  
Date



GM 2023 Development Charges policy



GM 2023 Integrated Zoning Scheme By-law



GM 2024/25 Tariffs



Civil Engineering Service



Electro-Technical Service

Erf number: 67  
 Allotment area: Pacaltsdorp  
 Water & Sewer System: George System  
 Road network: Pacaltsdorp  
 Developer/Owner: LR & K Fortuin Familietrust

Erf Size (ha): 3 949,28  
 Date (YYYY/MM/DD): 2026-02-21  
 Current Financial Year: 2025/2026  
 Collaborator Application Reference: 3803497

Code	Land Use	Unit	Total Existing Right	Total New Right
<b>RESIDENTIAL</b>				
	Residential housing (>2.000m <sup>2</sup> ) Erf	Unit	1	
	Group Housing (<200 m <sup>2</sup> ) unit	unit		19

Please select **Yes**

**Is the development located within Public Transport (PT1) zone?**

**Calculation of bulk engineering services component of Development Charge**

Service	Units	Additional Demand	Unit Cost	Amount	VAT	Total
trips/day	63,89		R 2 511,86	R 160 476,24	R 24 071,44	R 184 547,68
trips/day	3,36		R 2 511,86	R 8 446,12	R 1 266,92	R 9 713,04
k/day	4,24		R 55 140,00	R 234 014,16	R 35 102,12	R 269 116,28
k/day	4,82		R 44 980,00	R 216 893,56	R 32 534,03	R 249 427,59

Total bulk engineering services component of Development Charge payable	<b>R 619 830,08</b>	<b>R 92 974,51</b>	<b>R 712 804,59</b>
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**Link engineering services component of Development Charge**

**City of George**  
 Calculated (CES): JM Fivaz  
 Signature: \_\_\_\_\_ Date: February 21, 2026

**NOTES:**  
 1. In relation to the increase pursuant to section 66(5B)(b) of the Planning By-Law (as amended) in line with the consumer price index published by Statistic South Africa) using the date of approval as the base month  
 2. Please note the calculation above only surmise as a pro-forma calculation. Once confirmation of the calculation is revised can a VAT invoice be requested from the Municipal Financial department. In this regard you can contact Werner Joubert on email at wjoubert@george.gov.za or telephone on 044 801 1333

**Departmental Notes:**

For the internal use of Finance only

Service	Financial code/Key number	Total
Roads	20220703048977	R 184 547,68
Public Transport		R 9 713,04
Sewerage	20220703048978	R 269 116,28
Water	20220703048981	R 249 427,59
		<b>R 712 804,59</b>

# ANNEXURE D

<b>GEORGE ELECTRICITY DC CALCULATION MODEL</b>	<b>Version 1.00</b>	<b>2025/06/18</b>
<b>For Internal information use only (Not to publish)</b>		



Erf Number \* 67  
 Allotment area \* Pacaltsdorp  
 Elec DCs Area/Region \* George Network  
 Elec Link Network \* MV/LV  
 Elec Development Type \* Normal  
 Developer/Owner \* LR & K Fortuin  
 Erf Size (ha) \* 0,39  
 Date (YYYY/MM/DD) \* 16 09 2025  
 Current Financial Year 2025/2026  
 Collaborator Application Reference 3803497

**Application:** Development Charges

**Comments:** 0

Service applicable	Description
Electricity	Service available (Subject to the Electrical master plan approval)

Conditions	
General conditions	
1	The amount of Development Charges (DCs) to be paid by the developer are calculated in terms of the George Municipality Land Use Planning By-Law (as amended) and the approved DC Guidelines. With reference to clause above, with regards to the proposed development, the developer will be required to make development contribution, as follows:
2	The amounts of the development contributions are reflected on the attached calculation sheet dated 16/09/2025 and are as follows: Electricity:            R            240 893,81            Excluding VAT
3	The total amount of the development charges of R240 894, Excluding VAT shall be paid prior to the first transfer of a land unit pursuant to the application or upon the approval of building plans, whichever occurs first, unless otherwise provided in an engineering services agreement or, in the case of a phased development, in these or any other relevant conditions of approval.
4	Any amendments or additions to the approved development parameters which might lead to an increase in the proportional contribution to municipal public expenditure will result in the recalculation of the development charges and the amendment of these conditions of approval or the imposition of other relevant conditions of approval.
5	As provided in section 66(5B)(b) of the Planning By-Law (as amended), using the date of approval as the base month the amount of R240 894, Excluding VAT shall be adjusted in line with the consumer price index published by Statistic South Africa up to the date when payment is made in terms of paragraph 3 above.
6	Development charges are to be paid to the Municipality in cash or by electronic funds transfer or such other method of payment as may be accepted by the Municipality at the time when payment is made.
7	All services -internal, link and relocation of or upgrades to existing - are to be designed by a registered consulting engineer in accordance with
8	Consent use approval with regards to Guest houses, School or Hotels are subject to the submission and approval of building plans, which shall include a detailed Site Development Plan (SDP), indicating proposed land use changes to the erf/erven. The SDP should, but not limited to, address all internal parking requirements (ie within the development area) , position of accesses, provision for pedestrians and non-motorised transport, and other issues related to traffic.
9	Should more than two developments/properties be party to or share any service, the Dir: CES & ETS will in conjunction with the parties determine the pro-rata contributions payable.
10	Any, and all, costs directly related to the development remain the developers' responsibility.
11	Only one connection permitted per registered erf (Electrical, water and sewer connections). Condition 7 applies.
12	Any services from the development that must be accommodated across another erf must be negotiated between the developer and the owner of the relevant erf. Any costs resulting from the accommodation of such services or the incorporation of these services into the network of another development are to be determined by the developer and the owner of the other erf. (condition 7 applicable)
13	Any service from another erf that must be accommodated across the development or incorporated into the services of the development: all negotiations will be between the owner/developer of the relevant erf and the developer. Costs for the accommodation of these services or the upgrade of the developments services to incorporate such services are to be determined by the developers/owners concerned. (condition 7 applicable)
14	Any existing municipal or private service damaged during the development will be repaired at the developers cost and to the satisfaction of the George Municipality. (condition 7 applicable)
15	No development may take place within the 1:100 year flood line or on slopes steeper than 1:4.
16	Should it be required, a services agreement is to be drawn up between the developer and the George Municipality, by an attorney acceptable to the Municipal Manager. All expenses will be for the developer.
17	The developer is to adhere to the requirements of the Environmental Authorisation (EA). The onus is on the developer to provide the Dir: CES with the necessary proof of compliance with the EA.



18	Suitable servitudes must be registered for any municipal service not positioned within the normal building lines. Servitudes must be registered for all electrical services traversing erven.
19	The developer is to adhere to the requirements of all relevant Acts, as well as all conditions stipulated by any other authority whose approval is required and obtained for this proposed development.
20	A home owners' association/body corporate (as applicable) is/are to be established incorporating all erven within any security development / private and /or access-controlled developments. The private roads and the related stormwater and light poles infrastructure, and private open spaces within the development will be transferred by the developer to this / these home owners' association/s who will assume responsibility for the maintenance thereof.
21	The association shall see to it that the officials and contractors of the Municipality shall at all times have access to any portion of the development that may otherwise not be generally accessible to the general public due to security measures, including guarded entrances, electronic gates or booms. For the avoidance of doubt, it is agreed that this requirement relates to the Municipality's emergency services, entry for normal maintenance and replacement, meter reading and inspection and refuse removal. If access to the development is denied to the Municipality or a contractor appointed by the Municipality, the developer and the association will jointly and severally be liable for the full cost of the municipal infrastructure repairs and any damages the Municipality may suffer as a result thereof and will be billed for any water losses or loss in electrical sales from the system.
22	Transfers, building plan approvals and occupation certificates may be withheld if any sums of money owing to the George Municipality are not paid in full, or if any services have not been completed to the satisfaction of the Dir: CES & ETS, or any condition of any authority has not been satisfactorily complied with.
23	The Developer is responsible to obtain the necessary approval / way leaves from third parties which include, but is not limited to the George Municipality, Telkom & Fibre optic service provider.
24	No construction activity may take place until all approvals, including way leave approval, are in place, all drawings and material have been approved by the Technical Directorates.
<b>Electro Technical</b>	
25	In all cases, where individual customer apply for a supply capacity exceeding that provided for in the calculation of DCs and for the developer paid, will be subject to additional DCs based on the rates applicable at the time.
26	Owner to ensure compliance with Regulation XA of SANS 10400 (building plans).
27	Owner to ensure compliance with Regulation XA of SANS 10142 (wiring) and any other applicable national standards.
28	The developer and/or an owner of an erf shall see to it that no Small Scale Embedded Generation (SSEG) are installed on an erf, any portion of an erf or the development, without prior approval from the ETS. Should any SSEG be installed within any part of the development the Electrotechnical Services will within their discretion either implement applicable penalties and/or disconnect the relevant point of supply.
29	Where DCs have been applied for a particular section of the network, but the developer is requested to install and fund a part of the section of network, such work will be credited against DCs calculated.
30	Installation of ripple relays are compulsory for all geysers with electrical elements.
31	All LV work must be installed and be funded by the developer / customer.
32	The developer will be responsible to submit an Electrical Services Report for the development for the approval by the ETS. All the required electrical upgrades required on the Municipal electrical distribution network must be listed within the Electrical Services Report and will be for the cost of the developer. The developer will have to adhere to the Electrical Services Report. However, the preliminary designs, followed by the detailed designs, will only be finalised once the site development plan is approved. Condition (2) applies.

M Gatyeni



Singed on behalf of Dept: ETS

16 Sep 25

Development Charges Calculator		Version 1.00		2025/06/18			
		Erf Number	67				
		Allotment area	Pacaltsdorp				
		Elec DCs Area/Region	George Network				
		Elec Link Network	MV/LV				
		Elec Development Type	Normal				
		Developer/Owner	LR & K Fortuin				
		Erf Size (ha)	0,39				
		Date (YYYY/MM/DD)	2025-09-16				
		Current Financial Year	2025/2026				
		Collaborator Application Reference	3803497				
Code	Land Use	Unit	Total Existing Right		Total New Right		
<b>RESIDENTIAL</b>			<b>Units</b>	<b>Units</b>	<b>Units</b>	<b>Units</b>	
	Single Res > 1000m <sup>2</sup> Erf (Upmarket)	unit		1			
	Group Housing <200m <sup>2</sup> (floor area size)	unit				19	
<b>OTHERS</b>			kVA		kVA		
Is the development located within Public Transport (PT1) zone?			Please select <b>Yes</b>				
<b>Calculation of bulk engineering services component of Development Charge</b>							
Service	Units	Existing demand (ADM/D)	New demand (ADM/D)	Unit Cost	Amount	VAT	Total
Electricity	kVA	5,78	41,18	R 6 804,91	R 240 893,81	R 36 134,07	R 277 027,89
Total bulk engineering services component of Development Charge payable:					R 240 893,81	R 36 134,07	R 277 027,89
<b>Link engineering services component of Development Charge</b>							
<b>Total Development Charge Payable</b>							
City of George							
Calculated (ETS):		M Gatyeni					
Signature :							
Date :		September 16, 2025					
NOTE : In relation to the increase pursuant to section 66(5B)(b) of the Planning By-Law (as amended) in line with the consumer price index published by Statistic South Africa) using the date of approval as the base month							
Notes:							
Departmental Notes							

For the internal use of Finance only

Service	Financial code/Key number	Total
Electricity	20160623 021336	R 277 027,89
		R 277 027,89