

THE REMAINDER OF BLANCO ERF 111

APPLICATION FOR:

REZONING, SUBDIVISION & PERMANENT DEPARTURES



CLIENT: WEST END ACCOMMODATION CC
PREPARED BY: MARIKE VREKEN URBAN & ENVIRONMENTAL PLANNERS



APRIL 2026

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SECTION A :

BACKGROUND

1. BACKGROUND

Blanco Erf 111 (hereafter referred to as "The Application Area") is located at 19 Montagu Street, Blanco, and is 2559m² in extent. The application area is currently zoned as "General Residential Zone V" for a "Guest lodge" in terms of the George Municipality's Zoning Scheme By-law (2023).

1.1. Property Rights History

An application for the rezoning of Blanco Erf 111 to "General Residential Zone" for a guest house, was approved by the George Municipality during September 1993. A copy of this approval is attached as **ANNEXURE A** to this report. A copy of the approved building plans for the existing dwelling (guest lodge) is attached as **ANNEXURE B**. The application area is currently used as a Guest Lodge.

Then, during January 2003, George Municipality approved the subdivision of Blanco Erf 111, creating Blanco Erf 2924 & 2925, with a Remainder Road (2,5m x 24,06m = 69m²). A copy of this approval is attached as **ANNEXURE C**. The SG Diagrams were approved during the year 2005. Erf 2924 was registered in the deeds office during the year 2006 but Erf 2925 was never registered and has lapsed, reverting to the remainder portion.

With the registration of Erf 2924, the portion of 68m² for the road widening of die Oupos Street, vested with the Municipality. It appears that the vesting transfer for the road widening never happened, and therefore this portion of land (±69m²), is still part of the Remainder of Erf 111 Blanco.

1.2. Proposal

The existing guest lodge on the remainder of Erf 111 Blanco is a heritage building and will continue to be used as a guest lodge with 4x bedrooms. The proposal is also to subdivide the application area to retain the guest lodge on a portion, and to develop 6x sectional title group housing units on the newly created portion of the Remainder of Erf 111 Blanco, and to formalise the road widening of Die Oupos Street, by subdividing the portions required for road widening.

1.3. Pre-Application Consultation

The proposal was discussed by the Town Planning Section of the Municipality, and the feedback was received 07 July 2025. A copy of the pre-application feedback is attached as **ANNEXURE D**. The following points were made for the applicant to address with the land use application.

COMMENT	RESPONSE
TOWN PLANNING COMMENTS	
Applicant to ensure that parking aligns with zoning scheme requirements, an application may be submitted should a parking departure be required.	Refer to Par.4.4& Par.5.5
Please take note of the definition for a 'habitable room'.	<i>Noted. "habitable room" means a room designated or used for human habitation as prescribed in the National Building Regulations, but shall not include an outbuilding, laundry room, storeroom, kitchen, scullery, toilet, bathroom or passage.</i>
Minimum manoeuvring distances to be shown on the final site layout plan in line with the zoning scheme requirements	Refer to Plan 5
The departure for the minimum access width is noted (in and out requires 5.0m). Applicant to liaise with CES and provide justification/motivation.	Refer to Par.4.3
Applicant to ensure that the access gate is placed further up the panhandle, near the development/refuse area so ensure sufficient stacking distance	Refer to Plan 5.
Applicant is advised to address the line of sight along Oupos Street.	Refer to Par.4.3
Applicant to confirm the proposed density for the group housing site.	Refer to Par.4.1
An NID application will be required considering that the property contains a heritage building. Comment from HWC will be required.	Refer to Par.1
Number of guest rooms (GLA) and the approved parking for the guest lodge must be indicated in the application. Applicant to indicate the parking for the guest lodge	Refer to Par.4.4 & Plan 5
The appropriate zoning for the remainder portion (guest lodge) must align with zoning scheme	Refer to Par.4.2
Applicant to provide motivation in terms of the applicable spatial planning policies for this area as well as the zoning scheme	Refer Par.5.5 & Par.12
Applicant is also advised to maintain mature trees and licenses to be acquired should there be a need for cutting, pruning or replacement of indigenous trees.	Refer to Plan 5
Public road portion will have to be subdivided and transferred to the municipality as part of the land use application process.	Refer to Par.2 <i>Error! Reference source not found.(Error! Reference source not found.)</i>
CES COMMENTS	
Access will be restricted to Die Oupos Street.	<i>Noted.</i>
The existing access is for the Rem of erf 111, Blanco is subject to the Provincial approval/consideration and applicable comments within the Montaque road AMP, currently being reviewed.	Refer to ANNEXURE M

Access is permitted in accordance with the George Integrated Zoning Scheme (GIZS) 2023 regulations	Refer to Par.4.3
Section of road reserve (adjusted to the Die Oupos street) should be give off for municipal road reserve. Developer will be responsible for the transfer duty (fees) for the road portion.	Refer to Par.2 <i>Error! Reference source not found.(Error! Reference source not found.)</i>
All parking must be provided on-site, in compliance with the GIZS, 2023 parking requirements.	Refer to Par.4.4
PT1 may be considered, subject to a parking departure application.	Refer to Par.4.4
No parking is allowed within the road reserve, and the owner may be held liable for any costs incurred in preventing unauthorized parking within this area.	<i>Noted.</i>
All movability should be done on site	<i>Noted.</i>
Normal Development Charges (DCs), if applicable, will be levied in accordance with the DC policy and the applicable By-law and or policy	<i>Noted.</i>
Municipal water and/or sanitation is available, subject to network &/or treatment capacity required confirmation	<i>Noted.</i>
The developer must ensure full compliance with the relevant Stormwater By-law.	<i>Noted.</i>
ETS COMMENTS	
Electrical services report will be required for the proposed development.	Refer to ANNEXURE L

2. THE APPLICATIONS

Marike Vreken Urban and Environmental Planners have been appointed by **WEST END ACCOMMODATION CC** to prepare and submit the required application documentation (refer to **ANNEXURE E** for the Signed Power of Attorney and **ANNEXURE F**: Application Form) for:

- (i) The Subdivision of the Remainder of Erf 111 Blanco, in terms of Section 15(2)(d) of the George Municipality Land Use Planning By-Law, 2023 into 2x portions (Portion A = ±1784m²) and the Remainder of Erf 111 Blanco (±755m²), as indicated on subdivision plan (Pr25/44SUB04) in terms of Section 15(2)(d) of the Land Use Planning Bylaw for George Municipality.
- (ii) The Rezoning of “Portion A” of Erf 111 Blanco from “General Residential Zone V” to a “Subdivisional Area” in terms of Section 15(2)(a) of the George Municipality Land Use Planning By-Law, 2023.
- (iii) The subdivision of the subdivisional area (Portion A of RE/Erf 111), as indicated on subdivision plan (Pr25/44L01) in terms of section 15(2)(d) of the Land Use Planning Bylaw for George Municipality, 2023 into:
 - a. 1x “Transport Zone II” (public street) erf (69m²)
 - b. 1x “General Residential Zone II” (group housing) erf (1715m²)
- (iv) A Permanent Departure from the prescribed minimum width of motor vehicle carriageway crossings for combined entrance and exit ways - “other land uses” on the remainder of

Blanco Erf 111 from 5m to 4m along Die Oupos Street, in terms of Section 15(2)(b) of the George Municipality Land Use Planning By-Law, 2023.

- (v) A Permanent Departure for the relaxation of the prescribed parking parameter for 'guest lodge' on the remainder of Blanco Erf 111 to allow for the prescribed PT1 parking parameters, in terms of Section 15(2)(b) of the George Municipality Land Use Planning By-Law, 2023.

3. PROPERTY DESCRIPTION, SIZE AND OWNERSHIP

A copy of the Title Deed (T27794/2016) containing the details outlined below are attached as **ANNEXURE G**. The Surveyor General Diagram (SG 6994/1956) of the subject property is attached as **ANNEXURE H** and the Surveyor General Diagram (SG 6221/2005) of Erf 2924 is attached as **ANNEXURE I**. The Conveyancer's Certificates, confirming the title deed do not contain any restrictive conditions are attached as **ANNEXURE J** to this report.

PROPERTY DESCRIPTION:	Remainder Erf 111 Blanco, in the Municipality and Division of George, Province of the Western Cape.
TITLE DEED NUMBER:	T27794/2016
PROPERTY OWNERS:	West End Accommodation CC
PROPERTY SIZE:	2559 (Two Thousand Five Hundred & Fifty-Nine) Square metres.
TITLE DEED RESTRICTIONS:	There are no title deed restrictions that prevent the proposed application. Refer to ANNEXURE J for the Conveyancer Certificate.
SERVITUDES:	Subject to a 2m wide sewer line servitude along the south western property boundary.
BONDS:	None.

SECTION B : DEVELOPMENT PROPOSAL

4. DEVELOPMENT SPECIFICATIONS

(Refer to Plan 3: Subdivision Plan Pr25/44SUB04 dated 17 April 2026)

(Refer to Plan 4: Layout Plan Pr25/44L01 dated 17 April 2026)

(Refer to Plan 5: Site Development Plan "WVN Studio Architects" dated April 2026)

The proposal is to subdivide the application area into two portions: The existing guest lodge on the Remainder of the property, and to develop 6x sectional title group housing units on the newly created portion of the Remainder of Erf 111 Blanco, and to formalise the road widening of Die Oupos Street, by subdividing the portions required for road widening on the proposed Portion A. The proposed subdivision out is shown in the figure below:

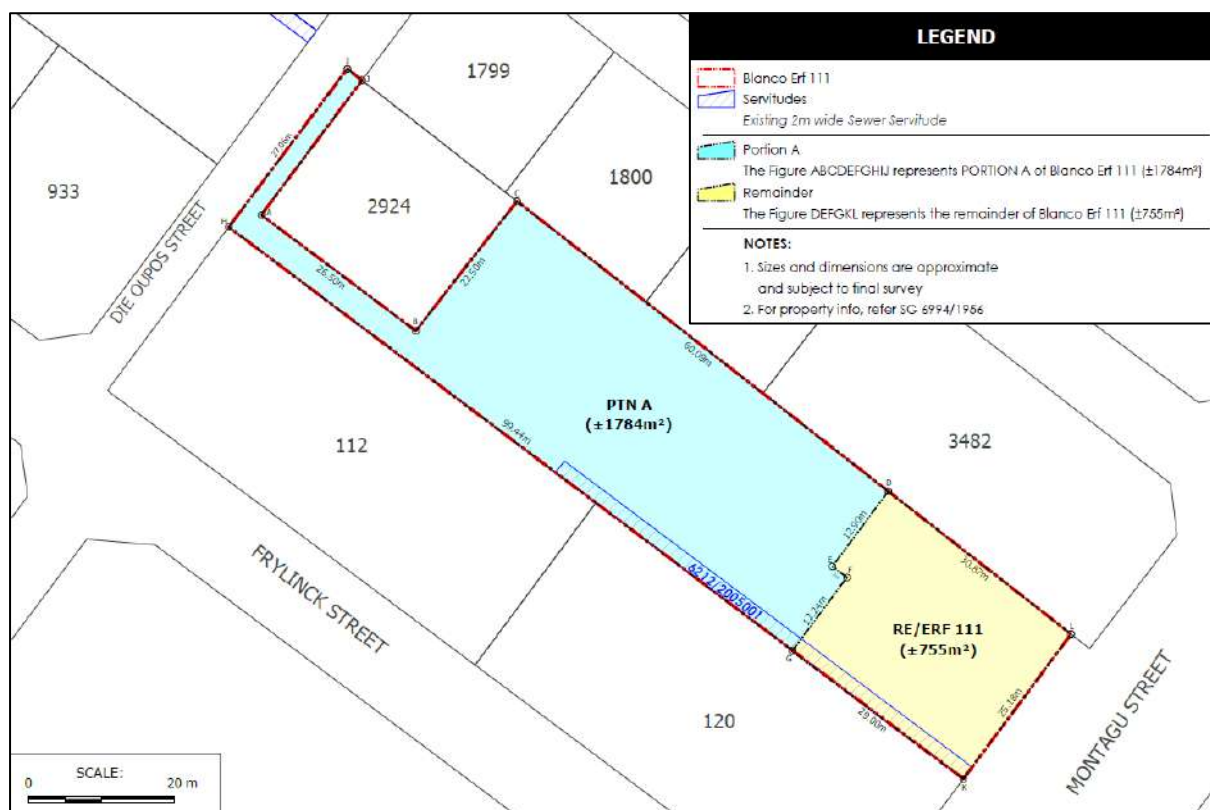


FIGURE 1: PROPOSED SUBDIVISION

The existing guest lodge on the remainder of Erf 111 Blanco is a heritage building and will continue to be used as a guest lodge, and the portion of public street is to be transferred to the local authority.

The proposed development on the proposed Portion A will consist of the following:

- 1x Transport Zone II (public street) erf;
- 1x General Residential Zone II (group housing) erf;

The details of the proposal will be described in the paragraphs below:

4.1. Group Housing

A total of 6x sectional title units group housing units is proposed on the Remainder of Erf 111 Blanco. These will be 3x semi-detached sectional title units. The units are positioned along the northern boundary of Erf 111. These units will form a separate gated community, with an individual Body Corporate. The group housing site includes a private street and functional private open spaces. Each unit will have 2x garage parking bays and a private service yard. The proposed development consists of 6x residential units on 1715m² (i.e. gross density of 34.98 units per ha). The figure below shows the position of the group housing residential erven in relation to the rest of the site.



FIGURE 2: EXTRACT SDP

4.2. Guest Lodge

(Refer to Plan 6: Sketch Plans "WVN Studio Architects" dated January 2026

1x General Residential Zone V (guest lodge) erf is proposed and the total Erf size is 755m². Blanco Erf 111 has historic land use rights to operate a guest lodge on the subject property, and the proposal is to continue for the existing heritage building to continue to be used as a guest lodge. The guest lodge consist of 4x guest bedrooms an office, a kitchen, a lounge, a laundry room, a covered patio a courtyard and an open stoep.

Minor alterations are to be done subject to Heritage Western Cape Approval to the interior and exterior of the historic core of the main building and demolition of the modern

(accommodation) wing to the rear of the building. The purpose of the proposed works is refurbishment to ensure continued use as a guest house establishment.

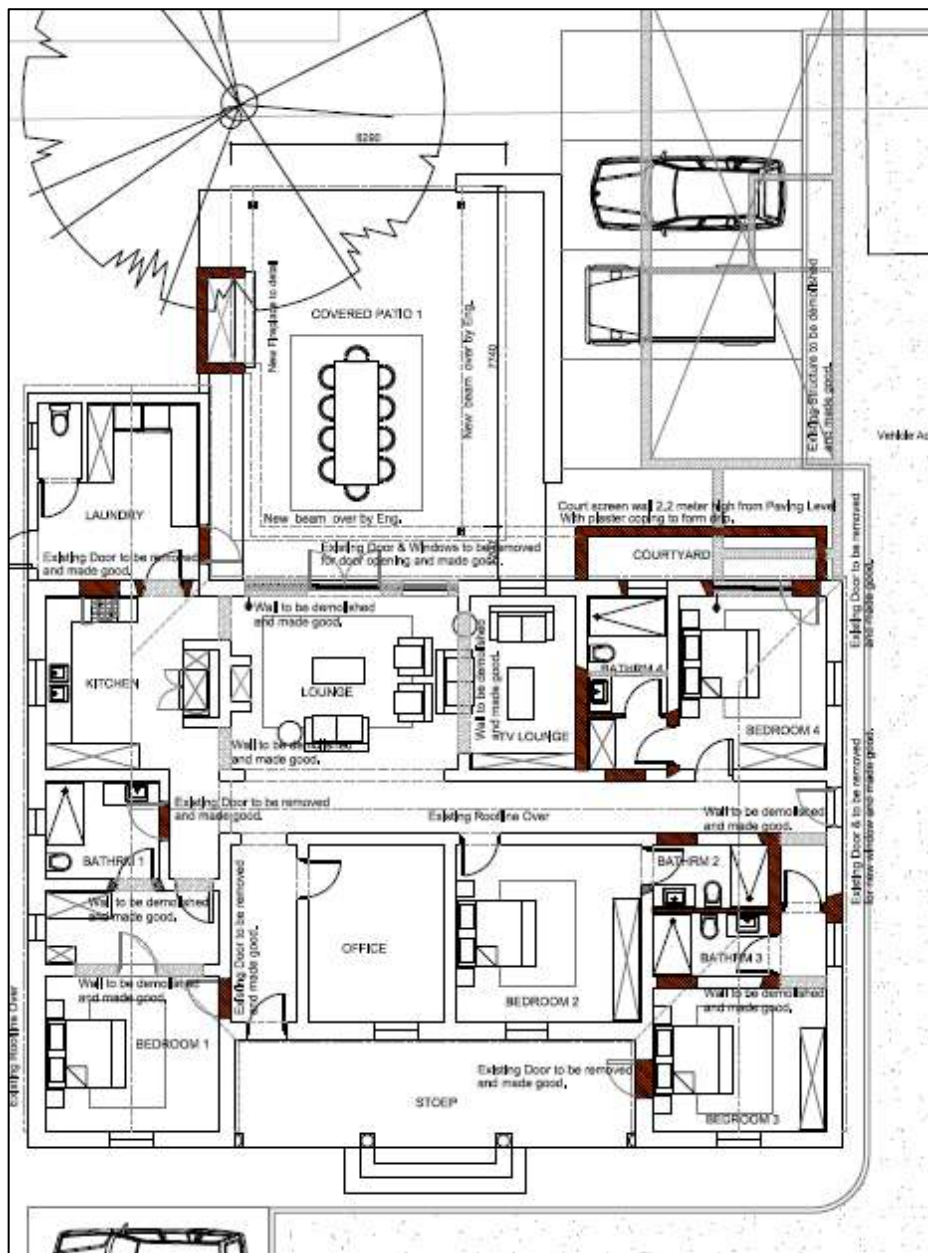


FIGURE 3: FLOOR PLAN – GUEST LODGE

4.3. Access & Roads

Access to the proposed group housing site will be obtained from Die Oupos Street north of the application area, with sufficient stacking space for waiting vehicles. The group housing site will be a gated community, with access control. The proposed access gate will be remote control, and will be positioned at the south western boundary of Erf 2924, approximately 26m south of Die Oupos Street (ample stacking space).

The group housing site will have a new private internal street. The private streets will be maintained by the body corporate of the sectional title group housing development.



FIGURE 4: EXISTING ACCESS FROM DIE OUPOS STREET



FIGURE 5: CURRENT LINE OF SIGHT - DIE OUPOS STREET

The guest lodge erf will be accessed directly from Montagu Street along the southern boundary of the subject property via the existing dual entrance and exit way.



FIGURE 6: EXISTING ACCESS FROM MONTAGU STREET

4.4. Parking

The George Integrated Zoning Scheme By-Law, 2023 prescribes .25 bays per dwelling unit + 0.25 bays/unit for visitors for group housing sites. A total of 6x units are proposed and therefore a total of 9x parking bays are required [6x units x 1.5 parking bays = 9x parking bays required]. The parking layout provides adequate on-site parking. **12x parking bays provided.**

The George Integrated Zoning Scheme By-Law, 2023 prescribes the following parking parameters for guest lodge land use.

- 1x parking bay per bedroom for up to 10 bedrooms
- 2x bays for manager's unit
- 1x bay per 6 bedrooms for visitors / employees

A total of 7x on-site parking bays must be provided on site. The current layout can only provide 6x on-site parking bays, which is compliant with reduced parking requirements of PT1 (Public Transport Area 1). This is areas where the use of public transport is to be promoted as well as areas dominated by pedestrian movement and/or non-motorised transport movement. George Municipality does not have demarcated PT1 or PT2 areas, and therefore application is made for a permanent departure in terms of Section 15(2)(b) of the George Municipality Land Use Planning By-Law, 2023 to allow for these parameters to apply.

PT1 Parking: 0.75 bays per bedroom + 2 bays per owner's home / manager's unit.

4x Bedrooms + 1x Managers room. (3 + 2 = 5x parking bays required). **6x parking bays provided.**

4.5. Open Space Provision

Within a group housing site, functional open space of at least 50m² per dwelling unit must be provided, which may include private or communal open space or any outdoor space which is inaccessible to motor vehicles, but excludes roads, service yards and parking areas.

The group housing site subject site is 1715m² with 6x dwelling units in extent; therefore, the open space requirement is 300m². A total of 415m² of open space is provided @69m² per dwelling unit which will be used for landscaping and leisure and recreational purposes.

Every guest lodge must have access to a functional open space on the land unit, which may include private or communal open space, but excludes roads, service yards and parking areas. A functional open space of at least 10% of the total erf area must be provided; such open space(s) must be of reasonable proportions and location to allow for leisure or recreational use by guests and lodgers and may include open courtyards

The guest lodge site is 755m² in extent; therefore, the open space requirement is 75.5m². A total of 100m² of open space is provided, which will be used for landscaping and leisure and recreational purposes.

4.6. Refuse Collection

A communal refuse collection area will be located at the entrance gate of the group housing development. This collection area will be accessed from Die Oupos Street. Refuse will be taken out weekly, and the refuse trucks do not have to drive in to the site.

5. STATUTORY SPECIFICATIONS

The following land development applications are lodged in terms of the George Municipality Land Use Planning By-Law, 2023 to achieve the desired outcome.

5.1. Proposed Subdivision

The proposal is to subdivide the Remainder of Erf 111 Blanco, into 2x portions (Portion A = ±1784m²) and the Remainder of Erf 111 Blanco (±755m² for existing guest lodge), as indicated on the subdivision plan (Pr25/44SUB04). in terms of Section 15(2)(d) of the Land Use Planning Bylaw for George Municipality.

The existing Guest lodge will be on the Remainder, and the "development site" will be Portion A, as shown in Figure 7 below:

5.2. Proposed Rezoning

The proposal is to rezone the proposed Portion A from "General Residential Zone V" to a "Subdivisional Area", to allow for the subdivision thereof. The rezoning application is lodged in terms of Section 15(2)(a) of the George Municipality Land Use Planning By-Law, 2023.

5.3. Proposed Subdivision#2

The proposal is to subdivide the subdivisional area into 2x portions. Application is made for the subdivision of the subdivisional area, in terms of Section 15(2)(d) of the George Municipality Land Use Planning By-Law, 2023, into the following land uses as indicated on the proposed layout plan (Pr25/44L01).

- 1x Transport Zone II (public street) erf;
- 1x General Residential Zone II (group housing) erf;

"public street"

Land use description: "public street" means any land, owned by or vesting in the Municipality, indicated on an approved plan, diagram or map as having been set aside as a public thorough way for vehicles and pedestrians, and includes —

(a) open public parking areas;

(b) sidewalks;

(c) those parts of a public place that are travelled parts;

(d) informal trading; and

(e) appropriate and necessary street furniture and infrastructure, including reticulation networks and stormwater infrastructure, which does not present any threat to the safety or obstruct or inhibit free movement of pedestrians.

"group housing"

Land use description: "group housing" and "group housing scheme" means a group of separate or linked dwelling units where every dwelling unit has a ground floor, which units may be subdivided cadastrally, but are planned, designed and built as a harmonious architectural entity in an ordered way and integrated with functional open spaces, private open spaces, private roads and parking which forms part of a group housing site.

The "Development site" will be rezoned to a subdivisional area, and then subdivisional area will be subdivided into 2x portions, as indicated on the subdivision plan (Pr25/44SUB03).

Application is made for the subdivision of the subdivisional area, in terms of Section 15(2)(d) of the George Municipality Land Use Planning By-Law, 2023, into the following land uses as indicated on the proposed layout plan (Pr25/44SUB01):

- 1x Transport Zone II (public street) erf;
- 1x General Residential Zone II (group housing) erf;

5.4. Permanent Departures

The George Integrated Zoning Scheme By-Law, 2023 prescribes minimum width of 5m and a maximum width of 8m for combined entrance and exit ways for land uses other than single residential dwelling units. The application area is bordered by two public streets (Die Oupos Street & Montagu Street) and the existing combined entrance and exit ways are 4m.

To allow for the existing entrance & exit ways an application is made for a permanent departure from the prescribed minimum width of motor vehicle carriageway crossings for combined entrance and exit ways from 5m to 4m along Die Oupos Street, in terms of Section 15(2)(b) of the George Municipality Land Use Planning By-Law, 2023.

A total of 7x on-site parking bays must be provided on site. The current layout can only provide 6x on-site parking bays, which is compliant with reduced parking requirements of PT1 (Public Transport Area 1). George Municipality does not have demarcated PT1 or PT2 areas, and therefore application is made for a permanent departure in terms of Section

15(2)(b) of the George Municipality Land Use Planning By-Law, 2023 to allow for these parameters to apply.

5.5. George Integrated Zoning Scheme By-Law, 2023

A summary of the prescribed development parameters for each land use and a comparison of the proposed development's parameters is shown in the table below:

GROUP HOUSING DEVELOPMENT PARAMATERS		
PRESCRIBED	PROPOSAL	COMPLIANCE
<u>Density</u> : 35 dwelling units per hectare Erf Size = 1715m ² i.e. 6x units allowed	6x units 34.98 du/ha	COMPLY
<u>Height</u> : 6.5 metres to the wall plate in all cases, and 8.5 metres to the ridge of the roof in the case of a pitched roof.	To adhere to the prescribed height restriction.	COMPLY
<u>Open space</u> : 50m ² per dwelling unit	A total of 415m ² 69.16m ² per unit	COMPLY
<u>Service yard</u> : Service yard(s) must be provided	6x service yards	COMPLY
<u>Refuse room</u> : A refuse room must be provided	1x refuse room	COMPLY
<u>Parking</u> : <ul style="list-style-type: none"> ▪ 1.25 bays per dwelling unit + 0.25 bays/unit for visitors. ▪ 6x units = 9x parking bays required 	12x Parking bays provided	COMPLY
<u>Site Entrance & Exit</u> : Combined entrance and exit way for other land uses MIN: 5.0 metres MAX: 8.0 metres	4m	DEPARTURE REQUIRED
GUEST LODGE DEVELOPMENT PARAMATERS		
PRESCRIBED	PROPOSAL	COMPLIANCE
<u>Coverage</u> : 60%	42%	COMPLY
<u>Floor Factor</u> : 1	0.4	COMPLY
<u>Height</u> : 8.5 metres from NGL	7.46m	COMPLY
<u>Open space</u> : 10% of the total erf area i.e. 75.5m ²	100m ²	COMPLY
<u>Service yard</u> : Service yard(s) must be provided	1x service yard	COMPLY
<u>Refuse room</u> : A refuse room must be provided	1 x refuse room	COMPLY
<u>No of Rooms</u> : Max 20 Rooms & 40 paying guests	4x guest bedrooms maximum of 8 guests	COMPLY
<u>Manager Unit</u> : May not exceed 60m ²	1x Managers Unit Size: 15m ²	COMPLY
<u>Parking</u> : <ul style="list-style-type: none"> ▪ PT1: 0.75 bays per bedroom + 2 bays per 	6x Parking bays provided Departure to PT1 parking parameters.	DEPARTURE REQUIRED

owner's home / manager's unit. <ul style="list-style-type: none"> 4x Bedrooms + 1x Managers room. 3 + 2 = 5x parking bays required		
Site Entrance & Exit: Combined entrance and exit way for other land uses MIN: 5.0 metres MAX: 8.0 metres	4m Departure required	Non-conforming

6. CIVIL SERVICES INFRASTRUCTURE

The current supply to the subject property is sufficient and will be outlined and addressed in the services agreement.

7. ELECTRICAL SUPPLY

'Clinkscales Maughan-Brown Consulting Mechanical & Electrical Engineers' was appointed to compile an Electrical Services Report, for the proposed development. A copy of the full report dated November 2025 is attached as **ANNEXURE L**.

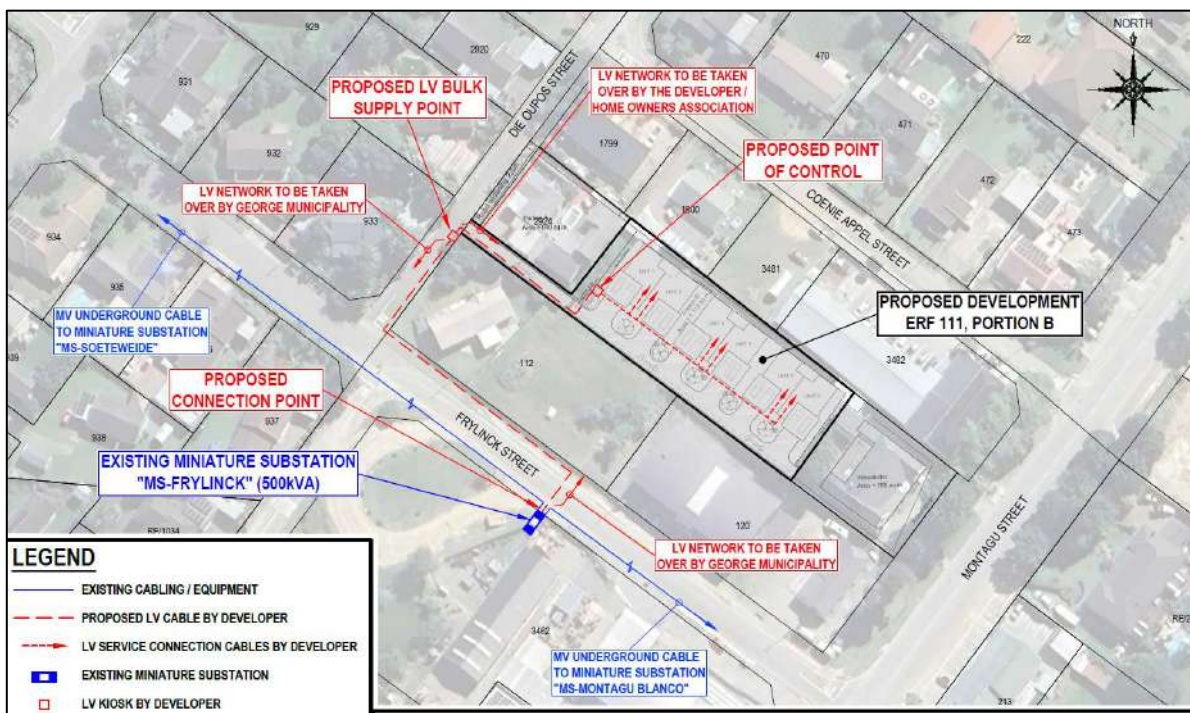


FIGURE 7: -OF PROPOSED LV BULK SUPPLY

The Supply Authority for the area is George Municipality, and therefore their Electricity Department was consulted on all matters related to the electrical services.

7.1. Connection Point

It is proposed that the Connection Point be the LV busbars of Miniature Substation "MS Frylink" as shown on Drawing No. 19585/E/SK01.

7.2. Supply Point and Point of Control

The Supply Point at LV (400V) will consist of a tariff breaker and LV kWh consumption meter to be supplied and installed by the Developer inside an LV kiosk just outside the development. The load terminals of the LV kWh consumption meter will be the Supply Point to this development. An LV underground cable will be laid from said kiosk to the development where the LV underground cable will be connected to a LV distribution kiosk located in the approximate location inside the development as depicted on Drawing No. 19585/E/SK01. A LV circuit breaker inside this kiosk will act as the "Point of Control" to this development.

7.3. Demand

Based on the information presently available, the peak kVA demand has been calculated as follows:

Six residential units @ 10,35 kVA x 0,85 diversity factor = 52,78 kVA. This is a provisional calculation and will be finalised after all the network load particulars have been concluded.

SECTION C :

CONTEXTUAL INFORMANTS

8. LOCALITY

(Refer to **Plan 1: Locality Plan**)

Blanco Erf 111 is located at 19 Montagu Street, Blanco, George. The GPS coordinates for the centre of the proposed development are at 33°56'53.78"S and 22°24'29.84"E.

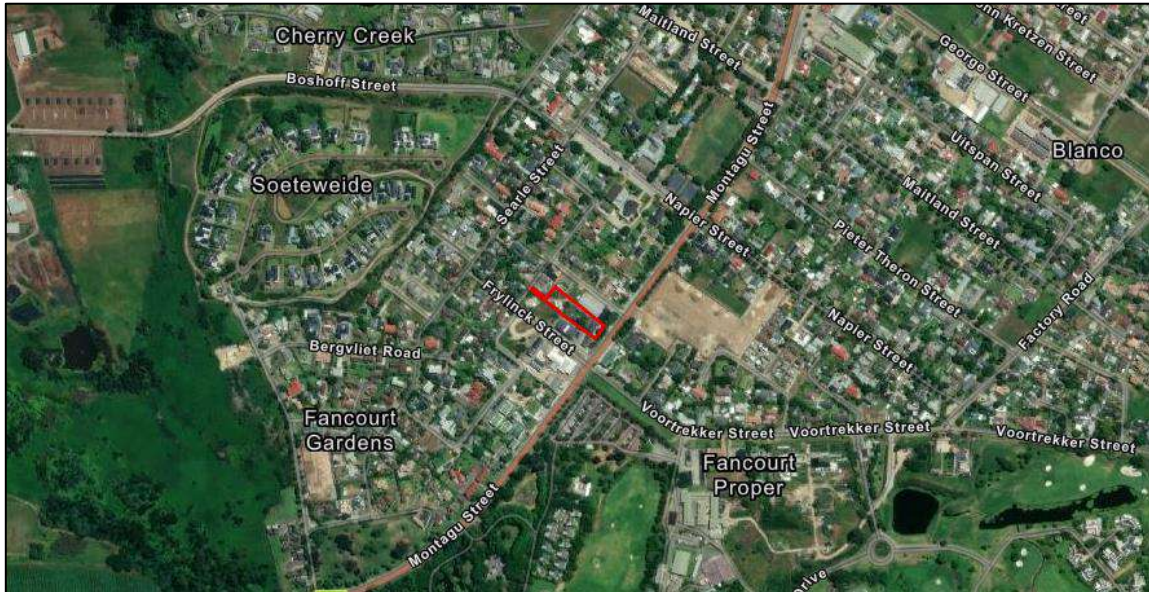


FIGURE 8: LOCALITY

9. CURRENT LAND USE AND ZONING

9.1. Land Use

The remainder of Blanco Erf 111 is currently being used as a guest lodge. The property contains a hipped-roof, single storeyed dwelling with two asymmetrical gable ends and open stoep facing towards Montagu Street. Modern additions had been made to the rear of the main building. A separate modern cottage (second dwelling) is located to the rear as are a carport and two greenhouse structures. The existing guest lodge is a heritage building and will remain to be used as a guest lodge.



FIGURE 9: EXISTING HERITAGE BUILDING TO BE RETAINED

9.2. Zoning

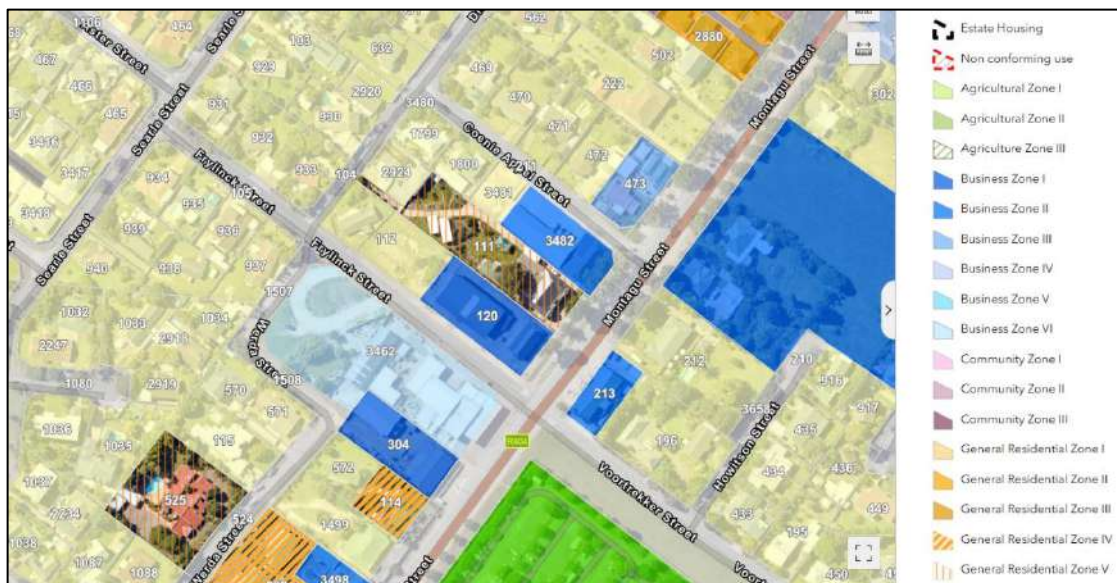


FIGURE 10: EXTRACT GEORGE ZONING MAPS

The remainder of Blanco Erf 111 is currently zoned as **General Residential Zone V** for a in terms of the George Municipality’s Zoning Scheme By-law (2023).

10. SITE CHARACTERISTICS

The application area is a disturbed residential property, that contains a heritage building (older than 60 years). The existing building is used as a guest house, and will be retained as such, on a separate title.

An application in Terms of Section 34 of the National Heritage Resources Act, 1999 (Act 25 of 1999) was submitted to Heritage Western Cape (HWC) for alterations and additions to a structure older than 60 years situated on the subject property. This application was approved on 30 March 2026. Attached as **ANNEXURE K** is decision letter Heritage Western Cape and the endorsed plans.

It was requested that a Notification of Intent to Develop be submitted to Heritage Western Cape, for the proposed development. It must be noted that the proposal does not trigger a NID in terms of Section 38(1) of the National Heritage Resources Act, 1999 (Act 25 of 1999). The request relates to the heritage building on the site, for which the Section 34 approval has been obtained and no further action under Section 38 of the National Heritage Resources Act (Act 25 of 1999) is required.

According to Perception Planning (2026:5), "...the property contains a hipped-roof, single storeyed dwelling with two asymmetrical gable ends and open stoep facing towards Montagu Street (southeast facing elevation). Modern additions had been made to the rear of the main building. A separate modern cottage (second dwelling) is located to the rear as are a carport and two greenhouse structures The property has been used as a guesthouse for many years..."

The application area also contains 2x green houses and outbuildings that will be demolished. The large free to the north west of the guest house will be retained.

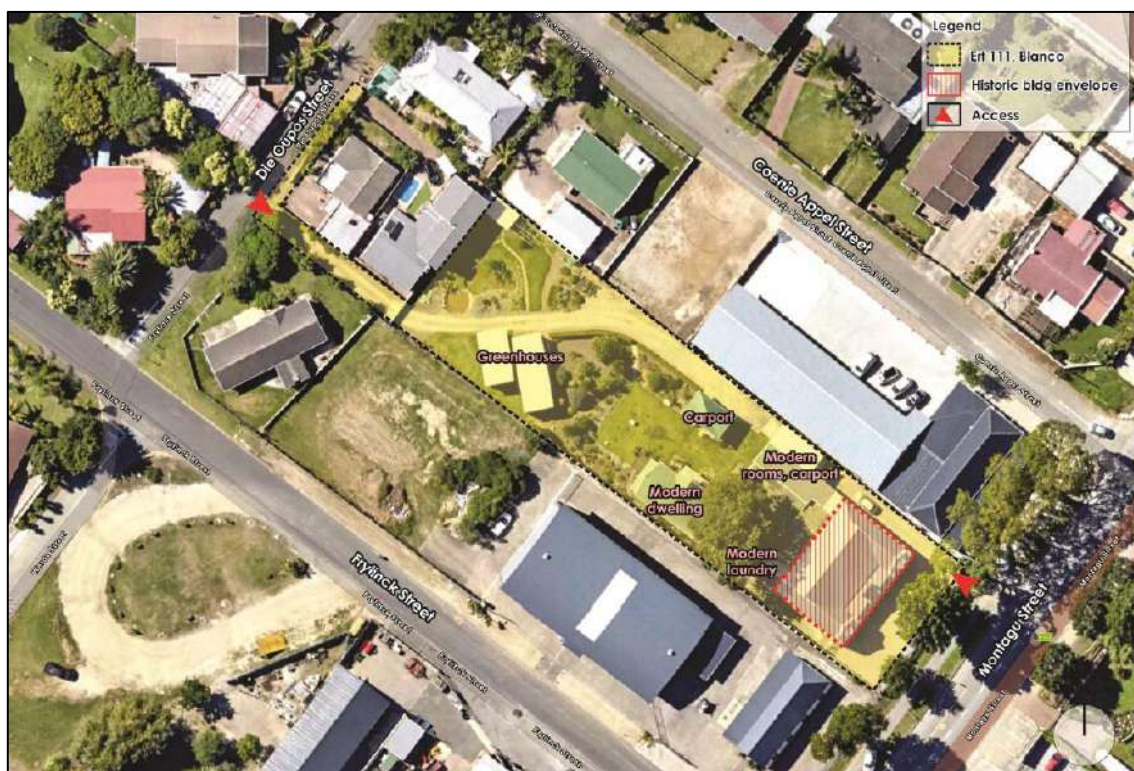


FIGURE 11: SITE CHARACTERISTICS

The Application area's topography is flat, which is ideally suited for a medium density group housing development.

11. CHARACTER OF THE AREA

(Refer to Plan 2: Land Use Plan)

The application area is situated in an area characterised variety of urban uses within a business precinct and adjacent to an established residential area. The application area is situated within the village of Blanco ±4,2km northwest of the George historic town centre and ±480m northeast of Fancourt.

The surrounding properties are characterised by a variety of urban uses. The land use survey covered a radius of 200m from the application area. The surrounding land uses in a 500m radius of the application area include, business, place of worship, service station, vacant properties, private street, public streets and a construction site for the Montagu Village Shopping Centre.

Other residential typologies in the surrounding area include single residential, group housing and flats. The proposal is for group housing, tying in perfectly with the surrounding land uses. The application area is located in an area that is surrounded by urban related uses. The figure below, show some of these land uses described above:



FIGURE 12: SURROUNDING LAND USES

From a spatial planning perspective, development nodes typically emerge at the intersection of higher-order and lower-order roads due to enhanced accessibility and visibility. The application site is strategically located at the intersection of the main distributor road, Montagu Street, and

adjoining local distributor roads. Such intersections are widely recognised as appropriate locations for increased density and urban intensification.



FIGURE 13: CHARACTER OF THE AREA

The Application area is also within walking distance of the established commercial area, which accommodates local shops and restaurants, thereby promoting walkability and reducing reliance on private vehicles. In addition, along the identified Blanco Bus Route and in close proximity to numerous 'Go George' bus stops.

In terms of the applicable zoning scheme, the density parameter permits development up to a maximum of 35 dwelling units per gross hectare, as prescribed by Council. The proposed development yields a density of 34.98 dwelling units per hectare, which is within the permissible threshold.

The proposed urban infill and densification initiative will complement the existing land uses in the area and will not detract from the established character of the neighbourhood. The residential development is compatible with surrounding land uses, and its proximity to the existing commercial node will further enhance its functionality and integration. Accordingly, the proposed group housing development aligns with and reinforces the mixed-use character of the area.

12. EXISTING POLICY FRAMEWORKS

12.1. Western Cape Provincial SDF (2014)

The Western Cape Provincial SDF was approved in 2014 by the Western Cape Parliament and serves as a strategic spatial planning tool that "communicates the provinces spatial planning agenda".

The Western Cape Province's Strategic objectives include:

- **Educating Cape:** Everyone has access to a good education, and the cities, towns and rural villages are places of innovation and learning.
- **Working Cape:** There are livelihood prospects available to urban and rural residents, and opportunities for them to find employment and develop enterprises in these markets.
- **Green Cape:** All households can access basic services that are delivered resource efficiently, residents use land and finite resources prudently and safeguard their ecosystems.
- **Connecting Cape:** Urban and rural communities are inclusive, integrated, connected and collaborative.
- **Living Cape:** Living and working environments are healthy, safe, enabling and accessible, and all have access to the region’s unique lifestyle offering.
- **Leading Cape:** Urban and rural areas are effectively managed.

The PSDF sets out a policy framework within which the Western Cape Government will carry out its spatial planning responsibilities. Each of the three spatial themes contributes to the achievement of the Western Cape's strategic objectives. These policies are categorised into three themes, namely:

- **Resources:** Sustainable use of spatial assets and resources
- **Space Economy:** Opening up opportunities in the Space Economy
- **Settlement:** Developing Integrated and sustainable settlements

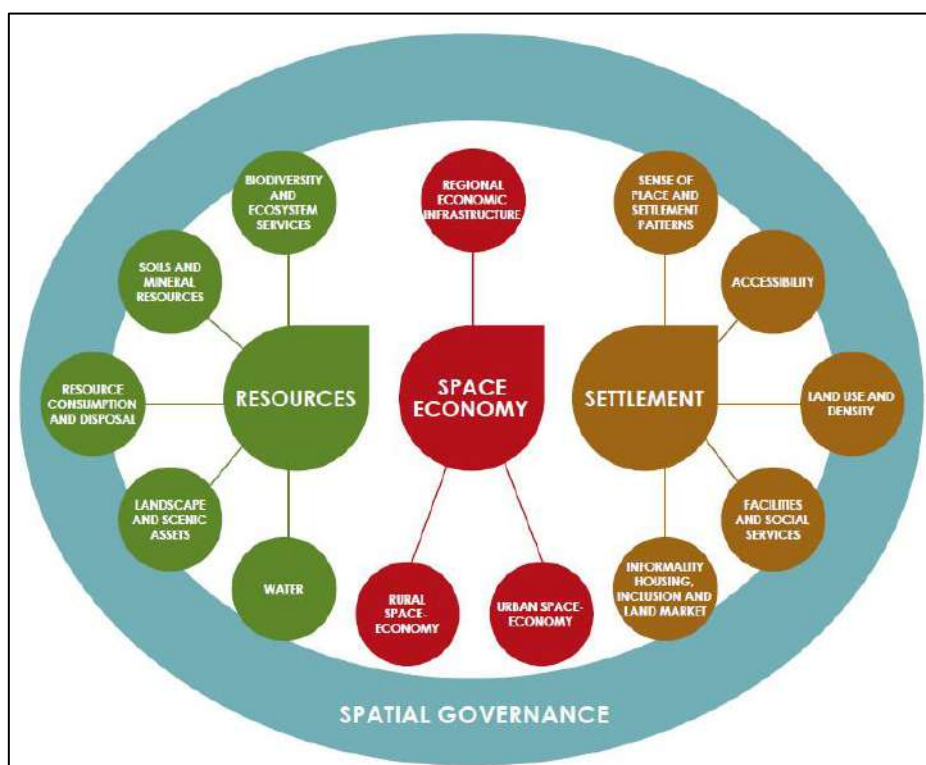


FIGURE 14: POLICIES APPLICABLE TO PROPOSED DEVELOPMENT

For each theme, key challenges as distilled from the Provincial spatial profile and their spatial implications are noted and Provincial policies for dealing with them are presented. These themes and policies are summarised in the figure above.

The proposed development complements the SDF's spatial goals that aim to take the Western Cape on a path towards:

- (i) Greater productivity, competitiveness and opportunities within the spatial economy.
- (ii) More inclusive development in the urban areas.
- (iii) Strengthening resilience and sustainable development.

It is important to note some of the key policies laid down by the Western Cape PSDF have a bearing on this application.

S3: PROMOTE COMPACT, MIXED-USE AND INTEGRATED SETTLEMENTS

2. Promote functional integration and mixed-use as a key component of achieving improved levels of settlement liveability and counter apartheid spatial patterns and decentralization through densification and infill development.

Development response: The proposal will promote functional integration within urban areas. Adequate access, services and functionality. The proposal will contribute to a more integrated neighbourhood as a whole and have a positive impact on the local economy.

POLICY E3: REVITALISE AND STRENGTHEN URBAN SPACE-ECONOMIES AS THE ENGINE OF GROWTH

5. Existing economic assets (e.g. CBD's, township centres, modal interchanges, vacant and under-utilised strategically located public land parcels, fishing harbours, public squares and markets, etc.) should be targeted to lever the regeneration and revitalisation of urban economies.

Development response: The proposal will promote functional integration within urban areas. Adequate access, services and functionality. The proposal will contribute to a more integrated neighbourhood as a whole and have a positive impact on the local economy.

POLICY S3: ENSURE COMPACT, BALANCED & STRATEGICALLY ALIGNED ACTIVITIES & LAND USES

This policy reflects the main aim of the policy through targeting economic assets (e.g. Modal Interchanges underutilised strategically located land parcels) should be used as a lever to regenerate and revitalise urban settlements.

Promoting functional integration and mix land use to increase liability of urban areas. Thus, the policy specifies the importance to- increase density of settlements and number of units in new housing projects; continue to deliver public investment to meet the needs in

settlement developments; integrate packages of land, infrastructure and services as critical to promote densification and efficiency associated with agglomeration.

Development response: The proposed group housing development will be in line with the prescribed density and vision of the Municipality for this zoning category, which is also consistent with this policy of densification of well-located land. The existing heritage building with the existing and popular guest house will be retained but further utilising the underutilised land on the subject site.

POLICY S5: PROMOTE SUSTAINABLE, INTEGRATED & INCLUSIVE HOUSING IN FORMAL AND INFORMAL HOUSING MARKETS

4. Promote private-sector participation in the lower end of the market to diversify and expand housing delivery options.

6. Increase densities of settlements and dwelling units in new housing projects.

11. Achieve a wider range of housing opportunities with regards to diversity of tenure, size, density, height and quality in order to promote a ladder of upward mobility for households to progress as economic circumstances change over time.

Development response: The proposed residential development will increase the density of the area, which will ensure the sufficient use of municipal service infrastructure. Also allowing buying opportunities to a specific income group, and individuals seeking this specific housing typology. The proposal will promote functional integration within urban areas, and the proposal will contribute to a more integrated neighbourhood as a whole and have a positive impact on the local economy.

Planning Implication:

The Western Cape Spatial Development framework has a strong emphasis on revitalising urban spaces creating an urban living environment which is more convenient, efficient and aesthetically pleasing to residents. The proposal is consistent with strategic objectives as set out by the Western Cape Spatial Development Framework, for the following reasons:

- *The development proposal will be consistent with the Western Cape Spatial Development Framework as the proposed residential development contributes to the regeneration and revitalisation of urban economies.*
- *The development proposal ensures densification and contributes to infill development.*
- *The proposed development is on a portion of underutilised land, thus contributing to infill development and it will be strengthening the character of the area by contributing to an existing residential neighbourhood.*

- *The residential development will contribute to the integrated living environment which is strategically aligned with the surrounding land uses of the residential neighbourhood and commercial node to the east along Montagu Street.*
- *The proposal promotes smart growth, by ensuring the efficient use of land and infrastructure by containing urban sprawl and prioritising infill, intensification and redevelopment within settlements.*
- *The development is a government-funded housing project, which will help to provide a housing opportunity and expand the housing delivery options.*

12.2. Western Cape Government Provincial Strategic Plan (2019-2024)

The Western Cape Government Provincial Strategic Plan (2019-2024) sets out the Western Cape Government’s (WCG) vision and strategic priorities. Below is a summary of the strategic goals set out as well as the proposal's compliance herewith.

PROVINCIAL STRATEGIC GOALS	PROPOSAL’S RESPONSE
<p>PSG 1. CREATE OPPORTUNITIES FOR GROWTH & JOBS</p>	<p><i>PSG 1</i></p> <ul style="list-style-type: none"> ▪ <i>Permanent and temporary skilled and unskilled staff will be employed for the purpose of this development.</i> ▪ <i>Further downstream economic impacts.</i>
<p>PSG 2. IMPROVE EDUCATION OUTCOMES & OPPORTUNITIES FOR YOUTH DEVELOPMENT</p>	<p><i>PSG 2</i></p> <ul style="list-style-type: none"> ▪ <i>The proposal is not directly in line with this goal.</i>
<p>PSG 3. INCREASE WELLNESS & SAFETY, & TACKLE SOCIAL ILLS</p>	<p><i>PSG 3</i></p> <ul style="list-style-type: none"> ▪ <i>Robust safety measures will be implemented to ensure the security of residents and the surrounding neighbourhood. Adequate lighting as well.</i>
<p>PSG 4. ENABLE A RESILIENT, SUSTAINABLE, QUALITY & INCLUSIVE LIVING ENVIRONMENT</p>	<p><i>PSG 4</i></p> <ul style="list-style-type: none"> ▪ <i>The proposal aims to create a more inclusive, functional urban integrated living environment which is strategically aligned with the surrounding land uses of the area.</i> ▪ <i>The new residential development will allow for a quality living environment. As highlighted above under PSG 3 the development will also provide robust safety measures contributing to a quality living environment.</i>

12.3. Draft Garden Route Regional Spatial Development Framework (2019)

The Garden Route (Southern Cape) Regional Spatial Development Framework is still in draft form, but nevertheless, it provides guidelines for development planning on a regional scale in the Garden Route District.

The 2014 Provincial Spatial Development Framework ('PSDF') identified three distinct urban priority regions in the Western Cape which are responsible for driving considerable economic growth and development in the province. These urban priority regions are 1) the Greater Cape Functional Region, 2) the Greater Saldanha Region, and 3) the Southern Cape Region.

To give effect to the PSDF, regional-scale spatial plans have been created for these urban priority areas, which include this Regional Spatial Implementation Framework for the Southern Cape ('SC RSIF'). This plan has as its **core objectives**:

- the stimulation of **inter-municipal growth and development opportunities**;
- to better support an **integrated, regional approach to sustainable development**, and
- **urban and rural area management** practices.

The Southern Cape region is identified as being a provincial leisure and tourism coastal belt and priority urban functional region, with Mossel Bay, George, Knysna and Plettenberg Bay, and the greater Oudtshoorn area as regional centres (*of different functions and hierarchy*) providing clustered facilities and services. The PSDF directs that these towns should be prioritised for growing the provincial economy through regionally planned and coordinated infrastructure investment.

The **purpose** of the Southern Cape Regional Plan is to:

- [a] Provide a **coherent spatial vision** for the Southern Cape functional region taking into account the environmental, social and economic opportunities and constraints;
- [b] Provide **guidance** on the promotion of a rational and **predictable infrastructure, economic and land use planning within the region**;
- [c] taking a regional approach to address regional **environmental management**, regional **human settlement** provision, **economic development**, regional **infrastructure**, regional **transport, landscape character, sense of place preservation**, and **heritage**.
- [d] To give expression to the Provincial Spatial Development Framework, 2014, at the regional level:
 - Elaborate what it means for the Mossel Bay – George node being an **emerging regional centre** and **priority urban functional region** of Provincial significance, and what role these towns will play in the future growth and development of the region;

- Elaborate what it means for the Wilderness to Plettenberg Bay corridor being a **leisure corridor** of Provincial significance;
- [e] From an **environmental perspective**:
- Identify **key assets** in the region
 - Gain a thorough understanding of the **environmental challenges, risks, opportunities and constraints** and how these interact with socio-economic development, settlement building, and economic development
 - Identify **regional priorities, objectives and strategies**, that comply with land use and bioregional planning principles as contained in the PSDF;
 - Take a **balanced approach** to development which ensures, on the one hand, the integrity of critical biodiversity areas whilst on the other hand, facilitating **appropriate socio-economic development** of the region.
 - Ensure the **protection of the sense of place** and beauty that the Southern Cape is so well known for.
 - Set out **Spatial Planning Categories** that reflect suitable land use activities by utilising the latest Critical Biodiversity Areas (CBA) mapping, as a primary informant.
- [f] From a **social perspective**:
- Set out **proposals** with regard to issues of **food security** and **the loss of productive farm land to urban development** with particular reference to the National Department of Agriculture's increased emphasis on this issue;
 - Provide spatial direction with respect to the placement and location – at a regional scale – of **human settlement** and low income housing opportunities, in response to environmental and economic constraints.
- [g] From an **economic perspective**:
- A consideration of the **main sectors** that (currently and potentially) drive the Southern Cape Functional Region's economy (in terms of **output and jobs**) and consider **associated value chains** that have organised themselves spatially;
 - An understanding of the nature and structure of the economy.

The figure below sets out the shared regional aspirations and values that will be used to underpin the Southern Cape Regional Spatial Development Framework going forward:



FIGURE 15: SOUTHERN CAPE RSIF – SHARED VALUES

The **Identified Regional Values** for the Southern Cape Region, includes:

1. **Economic, Social and Environmental Vitality & Resilience:** Enabling and Increasing economic growth and vitality, diversification, skills development, and a building a knowledge economy. Promoting spatial resilience and climate change mitigation and adaptation through the conservation of natural resources, sustainable resource management and capitalizing on the region's inherent potential.

Spatial Implication: - Low-density settlements reinforce a segregated economy and difficulty in accessing formal economy opportunities. Settlement sprawl also degrades the tourism appeal / landscape character of the region. The sprawling and low-density ribbon development in the region is exacerbating risks and subsequently increasing costs that cannot be met without sacrificing resources to meet other needs elsewhere. Settlement in flood-risk areas and fire-prone areas is increasing disaster risks and decreasing resilience.

Economic urban growth centres should be diversifying in their economies and have a larger economic 'carrying capacity' (Mossel Bay, George).

2. **Rural Development & Diversification:** Promote sustainable agricultural practices, enhancing value chains, promoting agri-processing, rural economic diversification, and agricultural protection.

Spatial Implication: - Not Applicable. Not agricultural land.

3. **People Centred Quality Development, Equitable Access, Spatial Justice & Efficiency:** People-centred development, creating quality living environments, enhancing the lives of the poor through poverty-alleviation and rural development strategies. Promoting equitable access to quality and affordable transport, facilities, services, and employment. Achieving spatial justice and efficiency by integrating and densifying our settlements, promoting continuity, compaction, and mixed use quality urban environments which are well consolidated, and function in a collaborative and complementing manner, reversing the apartheid spatial form.

Spatial Implication: - Low-density sprawl and commercial decentralisation are threatening the economic vitality of settlements in the region, a large proportion of which are identified as being high growth/ high-need. Town centres (Mossel bay and George). This densification is supporting the policies of this planning document.

4. **Enhance and Capitalise on Existing Environmental and Built Assets and Promote good growth management, development and maintenance practices:** Enhancing rural character, tourism potential, & sense of place of the region, thereby capitalizing on the assets of the region. Providing and maintaining the necessary regional and local infrastructure and guidelines for effective growth management in a financially and environmentally sustainable manner.

Spatial Implication: - George as the service centre and highest order settlement. The proposed higher density residential development will support this role.



5. **Good Governance and Predictability:** Efficient, effective, and integrated management, good administration and governance.

12.4. George Municipal SDF (2023)

The Municipal Spatial Development Framework 2023, for the period May 2023 to May 2027, is now deemed the adopted policy, which guides spatial growth and development in George. The MSDF provides clarity with respect to the manner in which land-use, development, and investment will be supported to build a spatial form which facilitates the vision and strategic objectives of the Municipality.

The George MSDF plays a leading role in the broader municipal planning system. The MSDF is the spatial expression of the IDP while at the same time, the MSDF couches the IDP within a long-term spatial vision for the municipal area that seeks to implement the vision, principles and policy directives set out in national and provincial legislation, strategies, policies and plans. Therefore, decisions made by sectors, spheres and entities of the public sector should be consistent with and work towards realising the vision, spatial strategies and plan set out in the MSDF.

George Municipality's vision, as encapsulated in its 2022 – 2027 Integrated Development Plan (IDP), is to be "a city for a sustainable future". To this end, the following 5 Strategic goals are identified within the George SDF:

-  Develop and grow George;
-  Safe, clean and green;

- ✚ Affordable quality services;
- ✚ Good governance and human capital; and
- ✚ Ensure good governance and human capital in George.

The spatial policies and policy guidelines guide decision-making on resource allocation, sector planning, land use management and land development programmes.

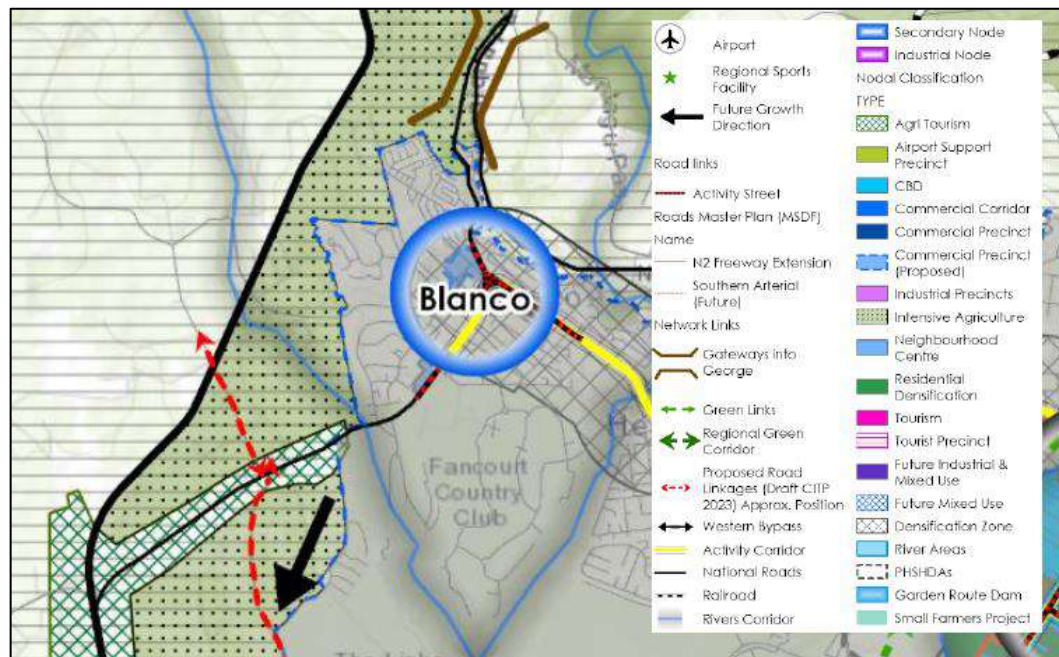


FIGURE 16: EXTRACT GEORGE SDF

According to the George SDF, Blanco is earmarked as a secondary node, and Montagu Street is earmarked as an activity corridor, that recommends densification and mixed land uses. The figure below is an extract of the George SDF:

The SDF is the primary spatial tool for guiding development within the municipal area. The SDF echoes the principles laid down by the provincial SDF including densification, the importance of compact settlements and walkability and the promotion of a mixture of uses in close proximity to one another.

Section 19 (2) of the Western Cape Land Use Planning Act states the following:

"...If a spatial development framework or structure plan does not specifically provide for the utilisation or development of land as proposed in a land use application or a land development application, but the proposed utilisation or development does not conflict with the purpose of the relevant designation in the spatial development framework or structure plan, the utilisation or development is regarded as being consistent with that spatial development framework or structured plan..." The proposed development is therefore consistent with the George SDF.

Therefore, this proposed development is regarded as being consistent with the George Spatial Development Framework as it does not conflict with the purpose of the relevant designation in the spatial development framework and urban development is supported.

12.5. Blanco Local Area Structure Plan, 2015

The Blanco Local Area Structure Plan earmarks this area as "Precinct C", as shown in the figure below:

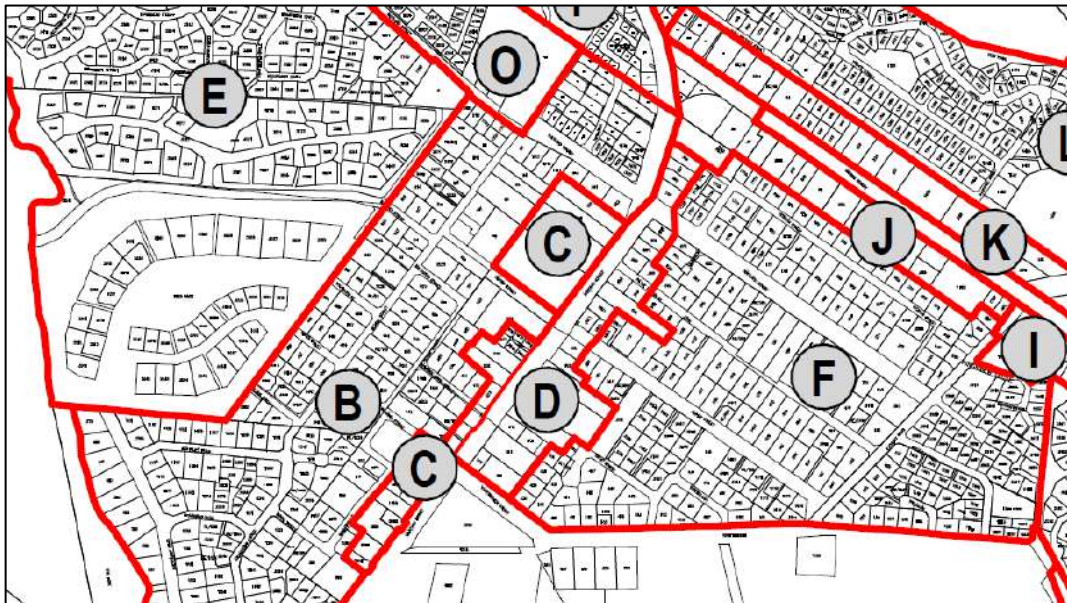


FIGURE 17: EXTRACT BLANCO LSDF

The Blanco Local Area Structure Plan recommends the following land uses for "Precinct C":

1. Land use mix of **low and medium density** residential only.
2. Retail / commercial activities to be **limited to tourist retail business** such as **restaurants** and curio shops as well as retail addressing **local convenience**.
3. **Encourage** tourist related uses such as **guest houses, B & B establishments**, accommodation facilities, etc.
4. **Maximum density of 30 units** / ha (group housing) and 40% coverage in the case of flats.
5. Encourage consolidation of erven and redevelopment thereof instead of small and ad hoc redevelopments.
6. No subdivision of single residential erven will be allowed.
7. Retain single residential dwellings with historical value along Montagu Street.
8. Densification at rear of properties only.
9. Encourage **limited access from Montagu Street** with main **access** points to redeveloped areas **from the back along Die Oupos Street**.

The proposed development is directly in line with proposals 1, 3, 4, 7, 8 and 9.

12.6. George Integrated Development Plan (2022/2027)

The George Council opted to adopt a new five-year IDP for the period 2022 – 2027. The IDP is a municipal planning instrument that drives the process to address the socio-economic challenges as well as the service delivery and infrastructure backlogs experienced by communities in the municipality’s area of jurisdiction. The IDP is the municipality’s principal five-year strategic plan that deals with the most critical development needs of the municipal area (external focus) as well as the most critical governance needs of the organisation (internal focus).



FIGURE 18: GEORGE IDP: VISION, MISSION & VALUES

The application area is located in **WARD 26** of the George Municipal Area. None of the identified ward-based needs and priorities has a direct bearing or any reference to the proposal.

Planning Implication:

The IDP is a municipal planning tool to integrates municipal planning and allocates municipal funding to achieve strategic objectives that will contribute to the overall municipal vision. The proposal will provide new and additional economic growth prospects.

The proposed land development application will not directly contribute to any of the Ward-based issues/priorities but is important to note that the proposal does not contradict any of them or the desired outcome for this ward. Further to the above the proposed development will contribute to the economic expenditure in the area, providing housing opportunities, creating employment and making use of existing services network.

The proposed land development supports important municipal interventions amongst others creating economic jobs within the ward and building long-term financial sustainability to invest in social and economic development. The proposal will attract people to the area who will invest in the local economy as accommodation attracts people and people attract business which is beneficial to all other businesses in the area due to consistent local spending.

SECTION D :

MOTIVATION

13. ASSESSMENT OF APPLICATIONS

13.1. Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)

Section 42 of SPLUMA prescribes certain aspects that have to be taken into consideration when deciding on an application. These are:

- (1). Development principles set out in Chapter 2 of SPLUMA
- (2). Protect and promote the sustainable use of agricultural land
- (3). National and provincial government policies the municipal spatial development framework, and take into account: —
 - (i) the public interest.
 - (ii) the constitutional transformation imperatives and the related duties of the State.
 - (iii) the facts and circumstances relevant to the application.
 - (iv) the respective rights and obligations of all those affected.
 - (v) the state and impact of engineering services, social infrastructure, and open space requirements.
 - (vi) any factors that may be prescribed, including timeframes for making decisions.

13.2. George Municipality Bylaw on Municipal Land Use Planning (2023)

The George Municipality Bylaw on Municipal Land Use Planning (2023) as promulgated by G.N 8747 dated 21 April 2023 states in Section 65 the general criteria necessary for considering an application by the municipality.

It must be noted that the application has not undergone the notice phase of the application process and that the information below is the necessary information required by the municipality to process the application. The following criteria must be considered when evaluating the desirability of this land development application:

CRITERIA	REFERENCE IN REPORT
The impact of the proposed land development on municipal engineering services .	Par.6 Par.7
The integrated development plan , including the municipal spatial development framework.	Par.12.6
The applicable local spatial development frameworks adopted by the Municipality.	Par.12.4

CRITERIA	REFERENCE IN REPORT
The applicable structure plans .	Par.12.5
The applicable policies of the Municipality that guide decision-making .	Par.13.2
The provincial spatial development framework .	Par.12.1
Where applicable, a regional spatial development framework contemplated in section 18 of the Spatial Planning and Land Use Management Act or provincial regional spatial development framework.	Par.12.3
The policies, principles and the planning and development norms and criteria set by the national and provincial government.	Par.13.1
The matters referred to in Section 42 of the Spatial Planning and Land Use Management Act. Principles referred to in Chapter VI (6) of the Western Cape Land Use Planning Act .	Par.21
Applicable provisions of the zoning scheme .	Par.5.5
any restrictive condition applicable to the land concerned	N/A

According to Section (20) of the 12.2. George Municipality Bylaw on Municipal Land Use Planning (2023) the Municipality must have regard to the following when considering the subdivision of land:

- No person may subdivide land without the approval of the Municipality in terms of section 15(2) unless the subdivision/consolidation is exempted in terms of section 24.
Comment: *This application serves as motivation for the Municipality to approve the proposed subdivision in terms of section 15(2)(d).*
- No application for a subdivision involving a change of zoning may be considered by the Municipality unless the land concerned is zoned as a subdivisional area.
Comment: *The application is for the rezoning of the subject site to a subdivisional area.*
- An applicant may submit a subdivision application simultaneously with an application for rezoning.
Comment: *Subdivision and rezoning application applicable.*
- The Municipality must impose appropriate conditions in terms of Section 66 relating to engineering services for the approval of a subdivision.
Comment: *The services subject to the proposal are addressed in in **Par.6 & Par.7** of this report.*
- If the municipality approves a subdivision, the applicant must submit a diagram to the Surveyor-General for approval, including proof to the satisfaction of the Surveyor-General of-
 - The municipality’s decision to approve the subdivision/consolidation;
 - The conditions of approval imposed in terms of section 66; and
 - The approved subdivision/consolidation plan.

Comment: *This information can only be supplied after the local authority approves the proposed subdivision and endorsed the plans.*

- The Municipality must issue a certificate to the applicant or any other person on his or her written request to confirm that all the conditions of approval contemplated in subsection 21(1)(c) have been met if the applicant has submitted the proof contemplated in that section.

Comment: *Proof to the satisfaction of the Municipality that all the conditions of the approval have been complied with will be submitted to the Municipality post-approval requesting the above-mentioned certificate.*

- If the Municipality issues a certificate referred to in subsection (6) in error, the owner is not absolved from complying with the obligations imposed in terms of the conditions.

Comment: *Noted.*

14. CONSISTENCY WITH SPATIAL PLANNING POLICIES

As described in **Par.12** of this report, the proposal is consistent with the relevant spatial planning policies namely:

- *Western Cape Provincial SDF (2014)*
- *Western Cape Government Provincial Strategic Plan (2019-2024)*
- *Draft Garden Route Regional Spatial Development Framework (2019)*
- *George Municipal SDF (2023)*
- *Blanco Local Area Structure Plan, 2015*
- *George Integrated Development Plan (2022/2027)*

The proposal is consistent with the relevant spatial planning policies for the following reasons:

- *The development proposal will be consistent with the Western Cape Spatial Development Framework as the proposed residential development contributes to the regeneration and revitalisation of urban economies.*
- *The development proposal ensures densification and contributes to infill development.*
- *The proposed development is on a portion of underutilised land, thus contributing to infill development and it will be strengthening the character of the area by contributing to an existing residential neighbourhood.*
- *The residential development will contribute to the integrated living environment which is strategically aligned with the surrounding land uses of the residential neighbourhood and commercial node to the east along Montagu Street.*
- *The proposal promotes smart growth, by ensuring the efficient use of land and infrastructure by containing urban sprawl and prioritising infill, intensification and redevelopment within settlements.*

- *The development is a government-funded housing project, which will help to provide a housing opportunity and expand the housing delivery options.*
- *The subject property and the proposed development are consistent with the Spatial Policy Directives set out in the above-mentioned policy documents.*

15. CONSISTENCY WITH THE SURROUNDING AREA

From a spatial planning perspective, development nodes typically emerge at the intersection of higher-order and lower-order roads due to enhanced accessibility and visibility. The application site is strategically located at the intersection of the main distributor road, Montagu Street, and adjoining local distributor roads. Such intersections are widely recognised as appropriate locations for increased density and urban intensification.

The property is also within walking distance of the established commercial area, which accommodates local shops and restaurants, thereby promoting walkability and reducing reliance on private vehicles. In addition, along the identified Blanco Bus Route and in close proximity to numerous 'Go George' bus stops.

The proposed urban infill and densification initiative will complement the existing land uses in the area and will not detract from the established character of the neighbourhood. The residential development is compatible with surrounding land uses, and its proximity to the existing commercial node will further enhance its functionality and integration. Accordingly, the proposed group housing development aligns with and reinforces the mixed-use character of the area.

16. NO IMPACT ON EXISTING RIGHTS

It is the considered opinion that the proposed residential development will not impact the existing land use rights of any property owners in the area. The proposal will not prevent any surrounding owner from exercising their legal land use rights. The proposal will enhance the amenity of the area and fit in with the character of the area. The proposed residential development will also allow for more sufficient use of municipal infrastructure services.

The fact that there will be consistent movement in this area, an increase in land value as well as an increase in urban renewal to the property will contribute to the surrounding area, positively.

17. EFFECTIVE URBAN FORM & INTEGRATION

Urban form is the way the built environment looks and functions. To achieve an effective urban form, land uses should be integrated, residential densities should be increased and the establishment of a pedestrian-friendly, walkable community. It is desirable to redirect urban growth toward a more fiscally efficient and liveable compact urban form.

The proposal aims to densify and fully utilise this strategically located property. Higher densities create more opportunities for interaction, a climate in which economic activity - and small-scale economic activity, in particular - can thrive. Higher densities can also contribute to the more efficient use of infrastructure.

Urban integration is a strategic town planning principle that promotes sustainable development, as supported by the policies contained within the Spatial Development Frameworks. To achieve an effective urban form, land uses should be more integrated, and the establishment of a pedestrian-friendly, walkable community, which the proposal aims to achieve.

The proposed development of six group housing units is fully aligned with the principle of urban integration as supported by the Spatial Development Frameworks. Urban integration seeks to promote sustainable and efficient urban form through the consolidation of development within the existing urban footprint. The subject property is located within an established residential area that is already serviced by municipal infrastructure and is accessible via existing road networks. The proposal therefore strengthens the existing urban structure rather than contributing to outward expansion.

The scale and design of the proposed development are compatible with the surrounding built environment, ensuring that integration occurs in a manner that is both context-sensitive and sustainable. Accordingly, the proposal gives practical effect to the objective of creating a pedestrian-friendly, walkable, and integrated urban environment, consistent with the intent of the Spatial Development Framework.

18. NEED FOR SPECIFIC RESIDENTIAL MARKET - DENSIFICATION & INTENSIFICATION

The proposed development will address the need for residential intensification and densification in an appropriate manner, without affecting the sense of place of this area. The proposal encourages densification and aims to support an efficient, convenient and affordable urban structure by developing land appropriately zoned and suitable for densification and intensification.

The focus group of the proposal is not targeted at a specific age group, but rather at individuals seeking this accommodation typology, whilst also encouraging sustainable and appropriate densification. The MSDF encourages general densification to increase the supply of well-located land. It will be to the benefit of many role-players if the property is allowed to develop the proposed residential development. The applicant will be able to develop the property, create employment opportunities, contribute to local expenditure, suitably densify within the urban edge and will be able to contribute to the economic growth of the town.

Infill developments like this also help to curb urban sprawl, making more efficient use of land and existing infrastructure, which is desirable for both environmental sustainability and fiscal responsibility. Therefore, this development is both necessary and desirable as it addresses a housing need while promoting inclusive, sustainable urban growth. It aligns with national priorities and legal frameworks like SPLUMA.

19. POSITIVE SOCIO-ECONOMIC IMPACT

When a family, or business, contemplates relocating to a new area, they evaluate their options to a large extent, on the availability, quality and affordability of accommodation. Other considerations include access to quality education, places of worship, community organisations and convenient shopping. Before someone commits to a new location, they need to feel secure that there are no

barriers to their success. The proposal will attract people to the area that will invest in the local economy, and also provide this opportunity to locals, rather than relocate. This is beneficial to other businesses in the area due to consistent local spending.

The development will likely draw new residents to the area who will contribute to the local economy while at the same time providing an alternative housing typology and therefore might be more likely to remain within the area rather than be forced to seek accommodation elsewhere.

The approval of the proposed residential development will create new temporary and permanent employment opportunities during the construction phase and the operational phase. The Increased employment opportunities will have a knock-on effect on local businesses meaning that there is a net increase in the prosperity and standard of living in the town as a whole. Permanent employment opportunities include:

- **Facilities & Maintenance:** The upkeep of the new estate will require a team for ongoing maintenance, repairs, and facility management. This can include plumbers, electricians, technicians, cleaners, and landscapers;
- **Security and Safety:** With a new residential complex, there will be a need for security personnel to ensure the safety and well-being of the residents. Security guards, surveillance operators, and access control staff may be employed for this purpose;
- **Admininstration:** the adminitration of the Body Corporate can be outsourced to professional property management agencies Oversee the daily operations, such as leasing, tenant relations, and ensuring property upkeep, etc.
- **Real Estate & Leasing:** Handle sales and rentals within the development, helping to match buyers/renters with units, and manage rental properties, deal with tenant applications, and maintain rental agreements.

The proposed development can also have significant positive downstream economic impacts and will create opportunities for entrepreneurs such as laundry services, hairdressers, medical services (doctors, pharmacists, physiotherapists, dieticians etc.), existing professionals (real estate practitioners, accountants, etc.) and many more. Local professionals and contractors will be employed, and all building materials will be sourced locally. The proposal will create a net increase in prosperity and standard of living in the town as a whole.

20. RELEVANT CONSIDERATIONS, WESTERN CAPE - ENVIRONMENTAL AFFAIRS & DEVELOPMENT PLANNING

The following key considerations are taken into account to determine the desirability of the proposed land use.

CRITERIA	COMPLIANCE
The degree to which development principles & norms and standards will be promoted or prejudiced	<p>(i) <i>The development of higher density housing within the demarcated urban area is consistent with local and provincial norms and standards.</i></p> <p>(ii) <i>The proposal meets the criteria set out on the provincial and national level for densification and adheres to these principles, hence promoting these principles norms and standards.</i></p>
Degree of risk / potential risk	<p>(i) <i>The applicant does not foresee any potential risk by allowing the proposal from a planning perspective. This unique portion of land with its unique locational factors can be fully utilised by allowing for the proposal.</i></p>
Impact on existing and surrounding land uses	<p>(i) <i>The surrounding properties include similar land uses and various other urban uses. The proposal will not impact the surrounding land uses it will complement the area and surrounding land uses.</i></p>
Long-term benefits (rather than short-term gains)	<p>(i) <i>Overall, a group housing development promotes a sustainable, affordable, and vibrant community lifestyle while maximizing land use and resource efficiency. This approach not only benefits individual residents but also contributes positively to the broader community and environment.</i></p> <p>(ii) <i>Group housing optimizes land use by allowing more units on a smaller footprint, which can reduce urban sprawl and preserve green spaces.</i></p> <p>(iii) <i>Foster a sense of community by the creation of shared spaces and amenities that encourage interaction among residents.</i></p>
Impact on quality of life (incl. views, sunlight, privacy, visual impact, character)	<p>(i) <i>The subject property has a unique sense of place that will provide a residential opportunity to individuals considering this typology an improvement of their quality of life.</i></p> <p>(ii) <i>No views will be obscured and the proposal fits within the character of the area.</i></p> <p>(iii) <i>The application area is walking distance form the commercial node in Blanco, and near social facilities, making this location ideal for densification, supporting the existing services in the area.</i></p>

Note: LUPA (Land Use Planning Act) does not refer to a lack of desirability, nor does it require there to be a positive advantage (i.e. the absence of a positive advantage should not automatically lead to a decision to refuse).

From the table above, it is clear that the proposed development is desirable on the subject property.

21. WESTERN CAPE LAND USE PLANNING ACT, 2014 (ACT 3 OF 2014)

The purpose of this Provincial legislation is to consolidate legislation in the Province pertaining to provincial planning, regional planning and development, urban and rural development, regulation, support and monitoring of municipal planning and regulation of public places and municipal roads

arising from subdivisions; to make provision for provincial spatial development frameworks; to provide for minimum standards for, and the efficient coordination of, spatial development frameworks; to provide for minimum norms and standards for effective municipal development management; to regulate provincial development management; to regulate the effect of land development on agriculture; to provide for land use planning principles; to repeal certain old-order laws, and to provide for matters incidental thereto.

Section 59 of this Act prescribes the Land Use Planning Principles that apply to all land development in the province. These are summarised in the tables below. The tables below aim to summarise how the proposed development complies with these principles.

21.1. Spatial Justice

CRITERIA	COMPLIANCE	PLANNING IMPLICATION
Past spatial and other development imbalances must be redressed through improved access to and use of land.	COMPLY	<i>The proposal aims to create a more inclusive, functional urban integrated living environment which is strategically aligned with the surrounding land uses of the area especially the economic activities throughout the town of Groot Brak.</i>
Spatial development frameworks and policies at all spheres of government must address the inclusion of persons and areas that were previously excluded, with an emphasis on informal settlements, former homeland areas and areas characterised by widespread poverty and deprivation.	N/A	<i>This policy does not apply to the application. Not a Spatial Development Framework or Policy.</i>
Spatial planning mechanisms, including land use schemes, must incorporate provisions that enable redress in access to land by disadvantaged communities and persons.	N/A	<i>This policy does not apply to the application.</i>
Land use management systems should include all areas of a municipality and specifically include provisions that are flexible and appropriate for the management of disadvantaged areas and informal settlements.	N/A	<i>This policy does not apply to the application.</i>
Land development procedures must include provisions that accommodate access to, and facilitation of, the security of	Applicable to George Municipality	<i>The municipality must process this application within the prescribed guidelines of the George Municipality Bylaw on Municipal Land Use Planning (2023).</i>

CRITERIA	COMPLIANCE	PLANNING IMPLICATION
tenure and the incremental upgrading of informal areas.		
A competent authority contemplated in this Act or other relevant authority considering an application before it, may not be impeded or restricted in the exercise of its discretion solely on the ground that the value of land or property will be affected by the outcome of the application.	Applicable to George Municipality	<i>The municipality must process this application within the prescribed guidelines of the George Municipality Bylaw on Municipal Land Use Planning (2023).</i>
The right of owners to develop land in accordance with current use rights should be recognised.	N/A	<ul style="list-style-type: none"> ▪ <i>This policy does not apply to the application area and proposal.</i>

21.2. Spatial Sustainability

CRITERIA	COMPLIANCE	PLANNING IMPLICATION
Promote land development that is spatially compact, resource-frugal and within the fiscal, institutional, and administrative means of the relevant competent authority in terms of this Act or other relevant authority.	COMPLY	<ul style="list-style-type: none"> ▪ <i>The proposed development can be regarded as infill development, as well as normal urban expansion, hence spatially compact development.</i> ▪ <i>The proposed density for development on the urban periphery, is considered to be consistent with the spatial planning policy applicable to the area.</i>
Ensure that special consideration is given to the protection of prime, unique, and high-potential agricultural land.	N/A	<i>Not agricultural land.</i>
Uphold consistency of land use measures in accordance with environmental management instruments.	COMPLY	<ul style="list-style-type: none"> ▪ <i>The proposal does not trigger any environmental listed activities according to the National Environmental Management Act (1998).</i>
Promote and stimulate the effective and equitable functioning of land markets.	COMPLY	<ul style="list-style-type: none"> ▪ <i>The properties in the surrounding area which consist of a diverse group of land uses.</i> ▪ <i>Development is occurring in the area and change of land use is not an irregular occurrence.</i> ▪ <i>The value of the surrounding properties will not be negatively affected.</i>
Consider all current and future costs to all parties for the provision of infrastructure and social services in land developments.	COMPLY	<ul style="list-style-type: none"> ▪ <i>Additional residential uses inside the urban edge, will support the existing public services and businesses.</i> ▪ <i>Refer to Par.6 & Par.7</i>

CRITERIA	COMPLIANCE	PLANNING IMPLICATION
Promote land development in locations that are sustainable and limit urban sprawl.	COMPLY	<ul style="list-style-type: none"> No urban sprawl will be created as a result of the proposed development. The location of this site for densification is sustainable, because it is within walking distance of the Blanco commercial area, and near other social facilities and educational facilities.
Result in communities that are viable.	COMPLY	<ul style="list-style-type: none"> The proposed densification will result in more viable communities, because it will create permanent and temporary employment opportunities for residents in Blanco and surrounds. The existing services and businesses will benefit from additional resident that can support these services.
Strive to ensure that the basic needs of all citizens are met in an affordable way.	N/A	<ul style="list-style-type: none"> This principle does not apply to the applicant or this development.
The sustained protection of the environment should be ensured.	COMPLY	<ul style="list-style-type: none"> In line with all Environmental policy documents and legislation.

21.3. Spatial Efficiency

CRITERIA	COMPLIANCE	PLANNING IMPLICATION
Land development optimises the use of existing resources and infrastructure.	COMPLY	<ul style="list-style-type: none"> The proposal will fully optimise the existing resources; the property has to offer. The existing infrastructure will be fully utilised and upgraded where necessary.
Integrated cities and towns should be developed.	COMPLY	<ul style="list-style-type: none"> The proposal will promote functional integration within urban areas. Adequate access, services and functionality. The proposal will contribute to a more integrated town as a whole and have a positive impact on the local economy.
Policy, administrative practice, and legislation should promote speedy land development.	Applicable to George Municipality	<ul style="list-style-type: none"> The municipality should process this application within the prescribed time frames of the George Municipality Bylaw on Municipal Land Use Planning (2023).

21.4. Spatial Resilience

CRITERIA	COMPLIANCE	PLANNING IMPLICATION
Flexibility in spatial plans, policies and land use management systems are accommodated to ensure sustainable livelihoods in communities most likely to suffer the impacts of economic and environmental shocks.	COMPLY	<ul style="list-style-type: none"> ▪ <i>The proposal is consistent with the various applicable spatial plans, policies and land use management systems.</i> ▪ <i>It will have no negative impact on the livelihood of the community.</i> ▪ <i>The proposed application complies with the requirements of the George Municipality Bylaw on Municipal Land Use Planning (2023).</i>

21.5. Good Administration

CRITERIA	COMPLIANCE	PLANNING IMPLICATION
All spheres of government should ensure an integrated approach to land use planning.	Applicable to George Municipality	<ul style="list-style-type: none"> ▪ <i>This principle has no direct bearing on the application; however, the George Municipality is obligated to consider the application fairly and within the timeframes provided in terms of the municipal planning bylaw.</i> ▪ <i>What is however important is that all decision-making is aligned with sound policies based on national, provincial and local development policies.</i>
All government departments must provide their sector inputs and comply with any other statutory requirements during the preparation or amendment of spatial development frameworks.		
The requirements of any law relating to land development and land use must be met timeously.		
The preparation and amendment of spatial plans, policy, zoning schemes and procedures for land development and land use applications, should include transparent processes of public participation that afford all parties the opportunity to provide inputs on matters affecting them.		
The legislation, procedures and administrative practice relating to land development should be clear, promote predictability, trust, and acceptance in order to inform and empower members of the public.		

CRITERIA	COMPLIANCE	PLANNING IMPLICATION
A spatial development framework, zoning scheme or policy should be developed in phases and each phase in the development thereof should include consultation with the public and relevant organs of state and should be endorsed by the relevant competent authority.		
Decision-making procedures should be designed to minimise negative financial, social, economic, or environmental impacts.		
Development application procedures should be efficient and streamlined, and timeframes should be adhered to by all parties.		
Decision-making in all spheres of government should be guided by and give effect to statutory land use planning systems.		

22. CONCLUSION

In light of this motivation, and the information contained in the foregoing report, it is clear that the application for:

- (i) The Subdivision of the Remainder of Erf 111 Blanco, in terms of Section 15(2)(d) of the George Municipality Land Use Planning By-Law, 2023 into 2x portions (Portion A = ±1784m²) and the Remainder of Erf 111 Blanco (±755m²), as indicated on subdivision plan (Pr25/44SUB04) in terms of Section 15(2)(d) of the Land Use Planning Bylaw for George Municipality.
- (ii) The Rezoning of "Portion A" of Erf 111 Blanco from "General Residential Zone V" to a "Subdivisional Area" in terms of Section 15(2)(a) of the George Municipality Land Use Planning By-Law, 2023.
- (iii) The subdivision of the subdivisional area (Portion A of RE/Erf 111), as indicated on subdivision plan (Pr25/44L01) in terms of section 15(2)(d) of the Land Use Planning Bylaw for George Municipality, 2023 into:
 - a. 1x "Transport Zone II" (public street) erf (69m²)
 - b. 1x "General Residential Zone II" (group housing) erf (1715m²)
- (vi) A Permanent Departure from the prescribed minimum width of motor vehicle carriageway crossings for combined entrance and exit ways - "other land uses" on the remainder of

Blanco Erf 111 from 5m to 4m along Die Oupos Street, in terms of Section 15(2)(b) of the George Municipality Land Use Planning By-Law, 2023.

- (iv) A Permanent Departure for the relaxation of the prescribed parking parameter for 'guest lodge' on the remainder of Blanco Erf 111 to allow for the prescribed PT1 parking parameters, in terms of Section 15(2)(b) of the George Municipality Land Use Planning By-Law, 2023.

Meets the criteria as set out in The Spatial Planning and Land Use Management Act (SPLUMA) and the George Municipality Land Use Planning By-Law, 2023, is desirable and it is therefore recommended that the application be supported by the relevant authorities and approved by George Municipality.

Marike Vreken Urban and Environmental Planners
April 2026

ANNEXURE A:

Rezoning Approval dated 16 September 1993

30/9

**COPY: TOWN PLANNER
TOWN TREASURER**

332
ERF 111 Blanco

Mr W Keller

16 September 1993

Mr D Coggon
B & B Farmhouse Lodge
P O Box 7244
BLANCO
6531

Sir

PROPOSED REZONING OF ERF 111 BLANCO

Approval is hereby granted in terms of Section 17(1) of Ordinance 15 of 1985 for the rezoning of erf 111 Blanco from "single residential" to "general residential" (guest house) subject to the following conditions:

- (1) one parking bay for each room be provided on site;
- (2) any development or future development be restricted to two floors;
- (3) all other requirements of development in the general residential zone be complied with;
- (4) the required portion of Die Oupos Street be transferred to the City Council free of cost;
- (5) the portion of Die Oupos Street be constructed to Council's satisfaction.

Your attention is drawn to the fact that you may, in terms of Section 44 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985), appeal to the Administrator against any condition which has been imposed in respect of this application.

Such appeal must be directed in writing within 14 days from date of this letter to the Chief Director: Land Use Co-ordination and a copy thereof must be directed to this office.

Yours faithfully


**A. J. SMITH
DIRECTOR ADMINISTRATION**

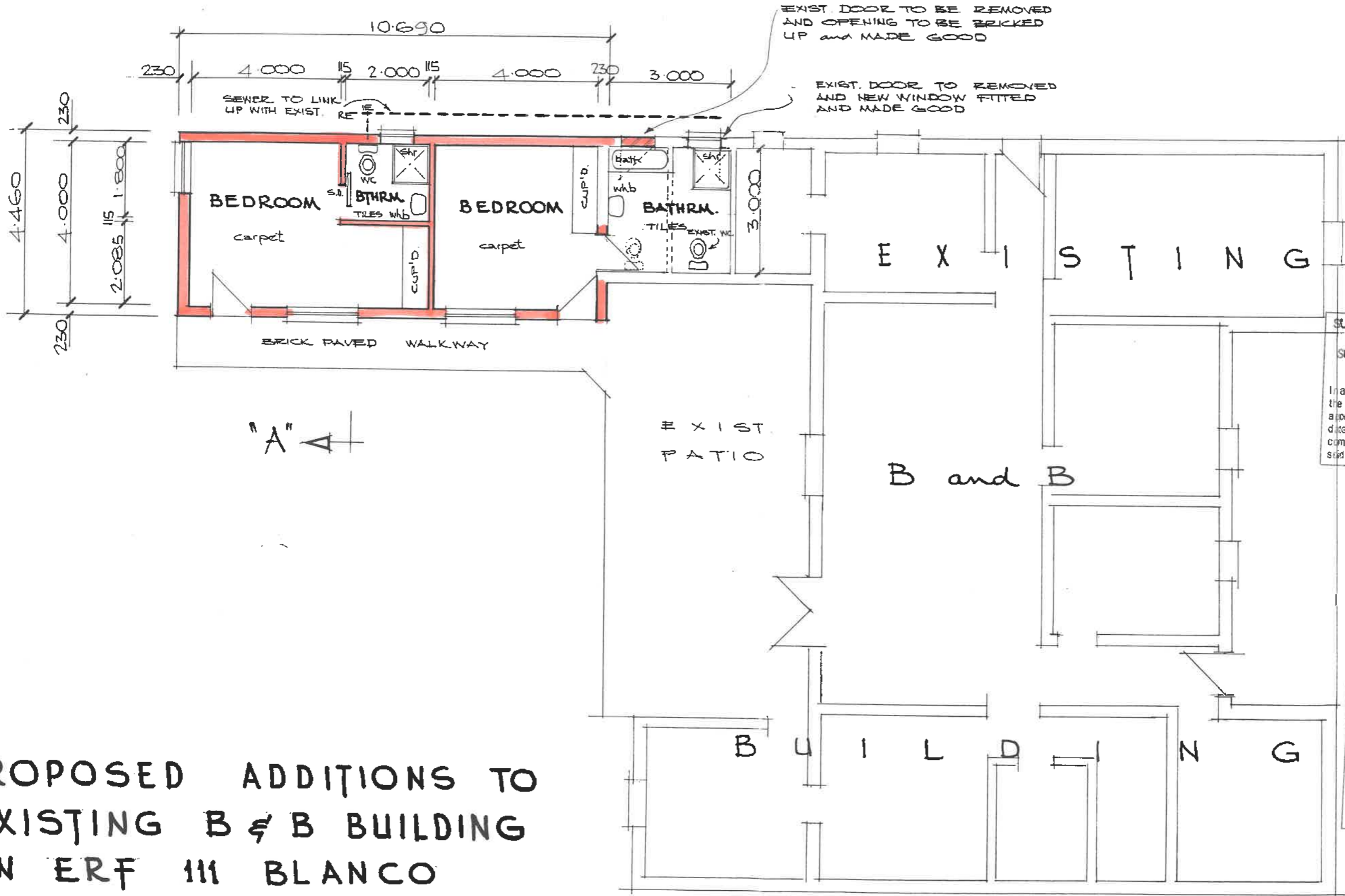
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ANNEXURE B:

Approved Building Plans for Guest House

"A" 



SUBJECT TO THE NATIONAL BUILDING REGULATIONS.
 SUBJECT TO THE HEALTH & RODENT REGULATIONS.

In accordance with the provision of section 7(1)(a) of the National Building Regulations Act, 1977 the approval hereby granted expires after 12 months of date of approval unless erection of the building is commenced within the said period, or unless the said period is extended in writing.

GEORGE MUNICIPALITY
 DIRECTOR ADMINISTRATION
APPROVED
 DATE: 2003/7/17 PLAN NO: 413/03
 Building Control Officer

GEORGE MUNICIPALITY
 HEALTH DEPARTMENT
APPROVED
 DATE: 2003/7/17
 Chief Health Inspector

PROPOSED ADDITIONS TO
 EXISTING B & B BUILDING
 ON ERF 111 BLANCO

FLOOR PLAN
 Scale 1:100

NO FINAL INSPECTION
 WILL BE CARRIED OUT
 AFTER 12:00 ON A FRIDAY

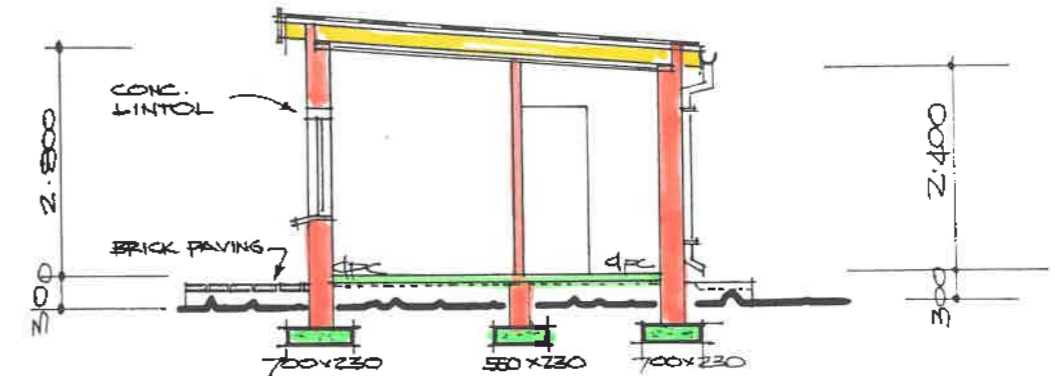
GEORGE MUNICIPALITY
 DIRECTOR ADMINISTRATION
APPROVED
 DATE: 7/17 PLAN NO: 413/03
 Building Control Officer

SUBJECT TO THE NATIONAL BUILDING REGULATIONS.
 SUBJECT TO THE HEALTH & RODENT REGULATIONS.

In accordance with the provision of section 7(1)(a) of the National Building Regulations Act, 1977 the approval hereby granted expires after 12 months of date of approval unless erection of the building is commenced within the said period, or unless the said period is extended in writing.

ROOF CONSTRUCTION

LONGSPAN CORR. IRON ROOF SHEETS ON 75x50 PURLINS @ 900c/c ON 152x38 BEARERS @ 1100c/c ON 114x38 WALL FB. NUTEC CEILING ON 38x38 BRANDBLING @ 400c/c BOTH WAYS P.V.C. RAINWATER GOOD

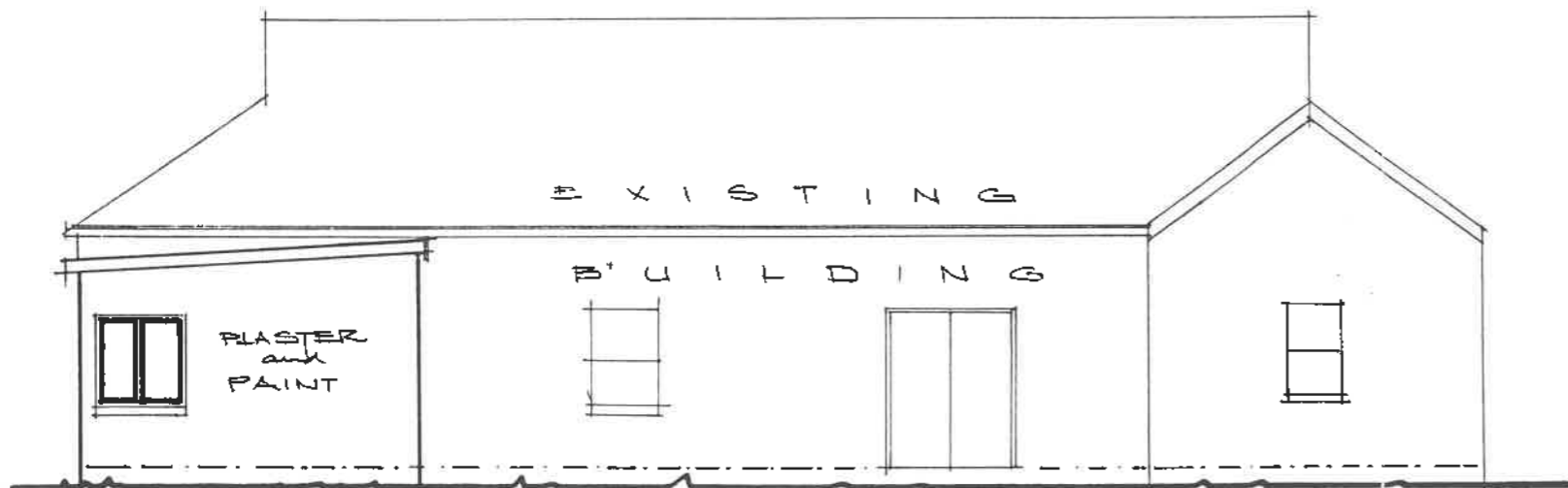


SECTION "A-A"

FLOOR SPECS.

30mm CONC. SCREED ON 75mm CONC SURFACE BED ON 250 GUNFLAS ON WELL COMPACTED HARD CORE FILLING

GEORGE MUNICIPALITY
 HEALTH DEPARTMENT
APPROVED 29/5/03
 DATE
 Chief Health Inspector



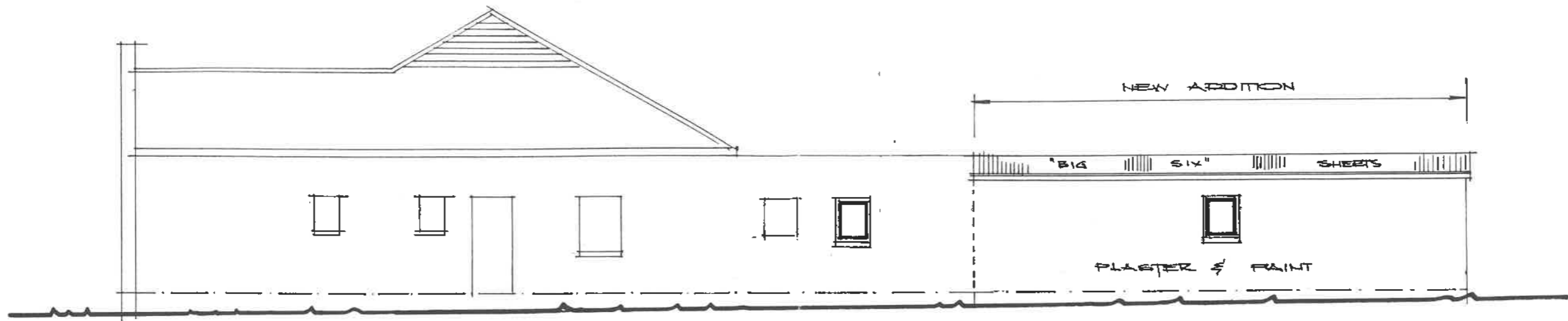
WEST ELEVATION

NO FINAL INSPECTION
 WILL BE CARRIED OUT
 AFTER 12:00 ON A FRIDAY

**PROPOSED ADDITION TO
 EXISTING B&B PREMISES
 ON ERF 111 BLANCO MONTAQU ST**

Scale 1:100

Date May '03



NORTH ELEVATION

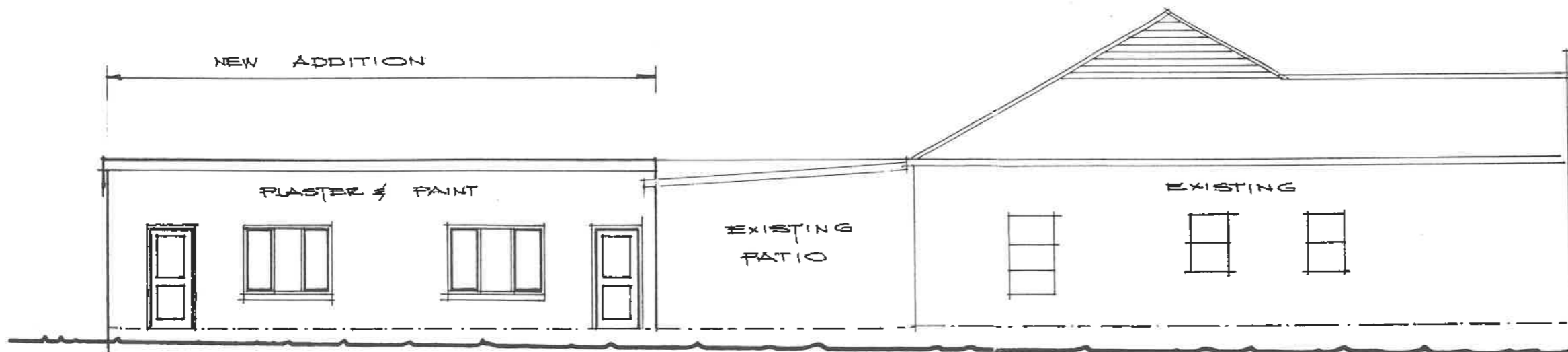
SUBJECT TO THE NATIONAL BUILDING REGULATIONS.
 SUBJECT TO THE HEALTH & RODENT REGULATIONS.

In accordance with the provision of section 7(1)(a) of the National Building Regulations Act, 1977 the approval hereby granted expires after 12 months of date of approval unless erection of the building is commenced within the said period, or unless the said period is extended in writing.

GEORGE MUNICIPALITY
 DIRECTOR ADMINISTRATION
APPROVED
 DATE: 2003/7/17 PLAN NO: 43/03
 Building Control Officer

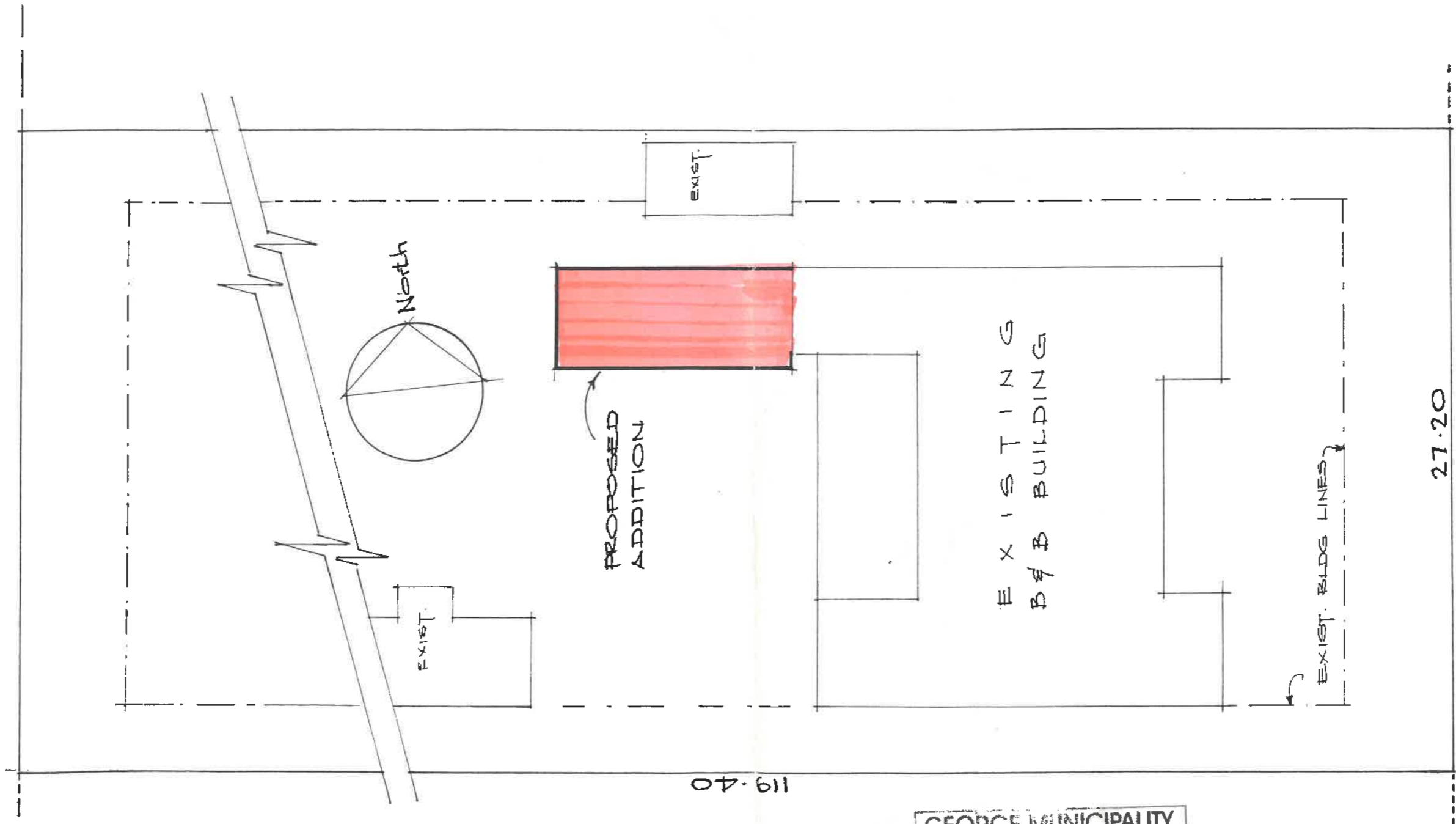
GEORGE MUNICIPALITY
 HEALTH DEPARTMENT
APPROVED
 DATE: 29.1.03
 Chief Health Inspector

NO FINAL INSPECTION
 WILL BE CARRIED OUT
 AFTER 12:00 ON A FRIDAY



SOUTH ELEVATION

DIE OUPOS STREET



SUBJECT TO THE NATIONAL BUILDING REGULATIONS.
 SUBJECT TO THE HEALTH & RODENT REGULATIONS.

In accordance with the provision of section 7(1)(a) of the National Building Regulations Act, 1977 the approval hereby granted expires after 12 months of date of approval unless erection of the building is commenced within the said period, or unless the said period is extended in writing.

GEORGE MUNICIPALITY
 DIRECTOR ADMINISTRATION
APPROVED
 DATE: 2003/7/17 PLAN NO: 413/03
 [Signature]
 Building Control Officer

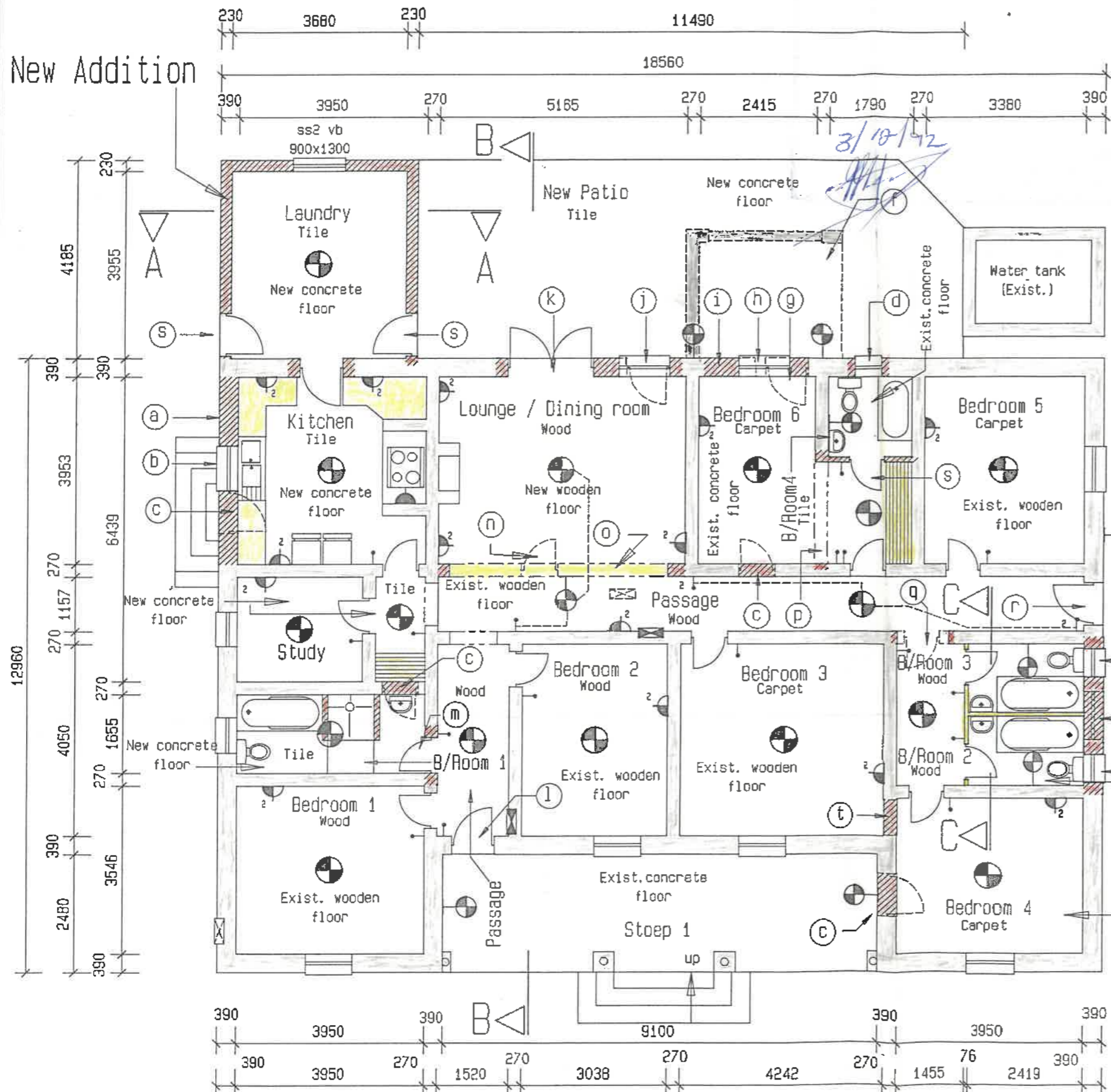
MONTAQUE STREET

SITE PLAN 1:200

GEORGE MUNICIPALITY
 HEALTH DEPARTMENT
APPROVED
 DATE: 29.7.03
 [Signature]
 Chief Health Inspector

NO FINAL INSPECTION
 WILL BE CARRIED OUT
 AFTER 12:00 ON A FRIDAY

New Addition



- (a) Exist wall to be demolished and rebuild
- (b) New position of window 1040 x 1360 mm
- (c) Remove exist door and rebuild
- (d) New window 595 x 920 mm
- (e) Remove exist window and rebuild
- (f) Demolish exist stoep
- (g) Remove exist door and make good
- (h) New position of window 1055 x 1470 mm
- (i) Remove exist window to (h) and make good
- (j) Remove door and put in window and make good
- (k) New double door in position of window (i)
- (l) New front door
- (m) Door in new opening
- (n) Remove exist door
- (o) Demolish exist wall and put in a wooden beam 250x250 mm at top of wall to hold trusses
- (p) Demolish exist wall and make good
- (q) Remove exist door and make a bigger opening
- (r) New door in position of exist door
- (s) New door
- (t) Build up opening between bedroom 3 and 4
- (u) New walls

NOTE: -

- 1) New ceiling lights
- 2) New wall lights
- 3) New double power point
- 4) New switches.
- 5) New distribution board
- 6) New electricity meter box
- 7) New hot water cylinder
- 8) New stove point
- 9) All new fittings in Kitchen
- 10) All new fittings in Bathroom
- 11) All windows not described are exist. windows and stay the same
- 12) All exist and new wooden floors are treated with T.C.P.
- 13) All ceilings are wooden except b/room 2, 3, and 4. They are Rhino board

PROJEBESKRYWING PROJECT DESCRIPTION

Proposed new Addition and Alterations on Erf 111 for Mr D. Coggon 19A Montague St Blanco PO BOX 7244 George

TEKENINGBESKRYWING DRAWING DESCRIPTION

Floor Plan

SKAAL SCALE

1/100

DATUM DATE

12/11/1992

ONTWERP DESIGN

H Venter

GETEKEN DRAWN

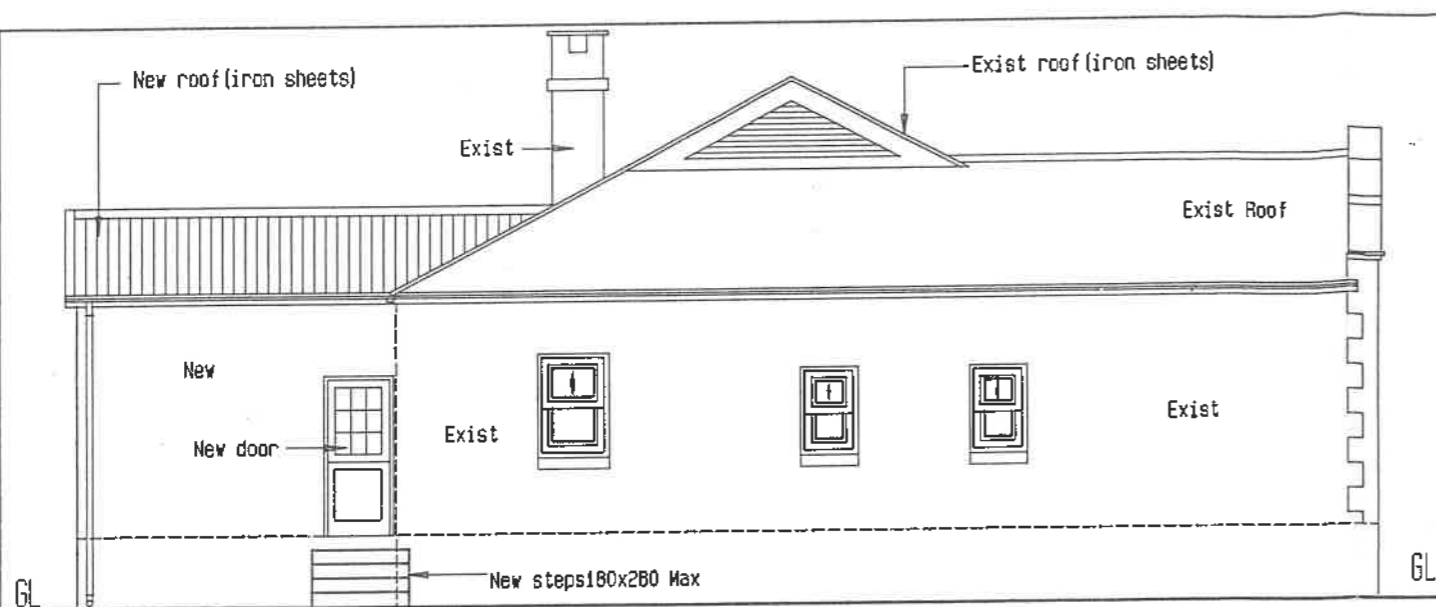
H Venter

P.O. Box 394 George

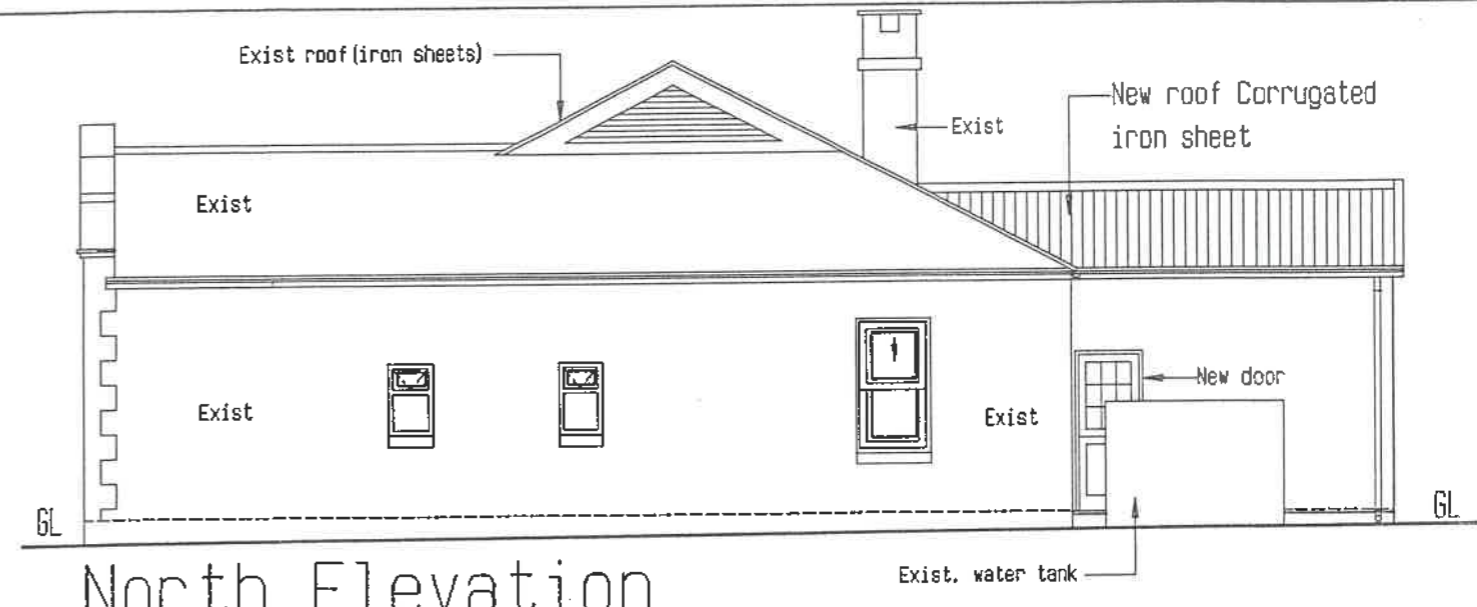
Tel. 735572

Floor Plan

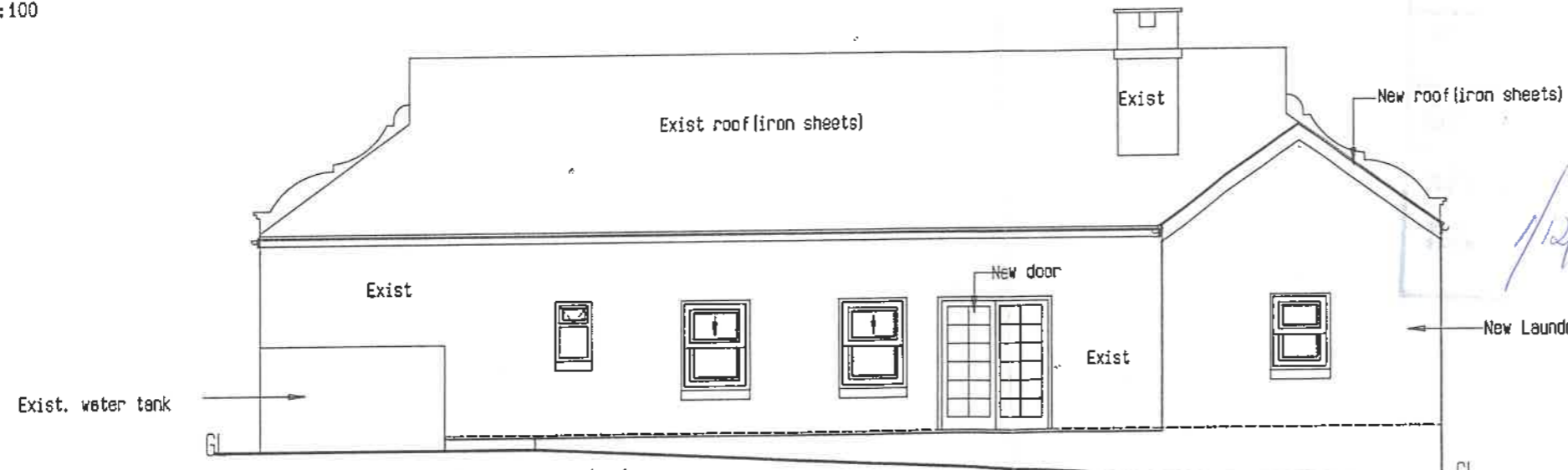
Scale 1/100



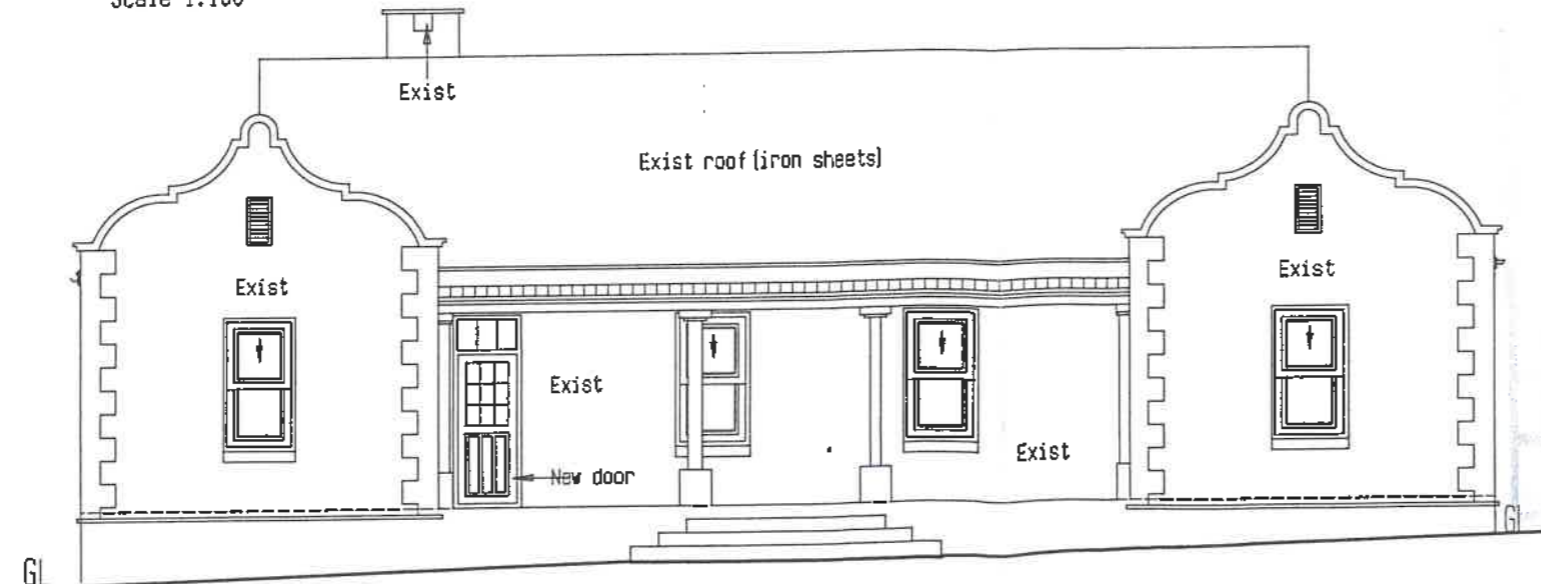
South Elevation
Scale 1:100



North Elevation
Scale 1:100



West Elevation
Scale 1:100



East Elevation
Scale 1:100

PROJEKTBESKRYWING PROJECT DESCRIPTION
 Proposed new Addition and Alterations on Erf 111 for Mr D. Coggon 19A Montague St Blanco PO BOX 7244 George

TEKENINGBESKRYWING DRAWING DESCRIPTION
 Elevations

SKAAL SCALE
 1/100

DATUM DATE
 12/11/1992

ONTWERP DESIGN
 H Venter

GETEKEN ^{7/11/92} DRAWN
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 P.O. Box 394 George
 Tel. 735572

1/12/92

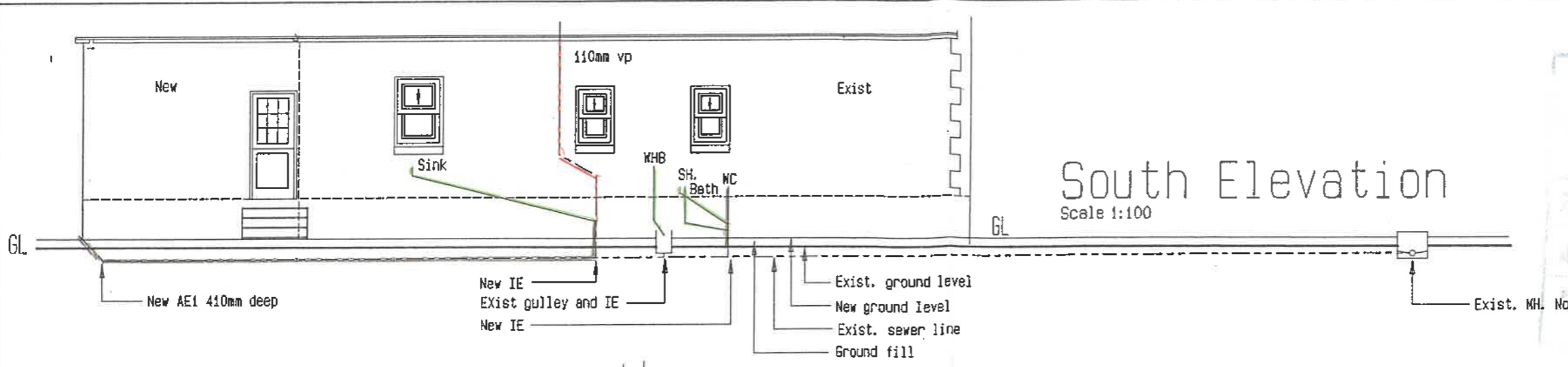
[Signature]

D. J. van

3/12/92

[Signature]

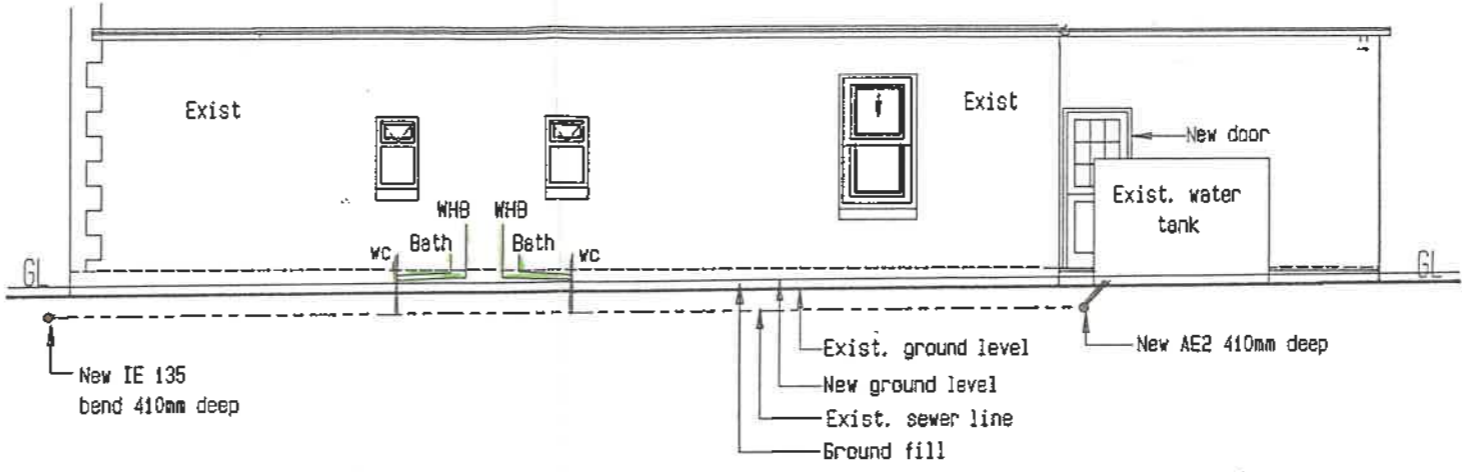
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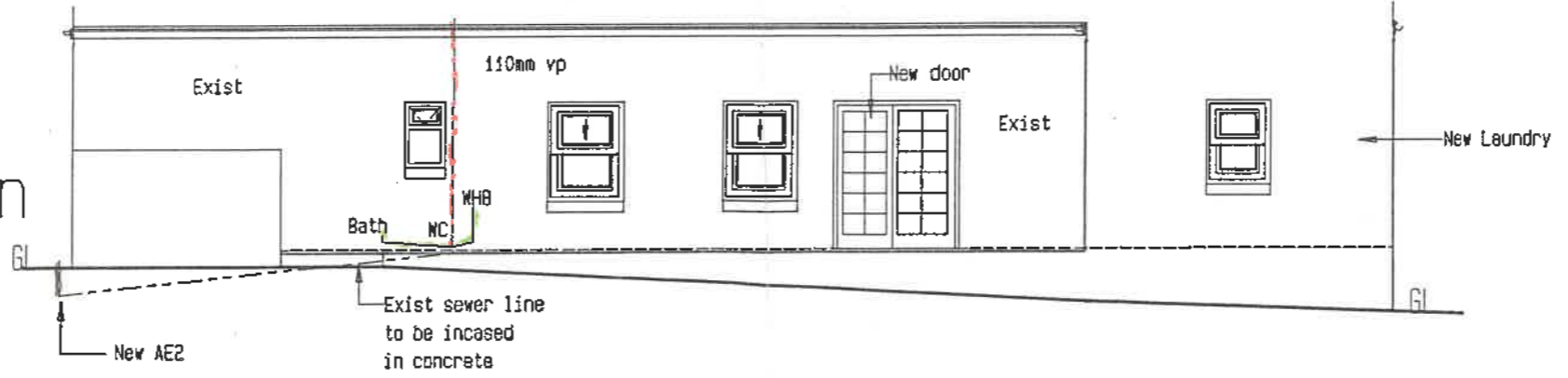
South Elevation
Scale 1:100

1/12/92
[Signature]

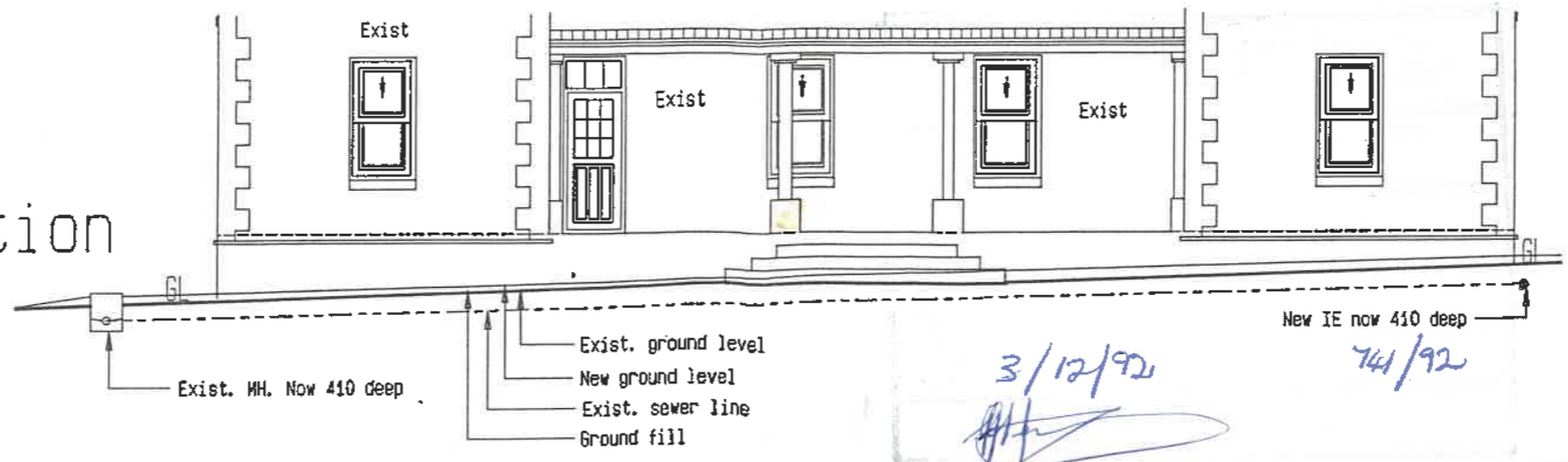
North Elevation
Scale 1:100



West Elevation
Scale 1:100



East Elevation
Scale 1:100



3/12/92
[Signature]
741/92

PROJEKTBESKRYWING PROJECT DESCRIPTION
Proposed new Addition and Alterations on Erf 111 for Mr D. Coggon 19A Montague St Blanco PO BOX 7244 George

D. G. J.

TEKENINGBESKRYWING DRAWING DESCRIPTION
Sewer plan (Elevations)

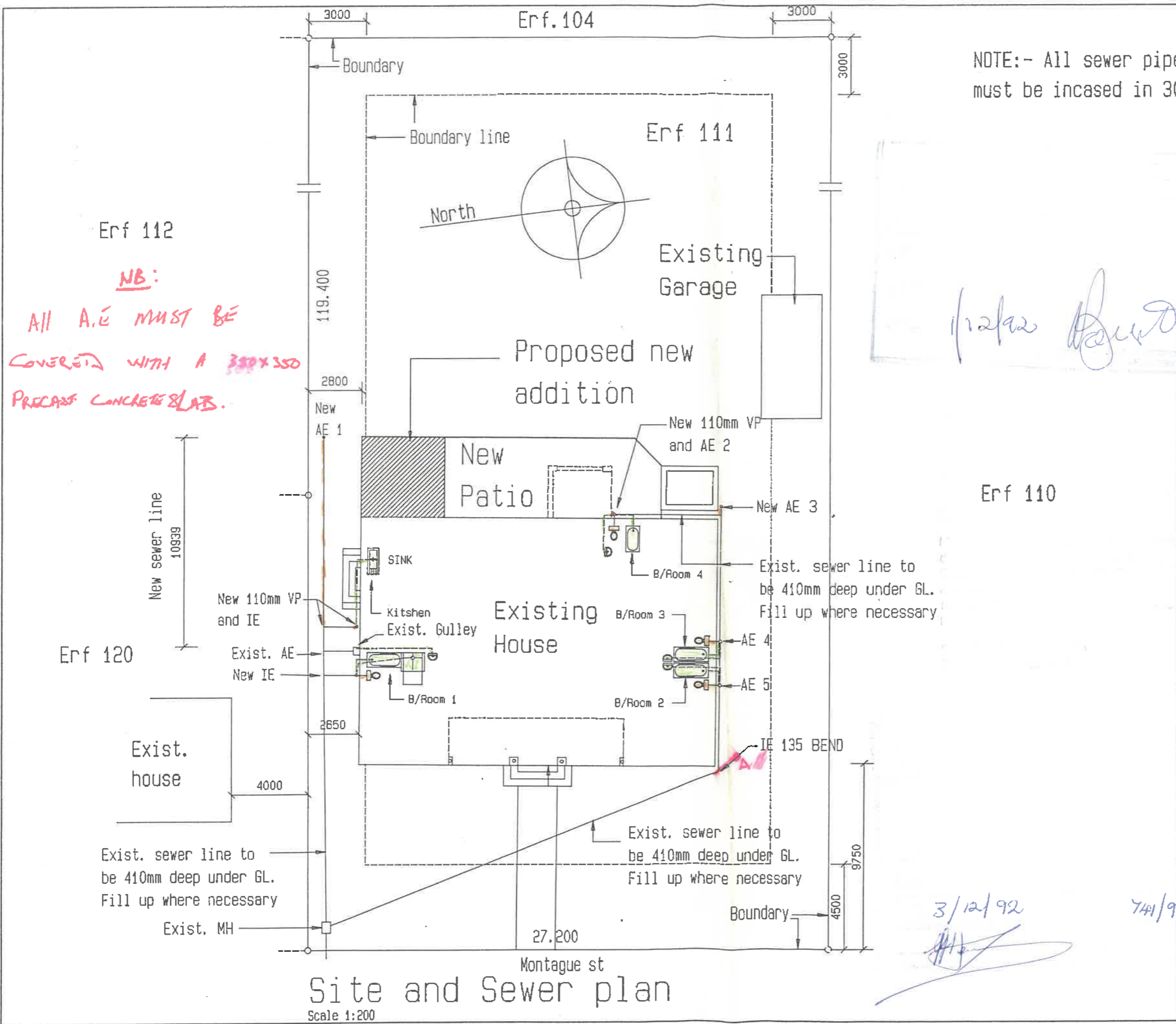
SKAAL SCALE
1/100

DATUM DATE
12/11/1992

ONTWERP DESIGN
H Venter

GETEKEN DRAWN
H Venter
P.O. Box 394 George
Tel. 735572

[Signature]



NOTE:- All sewer pipes above 410mm must be incased in 300X300mm concrete

NB:
 All A.E MUST BE COVERED WITH A 300X300 PRECAST CONCRETE SLAB.

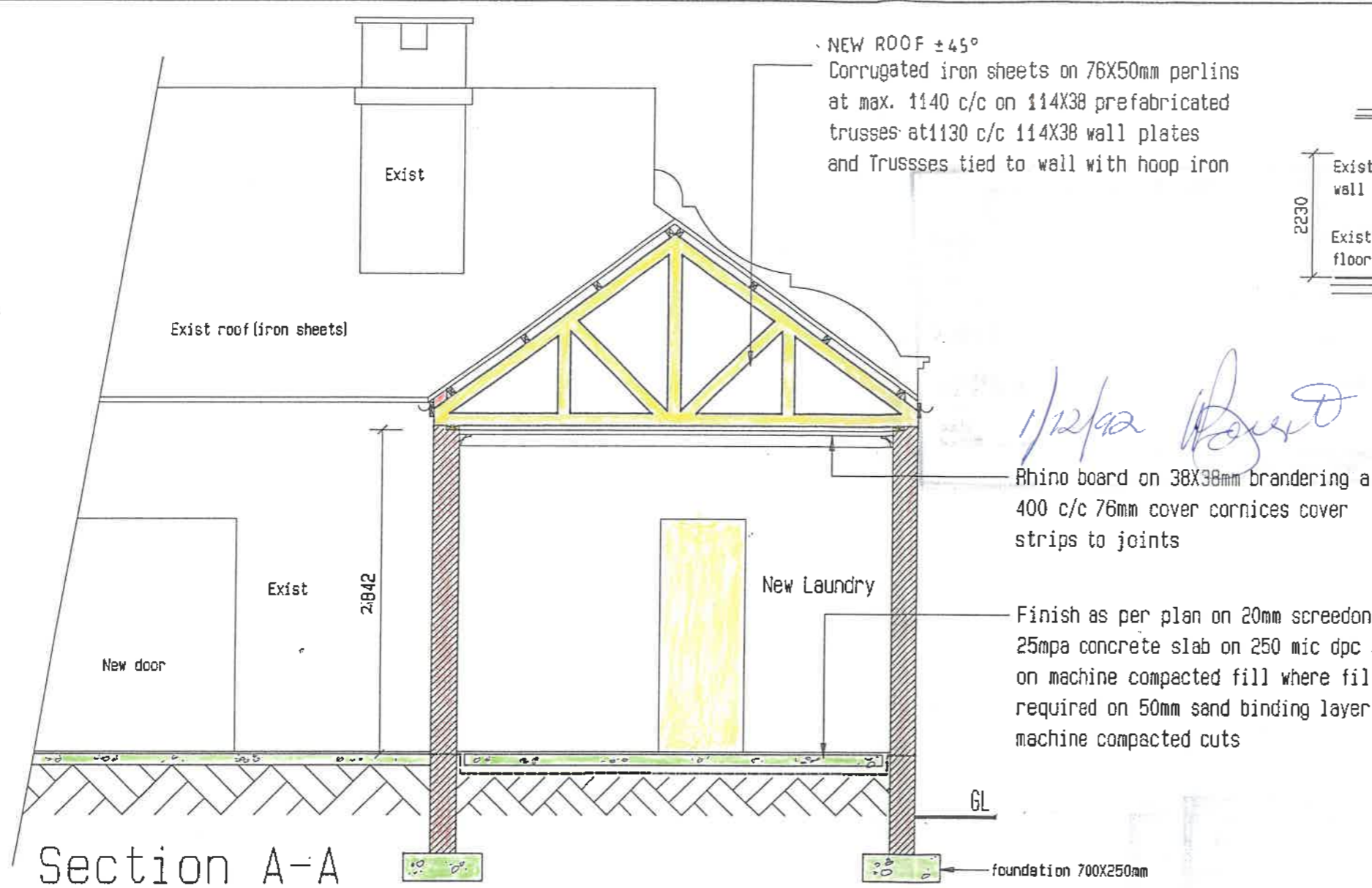
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PROJEBESKRYWING	PROJECT DESCRIPTION
Proposed new Addition and Alterations on Erf 111 for Mr D. Coggon 19A Montague St Blanco PO BOX 7244 George	
TEKENINGSBESKRYWING	DRAWING DESCRIPTION
Site and Sewer plan	
SKAAL	SCALE
1/200	
DATUM	DATE
12/11/1992	
ONTWERP	DESIGN
H Venter	
GETEKEN	DRAWN
H Venter	
P.O. Box 394 George	
Tel. 735572	

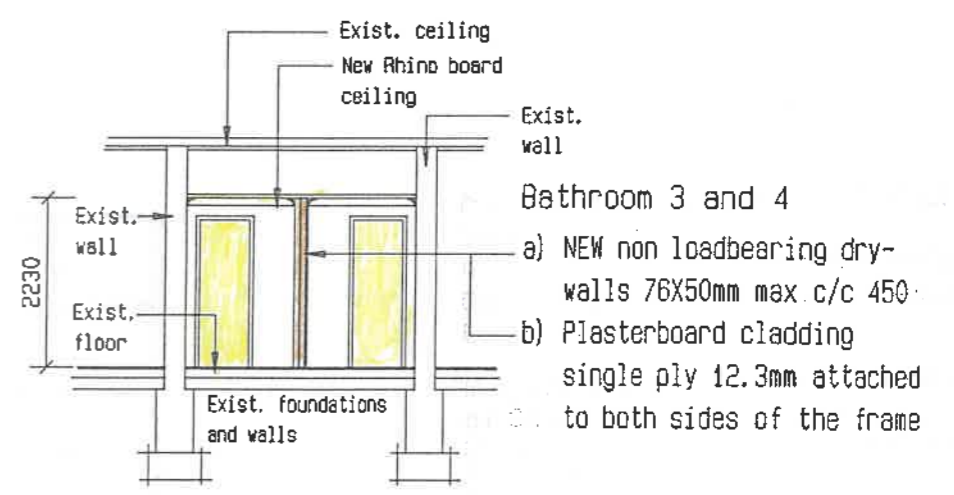
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7/11/92

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Section A-A
Scale 1:50



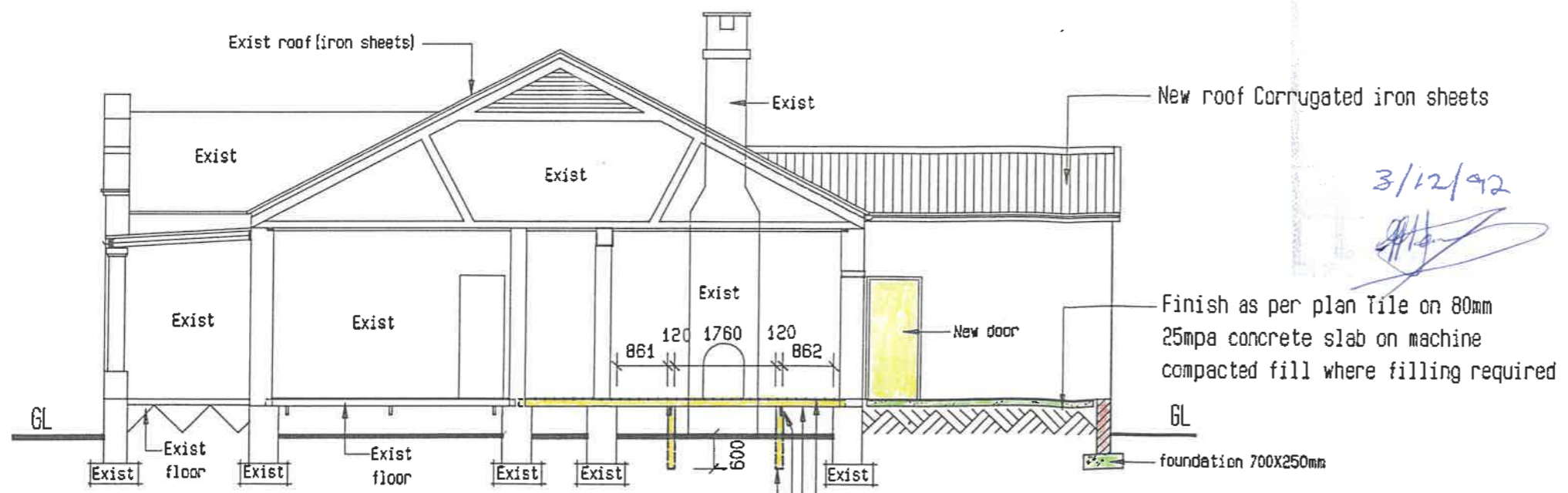
Section C-C
Scale 1:100

1/12/92
[Signature]

Rhino board on 38X38mm branding at 400 c/c 76mm cover cornices cover strips to joints

Finish as per plan on 20mm screed on 80mm 25mpa concrete slab on 250 mic dpc sheet on machine compacted fill where filling required on 50mm sand binding layer on machine compacted cuts

foundation 700X250mm



Section B-B
Scale 1:100

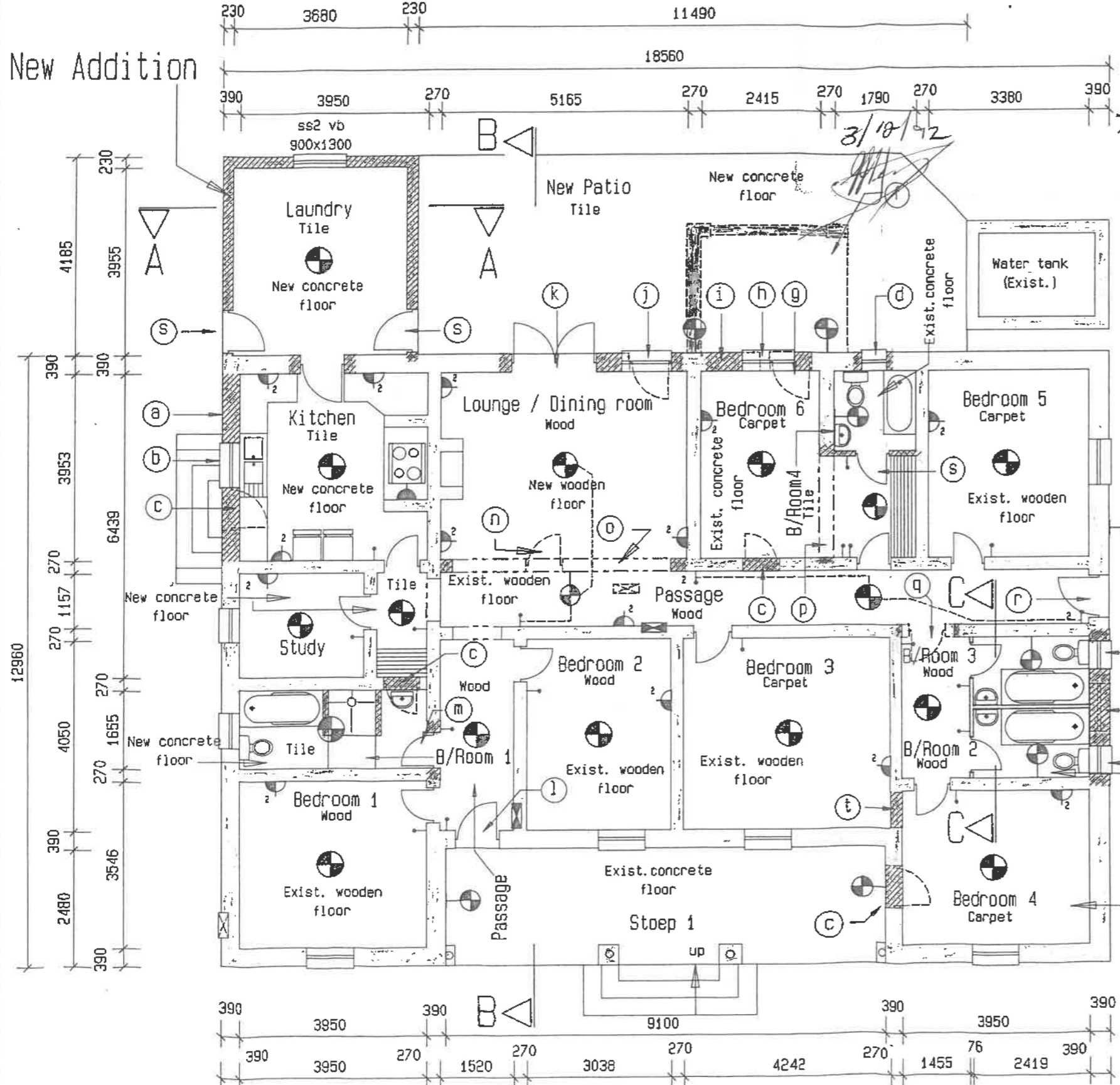
3/12/92
[Signature]

Tongue and groove flooring 160X22mm
Joists 114X42mm (550 c/c)
Beam 150X42mm
Post support joist (diameter 120mm) Tarred poles

PROJEKTBESKRYWING	PROJECT DESCRIPTION
Proposed new Addition and Alterations on Erf 111 for Mr D. Coggon 19A Montague St Blanco PO BOX 7244 George	
<i>[Signature]</i>	
TEKENINGSBESKRYWING	DRAWING DESCRIPTION
Section A-A, B-B and C-C	
SKAAL	SCALE
1/100 EN 1/50	
DATUM	DATE
12/11/1992	
ONTWERP	DESIGN
H Venter	
GETEKEN	DRAWN
H Venter	
P.O. Box 394 George	
Tel. 735572	
<i>[Signature]</i>	

7/11/92

New Addition



- (a) Exist wall to be demolished and rebuild
- (b) New position of window 1040 x 1360 mm
- (c) Remove exist door and rebuild
- (d) New window 595 x 920 mm
- (e) Remove exist window and rebuild
- (f) Demolish exist stoep
- (g) Remove exist door and make good
- (h) New position of window 1055 x 1470 mm
- (i) Remove exist window to and make good
- (j) Remove door and put in window and make good
- (k) New double door in position of window (j)
- (l) New front door
- (m) Door in new opening
- (n) Remove exist door
- (o) Demolish exist wall and put in a wooden beam 250x250 mm at top of wall to hold trusses
- (p) Demolish exist wall and make good
- (q) Remove exist door and make a bigger opening
- (r) New door in position of exist door
- (s) New door
- (t) Build up opening between bedroom 3 and 4
- (u) New walls

NOTE:-

- 1) New ceiling lights
- 2) New wall lights
- 3) New double power point
- 4) New switches
- 5) New distribution board
- 6) New electricity meter box
- 7) New hot water cylinder
- 8) New stove point
- 9) All new fittings in Kitchen
- 10) All new fittings in Bathroom
- 11) All windows not described are exist. windows and stay the same
- 12) All exist and new wooden floors are treated with I.C.P.
- 13) All ceilings are wooden except b/room 2, 3, and 4. They are Rhino board

PROJEKTBESKRYWING PROJECT DESCRIPTION

Proposed new Addition and Alterations on Erf 111 for Mr D. Coggon 19A Montague St Blanco PO BOX 7244 George

D. Gey

TEKENINGBESKRYWING DRAWING DESCRIPTION

Floor Plan

SKAAL SCALE

1/100

DATUM DATE

12/11/1992

ONTWERP DESIGN

H Venter

BETEKEN DRAWN

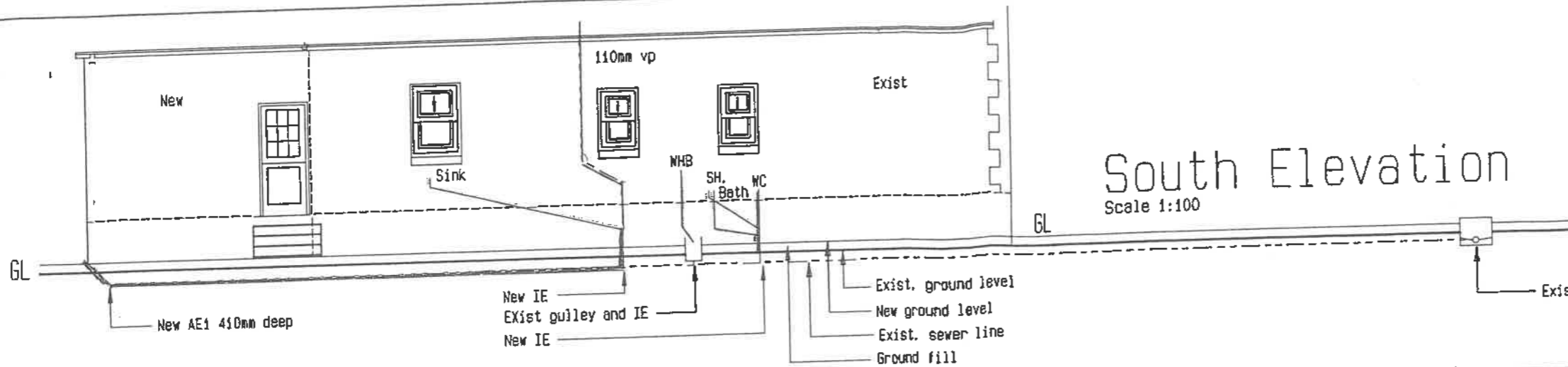
H Venter

P.O. Box 394 George

Tel. 735572

H Venter

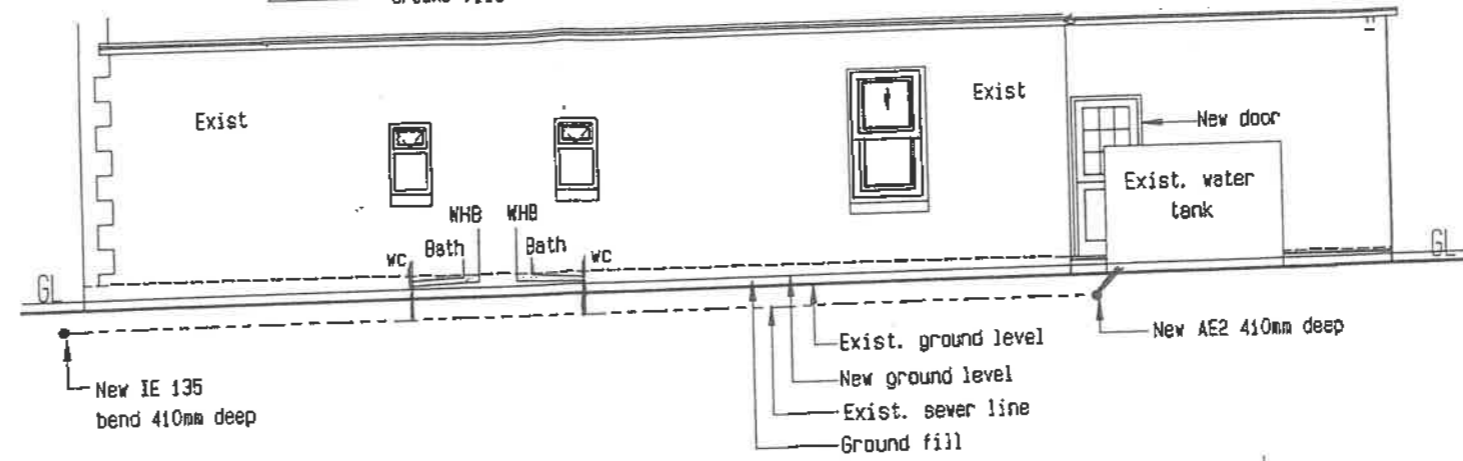
Floor Plan



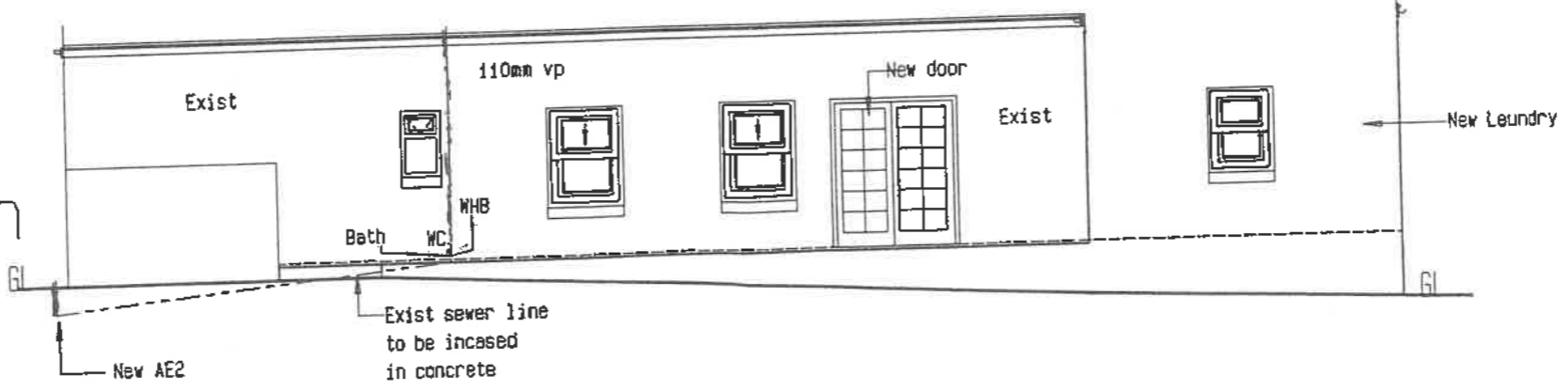
South Elevation
Scale 1:100

1/12/92
[Signature]

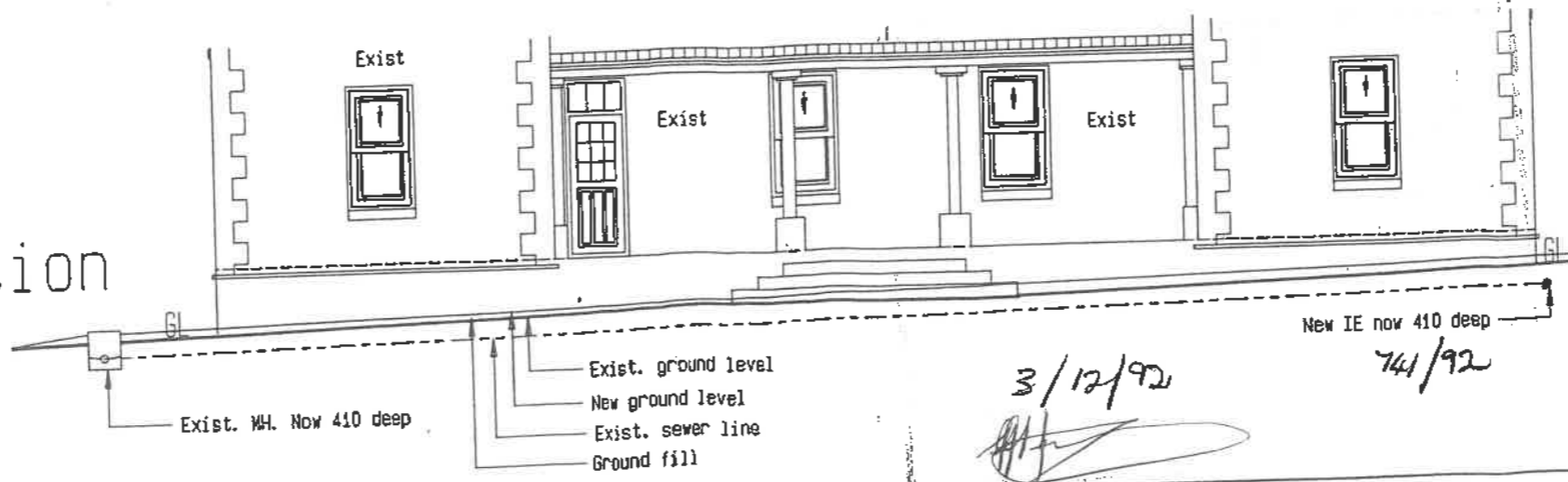
North Elevation
Scale 1:100



West Elevation
Scale 1:100



East Elevation
Scale 1:100



3/12/92
[Signature]

PROJEKTBESKRYWING	PROJECT DESCRIPTION
Proposed new Addition and Alterations on Erf 111 for Mr D. Coggon 19A Montague St Blanco PO BOX 7244 George	
TEKENINGBESKRYWING	DRAWING DESCRIPTION
Sewer plan (Elevations)	
SKAAL	SCALE
1/100	
DATUM	DATE
12/11/1992	
ONTWERP	DESIGN
H Venter	
BETEKEN	DRAWN
H Venter	
P.O. Box 394 George	
Tel. 735572	

[Signature]

ANNEXURE C:

Subdivision Approval dated 02 January 2003

Copies: Town Treasurer
Town Planner
Town Engineer
Town Engineer: Electrotechnical
Surveyor-General, P/Bag X9028, Cape Town, 8000

E-Mail adres/address: olga@george.org.za

~~Erf 7414, George~~
Erf 111 Blanco

Mr M C Calitz

801 9182

2 January 2003

Bailey & Le Roux
P O Box 9583
GEORGE
6530

REGISTERED POST

PROPOSED SUBDIVISION OF ERF 111, BLANCO

Approval is hereby granted in terms of Section 25(1) of Ordinance 15 of 1985 for the subdivision of the abovementioned property as indicated on the attached plan which bears the City Council's stamp, subject to the conditions contained in annexure "a" as well as the following conditions:

1. The following pro rata contributions must be made for the provision of the services to portions A & B as indicated in terms of section 42 of the abovementioned Ordinance:

Water reticulation	:	R2 122,00 + VAT
Electrical reticulation	:	R1 411,00 + VAT
Sewerage reticulation	:	R2 122,00 + VAT
Public Open Space	:	Cash amount payable: 72m ² X market value per m ² of portion A per m ² with a maximum of R2 825,00

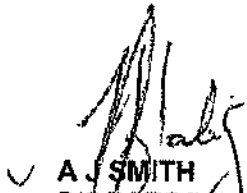
These amounts will be escalated after two years from the date of this approval.

2. An amount of R600,00 (+VAT) must be paid for every crossing of the tarred road surface in order to provide water and sewerage connection.
3. An amount of R7 560,00 must be paid for the widening of the tarred road surface.
4. Stormwater from portions A and B can only be connected to Montagu Street along the southern boundaries of the portions.
5. The depth for sewerage connections to portions A and B from the OUpos Street is restricted.
6. As alternative, a registered two metre sewerage servitude along the southern boundaries to Montagu Street must be provided.

Your attention is drawn to the fact that you may, in terms of section 44 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985) serve a motivated appeal on the Chief Director within 30 days of the date of registration of this letter with regard to any condition which has been imposed in respect of this subdivision.

Such appeal must be directed to the Chief Director:Development Management, Private Bag X9083, Cape Town and a copy thereof must within the same 30 day period be directed to this office.

Yours faithfully



✓ **A J SMITH**
DIRECTOR ADMINISTRATION
ot/subdivision.1 11

ANNEXURE "A"

**CONDITIONS OF APPROVAL IN RESPECT OF THE SUBDIVISION OF ERF 111,
BLANCO**

1. The Developer is responsible for the provision of all services to all erven resulting from this subdivision. Such services must be provided in accordance with the provision of The Guidelines for the Provision of Engineering services in Residential Townships prepared by the Department of Community Development as may be amended from time to time.
 2. Before commencement with the provision of services, an agreement with regard to the financing, installation and the standard thereof must be entered into with the Municipality. The appointment of cost for the provision of such services shall take place in terms of the recommendations contained in the report of the Commission of Enquiry into Township Establishments and Related Matters. (The Venter Commission).
-

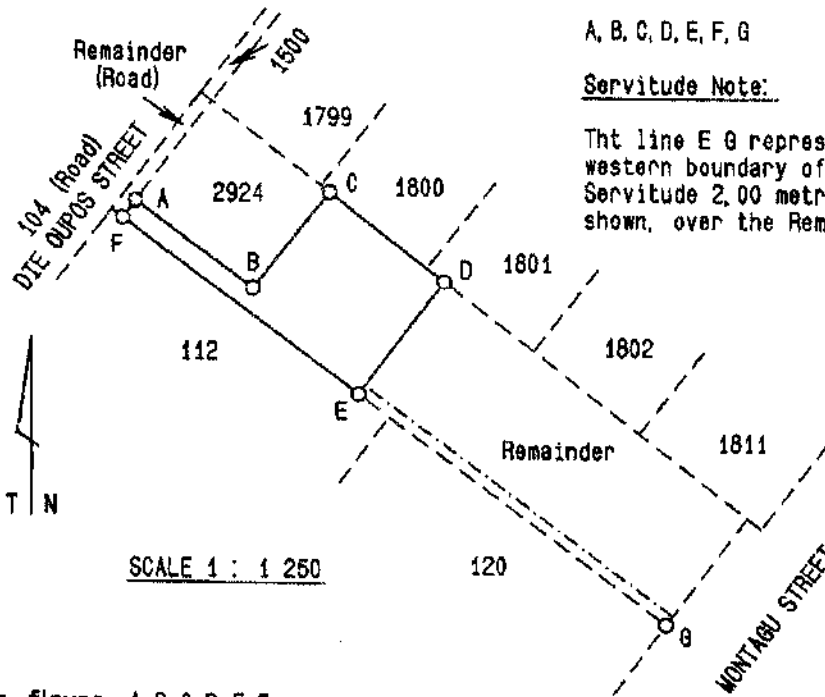
SIDES metres	ANGLES OF DIRECTION	CO-ORDINATES SYSTEM WGS 23		S.G.No.
		Y	X	
	Constants	+	0,00 + 3 700 000,00	6212/2005
AB	26,50	306.54.00	A + 54 769,78 + 58 037,40	Approved <i>[Signature]</i> for SURVEYOR- GENERAL <i>2006-02-15</i>
BC	22,55	217.59.10	B + 54 748,59 + 58 053,31	
CD	26,53	307.59.00	C + 54 734,70 + 58 035,54	
DE	26,05	36.47.10	D + 54 713,79 + 58 051,87	
EF	53,50	126.54.00	E + 54 729,39 + 58 072,73	
FA	4,00	216.47.10	F + 54 772,17 + 58 040,61	
EG	Servitude data: 69,94	306.54.00	G + 54 673,46 + 58 114,72	
		3CD19 ⊕	+ 54 716,33 + 57 800,03	
		12CD19 ⊕	+ 54 677,53 + 58 153,99	

Beacon Description:

A, B, C, D, E, F, G 12mm iron peg

Servitude Note:

The line E G represents the south western boundary of a sewer Servitude 2,00 metres wide, as shown, over the Remainder.



The figure A B C D E F represents 811 square metres of land, being
Erf 2925 (a portion of Erf 111) BLANCO

situate in the Municipality and Administrative District of George Province of the Western Cape Surveyed in September 2005

by me

[Signature]
J.H. Galley PLS 0019
Professional Land Surveyor

EXEMPT FROM PROVISIONS OF ACT 70 OF 1970
SECTION 1 (a)

APPROVED IN TERMS OF SECT. 25 OF ORD. 15/1985
REF. E.H.L.L. Blanco
DATE 02 JANUARY 2003

This diagram is annexed to No. Dated i.f.o Registrar of Deeds

The original diagram is S.G. No. 6994/1956 attached to Transfer No. 1905.160.12577

File No. S\7767\33
S.R. No. E.2798/2005
Comp. BL-7DD/V23 (1733)
LPI C0270001

ANNEXURE D:

*Pre-Application meeting minutes dated 07 July
2025*

Y	N	Locality Plan	Y	N	Site Layout Plan
Y	N	Proof of payment of fees	Y	N	Bondholder's consent
MINIMUM AND ADDITIONAL REQUIREMENTS:					
Y	N	Site Development Plan	Y	N	Conveyancer's Certificate
Y	N	Land Use Plan	Y	N	Proposed Zoning plan
Y	N	Phasing Plan	Y	N	Consolidation Plan
Y	N	Abutting owner's consent	Y	N	Landscaping / Tree Plan
Y	N	Proposed Subdivision Plan (including street names and numbers)	Y	N	Copy of original approval letter
Y	N	Services Report or indication of all municipal services / registered servitudes	Y	N	Homeowners' Association consent
Y	N	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) (strikethrough irrelevant)	Y	N	1 : 50 / 1:100 Flood line determination (plan / report)
Y	N	Other (specify)	Y	N	Required number of documentation copies

PART E: DISCUSSION

Pre-application as discussed on 25 June 2025 for the proposed subdivision, rezoning and departures on Erf 111, Blanco. The applicant was present for the pre-app and provided the following site layout plan.



Town Planning comments

- Applicant to ensure that parking aligns with zoning scheme requirements, an application may be submitted should a parking departure be required.
- Please take note of the definition for a 'habitable room'.
- Minimum manoeuvring distances to be shown on the final site layout plan in line with the zoning scheme requirements.
- The departure for the minimum access width is noted (in and out requires 5.0m). Applicant to liaise with CES and provide justification/motivation.
- Applicant to ensure that the access gate is placed further up the panhandle, near the development/refuse area so ensure sufficient stacking distance.
- Applicant is advised to address the line of sight along Oupos Street.
- Applicant to confirm the proposed density for the group housing site.
- An NID application will be required considering that the property contains a heritage building. Comment from HWC will be required.
- Number of guest rooms (GLA) and the approved parking for the guest lodge must be indicated in the application. Applicant to indicate the parking for the guest lodge.
- The appropriate zoning for the remainder portion (guest lodge) must align with zoning scheme.
- Applicant to provide motivation in terms of the applicable spatial planning policies for this area as well as the zoning scheme.
- Applicant is also advised to maintain mature trees and licenses to be acquired should there be a need for cutting, pruning or replacement of indigenous trees.
- Public road portion will have to be subdivided and transferred to the municipality as part of the land use application process.

CES comments

- Access will be restricted to Die Oupos Street.
- The existing access is for the Rem of erf 111, Blanco is subject to the Provincial approval/consideration and applicable comments within the Montaque road AMP, currently being reviewed.
- Access is permitted in accordance with the George Integrated Zoning Scheme (GIZS) 2023 regulations.
- Section of road reserve (adjusted to the Die Oupos street) should be give off for municipal road reserve. Developer will be responsible for the transfer duty (fees) for the road portion.
- All parking must be provided on-site, in compliance with the GIZS, 2023 parking requirements.
- PT1 may be considered, subject to a parking departure application.
- No parking is allowed within the road reserve, and the owner may be held liable for any costs incurred in preventing unauthorized parking within this area.
- All movability should be done on site.



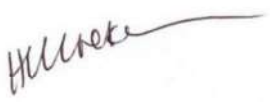
- Normal Development Charges (DCs), if applicable, will be levied in accordance with the DC policy and the applicable By-law and or policy.
- Municipal water and/or sanitation is available, subject to network &/or treatment capacity required confirmation.
- The developer must ensure full compliance with the relevant Stormwater By-law.

ETS comments

- Electrical services report will be required for the proposed development.

PART F: SUMMARY / WAY FORWARD

Refer to comments above. Applicant may proceed to submit proposal.

OFFICIAL:		PRE-APPLICANT:	Marike Vreken
	Fakazile Vava (Town Planner)		(FULL NAME)
SIGNED:		SIGNED:	
	Ilané Huyser (Senior Town Planner)	DATE:	2025-06-23
DATE:	2025.07.07		

**Please note that the above comments are subject to the documents and information available to us at the time of the pre-application meeting and we reserve our rights to elaborate on this matter further and/or request more information/documents should it deemed necessary.*

ANNEXURE E:

*Signed Company Reresolution & Power of
Attorney dated 17 February 2026*

WEST END ACCOMMODATION CC

(Name of Company, Partnership, Trust or Close Corporation)

RESOLUTION

Resolution passed at the meeting of the Shareholders/ Partners/ Trustees/ Members held in **George** on the **17** day of **February** 2026.

Resolved that **Henry Fouche Meyers** in his/her capacity as **CC member**, is hereby authorized to do whatever may be necessary to give effect to this resolution and to enter into and to sign such documents necessary to proceed with the applications as specified hereunder on behalf of the Company/ Partnership/ Trust/ Close Corporation with such modification as he/ she in his/ her sole discretion shall deem fit, his/ her signature to be conclusive proof that the documents which bear it are authorised in terms hereof.


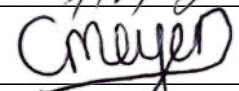
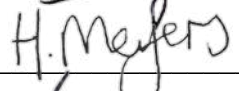
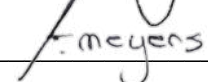
DESCRIPTION OF PROPERTY:

THE REMAINDER ERF 111 BLANCO

NATURE OF APPLICATION:

REZONING, SUBDIVISION & PERMANENT DEPARTURE

SIGNATURE OF SHAREHOLDERS/ PARTNERS/ TRUSTEES/ MEMBERS:

NAME:	SIGNATURE:
Henry Fouche Meyers	
Christo Johan Meyers	
Hendrik Jacobus Meyers	
Jacques Fouche Meyers	

SPECIAL POWER OF ATTORNEY

I/we _____ Henry Fouche Meyers _____

_____ the undersigned,

do hereby nominate, constitute and appoint
THE AUTHORISED AGENTS OF MARIKE VREKEN TOWN & REGIONAL PLANNERS CC and duly
authorised employees of Marike Vreken Town Planners CC
with power of Substitution to be *my/our lawful representatives in *my/our application for:

REZONING, SUBDIVISION & PERMANENT DEPARTURE

on

THE REMAINDER ERF 111 BLANCO

In addition to apply for such amendments of any zoning schemes / structure plans /
Removal of Title Deed Restrictions as may be deemed necessary and to make other
necessary application and further to represent *me/us at any inquiry in relation to the
abovementioned matters and generally do whatever may be necessary or desirable to
procure the approval of the application, by virtue of those present and whatever our said
representative have to date done herein.

Signed at George on this 17 day of February 2026


SIGNED:  _____

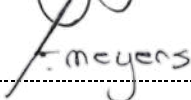
SIGNED: _____

SIGNED: _____

In the presence of the undersigned witnesses:

AS WITNESSES:

1.  _____

2.  _____

ANNEXURE F:

Application Form



Application Form for Application(s) Submitted in terms of the Land Use Planning By-Law for George Municipality

NOTE: Please complete this form by using: Font: Calibri; Size: 11

PART A: APPLICANT DETAILS

First name(s)	Marike		
Surname	Vreken		
SACPLAN Reg No. (if applicable)	Pr. Pln A/1101/1999		
Company name (if applicable)	Marike Vreken Town Planners CC		
Postal Address	P.O. Box 2180		
	Knysna	Postal Code	6570
Email	info@vreken.co.za		
Tel	044-382-0420	Fax	Cell 082-927-5310

PART B: REGISTERED OWNER(S) DETAILS (if different from applicant)

Registered owner	West End Accommodation CC		
Address			
		Postal code	
E-mail			
Tel		Fax	Cell

PART C: PROPERTY DETAILS (in accordance with Title Deed)

Property Description [Erf / Erven / Portion(s) and	Remainder Erf 111 Blanco, in the Municipality and Division of George, Province of the Western Cape.
---	---

Farm number(s), allotment area.]											
Physical Address		19 Montagu Street, Blanco, George									
GPS Coordinates		33°56'53.78"S and 22°24'29.84"E		Town/City		Blanco, George					
Current Zoning		General Residential Zone V		Extent		2559m ²		Are there existing buildings?		Y	N
Current Land Use		Guest Lodge									
Title Deed number & date		T27794/2016									
Any restrictive conditions prohibiting application?		Y	N	If Yes, list condition number(s).							
Are the restrictive conditions in favour of a third party(ies)?		Y	N	If Yes, list the party(ies).							
Is the property encumbered by a bond?		Y	N	If Yes, list Bondholder(s)?							
Has the Municipality already decided on the application(s)?		Y	N	If yes, list reference number(s)?							
Any existing unauthorized buildings and/or land use on the subject property(ies)?				Y	N	If yes, is this application to legalize the building / land use?				Y	N
Are there any pending court case / order relating to the subject property(ies)?				Y	N	Are there any land claim(s) registered on the subject property(ies)?				Y	N

PART D: PRE-APPLICATION CONSULTATION

Has there been any pre-application consultation?		Y	N	The proposal was discussed by the Town Planning Section of the Municipality, and the feedback was received 28 November 2025. A copy of the Pre-Application feedback is attached as ANNEXURE C.							
Official's name		Fakazile Vava Ilané Huyser		Reference number		3752593		Date of consultation		07 July 2025	

PART E: LAND USE APPLICATIONS IN TERMS OF SECTION 15 OF THE LAND USE PLANNING BY-LAW FOR GEORGE MUNICIPALITY & APPLICATION FEES PAYABLE

***Application fees that are paid to the Municipality are non-refundable and proof of payment of the application fees must accompany the application.**

BANKING DETAILS

Name:	George Municipality
Bank:	First National Bank (FNB)
Branch no.:	210554
Account no.:	62869623150
Type:	Public Sector Cheque Account
Swift Code:	FIRZAJJ
VAT Registration Nr:	4630193664
E-MAIL:	msbrits@george.gov.za
*Payment reference:	Erven ____, George/Wilderness/Hoekwil...

PART F: DETAILS OF PROPOSAL

Brief description of proposed development / intent of application:

The application for entails the following:

- (i) *The Subdivision of the Remainder of Erf 111 Blanco, in terms of Section 15(2)(d) of the George Municipality Land Use Planning By-Law, 2023 into 2x portions (Portion A = ±1784m²) and the Remainder of Erf 111 Blanco (±755m²), as indicated on subdivision plan (Pr25/44SUB04) in terms of Section 15(2)(d) of the Land Use Planning Bylaw for George Municipality.*
- (ii) *The Rezoning of "Portion A" of Erf 111 Blanco from "General Residential Zone V" to a "Subdivisional Area" in terms of Section 15(2)(a) of the George Municipality Land Use Planning By-Law, 2023.*
- (iii) *The subdivision of the subdivisional area (Portion A of RE/Erf 111), as indicated on subdivision plan (Pr25/44L01) in terms of section 15(2)(d) of the Land Use Planning Bylaw for George Municipality, 2023 into:*
 - a. *1x "Transport Zone II" (public street) erf (69m²)*
 - b. *1x "General Residential Zone II" (group housing) erf (1715m²)*
- (iv) *A Permanent Departure from the prescribed minimum width of motor vehicle carriageway crossings for combined entrance and exit ways - "other land uses" on the remainder of Blanco Erf 111 from 5m to 4m along Die Oupos Street, in terms of Section 15(2)(b) of the George Municipality Land Use Planning By-Law, 2023.*
- (v) *A Permanent Departure for the relaxation of the prescribed parking parameter for 'guest lodge' on the remainder of Blanco Erf 111 to allow for the prescribed PT1 parking parameters, in terms of Section 15(2)(b) of the George Municipality Land Use Planning By-Law, 2023.*

PART G: ATTACHMENTS & SUPPORTING INFORMATION FOR LAND USE PLANNING APPLICATIONS

Please complete the following checklist and attach all the information relevant to the proposal. Failure to submit all information required will result in the application being deemed incomplete.

Is the following compulsory information attached?

Y	N	Completed application form	Y	N	Pre-application Checklist (where applicable)
Y	N	Power of Attorney / Owner's consent if applicant is not owner	Y	N	Bondholder's consent
Y	N	Motivation report / letter	Y	N	Proof of payment of fees


Y	N		Full copy of the Title Deed	Y	N		S.G. noting sheet extract / Erf diagram / General Plan
Y	N		Locality Plan	Y	N		Site layout plan
<i>Minimum and additional requirements:</i>							
Y	N	N/A	Conveyancer's Certificate	Y	N	N/A	Land Use Plan / Zoning plan
Y	N	N/A	Proposed Subdivision Plan (including street names and numbers)	Y	N	N/A	Phasing Plan
Y	N	N/A	Consolidation Plan	Y	N	N/A	Copy of original approval letter (if applicable)
Y	N	N/A	Site Development Plan	Y	N	N/A	Landscaping / Tree Plan
Y	N	N/A	Abutting owner's consent	Y	N	N/A	Home Owners' Association consent
Y	N	N/A	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) (strikethrough irrelevant)	Y	N	N/A	1 : 50 / 1:100 Flood line determination (plan / report)
Y	N	N/A	Services Report or indication of all municipal services / registered servitudes	Y	N	N/A	Required number of documentation copies 2 copies
Y	N	N/A	Any additional documents or information required as listed in the pre-application consultation form / minutes	Y	N	N/A	Other (specify)
PART H: AUTHORISATION(S) IN TERMS OF OTHER LEGISLATION							
Y	N/A		National Heritage Resources Act, 1999 (Act 25 of 1999)	Y	N/A		Specific Environmental Management Act(s) (SEMA)
Y	N/A		National Environmental Management Act, 1998 (Act 107 of 1998)				(e.g. Environmental Conservation Act, 1989 (Act 73 of 1989), National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004),
Y	N/A		Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)				National Environmental Integrated Coastal Management Act, 2008 (Act 24 of 2008),
Y	N/A		Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)(SPLUMA)				

Y	N/A	Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations			National Environmental Management: Waste Act, 2008 (Act 59 of 2008), National Water Act, 1998 (Act 36 of 1998) (strikethrough irrelevant)
Y	N/A	Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)	Y	N/A	Other (specify)
Y	N	If required, has application for EIA / HIA / TIA / TIS / MHIA approval been made? If yes, attach documents / plans / proof of submission etc. N/A			
Y	N	If required, do you want to follow an integrated application procedure in terms of section 44(1) of the Land-Use Planning By-law for George Municipality?			

SECTION I: DECLARATION

I hereby wish to confirm the following:

1. *That the information contained in this application form and accompanying documentation is complete and correct.*
2. *The Municipality has not already decided on the application.*
3. *I'm aware that it is an offense in terms of section 86(1)(d) to supply particulars, information or answers in an application, knowing it to be false, incorrect or misleading or not believing them to be correct.*
4. *I am properly authorized to make this application on behalf of the owner and (where applicable) copies of such full relevant Powers of Attorney/Consent are attached hereto.*
5. *I have been appointed to submit this application on behalf of the owner and it is accepted that correspondence from and notifications by the Municipality in terms of the by-law will be sent only to me as the authorised agent and the owner will regularly consult with the agent in this regard (where applicable).*
6. *That this submission includes all necessary land use planning applications required to enable the development proposed herein.*
7. *I confirm that the relevant title deed(s) have been read and that there are no restrictive title deed restrictions, which impact on this application, or alternatively an application for removal/amendment/suspension forms part of this submission.*
8. *I am aware of the status of the existing bulk services and infrastructure in the subject area and that I am liable for any possible development charges which may be payable as a result of the proposed development.*
9. *I acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.*

<i>Applicant's signature:</i>		<i>Date:</i>	20 April 2026
<i>Full name:</i>	Hendrika Maria Vreken		
<i>Professional capacity:</i>	Town Planner		
<i>SACPLAN Reg. Nr:</i>	Pr. Pln A/1101/1999		

ANNEXURE G:

Title Deed (T27794/2016)

Cilliers Odendaal Attorneys & Conveyancers
 126 Cradock Street
 Docex 9
 P.O. Box 1079
 George
 6530

Prepared by me


 CONVEYANCER
 BAREND CILLIERS ODENDAAL

Fee endorsement	
2250 w/w	Office fee 1200 w/w
	Exempt L.L.s
Cat. section Act	

T 000027794 / 2016

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT
 DE WAAL ESTERHUYSE

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney which said Power of Attorney was signed at GEORGE on 15 MARCH 2016 granted to him by

1. PETER DENNIS NETTLEFOLD
 Identity Number 460810 5570 18 4
 Unmarried
2. ELIZABETH MARY NETTLEFOLD
 Identity Number 550616 0853 18 1
 Unmarried

DATA / CAPTURE
 23 MAY 2016
 FANTI WENDY

And the appearer declared that his said principal had, on 23 February 2016, truly and legally sold by Private Treaty, and that he, the said Appearer, in his capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

**WEST END ACCOMMODATION CC
REGISTRATION NUMBER 2008/225762/23**

or its Successors in Title or assigns, in full and free property

**REMAINDER ERF 111 BLANCO
IN THE MUNICIPALITY AND DIVISION OF GEORGE
PROVINCE WESTERN CAPE**

**IN EXTENT 2559 (TWO THOUSAND FIVE HUNDRED AND FIFTY NINE)
Square metres**

**FIRST TRANSFERRED by Deed of Transfer Number T12577/1905 with
Diagram No. 6994/56 relating thereto and held by Deed of Transfer Number
T46815/1998**

SUBJECT to the conditions referred to in Deed of Transfer No T12577/1905.

WHEREFORE the said Appearer, renouncing all right and title which the said

- 1. PETER DENNIS NETTLEFOLD, Unmarried**
- 2. ELIZABETH MARY NETTLEFOLD, Unmarried**


heretofore had to the premises, did in consequence also acknowledge them to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

**WEST END ACCOMMODATION CC
REGISTRATION NUMBER 2008/225762/23**

or its Successors in Title or assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R2 250 000,00 (TWO MILLION TWO HUNDRED AND FIFTY THOUSAND RAND)

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on 19 May 2016


_____ q.q.

In my presence



REGISTRAR OF DEEDS



ANNEXURE H:

SG Diagram (SG 6994/1956) – Blanco Erf 111



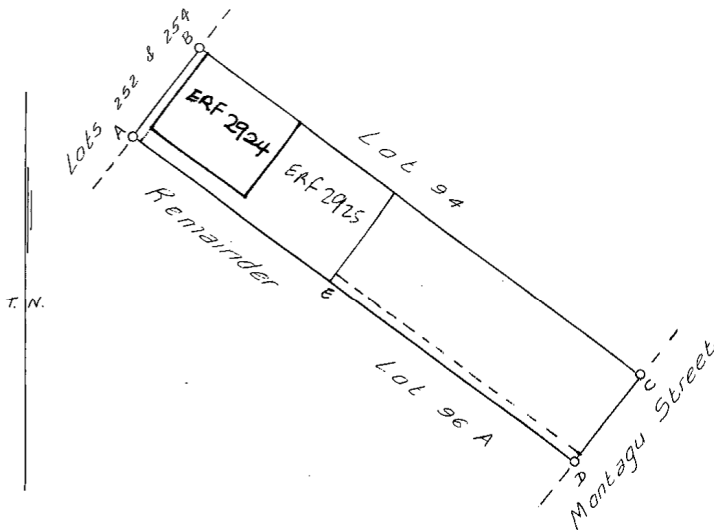
No. 6994/56

Sides.	
Cape Ft.	
AB	80.00
BC	400.00
CD	80.00
DA	400.00

Approved

[Signature]
for Surveyor-General.

- 4 -10- 1956



Scale:- 1/1250.

* NOW ERF 111 BLANCO.

The figure A.B.C.D. represents 222 Sq. Roods of land being
Lot*95 portion of Lots 95 and 96
situate in the Local Board Area of Blanco, Division of George,
Province of Cape of Good Hope.

Framed in terms of Section 39
of Act 9 of 1927.

This diagram is annexed
to Deed of Transfer
1905-168-12577.

Registrar of Deeds.
1159/1956.

The original diagram is
No.281/1855 annexed to
Deed of Transfer 1855-
8-145.

FOR ENDORSEMENT
SEE BACK OF DIAGRAM

File S.7767/15

Gen. Plan B.18° C
Degree Sheet
BL - 7 DD/V.23
(1733) S

ERF 111 Blanco
J.A./R.B.

THE FOLLOWING DEDUCTIONS HAVE BEEN MADE FROM THIS DIAGRAM						
SURVEY RECORD	DIAGRAM NO.	SUBDIVISION	AREA HA./SQ. M.	TRANSFER NO.	INITIALED	REMR.
E2798/2005	6211/2005	ERF 2924	610 m ²	33684/06	C.N	
E2798/2005	6212/2005	ERF 2925				

SERVITUDES/LEASEHOLD AREAS				
SURVEY RECORD	DIAGRAM NO.	DESCRIPTION	DEED	INITIALED
E2798/2005	6212/2005	The line ED represents the south western boundary of a sewer servitude 2,00 metres wide.		R.L.

ANNEXURE I:

SG Diagram (SG 6211/2005) – Blanco Erf 2924

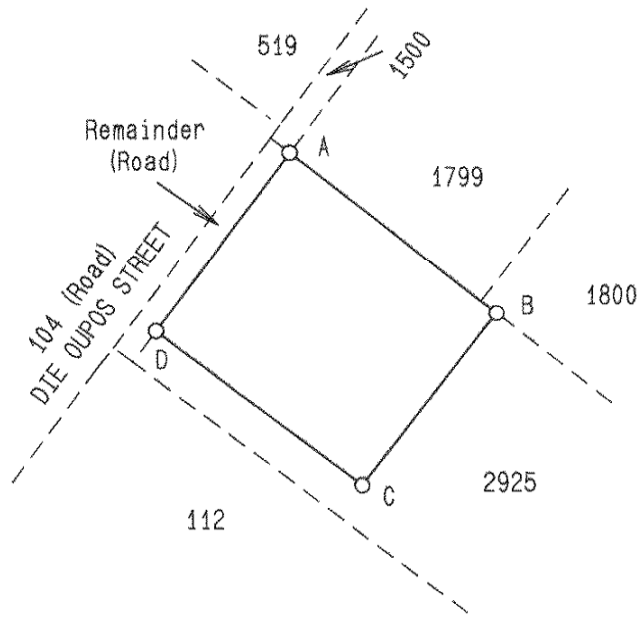
SIDES metres	ANGLES OF DIRECTION	CO-ORDINATES SYSTEM WG 23°	
		Y metres	X
	Constants	+ 0,00	+ 3 700 000,00
AB 26,98	307.59.00	A + 54 755,97	+ 58 018,94
BC 22,55	37.59.10	B + 54 734,70	+ 58 035,54
CD 26,50	126.54.00	C + 54 748,59	+ 58 053,31
DA 23,06	216.47.10	D + 54 769,78	+ 58 037,40
	3CD19 ⊕	+ 54 716,33	+ 57 800,03
	12CD19 ⊕	+ 54 677,53	+ 58 153,99

S.G.No.
6211/2005
Approved
[Signature]
for SURVEYOR-
GENERAL
2006.02.15

Beacon Description:

A 12mm iron peg in concrete
B, C, D 12mm iron peg

SUBJECT TO
SECTIONAL TITLE



SCALE 1 : 750

EXEMPT FROM PROVISIONS OF ACT
70 OF 1970
SECTION 1(a)

APPROVED IN TERMS OF SECT. 25
OF ORD. 15/1905
REF Erf 111 Blanco
DATE 02 JANUARY 2003

The figure A B C D represents 610 square metres of land, being

Erf 2924 (a portion of Erf 111) BLANCO

situate in the Municipality and Administrative District of George Province of the Western Cape Surveyed in September 2005

by me

[Signature]
J.H. Bailey PLS 0019
Professional Land Surveyor

This diagram is annexed to No. <u>733684/2006</u> Dated i.f.o Registrar of Deeds	The original diagram is S.G. No. 6994/1956 attached to Transfer No. 1905.160.12577	File No. S\7767\33 S.R. No. E.2798/2005 Comp. BL-7DD/V23 (1733) LPI C0270001
---	--	---

ANNEXURE J:

*Conveyancer's Certificate dated 20 November
2025*

CONVEYANCER'S CERTIFICATE

I, the undersigned

ZENARIAH POOLE

a duly qualified and admitted Conveyancer, practicing at:

STADLER & SWART INCORPORATED

Unit 10006, 10th Floor, 1 Thibault Square, 17 Hans Strijdom Avenue, Cape Town (CBD)

do hereby certify as follows:

1. I have perused the following Title Deed/s:

Deed of Transfer No. T 27794/2016 (Holding Title)

In respect of:

REMAINDER ERF 111 BLANCO

**In the Municipality and Division of GEORGE
WESTERN CAPE PROVINCE**

In Extent 2559 (TWO THOUSAND FIVE HUNDRED AND FIFTY NINE) Hectares

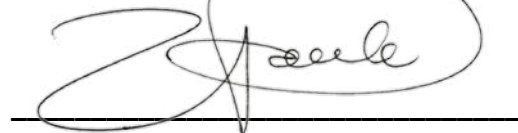
REGISTERED in the name of

WEST END ACCOMMODATION CC

Registration Number 2008/225762/23

2. Deed of Transfer No. **27794/2016** does not contain any restrictive conditions:

SIGNED at CAPE TOWN on this 20TH day of NOVEMBER 2025



Z POOLE

CONVEYANCER

ANNEXURE K:

*Heritage Western Cape Approval dated 30
March 2026*

Our Ref: HM/ GARDEN ROUTE/ GEORGE/ ERF 111
Case No.: 27731XM0310
Enquiries: Xola Mlwandle
E-mail: Xola.Mlwandle @westerncape.gov.za
Tel 021 483 9658



Applicant: Stefan De Kock

PERMIT

CASE NUMBER: 27731XM0310

Issued in terms of Section 34 of the National Heritage Resources Act, 1999 (Act 25 of 1999) and Regulation 3(3)(a) of PN 298 (29 August 2003)

This permit is valid for three years from the date of issue

Proposed Action: Additions and Alterations
Site: Erf 111, 19 Montagu Street, George
Graded: Not Graded

Permit issued in accordance with drawings:

No: MD/111/26/001 & MD/111/26/002
Dated: March 2026
Drawings prepared by: WVN Studio Architects



Conditions applicable to this permit:

1. Work to be done in strict accordance with the HWC stamped drawings.

NOTE:

- This decision is subject to an **appeal period of 14 working days**. Kindly note that the appeal period is calculated from the date indicated on the HWC date stamp, which is the date the appeal is sent, and not the date of signature
- Appeals to HWC are to be submitted to www.sahris.org.za
- The applicant is required to inform any party who has expressed a bona fide interest in any heritage-related aspect of this record of decision. The appeal period shall be taken from the date above. It should be noted that for an appeal to be deemed valid it must refer to the decision, it must be submitted by the due date and it must set out the grounds of the appeal. Appeals must be addressed to the official named above and it is the responsibility of the appellant to confirm that the appeal has been received within the appeal period.
- **Work may NOT be initiated during this 14 day appeal period.**
- If any archaeological material or evidence of burials is discovered during earth-moving activities all works must be stopped and Heritage Western Cape must be notified immediately.
- This approval does not exonerate the applicant from obtaining any necessary approval from any other applicable statutory authority.
- **An HWC STAMPED PLAN must be present on the site at all times and must be produced on demand by any heritage inspector, building control official, or any person duly authorized to do so.**
- **A copy of this permit must be displayed in a prominent place on the site until the permitted work is completed.**

Should you have any further queries, please contact the official above and quote the case number.

Waseefa Dhansay
Assistant Director: Professional Services

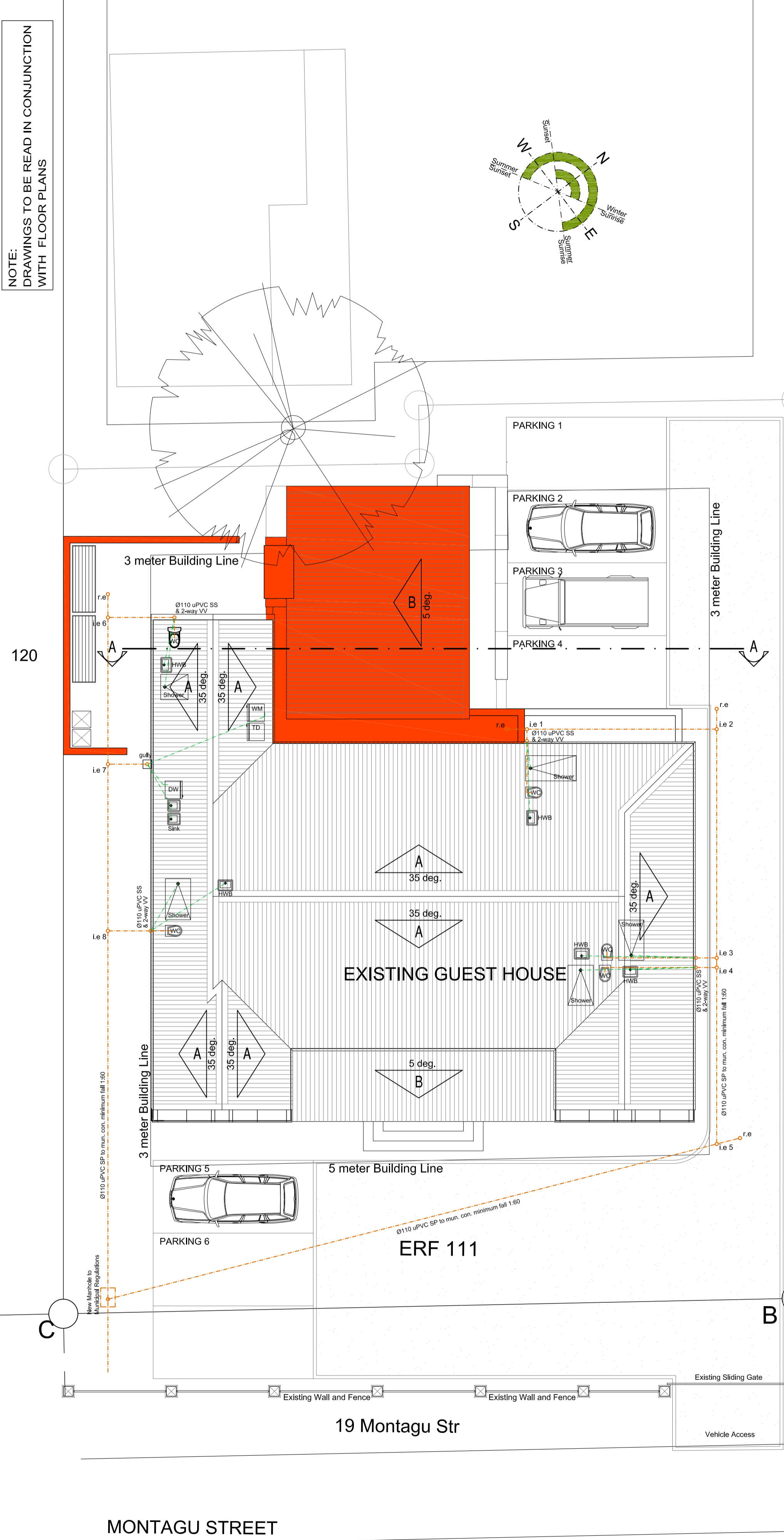
www.westerncape.gov.za/cas

Street Address: Protea Assurance Building, Green Market Square, Cape Town, 8000 • **Postal Address:** P.O. Box 1665, Cape Town, 8000
• **Tel:** +27 (0)21 483 5959 • **E-mail:** ceoheritage@westerncape.gov.za

Straatadres: Protea Assuransie-gebou, Groentemarkplein, Kaapstad, 8000 • **Posadres:** Posbus 1665, Kaapstad, 8000
• **Tel:** +27 (0)21 483 5959 • **E-pos:** ceoheritage@westerncape.gov.za

Idilesi yendawo: kumgangatho 3, kwisakhiwo iprotea Assurance, Greenmarket Square, eKapa, 8000 • **Idilesi yeposi:** Inombolo yebhokisi yeposi 1665, eKapa, 8000 • **Iinombolo zomnxeba:** +27 (0)21 483 5959 • **Idilesi ye-imeyile:** ceoheritage@westerncape.gov.za

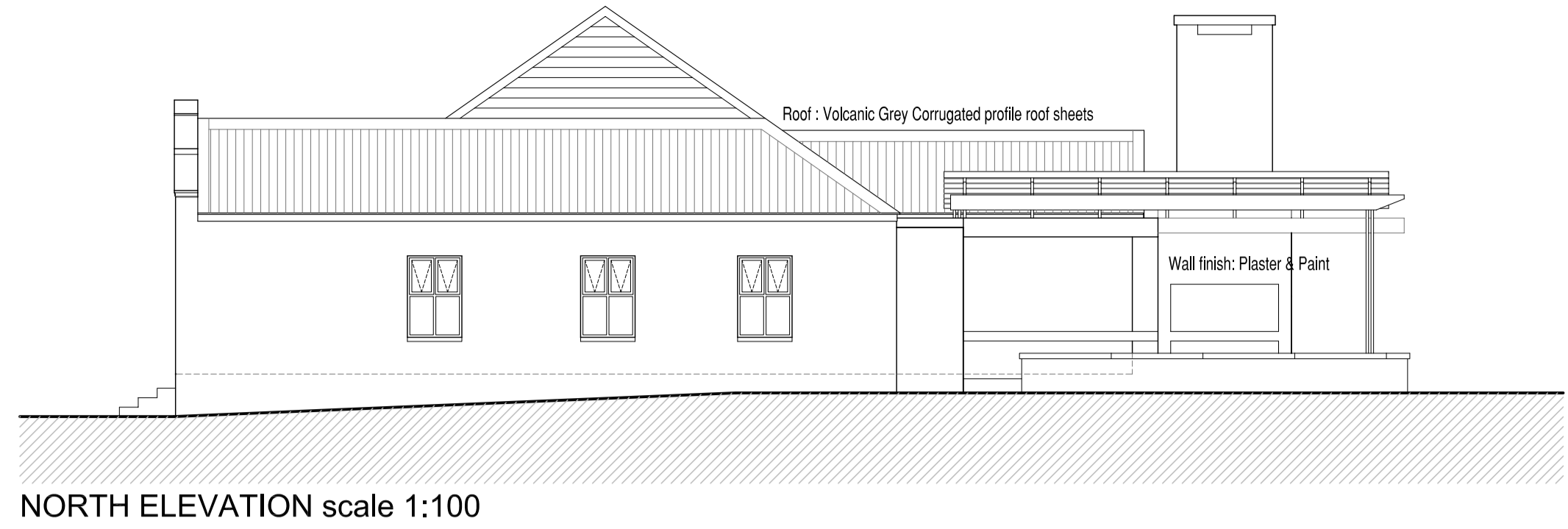
NOTE: DRAWINGS TO BE READ IN CONJUNCTION WITH FLOOR PLANS



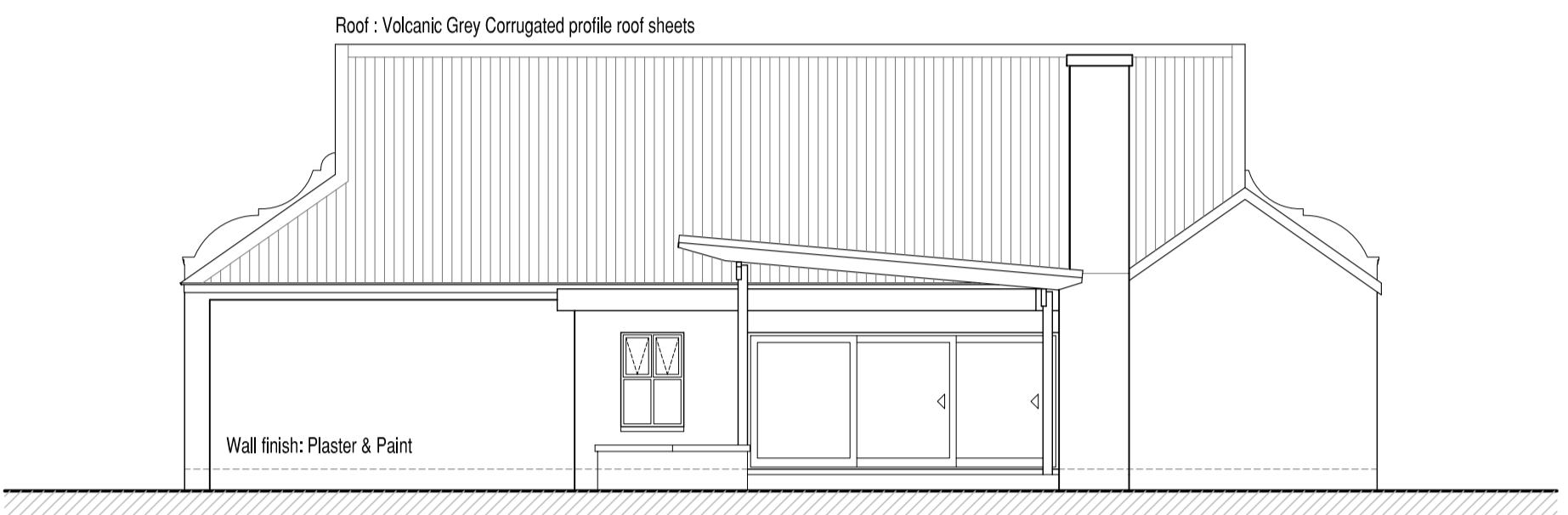
SITE / ROOF PLAN scale 1:100

EXISTING HOUSE | ERF 111 | BLANCO | GEORGE

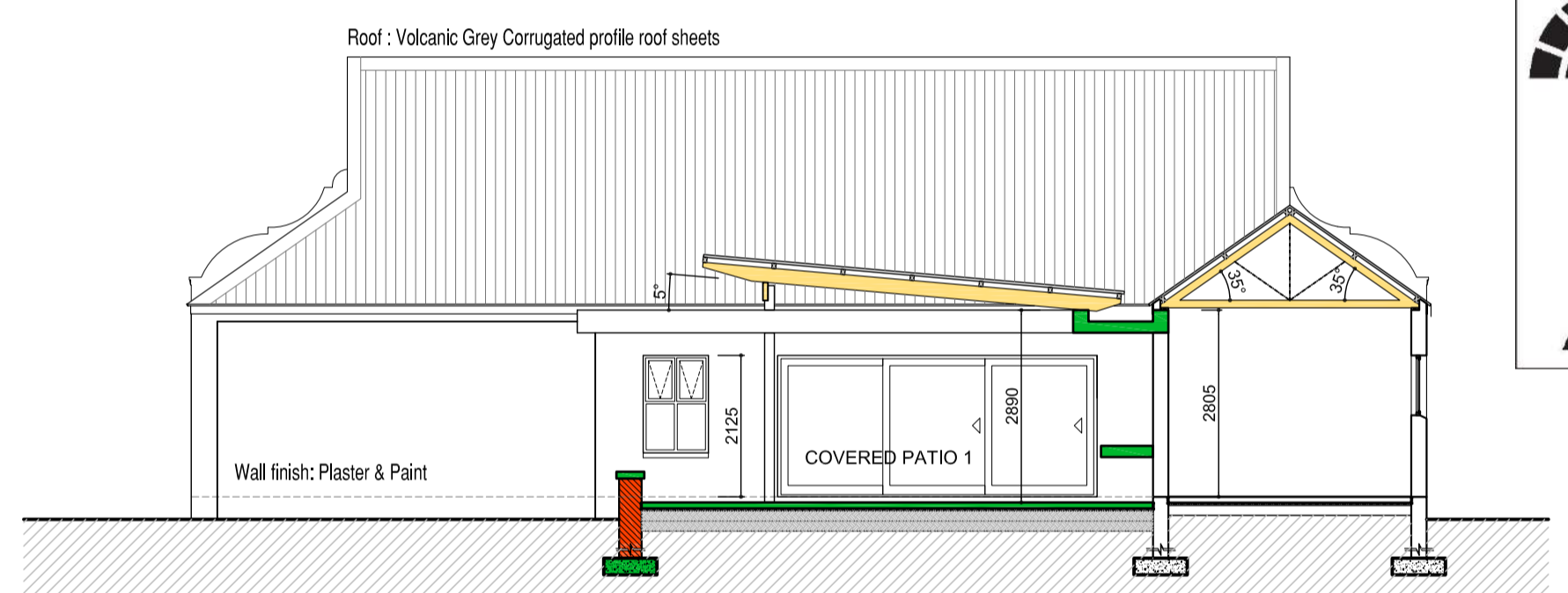
1802



NORTH ELEVATION scale 1:100



WEST ELEVATION scale 1:100



SECTION A - A scale 1:100

1811

AREAS TABLE	ALLOWED	ACTUAL
EXISTING HOUSE		235 sq/m
EXISTING STOEP		23 sq/m
TOTAL EXISTING:		258 sq/m
NEW PATIO 1 ADDITION		62 sq/m
TOTAL ADDITION:		62 sq/m
AREA OF COVERAGE		320 sq/m
AREA OF ERF		2470 sq/m
% COVERAGE		13 %

- DRAINAGE:**
- All construction, testing and materials to comply with SANS 10400 Part P
 - Provide rasealling traps to all waste fittings
 - Adequate access to piping will be provided
 - Provide marked covers to paving above all cleaning eyes
 - Provide cleaning eyes to all connections and changes in directions
 - All waste pipes that extend 3000mm in length must have 50° anti-vac. traps
- SEWER:**
- All construction, testing and materials to comply with SANS 10400 Part P
 - All trenching and backfilling to comply with SANS 1200 DB and SANS 10400 Part P
 - Pipe bedding to be Class B as per SABS 1200 LB with bedding cradle of selected fill quality
 - Positions of existing services are approximate and must be confirmed by contractor
 - All drainage runs to be accessible along their entire length
 - All drainage runs to be a minimum of 100 mm in manholes
- MATERIALS:**
- All underground pipes to be uPVC maincore as supplied by main industries and to comply with SANS 10400 Part P
 - All pipes must have a flexible mechanical joint
 - All rubber rings to comply with SABS 974 and SANS 10400 Part P

Heritage Western Cape
Erfenis Wes-Kaap
iLifa leMveli leNtshona Koloni

30 March 2026

W. Meyers

APPROVED



These drawings are to be read in conjunction with other specialists drawings. All construction work to comply to the standards of the relevant local authority as well as the national building regulations. Dimensions scaled off the drawings are not valid. All drawings and dimensions must be checked before any materials are ordered or building work commences. Any discrepancies and queries must be directed to the architect for approval. Copyright of these drawings is protected and reserved in terms of the Architects Act 35 of 1970 and the Copyright Act 98 of 1978 and any unauthorised infringement will be unlawful. The author's rights are reserved.

- GENERAL CONSTRUCTION NOTES**
- ROOFS: A**
- APPROVED VOLCANIC GREY PRE-PAINTED COLORBOND CORRUGATED (VICTORIAN) PROFILE ROOF SHEETING AND ACCESSORIES. FIXED IN LONG LENGTH STRICTLY TO MANUFACTURERS SPECIFICATIONS, PROVIDED WITH A WRITTEN GUARANTEE, ON 76x50mm SA PINE PURLINS AT MAX 1200mm c/c ON ENGINEER DESIGNED SA PINE ROOF TRUSSES AT MAX 1200mm c/c
 - ROOF PITCH 35 deg. ROOF TO MATCH EXISTING
- ROOFS: B**
- APPROVED VOLCANIC GREY PRE-PAINTED COLORBOND SAFLOK 410 OR SIMILAR APPROVED PROFILE ROOF SHEETING AND ACCESSORIES. FIXED IN LONG LENGTH STRICTLY TO MANUFACTURERS SPECIFICATIONS, PROVIDED WITH A WRITTEN GUARANTEE, ON 76x50mm SA PINE PURLINS AT MAX 1200mm c/c ON ENGINEER DESIGNED SA PINE RAFTERS AT MAX 1200mm c/c
 - ROOF PITCH 5 deg. OVERHANG 500 mm
- CEILING:**
- 9.5 mm TAPER-EDGE RHINOBOARD CEILING FIXED TO UNDERSIDE OF 38x38mm SA PINE CEILING BATTENS AT MAX 600 mm c/c. ALL JOINTS TO BE TAPED AND FINISHED AS PER MANUFACTURERS SPECIFICATIONS PAINTED TO SPECIFICATION.
- CEILING:** ALL EXPOSED RAFTERS
- APPROVED 6mm NUTEC TIMBERGRAIN T&G CEILING BOARDS FIXED ON TOP OF EXPOSED ROOF RAFTERS WITH THERMOBRITE OR SIMILAR APPROVED INSULATION ON TOP. PAINTED TO SPECIFICATION ON UNDERSIDE.
- RAINWATER GOODS:**
- GUTTERS AND DOWNPIPES TO BE SEAMLESS ALUMINIUM WITH 150 x 100 mm PROFILE. COLOUR TO BE APPROVED CHARCOAL
- LINTELS:**
- PRESTRESSED LINTELS OVER ALL OPENINGS AS PER ENGINEER SPECIFICATION WITH GALV WELDMESH BRICKFORCE CONTINUOUS ABOVE FOR MIN 5 BRICK COURSES UP.
- WALLS:**
- ALL EXTERNAL WALLS TO BE 280mm CLEAN KEPT CAVITY WALLS WITH A WEEP/OLE EVERY 1000mm HORIZONTALLY. APPROVED CLAY STOCKBRICK LAID STRETCHER BOND ON 1:4 CEMENT/SAND MORTAR. PLASTERED WITH SMOOTH 1:4 CEMENT/SAND PLASTER MIX. BRICKFORCE EVERY 5 COURSES. CAVITY TO BE KEPT CLEAN. DPC 375 MICRON.
 - ALL INTERNAL WALLS 110 mm OR 230 mm APPROVED CLAY STOCKBRICK LAID STRETCHER BOND ON 1:4 CEMENT/SAND MORTAR. PLASTERED WITH SMOOTH CEMENT/SAND 1:4 PLASTER MIX.
 - PAINTED TO SPEC. WITH PAINT FILLER COAT, ALKALI PRIMER AND 2 COATS ACRYLIC PAINT.
- WINDOWS:**
- WINDOWS TO BE EPOXY COATED ALUMINIUM CHARCOAL TO WINDOW SHEDULE. ALUMINIUM TO COMPLY WITH ALL AAMSA REQUIREMENTS. MEASURE FINAL OPENING BEFORE MANUFACTURING. EXTERNAL WINDOW SILLS TO MATCH EXISTING APPROVED SEALANT AROUND ALL FRAMES. NEATLY APPLIED. INTERNAL WINDOW SILLS TO BE PLASTERED AND PAINTED.
- STRUCTURAL WORK:**
- ALL REINFORCED CONCRETE BEAMS, ROOF SLABS, FLOOR SLABS AND FOUNDATIONS TO ENGINEERS SPECIFICATION AND DESIGN DETAILS.
- FLOORS:**
- FLOOR FINISH ON 25mm CEMENT SCREED ON 100mm THICK 25 mpa CONCRETE FLOOR SLAB ON 250 MICRON WATERPROOFING MEMBRANE ON 50mm SAND BED ON LAYERS OF MAX 150 mm APPROVED WELL COMPACTED GROUND FILL TO 98% MOD AASHTO.
- FOUNDATIONS:**
- FOUNDATION WALLS TO BE FILLED WITH CONCRETE TO FLOOR LEVEL WITH: 280 AND 230 mm WALLS - MIN 800 x 250 mm STRIP FOUNDATION. 110 mm WALLS - MIN 600 x 230 mm STRIP FOUNDATION. ALL FOUNDATIONS MIN 20 Mpa CONCRETE, TO ENGINEER SPEC. AND DETAILS.
- PAVING:**
- PAVING TO BE APPROVED COBBLE STONE / GRASS BLOCK PAVERS LAYED ON 50 mm SANDBED LAYER ON MAX 150 mm LAYERS OF APPROVED WELL COMPACTED HARD CORE FILLING. LAID TO FALL AWAY FROM BUILDING. PAVING LAYED BY APPROVED PAVING SPECIALIST

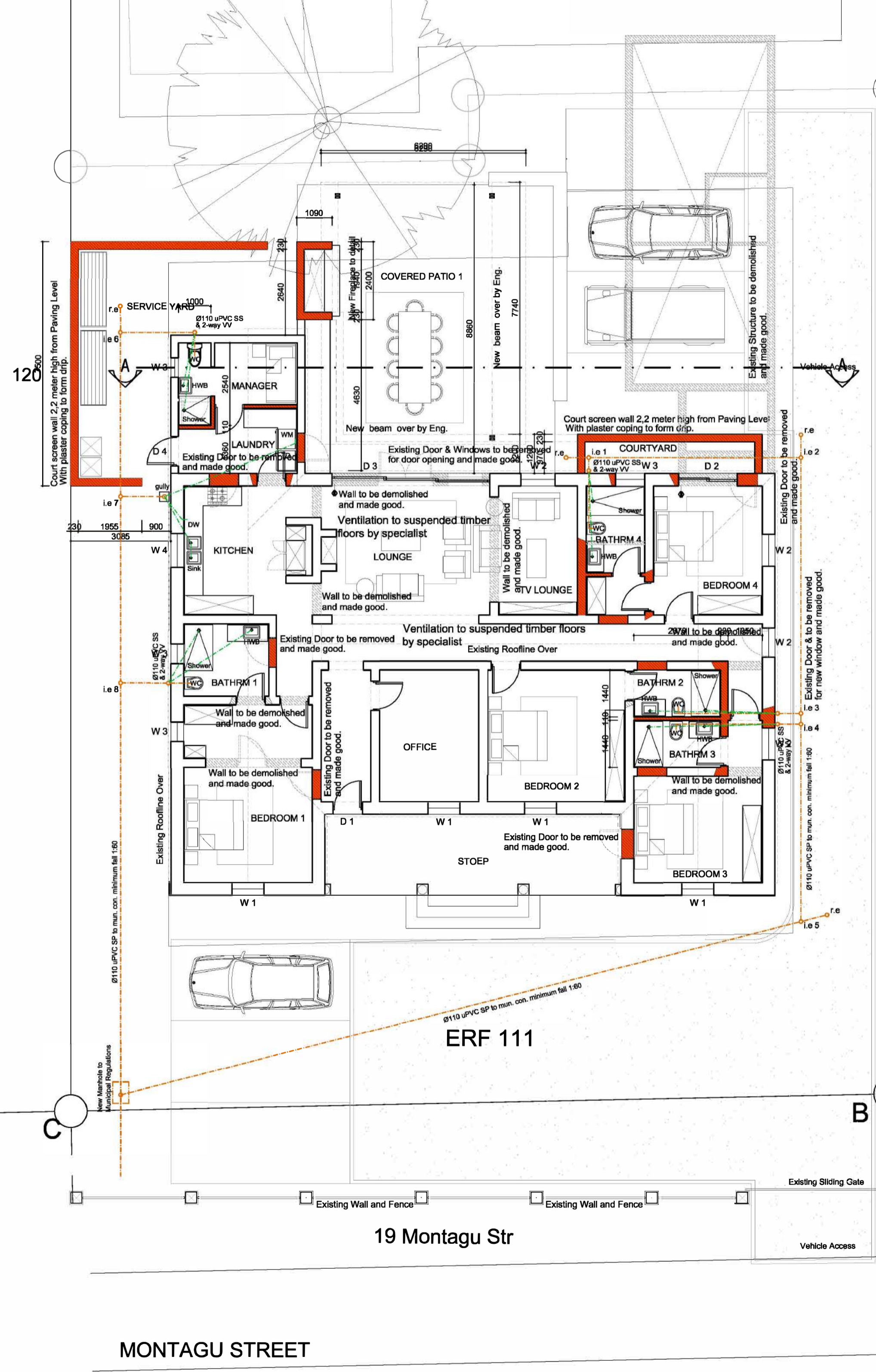
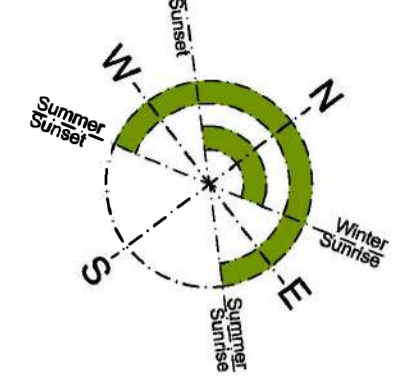
WVN STUDIO
ARGITEKTE ARCHITECTS

Wessel van Niekerk Pr. Arch. Reg No. 7307

VICTORIA STREET 66
CENTRAL 6530
GEORGE 082 926 3258 | 082 859 4747
TEL. wesselvni@gmail.com
E-POS

PROJEKTBESKRYVING		PROJECT DESCRIPTION	
HOUSE MEYERS		PROPOSED ADDITIONS & ALTERATIONS TO EXISTING HOUSE, ON ERF 111, BLANCO, GEORGE	
TEKENINGBESKRYVING		DRAWING DESCRIPTION	
MUNICIPAL DRAWINGS		- 3D IMAGES	
- SITE / ROOF PLAN		- SECTION	
- ELEVATIONS			
GET	NS	CH	SKAAL
WVN			1:100
DATUM	DATE	TEKENING NR	DRAWING NO
March 2026		MD/11/26/001	
WERK NR	GEBUYSIGDE PLAN NR.		
2025-111	0		

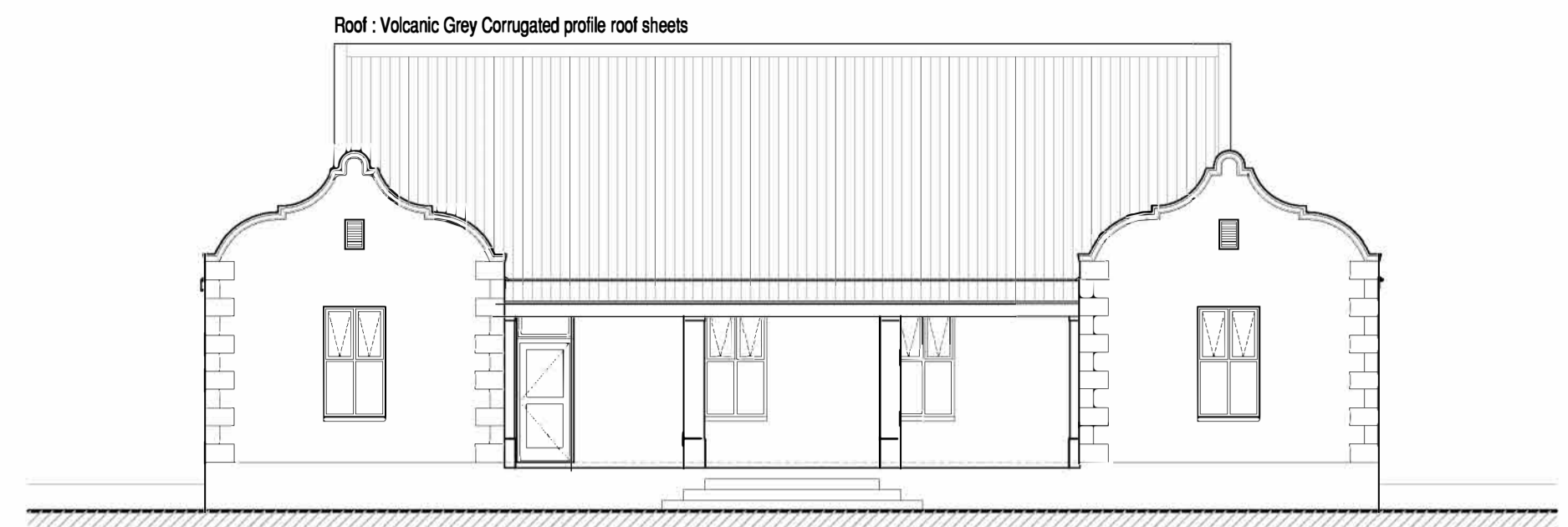
NOTE: DRAWINGS TO BE READ IN CONJUNCTION WITH FLOOR PLANS



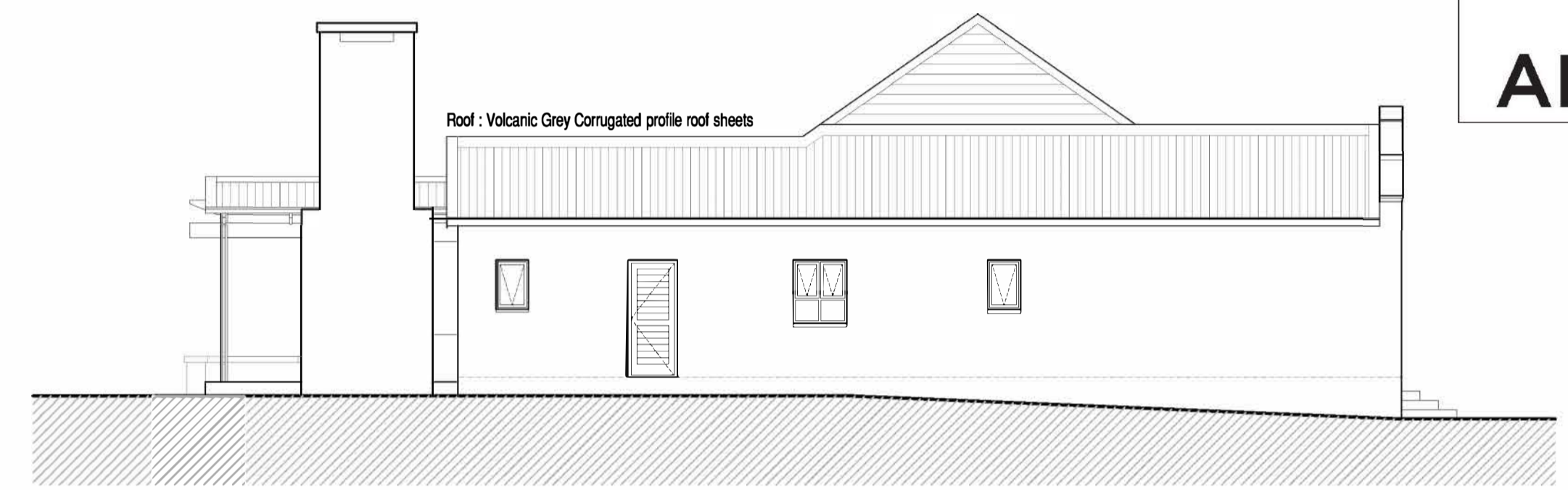
FLOOR PLAN scale 1:100

EXISTING HOUSE | ERF 111 | BLANCO | GEORGE

1802



EAST ELEVATION scale 1:100



SOUTH ELEVATION scale 1:100

1811



WINDOW & DOOR SCHEDULE scale 1:100

Window/Door	Dimensions (mm)	Notes
W 1	2465 x 1740	ALUMINIUM & GLASS TYPE WINDOW COMPLETE WITH ALL COMPONENTS, MANUFACTURED TO DIMENSIONS
W 2	2125 x 1465	ALUMINIUM & GLASS TYPE WINDOW COMPLETE WITH ALL COMPONENTS, MANUFACTURED TO DIMENSIONS
W 3	2125 x 800	ALUMINIUM & GLASS TYPE WINDOW COMPLETE WITH ALL COMPONENTS, MANUFACTURED TO DIMENSIONS
W 4	2125 x 1165	ALUMINIUM & GLASS TYPE WINDOW COMPLETE WITH ALL COMPONENTS, MANUFACTURED TO DIMENSIONS
D 1	4800 x 2125	ALUMINIUM & GLASS TYPE DOOR COMPLETE WITH ALL COMPONENTS, MANUFACTURED TO DIMENSIONS
D 2	800 x 2125	2 PANEL ALUMINIUM & GLASS SLIDING DOOR COMPLETE WITH ALL COMPONENTS, MANUFACTURED TO DIMENSIONS
D 3	4800 x 2125	3 PANEL ALUMINIUM & GLASS SLIDING DOOR COMPLETE WITH ALL COMPONENTS, MANUFACTURED TO DIMENSIONS
D 4	800 x 2125	ALUMINIUM & GLASS TYPE DOOR COMPLETE WITH ALL COMPONENTS, MANUFACTURED TO DIMENSIONS

- DRAINAGE:**
- All construction, testing and materials to comply with SANS 10400 Part P
 - Provide resealing traps to all waste fittings
 - Adequate access to piping will be provided
 - Provide marked covers to paving above all cleaning eyes
 - Provide cleaning eyes to all connections and changes in directions
 - All waste pipes that extend 3000mm in length must have 60° anti-vac. traps
- SEWER:**
- All construction, testing and materials to comply with SANS 10400 Part P
 - All trenching and backfilling to comply with SANS 1200 DB and SANS 10400 Part P
 - Pipe bedding to be Class B as per SABS 1200 LB with bedding cradle of selected fill quality
 - Positions of existing services are approximate and must be confirmed by contractor
 - All drainage runs to be accessible along their entire length
 - All drainage runs to be a minimum of 100 mm in manholes
- MATERIALS:**
- All underground pipes to be uPVC maincore as supplied by main industries and to comply with SANS 10400 Part P
 - All pipes must have a flexible mechanical joint
 - All rubber rings to comply with SABS 974 and SANS 10400 Part P

These drawings are to be read in conjunction with other specialists drawings. All construction work to comply to the standards of the relevant local authority as well as the national building regulations. Dimensions scaled off the drawings are not valid, all drawings and dimensions must be checked before any materials are ordered or building work commences. any discrepancies and queries must be directed to the architect for approval. Copyright of these drawings is protected and reserved in terms of the Architects Act 35 of 1970 and the Copyright Act 98 of 1978 and any unauthorised infringement will be unlawful. The author's rights are reserved.

- GENERAL CONSTRUCTION NOTES**
- ROOFS: A**
- APPROVED VOLCANIC GREY PRE-PAINTED COLORBOND CORRUGATED (VICTORIAN) PROFILE ROOF SHEETING AND ACCESSORIES, FIXED IN LONG LENGTH STRICTLY TO MANUFACTURERS SPECIFICATIONS, PROVIDED WITH A WRITTEN GUARANTEE, ON 70x50mm SA PINE PURLINS AT MAX 1200mm c/c ON ENGINEER DESIGNED SA PINE ROOF TRUSSES AT MAX 1200mm c/c ROOF PITCH 35 deg. ROOF TO MATCH EXISTING
- ROOFS: B**
- APPROVED VOLCANIC GREY PRE-PAINTED COLORBOND SAFLOK 410 OR SIMILAR APPROVED PROFILE ROOF SHEETING AND ACCESSORIES, FIXED IN LONG LENGTH STRICTLY TO MANUFACTURERS SPECIFICATIONS, PROVIDED WITH A WRITTEN GUARANTEE, ON 70x50mm SA PINE PURLINS AT MAX 1200mm c/c ON ENGINEER DESIGNED SA PINE RAFTERS AT MAX 1200mm c/c ROOF PITCH 5 deg. OVERHANG 500 mm
- CEILING:**
- 9.5 mm TAPER-EDGE RHINOBOARD CEILING FIXED TO UNDERSIDE OF 30x28mm SA PINE CEILING BATTENS AT MAX 600 mm c/c. ALL JOINTS TO BE TAPED AND FINISHED AS PER MANUFACTURERS SPECIFICATIONS PAINTED TO SPECIFICATION.
- CEILING:** ALL EXPOSED RAFTERS APPROVED 60mm NUTEC TIMBERGRAIN T&G CEILING BOARDS FIXED ON TOP OF EXPOSED ROOF RAFTERS WITH THERMOBRITE OR SIMILAR APPROVED INSULATION ON TOP. PAINTED TO SPECIFICATION ON UNDERSIDE.
- RAINWATER GOODS:**
- GUTTERS AND DOWNPIPES TO BE SEAMLESS ALUMINIUM WITH 150 x 100 mm PROFILE. COLOUR TO BE APPROVED CHARCOAL
- LINTELS:**
- PRESTRESSED LINTELS OVER ALL OPENINGS AS PER ENGINEER SPECIFICATION WITH GALV WELDMESH BRICKFORCE CONTINUOUS ABOVE FOR MIN 5 BRICK COURSES UP.
- WALLS:**
- ALL EXTERNAL WALLS TO BE 280mm CLEAN KEPT CAVITY WALLS WITH A WEEPHOLE EVERY 1000mm HORIZONTALLY. APPROVED CLAY STOCKBRICK LAID STRETCHER BOND ON 1:4 CEMENT/SAND MORTAR, PLASTERED WITH SMOOTH 1:4 CEMENT/SAND PLASTER MIX. BRICKFORCE EVERY 5 COURSES. CAVITY TO BE KEPT CLEAN. DPC 375 MICRON.
 - ALL INTERNAL WALLS 110 mm OR 230 mm APPROVED CLAY STOCKBRICK LAID STRETCHER BOND ON 1:4 CEMENT/SAND MORTAR, PLASTERED WITH SMOOTH CEMENT/SAND 1:4 PLASTER MIX.
 - PAINTED TO SPEC. WITH PAINT FILLER COAT, ALKALI PRIMER AND 2 COATS ACRYLIC PAINT.
- WINDOWS:**
- WINDOWS TO BE EPOXY COATED ALUMINIUM, CHARCOAL TO WINDOW SHEDULE. ALUMINIUM TO COMPLY WITH ALL AAMSA REQUIREMENTS. MEASURE FINAL OPENING BEFORE MANUFACTURING. EXTERNAL WINDOW SILLS TO MATCH EXISTING APPROVED SEALANT AROUND ALL FRAMES. NEATLY APPLIED. INTERNAL WINDOW SILLS TO BE PLASTERED AND PAINTED.
- STRUCTURAL WORK:**
- ALL REINFORCED CONCRETE BEAMS, ROOF SLABS, FLOOR SLABS AND FOUNDATIONS TO ENGINEER'S SPECIFICATION AND DESIGN DETAILS.
- FLOORS:**
- FLOOR FINISH ON 25mm CEMENT SCREED ON 100mm THICK 25 mpa CONCRETE FLOOR SLAB ON 250 MICRON WATERPROOFING MEMBRANE ON 50mm SAND BED ON LAYERS OF MAX 150 mm APPROVED WELL COMPACTED GROUND FILL TO 98% MOD. AASHTO.
- FOUNDATIONS:**
- FOUNDATION WALLS TO BE FILLED WITH CONCRETE TO FLOOR LEVEL WITH: 280 AND 230 mm WALLS - MIN 800 x 250 mm STRIP FOUNDATION. 110 mm WALLS - MIN 600 x 230 mm STRIP FOUNDATION. ALL FOUNDATIONS MIN 20 Mpa CONCRETE, TO ENGINEER SPEC. AND DETAILS.
- PAVING:**
- PAVING TO BE APPROVED COBBLE STONE / GRASS BLOCK PAVERS LAYED ON 50 mm SANDED LAYER ON MAX 150 mm LAYERS OF APPROVED WELL COMPACTED HARD CORE FILLING. LAID TO FALL AWAY FROM BUILDING. PAVING LAYED BY APPROVED PAVING SPECIALIST

WVN STUDIO
ARGITEKTE ARCHITECTS

Wessel van Niekerk Pr. Arch. Reg No. 7307

VICTORIA STREET 66
CENTRAL
GEORGE 6530
TEL. 082 926 3258 | 082 859 4747
E-POS wesselv@gmail.com

PROJECT DESCRIPTION	
HOUSE MEYERS	
PROPOSED ADDITIONS & ALTERATIONS TO EXISTING HOUSE, ON ERF 111, BLANCO, GEORGE	
TEKENINGSBESKRYWING	DRAWING DESCRIPTION
- FLOOR PLAN	- 3D IMAGES
- ELEVATIONS	- WINDOW & DOOR SCHEDULE
GET DWN NS CH SKAAL	SCALE
WW	1:100
DATUM	DATE
March 2026	TEKENING NR
WERK NR	MD/11/26/002
	GEWYSIGDE PLAN NR.
205/111	0

ANNEXURE L:

Electrical Services Report "CMB Consulting Engineers" dated November 2025

ELECTRICAL SERVICES REPORT

FOR THE

**PROPOSED DEVELOPMENT ON ERF 111,
PORTION B, BLANCO, GEORGE**

FOR

WEST END ACCOMMODATION CC

REPORT NO: G/19585/E/R1

NOVEMBER 2025



**CLINKSCALES MAUGHAN-BROWN
CONSULTING MECHANICAL
& ELECTRICAL ENGINEERS**

INDEX

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4.0	Basis of Report	1
5.0	Drawing	1
6.0	Connection Point	1
7.0	Supply Point and Point of Control	2
8.0	Taking-over of Installations	2
9.0	Technical Particulars	2
10.0	Environmental Management Plan	2
11.0	Switching of Supplies and Approvals	2
12.0	Demand	2
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Annexure A: Drawing No. 19585/E/SK01

**PROPOSED DEVELOPMENT ON ERF 111, PORTION B, BLANCO, GEORGE:
SERVICES REPORT ON ELECTRICAL RETICULATION
REPORT NO G/19585/E/R1 OF NOVEMBER 2025**

1.0 INTRODUCTION

This report has been prepared by Clinkscales Maughan-Brown at their George office, who has been appointed by the Developer, West End Accommodation CC, as the Electrical Consultants for this project. The purpose of this report is to provide the necessary information on the proposed electrical services within this Development and the connection to the main infrastructure in the area to obtain approval from the Supply Authority.

2.0 THE AREA

The property to be developed Erf 111, Portion B, Blanco, George as indicated on the attached Drawing No. 19585/E/SK01. The development includes six (6) residential units.

3.0 SUPPLY AUTHORITY

The Supply Authority for the area is George Municipality, and therefore their Electricity Department was consulted on all matters related to the electrical services.

4.0 BASIS OF REPORT

The report is based on the following:

- (i) Discussions with Messrs Danie Greeff, Deon Esterhuysen and Mzwanele Gatyeni of the Electricity Department at George Municipality.
- (ii) Plans of the existing municipal MV (11kV) and LV networks supplying the area.
- (iii) The kVA recordings of Miniature Substation "MS Frylink" received from Mr Mzwanele Gatyeni.
- (iv) A Layout Drawing received from Mr Fouche Meyers of the proposed development.

5.0 DRAWING

Our Drawing No. 19585/E/SK01, which is a plan layout, also depicts the following:

- (i) The extent of the existing municipal primary network in the area.
- (ii) The Connection Point to the existing municipal LV network.
- (iii) The LV Bulk Supply Point and Point of Control to the development.
- (iv) The extent of the internal electrical network.

6.0 CONNECTION POINT

It is proposed that the Connection Point be the LV busbars of Miniature Substation "MS Frylink" as shown on Drawing No. 19585/E/SK01.

7.0 **SUPPLY POINT AND POINT OF CONTROL**

The Supply Point at LV (400V) will consist of a tariff breaker and LV kWh consumption meter to be supplied and installed by the Developer inside an LV kiosk just outside the development. The load terminals of the LV kWh consumption meter will be the Supply Point to this development. An LV underground cable will be laid from said kiosk to the development where the LV underground cable will be connected to a LV distribution kiosk located in the approximate location inside the development as depicted on Drawing No. 19585/E/SK01. A LV circuit breaker inside this kiosk will act as the "Point of Control" to this development.

8.0 **TAKING-OVER OF INSTALLATIONS**

Since this is a Private or Closed Development, the Municipality indicated that they will only take-over the external electrical reticulation to this development, i.e the LV underground cable from miniature substation "MS Frylink" to and including the LV metering kiosk.

The internal LV installation on the load side of the LV Bulk Supply Point will be taken over by the Owner / Developer. The LV underground cable connection from the LV metering kiosk to the Development will form part of the internal installation of the development as depicted on Drawing No. 19585/E/SK01.

For this reason, only the external electrical installation, i.e. LV underground cable, LV Metering Kiosk, LV tariff breaker and meter, would have to comply with the technical requirements of the Municipality and their supply conditions.

9.0 **TECHNICAL PARTICULARS**

All drawings and specifications of the external supply to this development would have to be approved by George Municipality before any construction can commence.

The internal LV network will be designed so that any internal faults do not cause nuisance tripping of the upstream network.

10.0 **ENVIRONMENTAL MANAGEMENT PLAN**

All work on site will comply in all respects with the environmental management requirements.

11.0 **SWITCHING OF SUPPLIES AND APPROVALS**

No switching of supplies or trenching adjacent to existing cables will be carried out without prior arrangement with the Town Electrical Engineer's Department. The Electrical Contractor will also liaise with the Town Engineer's Department and Telkom to ensure that no damage is caused to existing underground piped services during construction.

12.0 **DEMAND**

Based on the information presently available, the peak kVA demand has been calculated as follows:

Six residential units @ 10,35 kVA x 0,85 diversity factor = 52,78 kVA

This is a provisional calculation and will be finalised after all the network load particulars have been concluded.

13.0 **CAPITAL COSTS**

The following assumptions are being made:

- (i) The Developer will be responsible for the supply, installation and commissioning of the complete internal installation and connection to the external network as described above. This work will be done under the direction of Clinkscapes Maughan-Brown and by an Electrical Contractor to be approved by the Municipality.
- (ii) The Developer will be required to pay a Capital Contribution (Augmentation Levy) towards the future upgrading of the external 11kV network beyond the connection point as per the standard municipal policy in this regard.

14.0 **CONCLUSION**

We trust that this information is sufficient to obtain the necessary approvals and for the Supply Authority to draw-up the Services Agreement.

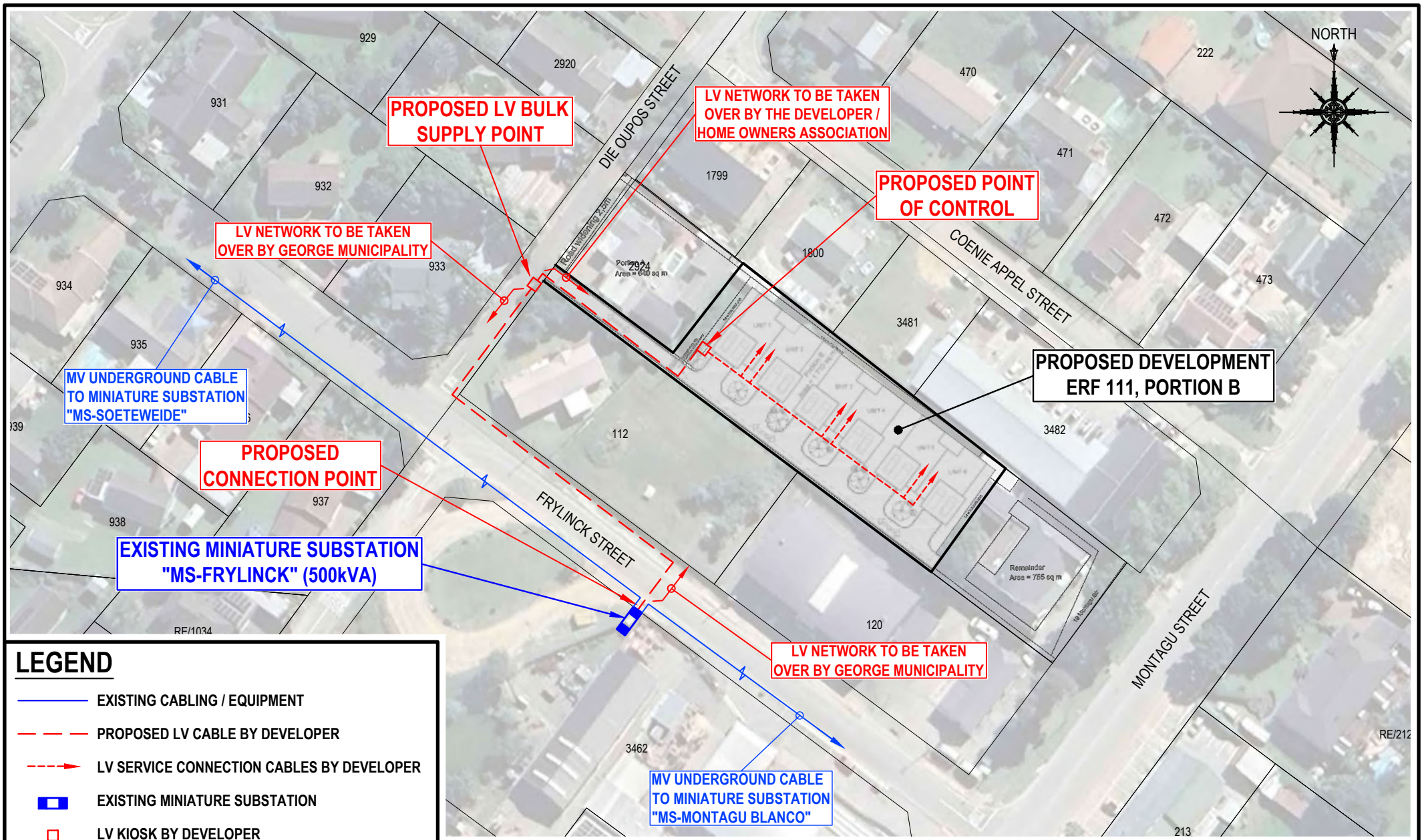
Yours faithfully



J.S. de Villiers Pr. Tech. Eng.
CLINKSCALES MAUGHAN-BROWN

ANNEXURE A:

DRAWING NO. 19585/E/SK01



LEGEND

- EXISTING CABLING / EQUIPMENT
- - - PROPOSED LV CABLE BY DEVELOPER
- - - LV SERVICE CONNECTION CABLES BY DEVELOPER
- EXISTING MINIATURE SUBSTATION
- LV KIOSK BY DEVELOPER

NOTE

THE POSITION OF ALL ELECTRICAL SERVICES ARE APPROXIMATE ONLY. THE EXACT POSITIONS MUST BE DETERMINED ON SITE BEFORE ANY WORK ASSOCIATED HEREWITH IS UNDERTAKEN.

cmb
 CLINKSCALES MAUGHAN-BROWN
 CONSULTING MECHANICAL & ELECTRICAL ENGINEERS

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 George 6529
 PO Box 2551
 George 6530
 Tel: + 27 44 874 1511
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PORT ELIZABETH EAST LONDON GEORGE CAPE TOWN WINHOUER

CESA
 Quality Engineers and Architects

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CLIENT
WEST END ACCOMODATION CC

PROJECT
PROPOSED DEVELOPMENT ON ERF 111, PORTION B, BLANCO, GEORGE

DRAWING TITLE
PLAN LAYOUT OF PROPOSED LV BULK SUPPLY

DRAWN KJM	DESIGNED JdV	CHECKED JdV	APPROVED
SCALE 1:1000	DATE 12/11/2025	CAD REF No. 19585-E-SK01	DWG-SIZE A4
DRAWING NO 19585/E/SK01			REVISION

ANNEXURE M:

*Email correspondence WC Roads & George
Mun - Montaque Road AMP*

Marike Vreken

From: Evan Burger <Evan.Burger@westerncape.gov.za>
Sent: Wednesday, 02 July 2025 07:20
To: Xander Smuts; Marike Vreken
Cc: Ricus Fivaz; Wilmari Immelman
Subject: RE: P25-061 Blanco Erf 111 - Montagustraat AMP George

Goeie môre Marike.

Soos deur Xander beskryf, is George Munisipaliteit die Padowerheid en hierdie Tak die Goedkeurende Owerheid in gevolge Paaie Ordonnansie 19 van 1976. Daar is wel 'n "Arterial Management Plan" wat deur die Padowerheid saamgestel is, maar daardie plan is nog in 'n konsepformaat en nog nie deur hierdie Tak aanvaar en goedgekeur nie. Daardie konsep-inligting is wel vanaf die Padowerheid beskikbaar.

Regards | Groete

Evan Burger

Control Engineering Technician
Department of Infrastructure
Western Cape Government

2nd Floor, 9 Dorp Street, Cape Town, 8001

PO Box 2603, Cape Town, 8000

Tel: 021 483 2180

Cell: 083 641 5179

Fax: 021 483 2166

Email: Evan.Burger@westerncape.gov.za

Website: www.westerncape.gov.za

Road Network Information System: <http://rnis.westerncape.gov.za>



Western Cape
Government

FOR YOU

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From: Xander Smuts <Xander.Smuts@westerncape.gov.za>
Sent: Tuesday, 01 July 2025 17:12
To: Marike Vreken <marike@vreken.co.za>
Cc: Evan Burger <Evan.Burger@westerncape.gov.za>; Ricus Fivaz <jmfivaz@george.gov.za>; Wilmari Immelman <Wilmari.Immelman@westerncape.gov.za>
Subject: RE: P25-061 Blanco Erf 111 - Montagustraat AMP George

Hallo Marike,

Ons telefoon gesprek vroeër vandag verwys.

George Munisipaliteit is die padowerheid van Montagustraat, geproklameer as Munisipale Hoofpad 347 terwyl ons die goedkeurende gesag is.

In terme van Die Oupos Straat is George Munisipaliteit die padowerheid van hul straat netwerk. Ek is nie bewus van enige AMP op die gedeelte pad nie, die padowerheid is dalk in 'n beter posisie om hierop kommentaar te lewer.

Groete,

Xander Smuts Pr Eng

Chief Engineer

Department of Infrastructure

Transport Infrastructure

District Roads Engineer Oudtshoorn (Region 2)

Western Cape Government

Address: Eendrag Building, Cnr. Langenhoven & Vrede St, Ground Floor, Oudtshoorn, 6625

Tel: 044 272 6071

Fax: 044 272 7243

Email: xander.smuts@westerncape.gov.za

Website: www.westerncape.gov.za



From: Marike Vreken <marike@vreken.co.za>

Sent: Thursday, 26 June 2025 09:04

To: Evan Burger <Evan.Burger@westerncape.gov.za>

Cc: 'Wessel van Niekerk' <wesselvn@gmail.com>; dale@vreken.co.za; 'Bianca Lotz' <info@vreken.co.za>; Xander Smuts <Xander.Smuts@westerncape.gov.za>

Subject: P25-061 Blanco Erf 111 - Montagustraart AMP George

Goeie more Evan!

Ons verteenwoordig die eienaars van Blanco Erf 111, Montagustraart, George. Sien aangehegte liggingsplan.

Die erf is tans "Residensieel IV" gesoneer vir 'n guest lodge, en word tans so gebruik, met toegang vanaf Montagustraart.

Die eienaars beoog om die huidige gastehuis op Montagustraart te onderverdeel, die die gastehuis met 4 gastekamers op sy eie erf staan, en dan die restant van die erf te ontwikkel vir groepsbehuising (6x groepsbehuising eenhede), met toegang van De Ouposstraat aan die noordweste kant.

Ons het gister 'n "pre-application" vergadering met George Munisipaliteit gehad, en ons is aanbeveel om met julle kontak te maak vir insette, blykbaar is Provinsie besig met 'n Access Management Plan op Montagustraart?

Is daar enige iets waarvan ons bewus moet wees / in ag moet neem met die opstel van die ontwikkelingsvoorstel?

Groete,

Marike

 <p>Marike Vreken Urban & Environmental Planners</p>	<p>Stads & Omgewingsbeplanners</p> <p>Marike Vreken Pr. Pln A/1101/1999 M SAPI 10233 Marike Vreken Town Planners CC PO Box 2180, Knysna, 6570 tel. +27 (0)44 382 0420 fax. +27 (0)86 459 2987 cell. +27 (0)82 927 5310 www.vreken.co.za</p>
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If you are not the intended recipient you may not copy or deliver this message to anyone."

From: dale@vreken.co.za
Sent: Thursday, 19 February 2026 10:35 AM
To: 'Ricus Fivaz'; 'Lionel Daniels'
Cc: dale@vreken.co.za; 'Bianca Lotz'; Marike Vreken; ihuyser@george.gov.za; wesselvn@gmail.com
Subject: Pr2544 - Blanco Erf 111 -
Attachments: P25-061 - Blanco Erf 111 - Pre-Application Form-IH.pdf; Provincial Roads 2025-07-02 - comments.pdf; Erf_111_SDP_January 2026_01Rev 1.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Good day all,

We represent the owners of Blanco Erf 111, Montagu Street, George. The erf is currently zoned “Residential IV” for a guest lodge, and is currently being used as such, with access from Montagu Street.

The owners intend to subdivide the current guesthouse on Montagu Street, with 4 guest rooms on its own erf, and then develop the remainder of the erf for group housing (6xgroup housing units), with access from De Upos Street on the northwest side.

We had a “pre-application” meeting with George Municipality, and we were advised to contact Western Cape Roads for inputs on the Montaque road AMP, currently being reviewed.

As per the attached e-mail from Western Cape Roads, they state that George Municipality is the road authority for Montagu Road and are not aware of any Access Management Plan, but they are however aware of “Arterial Management Plan” which is still in draft format. Is there anything we should be aware of / take into consideration when finalising up the development proposal?

Kind Regards
Dale

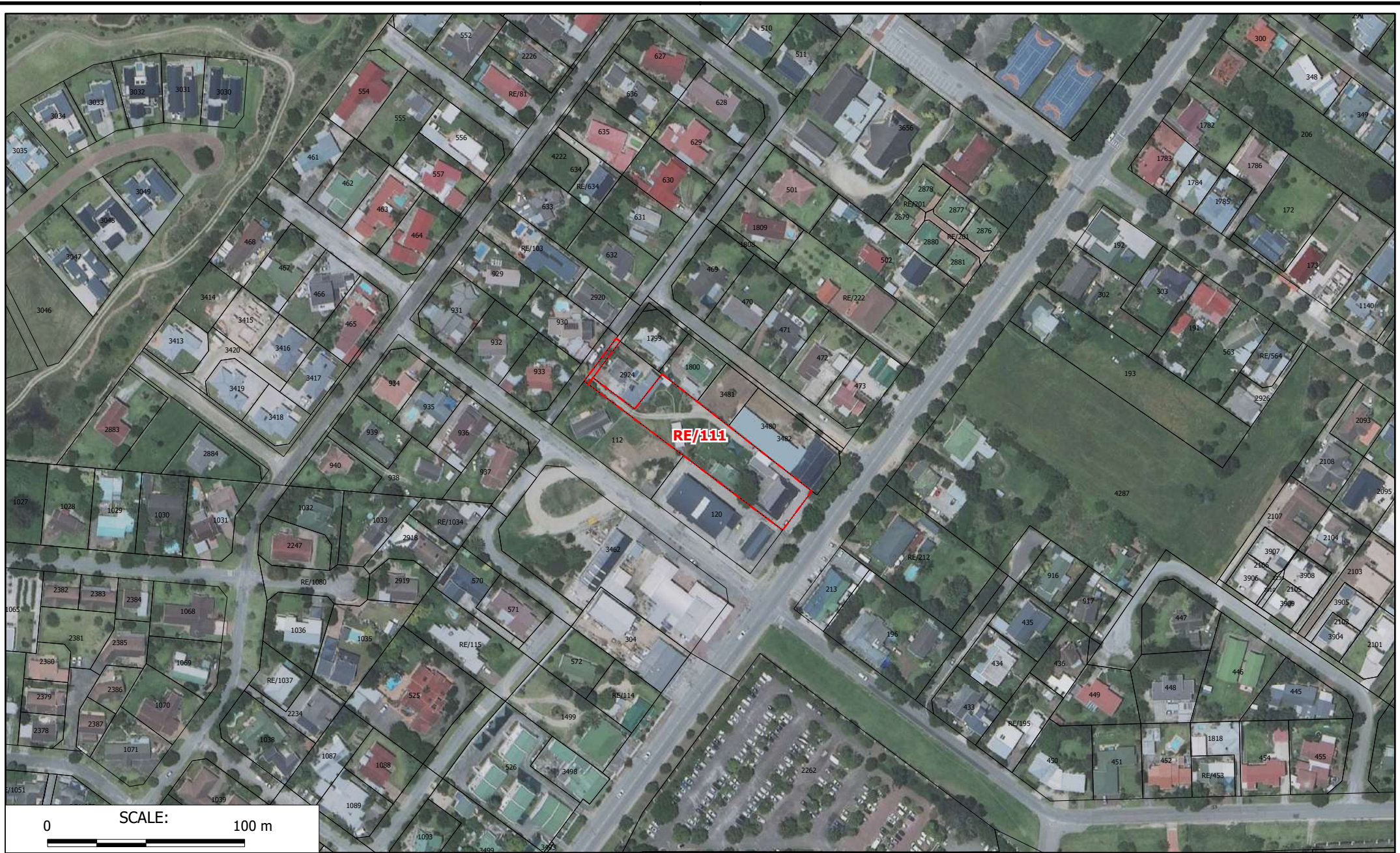
 <p>Marike Vreken Urban & Environmental Planners</p>	<p>Dale Bastian C/8341/2017 Marike Vreken Town Planners CC PO Box 2180, Knysna, 6570</p> <p>tel. +27 (0)44 382 0420 cell. +27 (0)81 480 9640 fax. +27 (0)86 459 2987</p>
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PLAN 1:

Locality Plan



**THE REMAINDER OF
BLANCO ERF 111**

LOCALITY PLAN



Projection: Transverse Mercator
 Centre Lon: 22°24'29" E
 Centre Lat: 33°56'53" S
 Created: 2026/02/26
 Scale: 1:2500
















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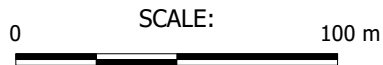
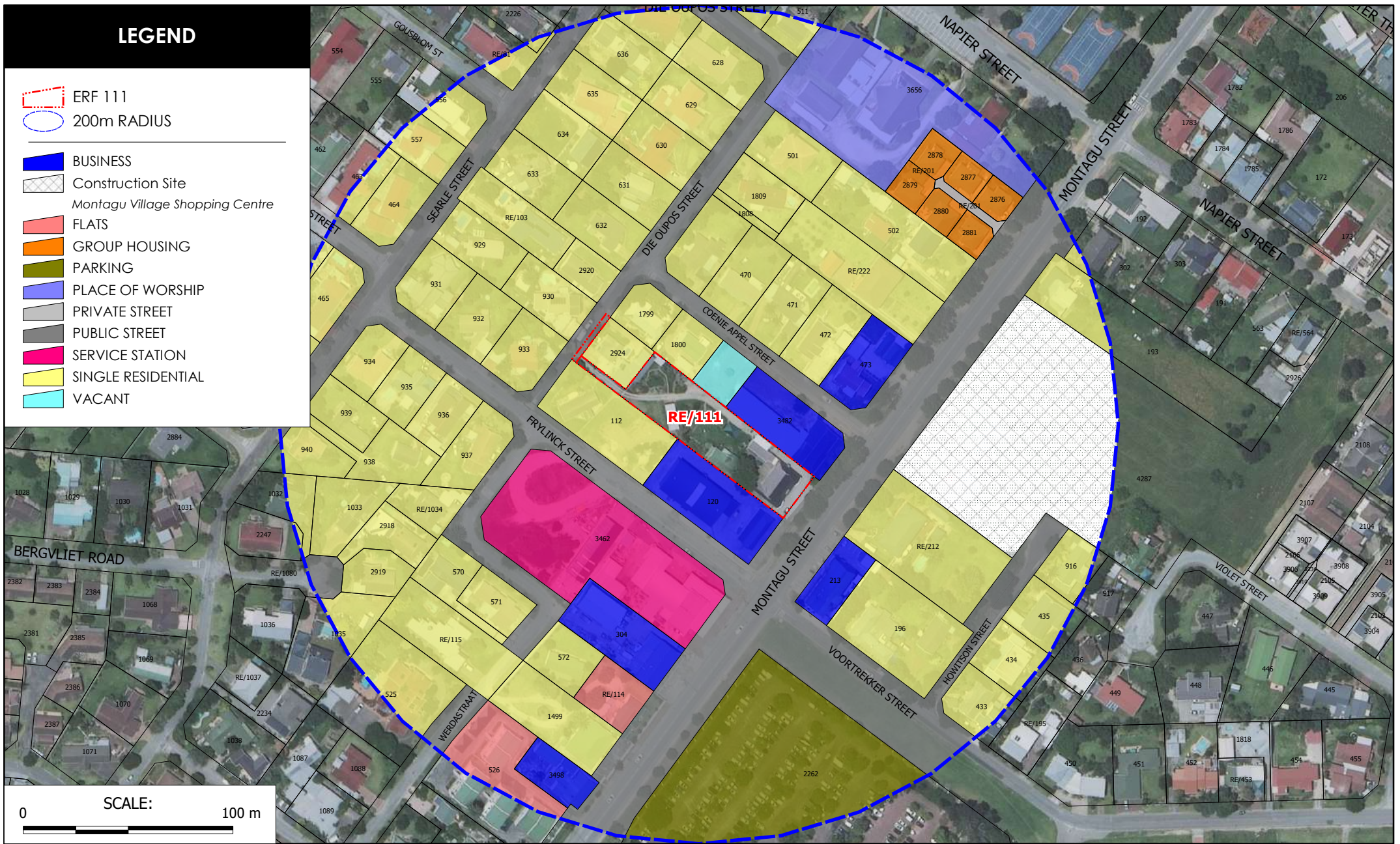
PLAN 2:

Land Use Plan

LEGEND

-  ERF 111
-  200m RADIUS

-  BUSINESS
-  Construction Site
Montagu Village Shopping Centre
-  FLATS
-  GROUP HOUSING
-  PARKING
-  PLACE OF WORSHIP
-  PRIVATE STREET
-  PUBLIC STREET
-  SERVICE STATION
-  SINGLE RESIDENTIAL
-  VACANT



**THE REMAINDER OF
BLANCO ERF 111**

LAND USE PLAN
















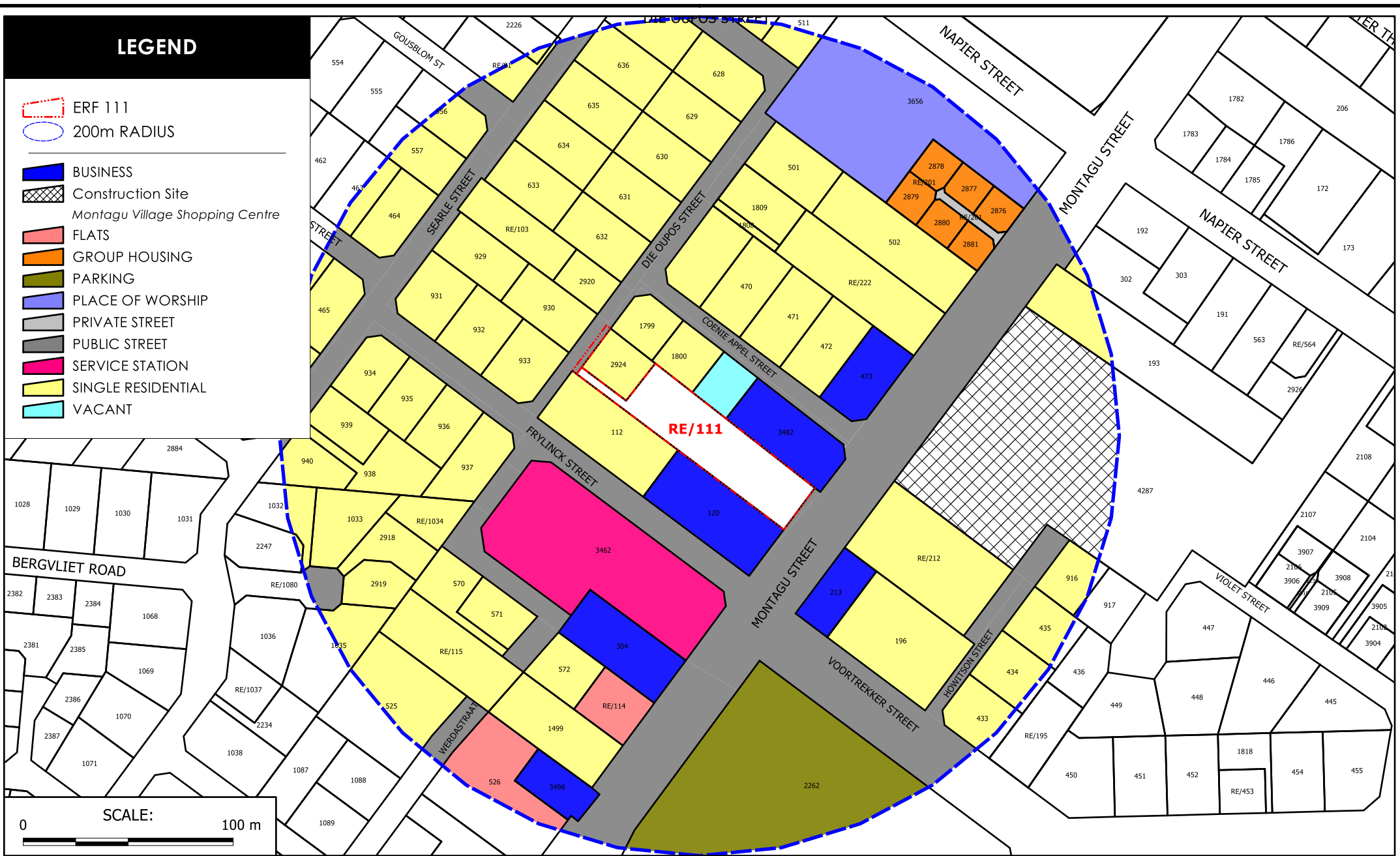
Projection: Transverse Mercator
 Centre Lon: 22°24'29" E
 Centre Lat: 33°56'53" S
 Created: 2026/02/26
 Scale: 1:2300



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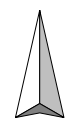
LEGEND


-  ERF 111
-  200m RADIUS
-  BUSINESS
-  Construction Site
Montagu Village Shopping Centre
-  FLATS
-  GROUP HOUSING
-  PARKING
-  PLACE OF WORSHIP
-  PRIVATE STREET
-  PUBLIC STREET
-  SERVICE STATION
-  SINGLE RESIDENTIAL
-  VACANT



**THE REMAINDER OF
BLANCO ERF 111**

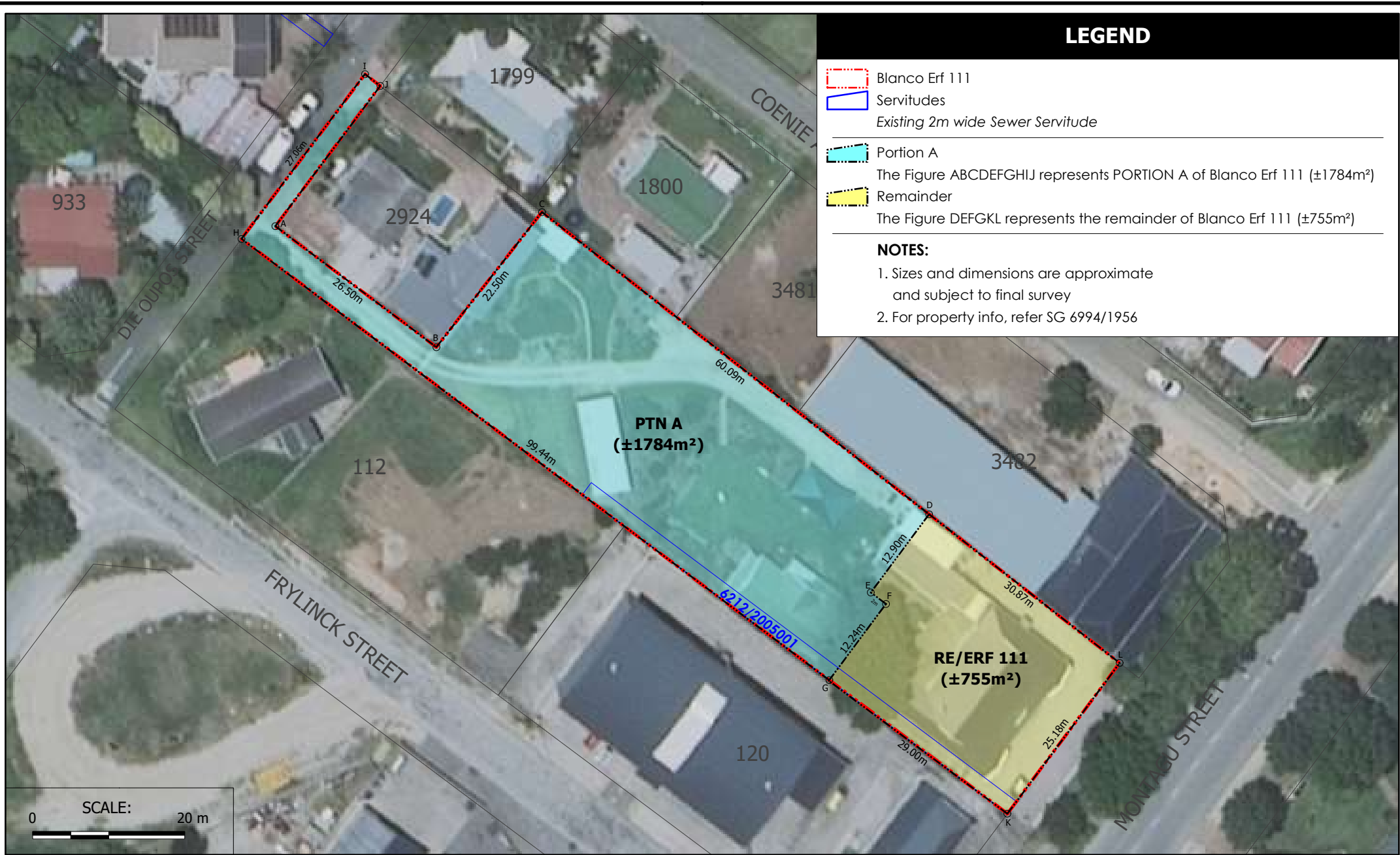
LAND USE PLAN


 Projection: Transverse Mercator
 Centre Lon: 22°24'29" E
 Centre Lat: 33°56'53" S
 Created: 2026/02/26
 Scale: 1:2300
Stored: F:\1_Markie Vreken Town Planners\4_GIS\Assigned Projects\92544 - Blanco Erf 111\92544 - Blanco Erf 111.map


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 web: www.vreken.co.za

PLAN 3:

*Subdivision Plan Pr25/44SUB04 dated 17 April
2026*



LEGEND

- Blanco Erf 111
- Servitudes
- Existing 2m wide Sewer Servitude

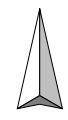
- Portion A
- The Figure ABCDEFGHIJ represents PORTION A of Blanco Erf 111 (±1784m²)
- Remainder
- The Figure DEFGKL represents the remainder of Blanco Erf 111 (±755m²)

NOTES:

1. Sizes and dimensions are approximate and subject to final survey
2. For property info, refer SG 6994/1956

**THE REMAINDER OF
BLANCO ERF 111**

SUBDIVISION PLAN






Projection: Transverse Mercator
 Centre Lon: 22°24'29" E
 Centre Lat: 33°56'53" S
 Pr25/44SUB04
 Created: 2026/04/17
 Scale: 1:650



Marike Vreken
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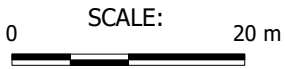
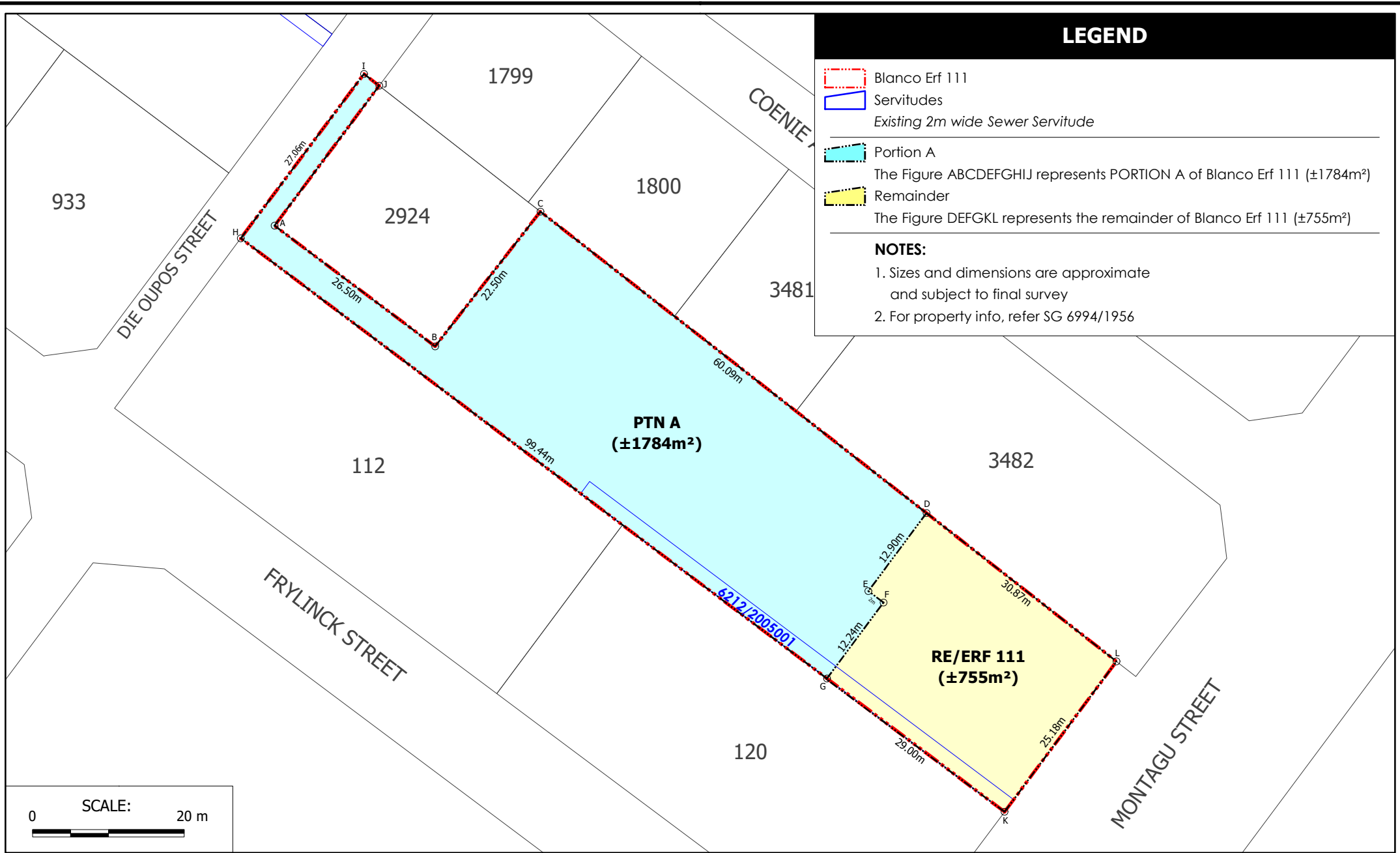
LEGEND

-  Blanco Erf 111
-  Servitudes
-  Existing 2m wide Sewer Servitude

-  Portion A
- The Figure ABCDEFGHIJ represents PORTION A of Blanco Erf 111 ($\pm 1784\text{m}^2$)
-  Remainder
- The Figure DEFGKL represents the remainder of Blanco Erf 111 ($\pm 755\text{m}^2$)

NOTES:

1. Sizes and dimensions are approximate and subject to final survey
2. For property info, refer SG 6994/1956



**THE REMAINDER OF
BLANCO ERF 111**

SUBDIVISION PLAN



Projection: Transverse Mercator
 Centre Lon: 22°24'29" E
 Centre Lat: 33°56'53" S
 Pr25/44SUB04
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PLAN 4:

Layout Plan Pr25/44L01 dated 17 April 2026



LEGEND

- Portion A of RE/Erf 111 Blanco

- Erf 1 (±69m²)
- Transport Zone II (TUZII) - public street


- Erf 2 (±1715m²)
- General Residential Zone II (GRZII) – group housing


- SERVITUDES
- isting m wide ewer ervitude

0 SCALE: 20 m

**THE REMAINDER OF
BLANCO ERF 111**

LAYOUT PLAN

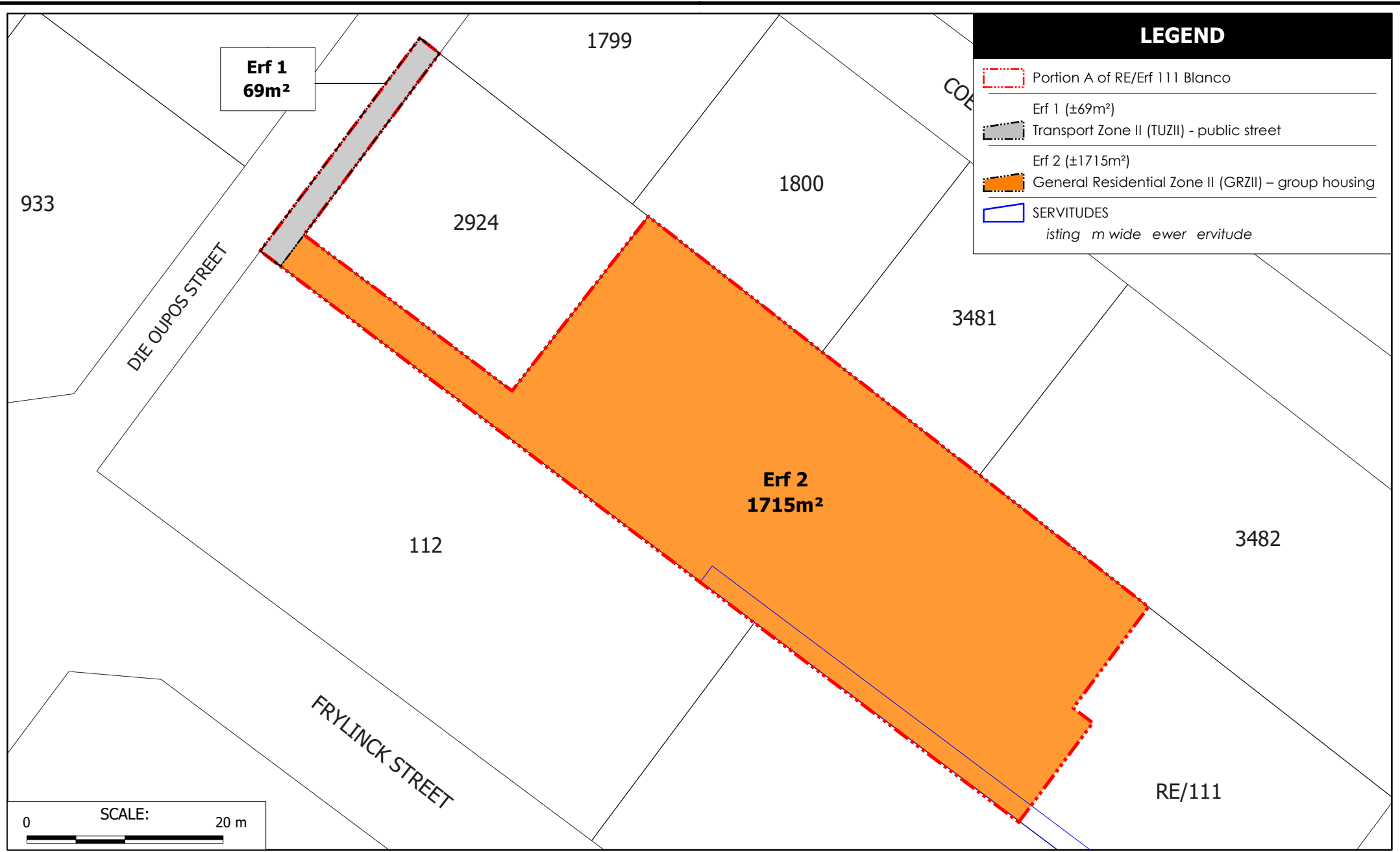

 Projection: Transverse Mercator
 Centre Lon: 22°24'29" E
 Centre Lat: 33°56'53" S
 Plan No: Pr25/44L01
 Created: 2026/04/17
 Scale: 1:500



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Suid- & Omgewingsplanneers
Urban & Environmental Planners



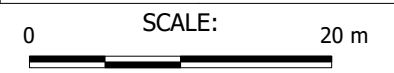
LEGEND

- Portion A of RE/111 Blanco

- Erf 1 (±69m²)
- Transport Zone II (TUZII) - public street

- Erf 2 (±1715m²)
- General Residential Zone II (GRZII) – group housing

- SERVITUDES
- isting m wide ewer ervitude



**THE REMAINDER OF
BLANCO ERF 111**

LAYOUT PLAN

Projection: Transverse Mercator
 Centre Lon: 22°24'29" E
 Centre Lat: 33°56'53" S
 Plan No: Pr25/44L01
 Created: 2026/04/17
 Scale: 1:500

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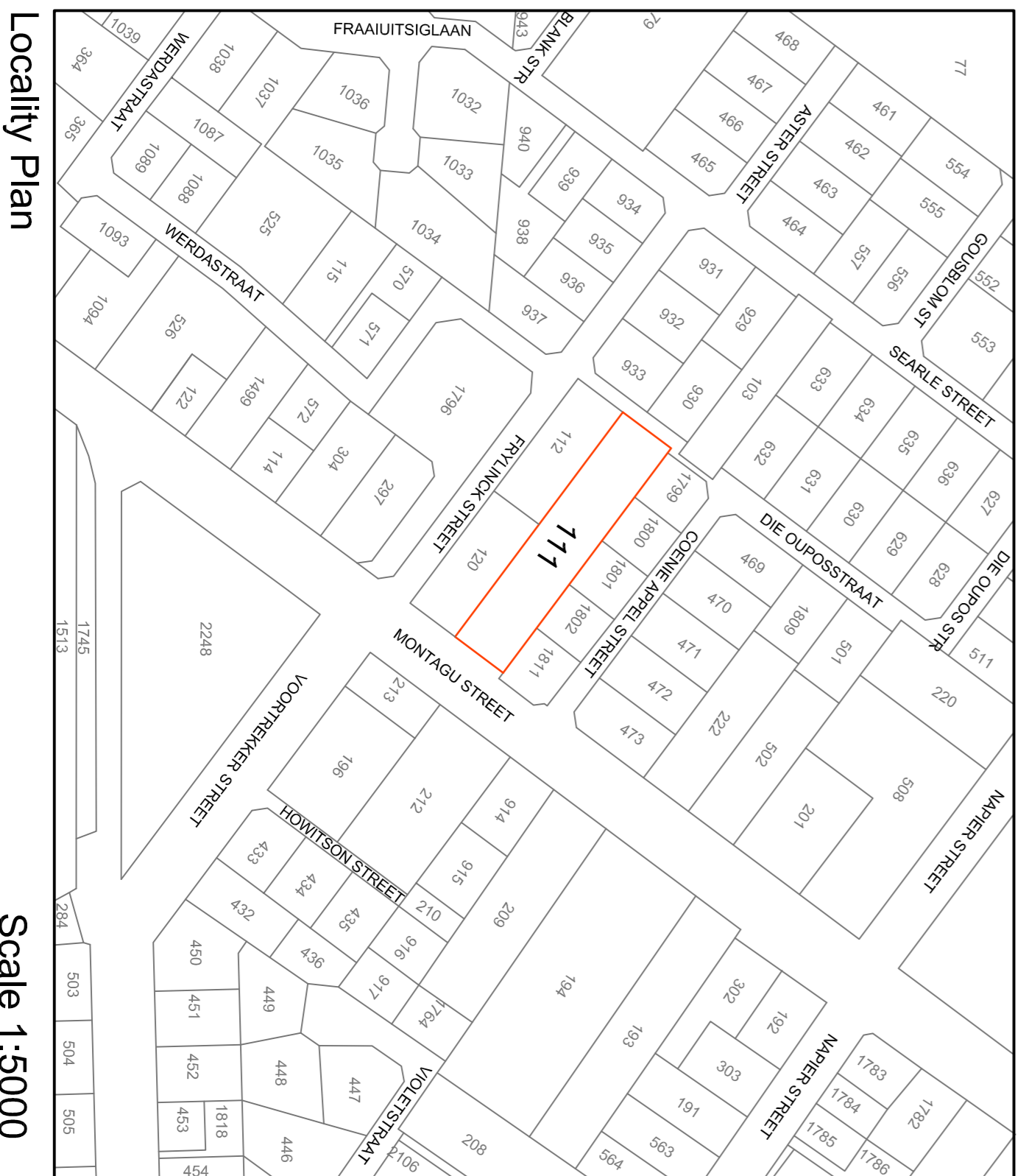
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PLAN 5:

*Site Development Plan "WVN Studio
Architects" dated April 2026*

NOTE:
DRAWINGS TO BE READ IN CONJUNCTION
WITH FLOOR PLANS

PORTION A:
Transport Zone II (TUZII) - Public Street
Area = 63 sq m



Locality Plan

Scale 1:5000

PROPOSED NEW DEVELOPMENT | ERF 111 | BLANCO | GEORGE

PORTION B:
General Residential Zone II (GRZII) - Group Housing
Area = 1 715 sq m
6 x Sectional Title Units

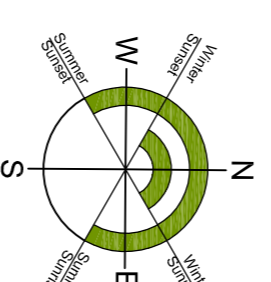
PRESCRIBED	PROPOSAL
DENSITY: 35 Dwelling units per hectare Erf Size = 1715 sq meters 6 Units allowed	6 Dwelling units 34,98 Dwelling units per hectare
HEIGHT: 6.5 metres to the wall plate in all cases, and 8,5 metres to the ridge of the roof in the case of a pitched roof.	To adhere to the prescribed restrictions at all times.
OPEN SPACE: 50 sq meters per dwelling unit	69 sq meters per dwelling unit 415 sq meters total
SERVICE YARD: Service yard(s) must be provided	6 x Service yards provided
REFUSE ROOM: A refuse room must be provided	1 x refuse room provided
PARKING: 1.25 bays per dwelling unit and 0.25 bays per unit for visitors 6 x Units = 9 x parking bays required	2 x bays per dwelling unit 12 x bays Total provided
SITE ENTRANCE & EXIT Combined entrance and exit way for other land uses. Minimum: 5.0 meters Maximum: 8.0 meters	4.0 meters Departure required

SITE PLAN scale 1:250



PORTION C:
General Residential Zone V (GRZV) - Guest Lodge
Area = 755 sq m
4 x Guest Bedrooms and 1 x Managers unit

PRESCRIBED	PROPOSAL
COVERAGE: 60 %	42%
FLOOR FACTOR: 1	0.4
HEIGHT: 8.5 metres from NGL	7.460 metres from NGL existing
OPEN SPACE: 10% of the total erf area 75.5 sq meters	100 sq meters total
SERVICE YARD: Service yard(s) must be provided	1 x Service yards provided
REFUSE ROOM: A refuse room must be provided	1 x refuse room provided
NO OF ROOMS: Max 20 rooms & 40 paying guests	4 x Guest rooms Max 8 paying guests
MANAGER UNIT: Max 60 sq meters	1 x Managers unit 15 sq meters
PARKING: PT 1: 0.75 bays per bedroom and 4x Bedrooms and 1x Managers unit 5 x parking bays required	6 x Parking bays provided Departure to PT 1 parking parameters
SITE ENTRANCE & EXIT Combined entrance and exit way for other land uses. Minimum: 5.0 meters Maximum: 8.0 meters	4.0 meters Departure required



These drawings are to be read in conjunction with other specialists drawings. All construction work to comply to the standards of the relevant local authority, as well as the relevant building regulations. All drawings and dimensions must be checked before any materials are ordered or building work commences. any discrepancies and queries must be directed to the architect for approval. Copyright of these drawings is protected and reserved in terms of the Architects Act 53 of 1979 any unauthorised infringement will be unlawful. The author's rights are reserved.

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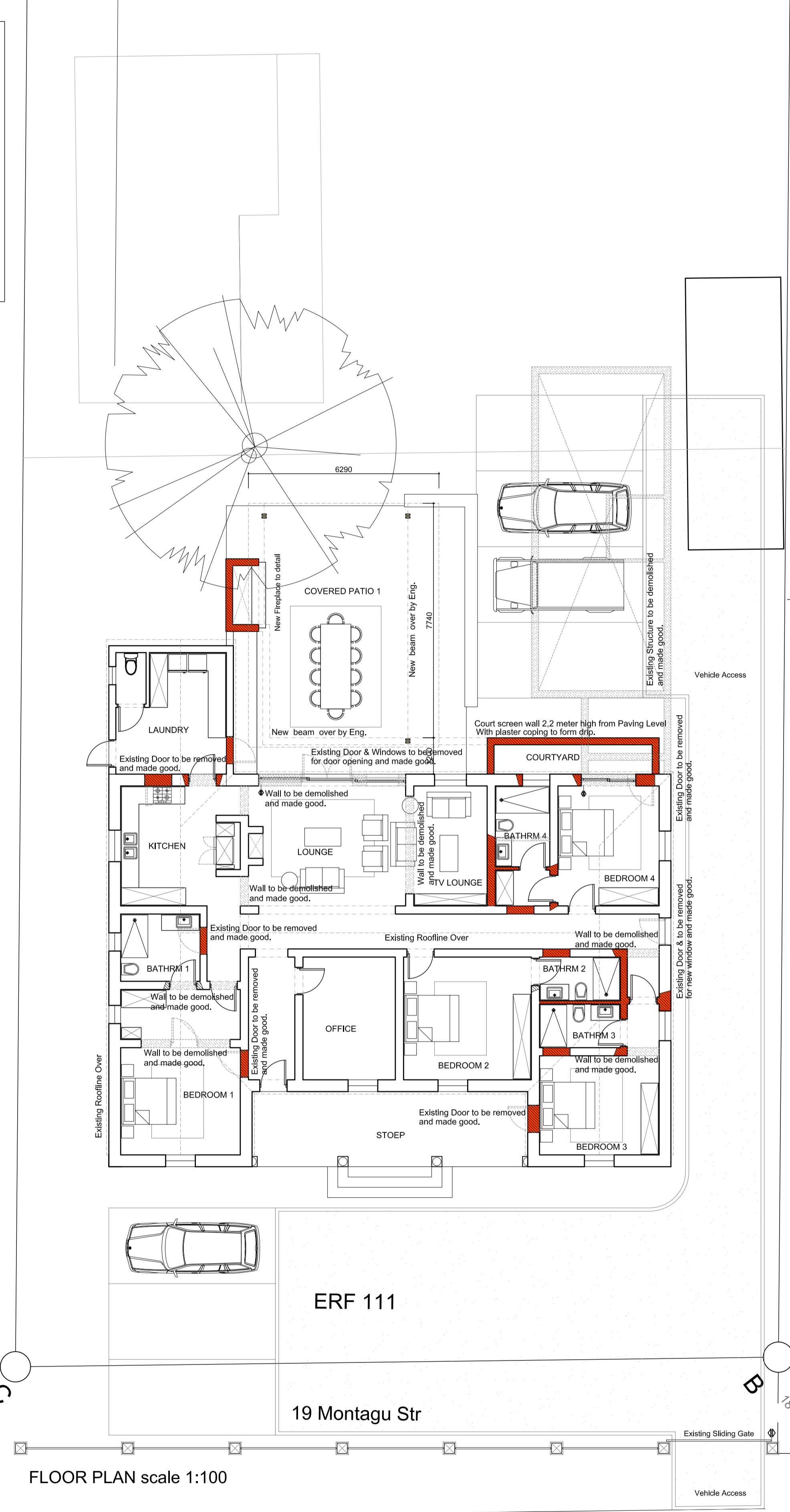
TEKINGEN/REVIEWS	DATE	TECHNINGS NR	SCALE
CONCEPT DRAWINGS			
- SITE DEVELOPMENT PLAN			
PROJECT DESCRIPTION			
PROPOSED NEW DEVELOPMENT ON ERF 111 MONTAGU STREET, BLANCO GEORGE			
PROJECT DESCRIPTION			
PROPOSED NEW DEVELOPMENT ON ERF 111 MONTAGU STREET, BLANCO GEORGE			
DATE	TECHNINGS NR	SCALE	
01	SDP/11/125/001	1:500	
02			
03			
04			
05			

PLAN 6:

*Sketch Plans "WVN Studio Architects" dated
January 2026*

NOTE: DRAWINGS TO BE READ IN CONJUNCTION WITH FLOOR PLANS

120



FLOOR PLAN scale 1:100

EXISTING HOUSE | ERF 111 | BLANCO | GEORGE

1802



EAST ELEVATION scale 1:100



WEST ELEVATION scale 1:100

1811

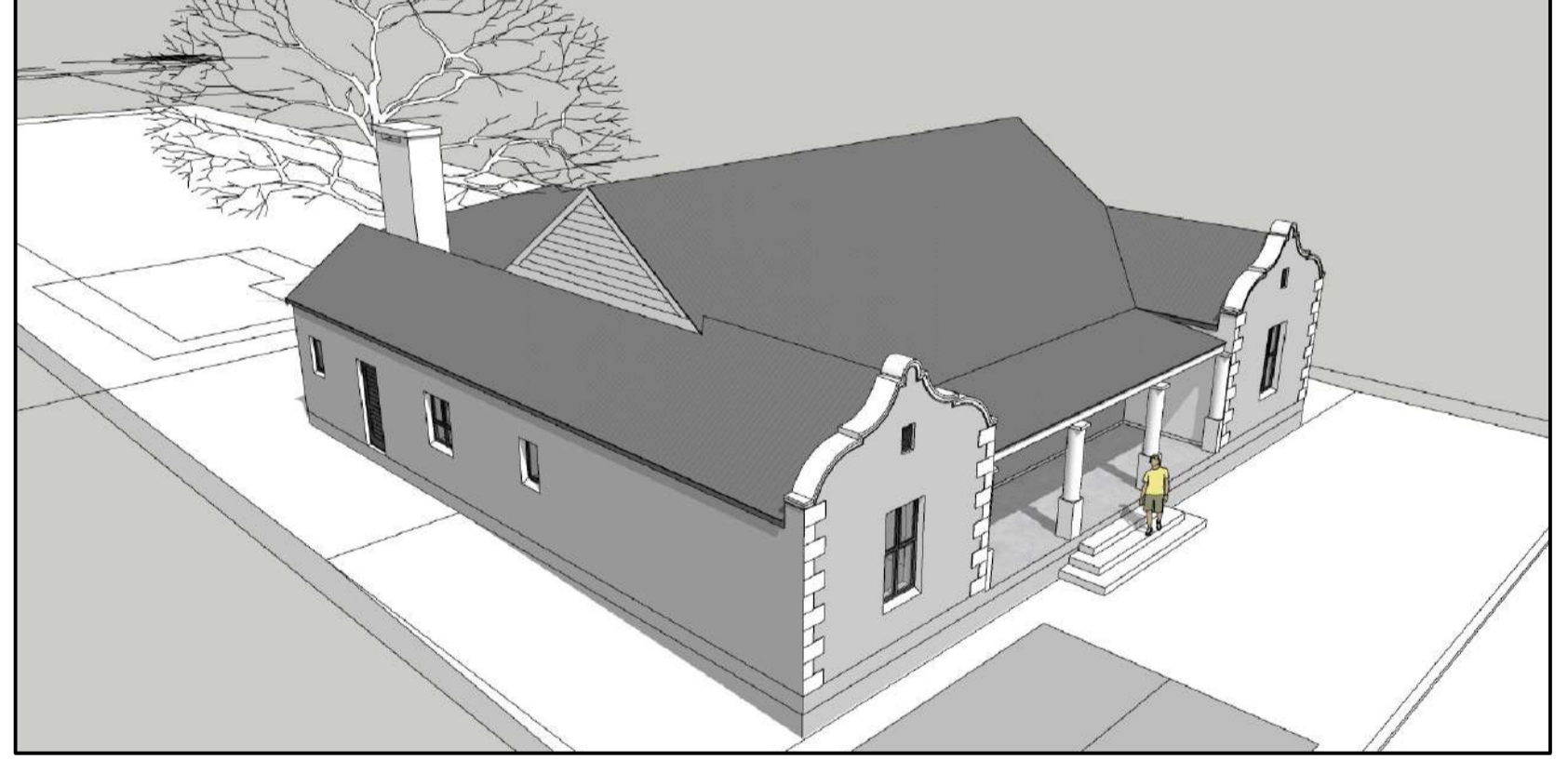


ROOFS:
APPROVED VOLCANIC GREY PRE-PAINTED COLORBOND CORRUGATED (VICTORIAN)
PROFILE ROOF SHEETING AND ACCESSORIES, FIXED IN LONG LENGTH STRICTLY
TO MANUFACTURERS SPECIFICATIONS, PROVIDED WITH A WRITTEN GUARANTEE.
ON 76x50mm SA PINE PURLINS AT MAX 1200mm c/c ON ENGINEER
DESIGNED SA PINE ROOF TRUSSES AT MAX 1200mm c/c
ROOF PITCH 35 deg. ROOF TO MATCH EXISTING

NORTH ELEVATION scale 1:100

ROOFS:
APPROVED VOLCANIC GREY PRE-PAINTED COLORBOND CORRUGATED (VICTORIAN)
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ON 76x50mm SA PINE PURLINS AT MAX 1200mm c/c ON ENGINEER
DESIGNED SA PINE ROOF TRUSSES AT MAX 1200mm c/c
ROOF PITCH 35 deg. ROOF TO MATCH EXISTING

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E-POS

TEKENINGBESKRYWING		PROJECT DESCRIPTION			
HOUSE MEYERS					
PROPOSED ADDITIONS & ALTERATIONS TO EXISTING HOUSE, ON ERF 111, BLANCO, GEORGE					
TEKENINGBESKRYWING		DRAWING DESCRIPTION			
SKETCH/PLAN DRAWINGS		- 3D IMAGES			
- FLOOR PLAN					
- ELEVATIONS					
GET	DWN	NS	CH	SKAAL	SCALE
WVN				1:100	
DATUM	DATE	TEKENING NR	DRAWING NO		
January 2025		SPD/111/25/001			
WERK NR	GEBUWESIDE PLAN NR				
2025-111	0	1			