

PORTAL APPLICATION REFERENCE: 4548232
INTERNAL REFERENCE: 4026117

DATE: 2026-04-20

APPLICANT NAME: Jaap van Lille
EMAIL ADDRESS: jaapvanlille26@gmail.com

In terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to the applicant as stated above. No information will be given to any third party and/or landowner (if the landowner is not the applicant).

COMPLIANCE LETTER (SECTION 38 OF LUP BY-LAW, 2023)

APPLICATION IN TERMS OF SECTIONS 15(2)(b) OF THE LAND USE PLANNING BY-LAW, 2023 FOR BUILDING LINE DEPARTURE AND IN TERMS OF SECTION 39(4) OF THE LAND USE PLANNING ACT, 2014 FOR ADMINISTRATOR'S CONSENT APPLICABLE TO ERF 1794, WILDERNESS

The above-mentioned application submitted dated **2026-02-09** is deemed complete in terms of Section 38 of the Land Use Planning By-law for George Municipality, 2023. Application for:

- Building line relaxation.
- Administrator's consent.

Once payment is done, email the proof of payment to **Camilla Coeries** - Ccoeries@george.gov.za or **Werner Joubert** WCJOUBERT@george.gov.za . An acknowledgement email will be sent to the applicant to confirm receipt of payment.

Once acknowledgement of receipt has been received, the applicant may advertise the application in accordance with the Public Participation Instruction available on the municipality's website. Please upload the proof of Public Participation document on the Land Use Portal as Supporting Documents on the current Application 4548232.

All enquiries follow ups and documentation submissions need to be directed to the relevant *case officer* Primrose **Nako** email: pnako@george.gov.za.

The relevant Town Planner **Khuliso Mukhovha**, should be copied in the e-mail: kjmukhovha@george.gov.za as well as the relevant Senior Town Planners, **Naudica Swanepoel** (even erf numbers) nswanepoel@george.gov.za or **Ilane Huyser** (uneven erf numbers) ihuyser@george.gov.za.

The applicant shall also obtain comments from the following external departments and interested, and affected parties as indicated below.

- **Wilderness & Lakes Environmental Action Forum;**
- **Ratepayers Association (Wilderness)**

Note: All state departments and organs of the state must be provided 60 days to comment on applications.

Please take note that all addresses/contact details provided by the Municipality is deemed to be private information and may only be utilized for public participation purposes in terms of the Land Use Planning By-Law for the George Municipality. The said address may not be used, distributed or sold to a 3rd party.

Please be advised that the Municipality may request additional information or documentation deemed necessary to consider the application in terms of Section 42 of the Land Use Planning By-law for George Municipality, 2023.

Yours faithfully



Khuliso Mukhovha
Town Planner
Planning and Development

MOTIVATING MEMORANDUM

1. Background

The owners wished to have an area where they could enjoy the outside when and if weather permits. Not being aware of the restrictions placed on their property in terms of building lines, the owner entered into negotiations with a contractor specializing in the building of timber decks who was doing work in the neighbourhood. The owner could negotiate a favourable price for the building of the deck with the contractor on the understanding that the contractor does the work before leaving the area to continue with work elsewhere.

The owner wishes to have the existing deck approved by the George Municipality. Together with this application for departure, an application has also been lodged with building control. Having designed the residence on the property some years ago, the owners approached me to prepare the necessary applications.

2. Application

In terms of Chapter III Section 15.2(b) of the Land Use Planning By-Law (the By-law) of the George Municipality and in terms of Chapter IV Part 3 Section 35(1) and Chapter IV Part 7 section 39(1) of the Western Cape Land Use Planning Act of 2014 (the Act), I, J. A. van Lille Pr.Arch act on behalf of the owners of erf 1794, Kleinkrantz, Wilderness, to apply to the George Municipality as the responsible authority in terms of section 2(2)(b) of the Act for departure of land use (relaxation of the street building line) to legalize the already built timber deck as described in the accompanying drawings and shown on the photographs submitted.

This application is brought in terms of:

- Section 15(2)(b) and 18(1)(a) of the George Municipality Land Use Planning By-Law 2023 for **permanent departure; relaxation of the street building line**, and
- Section 39(4) of the Western Cape Land-Use Planning Act 2014 for an **Administrator's Consent**.

| | |
|-----------------------------|--|
| Property Description | Erf 1794, Kleinkrantz, Wilderness |
| Physical Address | 88 Viooltjie Street |
| Owner | Deon Christo Le Kay and Delianne Vyonne Le Kay |
| Title Deed Number | T22104 / 2018 |
| Bond Holder | N / A |
| Size of the Property | 463 m ² |
| HOA / Body Corporate | N / A |

2 / -



JAAP VAN LILLE
ARGITEK ARCHITECT
 Stockenströmstr. 6 Stockenström St.
 Bodorp, GEORGE 6529
 • 082 801 4749 e-pos / email:
 jaapvanlille26@gmail.com

| | | | | |
|--|------------------|---------------------------------|-----------------------|-----------------------|
| Projektitel: Project title: | Skaal: Scale: | Datum: Date: | Opsteller: Author: | Tek. nr: Dwg. no. |
| Erf 1794, Kleinkrantz, Wilderness : New Timber Deck | N / A | Feb. '24 Revised Mar. '26 | javanlille | 2401- A.01 |

3. Locality

The property situated in Kleinkrantz, is bordered by residential erven of the same character and zoning.

The deck does not have a negative impact on the character of the area, is constructed with natural materials (timber), does not negatively affect any of the adjacent properties, is not obtrusive and adds to the value of the property.

A locality plan has been submitted with this application.

4. Existing Development

I have designed a residence for the owners during July 2019. Application for approval of the residence was made on 2019-07-12 and approved on 2019-11-12. Construction of the residence was done in stages and finally completed towards the end of 2022, complying with relevant restrictions viz. building lines, parking, height, coverage, etc. Form 4 was issued on 2024-07-22. A plan of the existing residence is shown on the drawings submitted for this application.

This application is for the relaxation of the street building line from 5,0 meters to 0,70 meters and 0,92 meters in terms of paragraph 6(b) of the title deed and from 3,0 meters to 0,70 meters and 0,92 meters in terms of the George Integrated Zoning Scheme By-law.

An application for the approval of the timber deck, already built, is also lodged with Building Control of the George Municipality.

5. Ownership / Title Deed

The property is held under title deed T22104/2018, a copy of which accompanies this application. Paragraph 6(b) of the title deed reads: *“Geen gebou of struktuur of gedeelte daarvan behalwe grensmure en heinings mag, behalwe met die toestemming van die Administrateur, nader as 5 meter van die straatlyn wat 'n grens van hierdie erf uitmaak, asook nie binne 3 meter van die agtergrens of 1,5meter van die sygrens gemeen aan enige aangrensende erf opgerig word nie*”

Following from the above extract from the title deed and in compliance with Part 7 – Restrictive Conditions of the Western Cape Land Use Planning Act, (2014), this application in terms of Section 39(1) of the Act also includes for an Administrator's Consent. A conveyance attorney was appointed and in this regard a Conveyancer's Consent has been obtained and submitted with this application.

The title deed does not specifically prohibit the addition of a deck to the property. Decks are common structures in use in residential areas, either as part of a newly built residence or, as in this case, added at a later stage.

The bond in the sum of R250 000,00 registered against the property and shown on the first page of the title deed, has in the meantime been settled with the bond holder.

6. Natural Environment

The property on which the deck has been erected is typical of the rest of the properties in the Kleinkrantz village. As can be seen on satellite images of the area and this particular property, the natural coastal dune vegetation has been removed on all improved properties. Given the relative small size of the properties, this is to be expected.

No vegetation or any indigenous trees were removed for the building of the deck. The deck is built in front of the garages which is an existing paved area established when the residence was built.

There are no rivers or water courses in the vicinity of the deck which could be adversely affected.

7. Heritage.

There were no heritage issues that had to be considered with the building of the deck.

8. Traffic and Pedestrian Movement

No traffic or pedestrian movement is impeded by the position where the deck is built.

The deck is elevated one storey above ground level and the three freestanding timber columns and stair do not obstruct any views related to either vehicular traffic or pedestrian movement.

9. Impact on Neighbouring Properties

The deck does not have any negative impact on the neighbourhood. The owners of the five immediately adjacent properties have all signed the relevant statements and site plan indicating that they do not have any objection to the existing deck.

Decks are not uncommon structures in the Kleinkrantz village and this deck can be regarded as one of the best built and neatest decks in the area.

The deck has been inspected by a professional structural engineer and a SANS 10400 Form 4 was issued.

The deck also serves as shaded parking for cars in front of the garages which is of great value especially during the hot December holidays when the extended family gets together.

In relative terms, this is not a large erf, measuring 463 m². The land between the building lines and the boundaries belongs to the owners who should be given every opportunity to utilise these areas, as long it is done within legislation and with consideration towards the immediate neighbouring properties and the greater community.

10. Public Participation

This application for building line relaxation does not require any further public participation following the consent obtained by the surrounding owners as stated above in paragraph 9.

It needs to be stressed at this point that whereas the prescribed application is structured around applying for something that is planned for the future, this application is for a deck that has already been built. Property owners in the neighbourhood and the public has the advantage of being able to experience the impact of the existing deck in its reality, making it much easier to reach an informed opinion on the impact of the deck on their neighbourhood.

11. Applicable By-laws, Acts, Frameworks and Guidelines

With reference to Chapter IV Part 7 section 39(2)(b) of the Act, the owners of five adjacent properties that may have been affected by this departure of land use, have all signed a document confirming that they have no objection to the departure and having seen the already built deck, have no objection to the existing structure.

It is expected that upon approval of this submission, the departure will be made permanent in terms of Chapter IV Part 3, section 35(3) of the Act.

The application is not in conflict with the Wilderness/Lakes/Hoekwil Local Spatial Development Framework (2015). As the title states it is a framework and not a by-law.

- Section 4.2.3(b) Proposals & Policy Guidelines: The deck is in line with the six points mentioned under this section and the land use changes mentioned in sections 4.2.1 and 4.2.2.
- Section 4.5.4: The Guidelines for Development Application in Residential Areas: There is no mention of the Kleinkrantz area under this section.
- Section 5.1.1: The land use of this application corresponds fully with the basic and primary land use rights of the Kleinkrantz area.

The aim of the WLHLSDF as stated in its introduction is: *".....to ensure the sustainable use and protection of the positive landscape of this area."* and as stated elsewhere *".....to ensure that the landscape character is protected from inappropriate and harmful developments or infrastructure."* The addition of the deck cannot be considered in conflict with these aspirations; in fact it contributes to the domestic architectural character of the area. The design of the deck makes it possible for the neighbourhood to enjoy the scene of a happy family gathering, enjoying in a leasurely manner each other's company under colourful umbrellas on a sunny day.

It should be noted that whereas the WLHLSDF's puts a high value on the contribution of the area to tourism, this particular property is distant from the traditional tourist routes and areas frequented by tourists

The deck fully adheres to the conditions as set out in the By-Law, the Act and the WLHLSDF.

POWER OF ATTORNEY

We, the undersigned, owners of the property indicated below, appoint as legal representative the professional architect named below, to act on our behalf and take the necessary steps as required by the local authority to ensure that the relevant application complies with the conditions contained in the George Integrated Zoning Scheme By-law 2023 or any other applicable law.

| | | | |
|-----------------------------|---|------------------------------|---|
| Local authority | George Municipality | Department | Town Planning |
| Description of Property | Erf 1794, Kleinkranz, Wilderness | Description of application | Departure: Street Building Line Relaxation to allow for as built timber deck |
| Owners' names | Mr. D.C. Lekay Mrs. D.V. Lekay | Owners' I.D. Numbers | 610817 5114 086 (Mr.) 650630 0058 088 (Mrs.) |
| Authorized Representative | Jaap van Lille architect | Representative's I.D. number | 450309 5052 089 |
| Signature of Owners |  | Date | 2024-11-25 |
| Signature of representative |  | Date | 2024-11-25 |

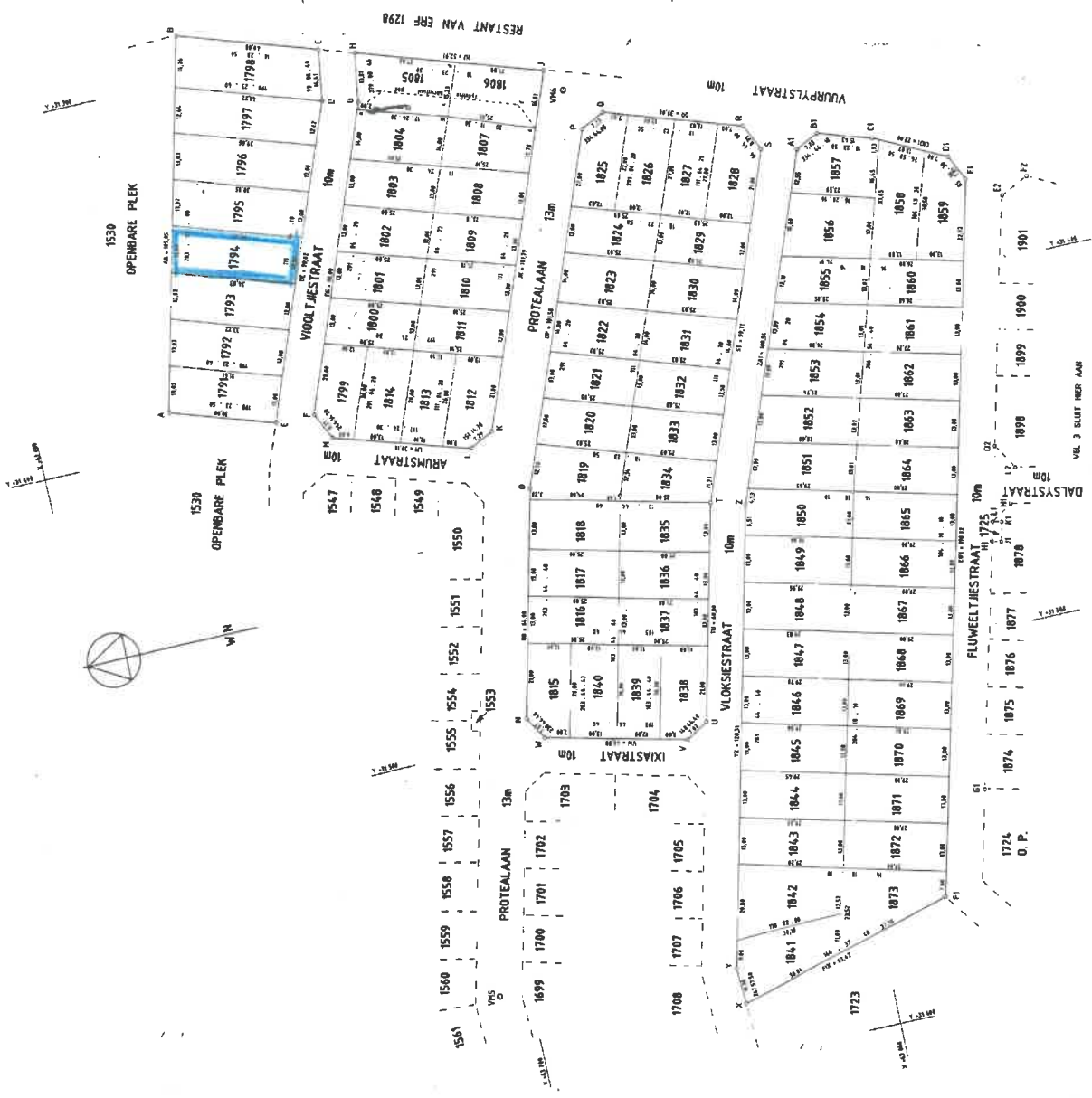
L.G. No. 5781-88
 VOL. 2
 REFSIE PLAN BESTAAN UIT 3 VELLE
 GOEDGEGEVR
 LANDMETER - GENEBAAL
 DATUM: 1988-09-30

CDR (WILDERNESS TOEKENNINGSGEBIED)
C ALGEMENE PLAN No. 12273

VAN DIE ONDERVERDELING VAN

ERWE 1531, 1567, 1651, 1721, 1722, 1726, 1727 EN 1728 WILDERNESS
 GELEE IN DIE ADMINISTRATIEWE
 DISTRIK VAN GEORGE, PROVINSIE VAN DIE KAAP DIE GOEIE
 HOOP

SKAAL 1 : 500



LEER No. GEOR 192
 VERPLAASINGS No. 2 1917/58
 KOMPASLES No. 2 1917/58
 ALNO - 1211 (DRESS)
 ALNO - 1217 (DRESS)
 ALNO - 1218 (DRESS)
 ALNO - 1219 (DRESS)
 OORHEET BY MAART 1983 - NOVEMBER 1984
 OORHEET - 1981
 OORHEET - 1981
 LANDMETER



pumezabono
INCORPORATED
ATTORNEYS • CONVEYANCERS

Your Ref :
Our Ref : H Bronkhorst/Jean
E-mail : transfers@pbonoinc.co.za
Date : 18 June 2018

MR & MRS LE KAY
30 PEARL ROAD
BRIDGTON
OUDTSHOORN
6625

PER REGISTERED POST

Dear Sir / Madam

OUR TRANSFER: M & PR AUGUST // DC & DV LE KAY
PROPERTY : ERF 1794 WILDERNESS

We refer to the above matter and attach hereto the ORIGINAL Deed of Transfer No. T22104/2018 for safekeeping by yourself. Kindly acknowledge receipt by signing below and e-mailing back to us via: transfers@pbonoinc.co.za.

We trust you find the above and attached in order.

Yours faithfully
PUMEZA BONO ATTORNEYS
Per:-

NAME: *D.C. LE KAY*
D.V. LE KAY

SIGNATURE: *D.C. Le Kay* *D.V. Le Kay*

DATE: *2018.06.29*

Postnet Suite 25, Private Bag 13130, Humewood, 6013 | 15 Annerley Terrace, Central, Port Elizabeth | Docex-133, Port Elizabeth
t: 041 582 3823 | f: 041 582 3827 | email: info@pbonoinc.co.za

Directors: Pumeza Bono, LLB, LLM (Labour Law) UPE; Precious Nokuthaba Moyo, LLB (Cum Laude) (Fort Hare);
Hannelie Bronkhorst, B.Proc
Candidate Attorney: Akhona Masophi; Operations Manager: Milanie van der Merwe


Registration Number: 2009/005090/21 | VAT Registration Number: 4800268809
www.pumezabonoattorneys.co.za



Pumeza Bono Attorneys
 15 Annerley Terrace
 Central
 Port Elizabeth

Prepared by me

| Amount | | Office fee |
|-----------------------|---------------|---------------------------------------|
| Purchase Price/Value | R. 290 000,00 | R. 465,00 |
| Stamp duty | R. | R. |
| Cost for registration | Cat. | Exempt i.t.o. section Act |


 CONVEYANCER
 HANNELIE MARIÉ BRONKHORST

JAMES EDOUARD PHILLIPSON 

DATA / CAPTURE
 21 MAY 2018
 YOLANDI OLIVIER

DEED OF TRANSFER

T 000022104/2018

BE IT HEREBY MADE KNOWN THAT

CHARNÉ SYMINGTON

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him/her by

DATA / VERIFY
 23 MAY 2018
 LITHA MADAMA

MATTHEW AUGUST
 Identity Number 510130 5125 081
 and
PHYLESIA RENEIGH AUGUST
 Identity Number 550803 0068 081
 Married in community of property to each other

which said Power of Attorney was signed at PORT ELIZABETH on 3 April 2018

And the appearer declared that his/her said principal had, on 11 March 2018, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

DEON CHRISTO LE KAY
Identity Number 610817 5114 086
and
DELIANNE VYONNE LE KAY
Identity Number 650630 0058 088
Married in community of property to each other

their Heirs, Executors, Administrators or Assigns, in full and free property

ERF 1794 WILDERNESS
IN THE GEORGE MUNICIPALITY
DIVISION OF GEORGE
PROVINCE OF THE WESTERN CAPE

IN EXTENT 463 (FOUR HUNDRED AND SIXTY THREE) Square metres

FIRST REGISTERED by Certificate of Registered Title No. T96139/2007 with General Plan No. 12273 annexed and held by Deed of Transfer Number T64428/2014

- A. **SUBJECT** to the conditions contained in Certificate of Amended Title dated 2 August 1904 (George Quitrents Volume 14 No. 15) which reads as follows:

"The land thus granted being further subject to all such Duties and Regulations as either are already or shall in future be established respecting lands granted on similar tenure."

- B. **SUBJECT FURTHER** to the conditions contained in Certificate of Registered Title No T40434/1989 imposed by and in favor of the Administrator of the Cape of Good Hope under the provisions of Section 18 of Ordinance No. 33 of 1934 when approving of the establishment of KLEINKRANTZ TOWNSHIP, namely:

1. Alle woorde en uitdrukkings wat in die volgende voorwaardes gebesig word, het dieselfde betekenis as wat daaraan geheg word by die regulasies afgekondig by Proninsiale Kennisgewing Nr. 623 van 14 Augustus 1970.
2. Ingeval 'n dorpsaalegskemaⁿ of enige gedeelte daarvan op hierdie erf van toepassing is of daarop van toepassing gemaak word, sal enige bepalinge daarvan wat meer beperkend is as enige voorwaardes van eiendomsreg wat op hierdie erf van toepassing is voorkeur geniet. Enige bepaling van hierdie voorwaardes moet nie opgevat word as sou dit die bepalinge van artikel 17 van Ordonnansie Nr. 19 van 1976, soos gewysig, vervang nie.

3. Geen gebou op hierdie erf mag gebruik word of van gebruik verander word vir 'n ander doel as wat volgens hierdie voorwaardes toegelaat word nie.
4. Die eienaar van hierdie erf is verplig om sonder betaling van vergoeding toe te laat dat hoofgasleidings, elektrisiteits-, telefoon- of televisiekabels of – drade en hoof- en/of ander waterpipe en die rioolvuil en dreinerings, insluitende stormwater van enige ander erf or erwe, binne of buite hierdie dorp, oor hierdie erf gevoer word ^{en dat} en dat bogrondse installasies soos mini-substasies, meter kiosks en dienspale daarop geïnstalleer word indien dit deur die plaaslike of 'n ander statutêre owerheid nodig geag word, en wel op die wyse en plek wat van tyd tot tyd redelikerwys vereis word. Dit sluit die reg op toegang te alle redelike tye tot die eiendom in met die doel om enige werke met betrekking tot bogenoemde aan te lê, te wysig, te verwyder of te inspekteer.
5. Die eienaar van hierdie erf is verplig om sonder vergoeding op die erf die material te ontvang of uitgrawings op die erf toe te laat al na vereis word, sodat die volle breedte van die straat gebruik kan word en die wal veilig en behoorlik skuins gemaak kan word omrede die verskil tussen die hoogte van die straat soos finaal aangelê en die erf tensy hy verkies om steunmure te bou tot genoeg van en binne 'n tydperk wat die plaaslike owerheid bepaal.
6. (a) Hierdie erf mag alleenlik gebruik word vir die oprigting daarop van een woning of
- ander gebouse vir die doeleindes wat die Administrateur van tyd na oorleg met die Dorpekommissie en die plaaslike owerheid goedkeur, met dien verstande dat indien die erf in die gebied van 'n dorpsaanlegskema toegelaat word, kan toelaat onderworpe aan die voorwaardes en beperkings wat in die skema bepaal word.
- (b) Geen gebou of struktuur of enige gedeelte daarvan, behalwe grensmure en heinings, mag behalwe met die toestemming van die Administrateur nader as 5 meter van die straatlyn wat 'n grens van hierdie erf uitmaak, asook nie binne 3 meter van die agtergrens of 1,5 meter van die sygrens gemeen aan enige aangrensende erf opgerig word nie, met dien verstande dat met die toestemming van die plaaslike owerheid –
- (i) 'n buitegebou wat uitsluitlik vir die stalling van motorvoertuie gebruik word en hoogstens 3 meter hoog is, gemeet van die vloer van die buitegebou tot by die muurplaat daarvan, binne

sodanige sy- en agterruimtes opgerig mag word, en enige ander buitgeboue van dieselfde hoogte binne die agterruimte en syruimte opgerig mag word vir 'n afstand van 12 meter gemeet van die agtergrens van die erf, met dien verstande dat in geval van 'n hoekerf die afstand van 12 meter gemeet moet word van die punt wat die verste is van die strate wat die erf begrens;

- (ii) 'n buitegebou ingevolge subparagraaf (i) slegs nader aan 'n sygrens of agtergrens van 'n perseel as die afstand hierbo voorgeskryf, opgerig mag word indien geen vensters of deure in enige muur, wat sodanige grens front, aangebring word nie.
- (c) By konsolidasie van hierdie erf of enige gedeelte daarvan met enige aangrensende erf wat onderworpe is aan dieselfde voorwaardes as die wat hierin uiteengesit word, is hierdie voorwaardes op die gekonsolideerde erf van toepassing asof dit een erf is.
- (d) Ingeval hierdie erf onderverdeel word, is elke onderverdeelde gedeelte, uitgesondered enige gedeelte afgesny vir pad- of derglike doeleindes, onderworpe aan die voorwaardes hierin uiteengesit asof dit die oorspronklike erf is.

WHEREFORE the said Appearer, renouncing all rights and title which the said

MATTHEW AUGUST and PHYLESHIA RENEIGH AUGUST, Married as aforesaid

heretofore had to the premises, did in consequence also acknowledge them to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

DEON CHRISTO LE KAY and DELIANNE VYONNE LE KAY, Married as aforesaid

their Heirs, Executors, Administrators or Assigns, now are and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R250 000,00 (TWO HUNDRED AND FIFTY THOUSAND RAND) .

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on

18 May 2018

[Handwritten signature]

R.R.

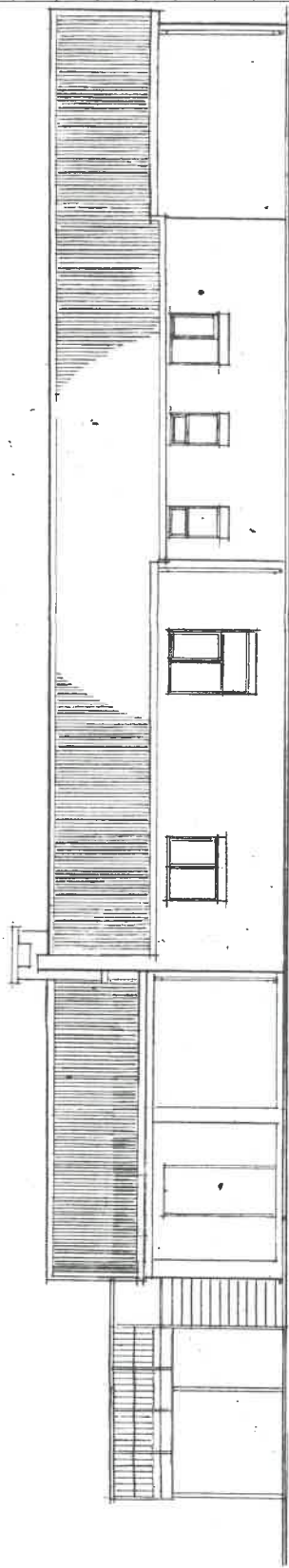
In my presence

[Handwritten signature]

REGISTRAR OF DEEDS

| | |
|----------------------------|--|
| Neighbour's Consent | |
| Owner's name | |
| I.D. Number | |
| Tel. no. | |
| Email address | |
| Erf no. | |
| Date | |
| Signature | |

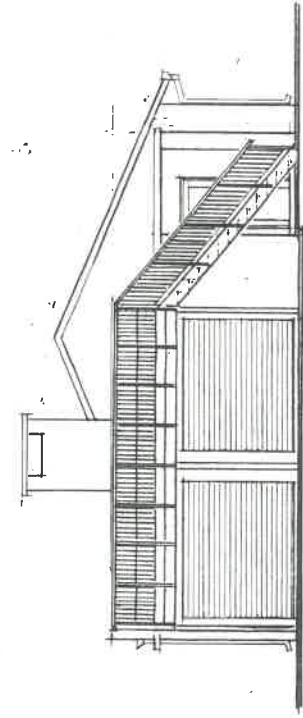
EAST ELEVATION



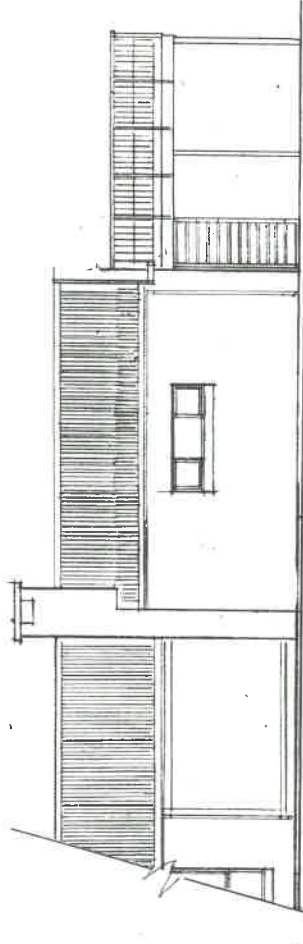
| | | |
|------------------|-------------|------|
| number | description | date |
| REVISIONS | | |

drawing title
**PLAN
 SITE PLAN
 ELEVATIONS
 SECTION A - A**

SOUTH ELEVATION

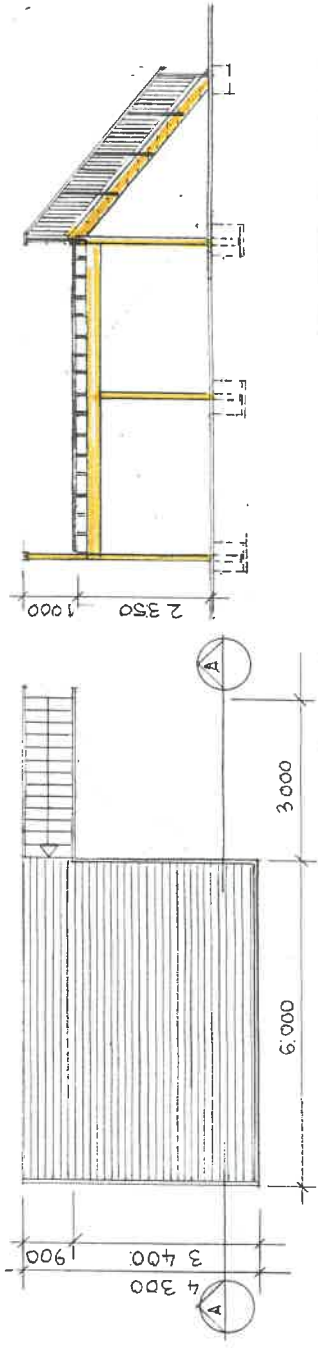


WEST ELEVATION



**DESCRIPTION OF MATERIALS TO BE USED
 AND WORK TO BE DONE**

- EXCAVATION FOR TIMBER COLUMNS:**
 Excavation for 600 x 600 x 600mm deep footings to be taken to depth where solid founding material is found.
- FOUNDATIONS FOR TIMBER COLUMNS:**
 Place 600 x 600 x 50mm concrete paving block in excavation. Place timber columns in centre of excavated area and fill with min. 10MPa concrete.
- TIMBER COLUMNS:**
 50 x 228mm pine timber columns, 6 in no.
- EDGE BEAMS:**
 50 X 228mm pine beams.
- BEARING BEAM:**
 50 X 228mm pine beam.
- DECKING BEARERS:**
 50 X 150mm pine spaced at ±450mm centers.
- DECK PLANKING:**
 38 x 150mm planks spaced with 15mm openings between planks.
- BALUSTRADING:**
 38 X 150mm pine uprights with 38 x 38mm pine balusters between uprights. 38 x 75mm pine intermediate and bottom rails. 38 x 115mm top railing.
- STAIRS:**
 38 x 228mm pine stringers, bolted to deck and paving.
 38 X 228mm pine treads, 12 in no.
- FINISHING:**
 All timber work to be sanded to smooth surface and finished off with approved external varnish.



SECTION A - A

PLAN

project title
**New Timber Deck on Erf 1794,
 Kleinkrantz, Wilderness**

Owner's signature: *Jaap van Lillie*

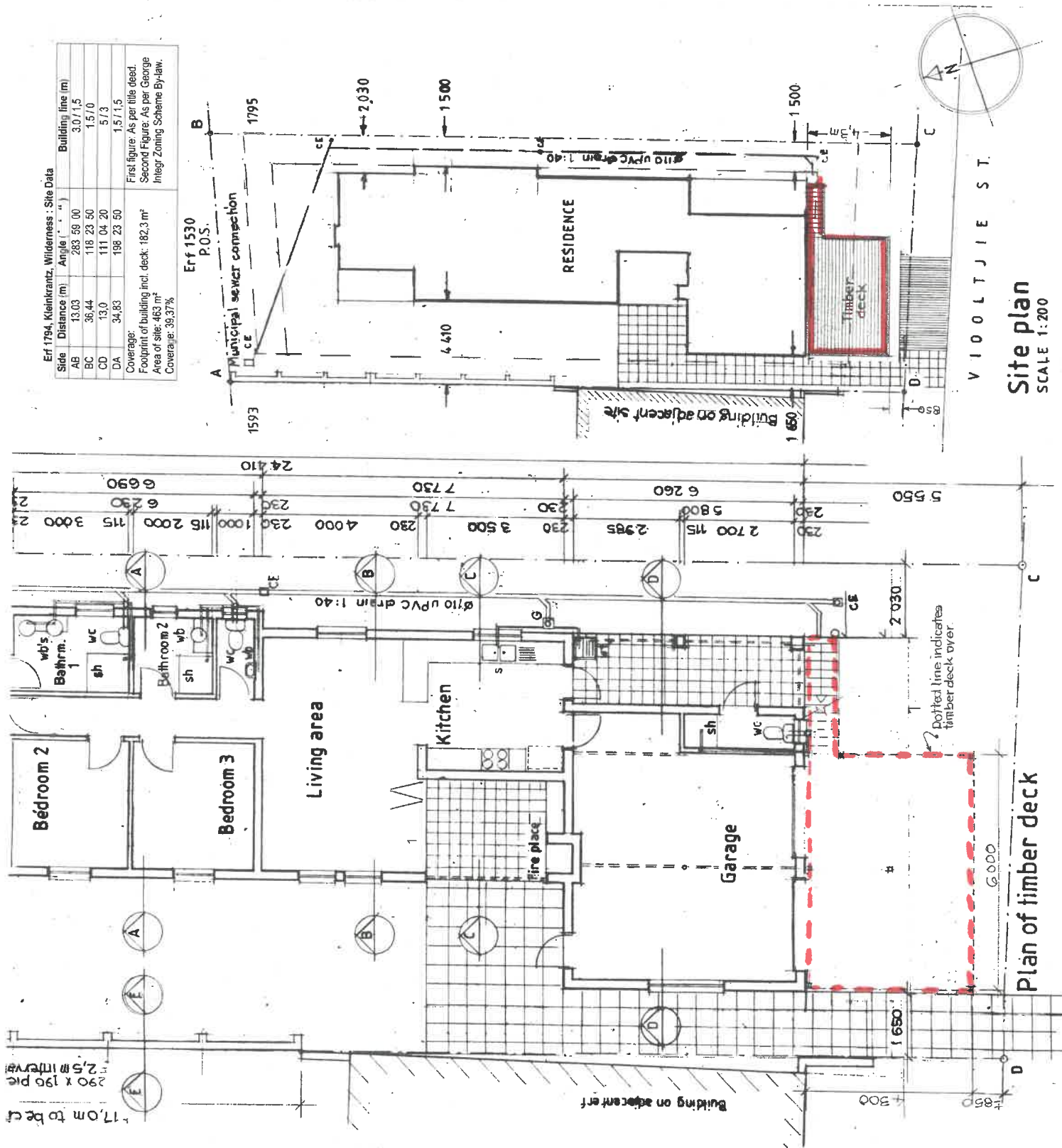
JAAP VAN LILLIE PROFESSIONAL ARCHITECT
 Stockenstr. 6 Stockenstr. St., George 6529
 Postbus / P.O. Box 2338, George 6530
 Cell no: 082 801 4749 e-mail: jvillie@telkomsa.net
 Practice no. PY1398
 SA Council for the Architectural Profession no. 2876

| | | |
|--------|-----------|-----------------------------------|
| scale | 1:100 | Checked |
| date | July 2024 | date of print |
| design | jvillie | drawing number 2108-202 |
| Drawn | jvillie | revision number |

Erf 1794, Kleinkrantz, Wilderness : Site Data

| Side | Distance (m) | Angle (° ' ") | Building line (m) |
|------|--------------|---------------|-------------------|
| AB | 13.03 | 283 59 00 | 3.0 / 1.5 |
| BC | 36.44 | 118 23 50 | 1.5 / 0 |
| CD | 13.0 | 111 04 20 | 5 / 3 |
| DA | 34.83 | 198 23 50 | 1.5 / 1.5 |

Coverage:
 First figure: As per title deed.
 Second figure: As per George Integr Zoning Scheme By-lak.
 Footprint of building incl. deck: 182.3 m²
 Area of site: 463 m²
 Coverage: 39.37%



NOTES:

| number | description | date |
|--------|------------------------------------|--------|
| 1 | zoning scheme building lines added | Feb 26 |

REVISIONS

drawing title
**PLAN
 SITE PLAN
 ELEVATIONS
 SECTION A - A**

project title
**New Timber Deck on Erf 1794,
 Kleinkrantz, Wilderness**

Owner's signature: *[Signature]*

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| scale | 1:200, 1:100 | Checked |
|--------|--------------|-----------------------------------|
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V I O O L T J I E S T.
Site plan
 SCALE 1:200