

Collaborator No.: 2718202
Reference / Verwysing: Erf 1058, Hoekwil
Date / Datum: 05 June 2026
Enquiries / Navrae: Primrose Nako

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MARLIZE DE BRUYN PLANNING
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GEORGE
6530

APPLICATION FOR REMOVAL OF RESTRICTION, REZONING, CONSENT USE AND DEPARTURE: ERF 1058, HOEKWIL

Your application in the above regard refers.

The Deputy Director: Development and Environmental Management (Authorised Official) has, under delegated authority, 4.17.1.17 of 24 April 2025 decided:

- A.** That the application for **Permanent Departure** in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for an increase in the wall plate height of the garage and outbuilding (office) proposed on Erf 1058, Hoekwil from 6.5m to ± 7.5 m; **IS NOT REQUIRED** for the following reason:

REASON FOR DECISION:

- i) There are no set development parameters for properties zoned Open Space Zone III, thus the application for permanent departure is not necessary as development parameters are determined by the Municipality as conditions of approval and/or on submission of the site development plan.

- B.** That the following applications applicable to Erf 1058, Hoekwil:

- Removal** in terms of Section 15(2)(f) of the Land Use Planning By-Law for George Municipality, 2023 of restrictive title deed Conditions E(a) and E(b) from Title Deed T4887/2023 applicable to Erf 1058, Hoekwil;
- Rezoning** in terms of Section 15(2)(a) of the Land Use Planning By-Law for George Municipality, 2023 of Erf 1058, Hoekwil from Agricultural Zone II to Open Space Zone III;

BE APPROVED in terms of Section 60 of the said Planning By-law for the following reasons:

REASONS FOR DECISION:

- i) The property is zoned Agricultural Zone II for a smallholding but holds no potential to be developed for small-scale farming purposes. Its use is therefore limited to extensive residential (rural living).

- ii) The property is also encumbered by significant bio-physical constraints, including steep slopes and natural forest on large sections thereof. There are areas of environmental disturbance on the property requiring rehabilitation, with the entire property requiring concerted environmental management.
- iii) The proposal submitted enables the owner to implement his/her existing development rights while also supporting the effective management of the site and enabling the formal protection of the natural forest (CBAs and ESAs) through formal Stewardship Agreements.
- iv) The proposal will not result in any enhanced or additional development rights and thus cannot have a negative impact on the surrounding area, streetscape, natural environment, character of the neighbourhood, or neighbours' rights and amenities.
- v) The proposal is also consistent with the George Municipal Spatial Development Framework, 2023 which encourages the protection of areas within CBA and ESA, through the zoning of properties to Nature Conservation Areas.
- vi) Notwithstanding the comments / objections (concerns raised) by interested and affected parties, environmental authorities have supported the proposal indicating that it will result in least disturbance to the natural environment.
- vii) It is also noted that an Environmental Authorization has been issued by a competent authority for the development, though it has subsequently been set aside. It is also noted that the development of the property is subject to OSCAE and that environmental impacts can be effectively mitigated through said environmental management instruments. Notwithstanding, conditions have been imposed to establish development parameters for the structures to be built on the property.
- viii) It is also recognised that the development (as presently proposed) cannot be implemented in the absence of an Environmental Authorization issued by the Department of Environmental Affairs and Development Planning. The owner can however opt to submit a revised proposal that does not trigger listed activities in terms of NEMA and/or NEMBA should he/she wish to implement their new zoning rights.
- ix) Removal of title deed restrictive conditions will not have an adverse impact on the rights of property owners in the area.

Subject to the following conditions imposed in terms of Section 66 of the said Planning By-law:

CONDITIONS OF THE DIRECTORATE: PLANNING AND DEVELOPMENT

General conditions:

1. That in terms of the provisions of the Land Use Planning By-law for George Municipality, 2023, the approval shall lapse if not implemented within a period of five (5) years from the date of approval.

Conditions applicable to rezoning application:

2. This approval shall be taken to cover only the development of a dwelling house, outbuilding with a home office, garage, storage, kitchen yard and related infrastructure (conservancy tank, road and pavement) generally in the positions and development footprint as indicated on site plan number 2026/REV 4 (Sheet A0 – 001) dated 8 February 2026 and drawn by SIG Planning, Design and Engineering attached hereto as "Annexure A" which bears Council's stamp and shall not be construed as to depart from any other Council requirements or legal provisions.
3. A Site Development Plan (SDP) for the development must be submitted to the satisfaction of this Directorate for consideration and approval, in accordance with the provisions of Section 23 of the George Integrated Zoning Scheme By-Law, 2023 and the conditions of approval prior to submission of building plans.
4. Access approval from the Western Cape: Department of Infrastructure must be submitted with the SDP.
5. The owners of the subject property must enter into a formal Stewardship Agreement with SANPARKS. Proof thereof must be submitted with the SDP application.
6. The developer must appoint an Environmental Control Officer (ECO) to ensure compliance with all relevant environmental requirements, recommendations and comments from Cape Nature, SANPARKS and the Department of Environmental Affairs and Development Planning (Environmental Authorisation).

7. The ECO must confirm that the SDP submitted (including the footprint of the disturbance area) complies with all the relevant environmental conditions, recommendations and/or legislation.
8. The developer must submit an Environmental Management Plan to this Directorate with the SDP for approval.
9. The finishing of the proposed structures must make extensive use of natural colours that allow these structures to blend into the surrounding natural landscape.
10. The SDP must indicate appropriate screening (natural / landscaping) from the access road.
11. The height of all structures must comply with development parameter (a) of “dwelling house”, except that the wall-plate height of the proposed garage, storage and office building on the property shall be 7,5m.
12. The proposed office must comply with the development parameters for “home occupation”.
13. Garaging on the property must comply with development parameter (g) of “dwelling house”.

Conditions applicable to Removal of Restrictive Conditions:

14. That in terms of Section 34(1) of the Land Use Planning By-law for George Municipality, 2023, the owner must apply to the Registrar of Deeds to make the appropriate entries in, and endorsements on, any relevant register or title deed to reflect the removal and/or amendment of the restrictive conditions, after the publication of a notice contemplated in Section 33(7) in the Provincial Gazette.
15. A copy of the endorsed Title Deed must be sent to this Directorate for record purposes.

Implementation of rights

16. The above approval will be considered as implemented on approval of the site development plan and related building plans.

Town Planning Notes:

1. *Building plans for the property may only be submitted after approval of the site development plan.*
2. *Development to comply with the OSCAE permit and all other environmental requirements including any requirements relating to lighting of paths, prevention of light pollution, fencing, stormwater management, finishing of external walls, treatment of retaining structures, rehabilitation of disturbed areas, etc.*
3. *Extent of structures to comply with the Environmental Authorization / applicable environmental laws.*
4. *Clarification to be provided on the need and approval of the road to the south of the property.*
5. *The owner to note that the necessary permits from the competent authority will be required before clearing of any protected vegetation / forestry on the property.*
6. *Electrical Consulting Engineer to be appointed on this development to prepare a services report which will advise on the maximum demand to be allowed for the development and address the relocation of the existing 11kV overhead line running through the property.*
7. *Building plan to be submitted in terms of Section 4 of the National Building Regulations.*
8. *Building plans to comply with SANS 10400 and any other applicable legislation.*
9. *No construction may be commenced with until such time as a building plan has been approved.*
10. *The property may only be used for the intended purpose once a Certificate of Occupation has been issued.*

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Planning and Development, P O Box 19, George, 6530 or Directorate: Planning and Development, 46 Market Street (Old York Hostel Building), George **on or before 26 June 2026**, and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

Yours faithfully

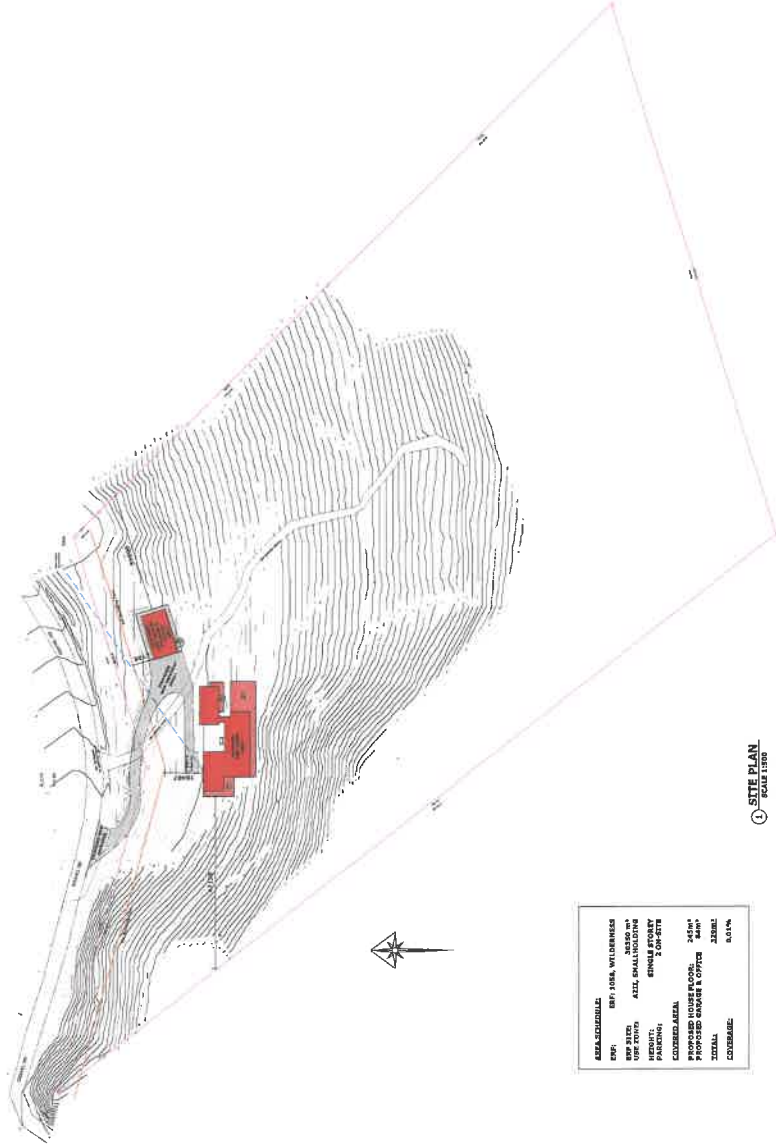


C PETERSEN
SENIOR MANAGER: TOWN PLANNING

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Notes:

- Development to comply with the OSCAE permit and all other environmental requirements.
- Extent of structures to comply with the Environmental Authorization.
- Clarify need of road to the south with submission of the Site Development Plan.
- Access to be approved by the Department of Infrastructure.
- Allotment to be changed to "Hoekwil".
- Office to comply with development parameters for "home occupation".



AREA:	100% WILDERNESS
PROPOSED HOUSE FLOOR:	240m²
PROPOSED GARAGE & OFFICE:	80m²
TOTAL:	320m²
COVERAGE:	0.01%

① SITE PLAN SCALE 1:1000

MUNICIPALITEIT GEORGE MUNICIPALITY
 Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

05/06/2026
 DATE
 DATUM

MANAGER: TOWN PLANNING
 SENIOR BEAUREAUER: STATSBEPANNING

General Notes:

- METRIC RELATIVE TO DATUM (NGL 600 @ POINT A)
- Habitable rooms to have min 10% light & 5% ventilation per floor area.
- All work must be done in accordance with NBR & SANS16400 & SANS10400 YA & 304 & SANS 517 as per attached compliance report.
- All exterior walls are 150mm light steel frame walls as per SANS 517.
- All interior walls are 150mm light steel frame walls as per SANS 517.
- Foundations are reinforced concrete to geotechnical specifications. Refer to geotechnical report for foundation details.
- All aluminium windows and doors are per schedule and glazing must comply with SANS8337. Aluminium to comply with SANS10400 YA & 304 & SANS 517 as per attached compliance report.
- All electrical & plumbing installation to be carried out by registered contractors as per NBR & SANS regulations.
- Minimum invert level @ 450mm / Gradient 1:5 - 69 / RE max
- Gully @ 50mm AFCL (paving) / 150mm ANGL (ground)
- x 110 Open vent to extend to min 100mm above roof level.
- All plumbing that passes under structures to be cast in concrete.
- All ceiling & balustrading as indicated. Min. 1m height, no openings > 100mm. All as per SANS10400.
- The contractor to ensure that the installation of a sleepers for future fibre connection is to be installed as indicated on the plans.
- These plans are for municipal submission (not construction) & should be read in conjunction with the engineers plan for construction.
- Contact the designer or engineer if there are any uncertainties.

SPECIFICATIONS:

- FOUNDATIONS AND FLOORS:**
 - Light steel frame suspended floor structure on wooden poles.
 - Floor finish, on Light steel frame suspended structure by water, to be laminated flooring.
 - 150mm Light steel frame Walls.
 - 100mm cavity batt insulation, 12.2mm Skinned Rhino Roof.
 - Roof pitch as 5° and variable overhangs, (lower to plane) membrane, (roof sheet Colour by Client)
 - 12x225mm NUTEC fascias and 13x275mm NUTEC barge boards. (Colour by Client).
 - Doors, WINDOWS & BALUSTRADES: Windows & External Doors: Epoxy coated aluminium. (Colour by Client).
 - Window Sills: Epoxy coated aluminium. (Colour by Client).
 - All window frames around window for transition between TBR and Window.
 - All window frames to have min 10% light & 5% ventilation per floor area.
- ALL MEASUREMENTS TO BE CHECKED ON SITE, COMPARE WITH DESIGNER.**

CLIENT:	DESIGNER:
PLANS NOT FOR CONSTRUCTION PURPOSES.	
COPYRIGHT RESERVED BY STUDIO 19 ON ALL DESIGNS AND DOCUMENTATION	
<p>519</p> <p>PO BOX 802 NUMBER 625 681 81442355 08 33 665735 11 814479621 read 01@studio19.co.za</p>	
CLIENT:	planning - design - engineering
PROJECT:	Proposed new dwelling on ERF-1058, Wilderness, George
DATE:	05/06/2026
SHEET:	FLOOR PLAN, WATER AND ELECTRICAL LAYOUTS, SECTION, ELEVATIONS, SITE PLAN
REFERENCE NO.:	2026/REV 4
	MUNICIPAL SUBMISSION