

Collaborator No.: 3817311
Reference / Verwysing: Erf 1451, Wilderness
Date / Datum: 12 June 2026
Enquiries / Navrae: Andrea Griessel

Email: janvrolijk@jvtownplanner.co.za

JAN VROLIJK TOWN PLANNER
P O Box 710
GEORGE
6530

**APPLICATION FOR ADMINISTRATOR'S CONSENT AND PERMANENT DEPARTURES: ERF 1451,
WILDERNESS**

Your application in the above regard refers.

A. The Deputy Director: Development and Environmental Management (Authorised Official) has, under delegated authority, 4.17.3.13 of 24 April 2025 decided that, notwithstanding the objection received, the application for Administrator's Consent in terms of Section 39(4) of the Western Cape Land Use Planning Act, 2014 to relax the following building lines in terms of Condition B.7. and B.7.(a) on Title Deed T58304/2005 for Erf 1451, Wilderness:

- (a) the northern side boundary building line from 1.5m to 0.174m for a proposed garage for the second dwelling unit and from 1.5m to 0.322m for the proposed covered walkway of the second dwelling;
- (b) the western rear boundary building line from 3.0m to 0.0m varying to 0.440m for the proposed garage of the second dwelling;
- (c) the western rear boundary building line from 3.0m to 2.110m varying to 3.0m for the second dwelling;
- (d) the eastern side boundary building line from 1.5m to 1.182m varying to 1.5m for the garage of the main dwelling house and for the water tanks below the garage;

BE APPROVED in terms of Section 60 of said By-law for the following reasons:

- (i) The application aligns with the above-mentioned zoning scheme development parameters and departures as applied for.
- B. That, notwithstanding the objection received, the following applications applicable on Erf 1451, Wilderness:
- 1. Permanent Departure in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for the relaxation of the following building lines on Erf 1451, Wilderness:
 - (a) the northern side boundary building line from 2.0m to 0.322m for the proposed covered walkway leading to the second dwelling; and

- (b) the eastern side boundary building line from 2.0m to 1.182m varying to 2.0m for the garage of the main dwelling house and for the water tanks below the garage;
2. Permanent Departure in terms of Section 15(2)(b) of the Land Use Planning By-law for George Municipality, 2023 for a from development parameter (a) pertaining to the wall-plate height of a dwelling house from 6.5m to 8.115m varying to 8.435m as seen from the south and from 6.5m to 8.435m as seen from the east on Erf 1451 Wilderness;

BE APPROVED in terms of Section 60 of said By-law for the following reasons.

REASONS FOR DECISION

- (i) The proposed dwelling remains within the overall development envelope contemplated by the Zoning Scheme, notwithstanding the requested departures.
- (ii) The design of the dwelling is largely informed by the property's unique location, topography, and environmental characteristics. Accordingly, the requested departures are considered reasonable, justified, and compatible with both the environmental characteristics of the site and the amenity of surrounding properties.
- (iii) It was found that the proposed dwelling on Erf 1451 is situated on a lower elevation than the dwelling on Erf 1450. As a result, the proposal will not materially impede the views currently enjoyed from Erf 1450 beyond what could reasonably be expected from the lawful development of a dwelling house on Erf 1451 in accordance with the applicable Zoning Scheme provisions.
- (iv) The proposed development will not have an adverse impact on the surrounding neighbours' rights or amenity in terms of privacy, views or overshadowing; and
- (v) The present application differs materially from the application submitted in 2022, considering the revised design, scale, massing, site specific considerations, and the circumstances currently applicable to the property.

Subject to the following conditions imposed in terms of Sections 66 of the said By-law, namely:

CONDITIONS OF THE DIRECTORATE: PLANNING AND DEVELOPMENT

1. That in terms of the Land Use Planning By-law for the George Municipality, 2023, the above approvals shall lapse if not implemented within a period of five (5) years from the date it comes in operation.
2. This approval shall be taken to cover only the applications applied for and indicated on the site layout plan [Plan No. BA24-002 2-01 to 3-01 MS (6x plans) dated September 2024, drawn by Blue Architects attached as "*Annexure A*" which bears Council's stamp and shall not be construed as to depart from any other Council requirements or legal provision.
3. The owner must appoint a structural engineer to take responsibility for all earthworks, slope stabilisation and construction of the dwelling house (Engineer to sign off on the building plans).
4. The above approval will be considered as implemented on the commencement of building works in accordance with the approved building plan.

Environmental Control Notes

- i) *The property is located on a coastal dune and is therefore environmentally sensitive. Disturbance to vegetation along the southern boundary must be limited.*
- ii) *Direct discharge of stormwater runoff on site is not supported, and measures must be implemented to promote slow infiltration.*
- iii) *The installation of rainwater harvesting tanks is recommended as a condition of approval to assist with stormwater management on site. Contrary to the applicant's assertion that the site is not environmentally sensitive, it is.*

- iv) **A letter of appointment for the Environmental Control Officer (ECO), together with the ECO's scope of responsibilities, must accompany the building plan application.** The ECO is to oversee all site clearance and construction activities to ensure compliance with environmental requirements and to prevent disturbance beyond the approved development footprint. NFA license may be required.

General Notes:

- i) A building plan must be submitted for approval in accordance with the National Building Regulations (NBR).
- ii) No site clearing or construction works may commence prior to the building plan being approved. The owner must inform the Building Control Section and Environmental management Section of this Directorate of its intent to commence with site clearing at least 1 week prior to commencement.
- iii) The owner must ensure adequate stormwater attenuation occurs and that stormwater is appropriately dispersed into the street, rather than into the adjoining natural areas. The stormwater management and retention measures must be addressed on the building plans.
- iv) Removal of waste, generated during the activity, must be disposed at a registered disposal facility.
- v) Implement the integrated waste management approach that addresses waste avoidance, reduction, re-use, recycling, recovery, treatment, and safe disposal as a last resort.

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Planning and Development, P O Box 19, George, 6530 or Directorate: Planning and Development, 46 Market Street (Old York Hostel Building), George **on or before 3 JULY 2026**, and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

Yours faithfully



C PETERSEN

SENIOR MANAGER: TOWN PLANNING

C:\Town Planning\Approvals\Erf 1451, Wilderness_approval letter

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LEVELS AND DIMENSIONS:
 ALL DIMENSIONS AND LEVELS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
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AREA SCHEDULE:	
NO.	DESCRIPTION
1	AREA UNDER ROOF
2	AREA UNDER COVER
3	AREA UNDER PATIO
4	AREA UNDER PORCH
5	AREA UNDER BALCONY
6	AREA UNDER TERRACE
7	AREA UNDER DRIVEWAY
8	AREA UNDER GARAGE
9	AREA UNDER STAIRS
10	AREA UNDER PORCH
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No.	Date	Description	By
1	12/06/2026	Final Design	BA



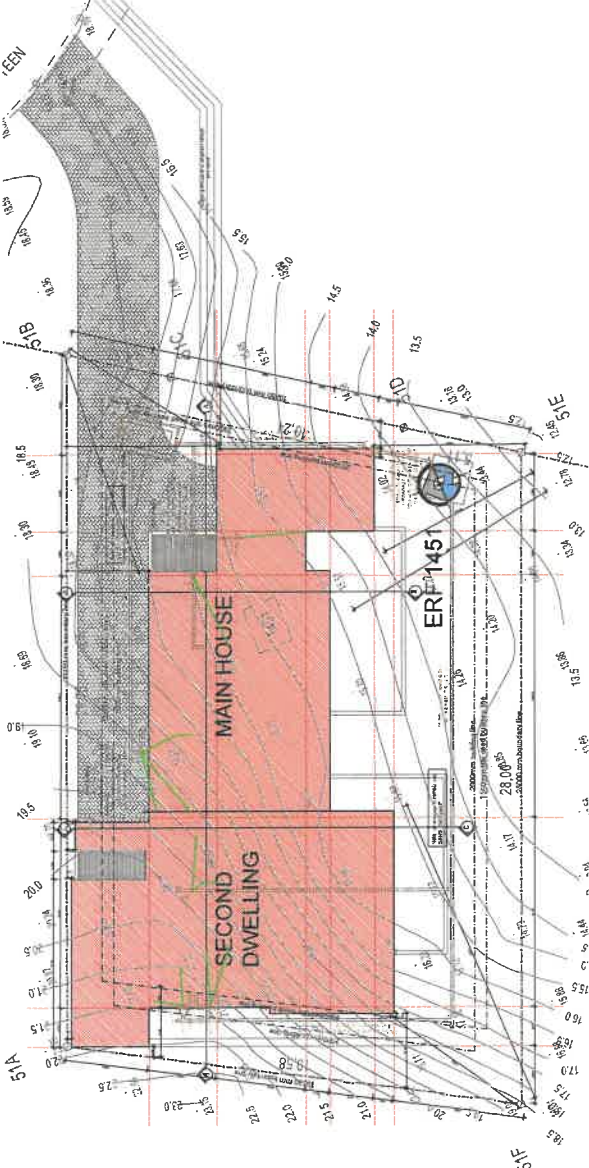
CLIFTON DUNES (PTY) LTD

Proposed New Housing on Erf 1451 Kleinkrantz Wilderness

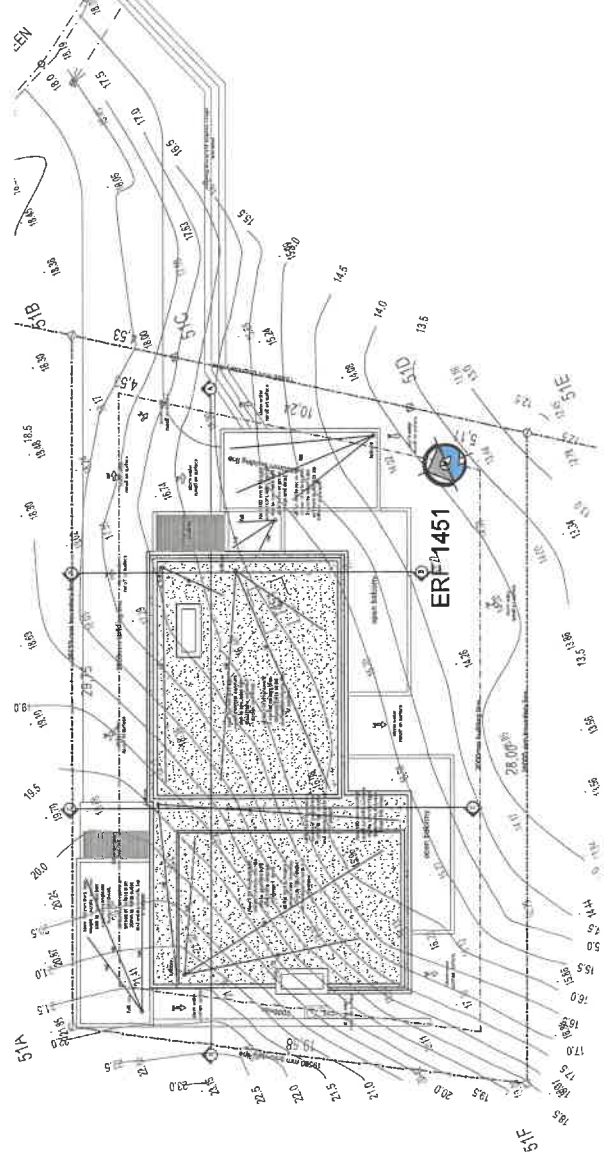
SITE PLAN AND ROOF PLAN

Project No: BA04-002-1401-MS

Client: RIMAN LE ROUX
 Architect: AS SHOWN
 Date: SEP 2024

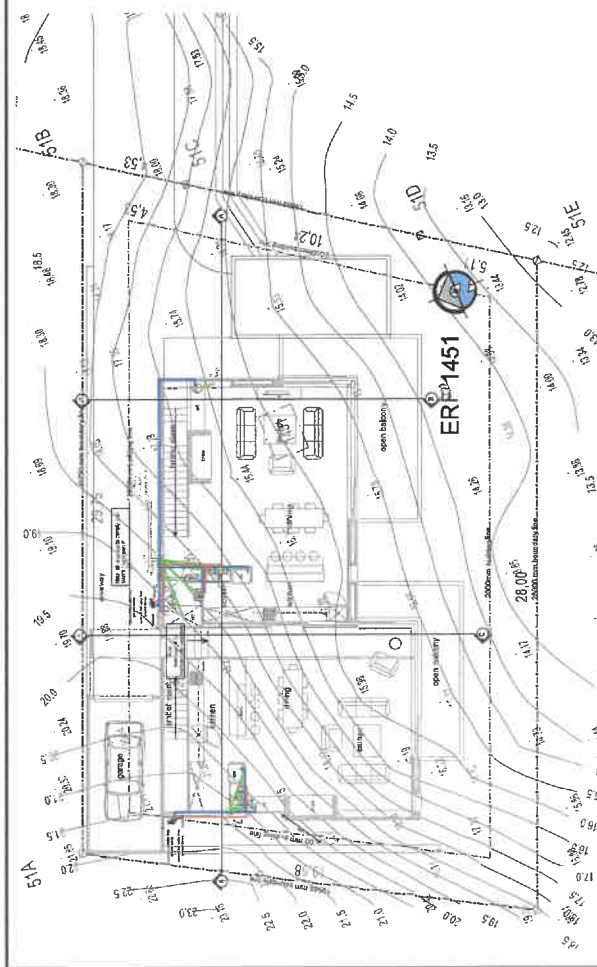


SITE PLAN - scale 1 : 100

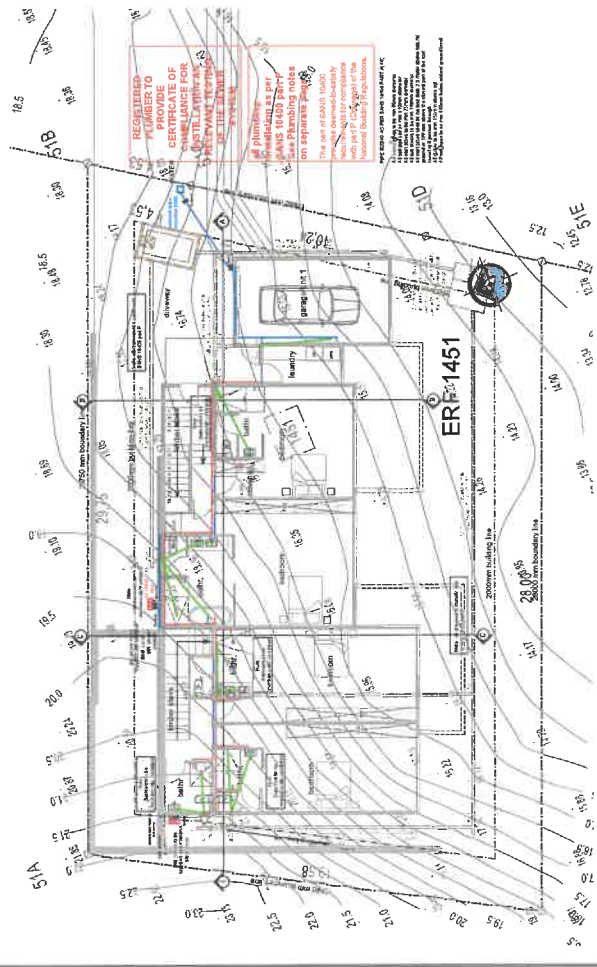


ROOF PLAN - scale 1 : 100

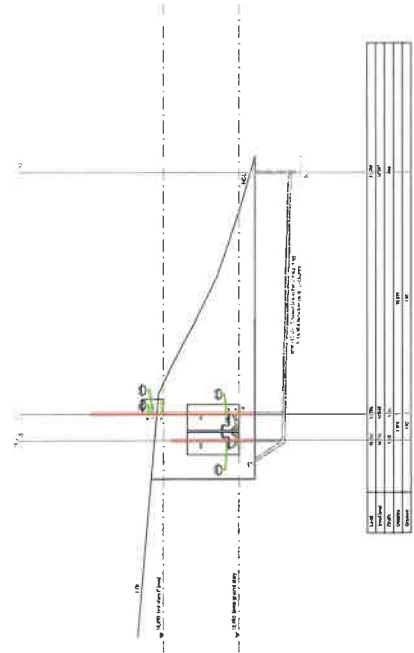
MUNISIPALITEIT GEORGE MUNICIPALITY
 Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.
 12/06/2026
 DATE: 12/06/2026
 SENIOR MANAGER: TOWN PLANNING
 SENIOR BESTUURDER: STADSBEPLANNING



FIRST STOREY SEWER & WATER RETICULATION LAYOUT - scale 1 : 100



GROUND STOREY SEWER & WATER RETICULATION LAYOUT - scale 1 : 100



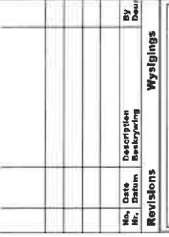
DRAINAGE SECTION A - scale 1 : 100

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LEVELS AND DIMENSIONS.
 THE CONTRACTOR SHALL VERIFY ALL LEVELS AND DIMENSIONS AND SHALL BE RESPONSIBLE FOR ALL ERRORS. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.

No.	Date	Description	By
1	2023-08-15	Issue for Approval	BA
2	2023-08-20	Revised	BA

Revisions	Wysings



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 101 THE UNIVERSITY OF WITWATERSRAND
 CAMPUS A, 1ST FLOOR, 101 UNIVERSITY DRIVE, CLIFTON, JOHANNESBURG, 2013

CLIFTON DUNES (PTY) LTD

Proposed New Housing on Erf 1451
 Kleinfontein Wilderness

PROJECT NO: BA-400-240185
 PROJECT NAME: CLIFTON DUNES
 PROJECT LOCATION: CLIFTON, JOHANNESBURG

DATE: 2023-08-15
 DRAWN BY: BA
 CHECKED BY: BA
 APPROVED BY: BA

MUNICIPALITEIT GEORGE MUNICIPALITY
 Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

DATE: 2023-08-15
 DATUM: 2023-08-15

SENIOR MANAGER: TOWN PLANNING
 SENIOR SUPERVISOR: STATISTICS

[Signature]
 DATE: 2023-08-15
 DATUM: 2023-08-15

