



The Municipal Manager
P O Box 19
George
6530

Reference: Erf 2096 Wilderness

28 May 2026

Sir

APPLICATION FOR PERMANENT DEPARTURE (CONDITIONS OF APPROVAL FOR BUILDING MATERIAL): ERF 2096 WILDERNESS (CONSTANTIA KLOOF)

Attached hereto please find an application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 2023 for a permanent departure from the original conditions of approval for Farm 158 known as Constantia Kloof, with specific reference to Condition 4.2 of the approval dated 25 November 1996 to allow a concrete and painted dwelling house on Erf 2096 Wilderness.

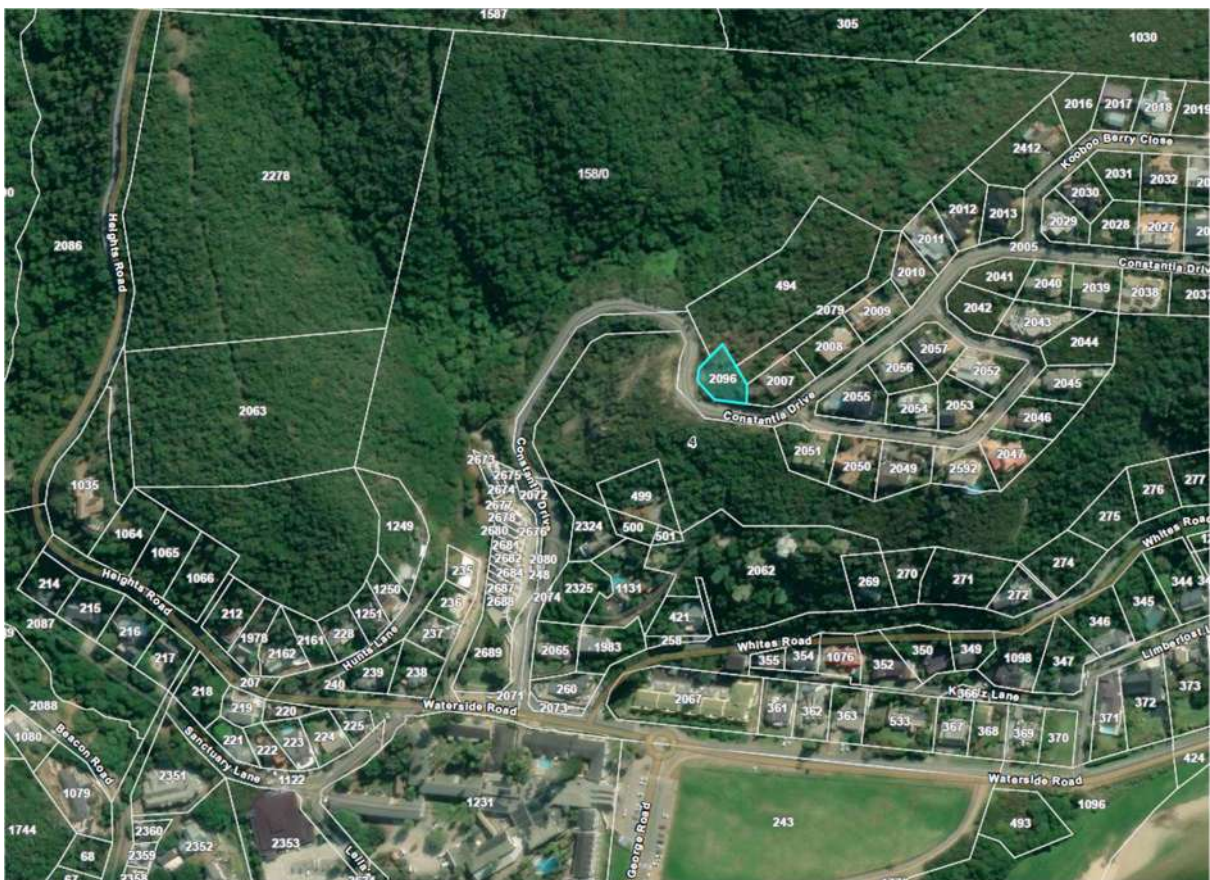
Your prompt consideration of the application will be appreciated.

Thanking you in anticipation.

Jan Vrolijk

MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURE (CONDITIONS OF APPROVAL
FOR BUILDING MATERIAL)
ERF 2096 WILDERNESS (CONSTANTIA KLOOF)

28 May 2026



Prepared for:

Lindl Viljoen and Gawie Steyn Viljoen
2096 Constantia Drive
Wilderness
6560

Prepared by:

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SACPLAN Registration No A/1386/2011

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MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURE (CONDITIONS OF APPROVAL FOR
BUILDING MATERIAL)
ERF 2096 WILDERNESS (CONSTANTIA KLOOF)

1. APPLICATION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the original conditions of approval for Farm 158 known as Constantia Kloof, with specific reference to Condition 4.2 of the approval dated 25 November 1996 to allow a concrete and painted dwelling house on Erf 2096 Wilderness.

The proposed site and building plans are attached hereto as **Annexure “A”**. The completed application form for the permanent departure is attached hereto as **Annexure “B”**.

2. BACKGROUND

Erf 2096 Wilderness is located in the area of Wilderness known as Constantia Kloof. The aerial image below indicates Constantia Kloof as well as the locality of the subject property.



The design of the dwelling houses in Constantia Kloof is restricted to certain building materials as per the original Constantia Kloof development approval applicable to Farm 158 with specific reference to Condition 4.2 which reads as follows:

“4.2 That all exterior finishes of buildings and boundary wall/fences be constructed of clinker brick (face brick) and/or timber logs and that all roofs be of a green, brown or black colour.”

The George Municipality has granted approval to depart from Condition 4.2 in various cases to use more modern building materials which include concrete, iron sheets for cladding and terracotta colors to give the dwelling houses a more modern look.

3. DEVELOPMENT PROPOSAL

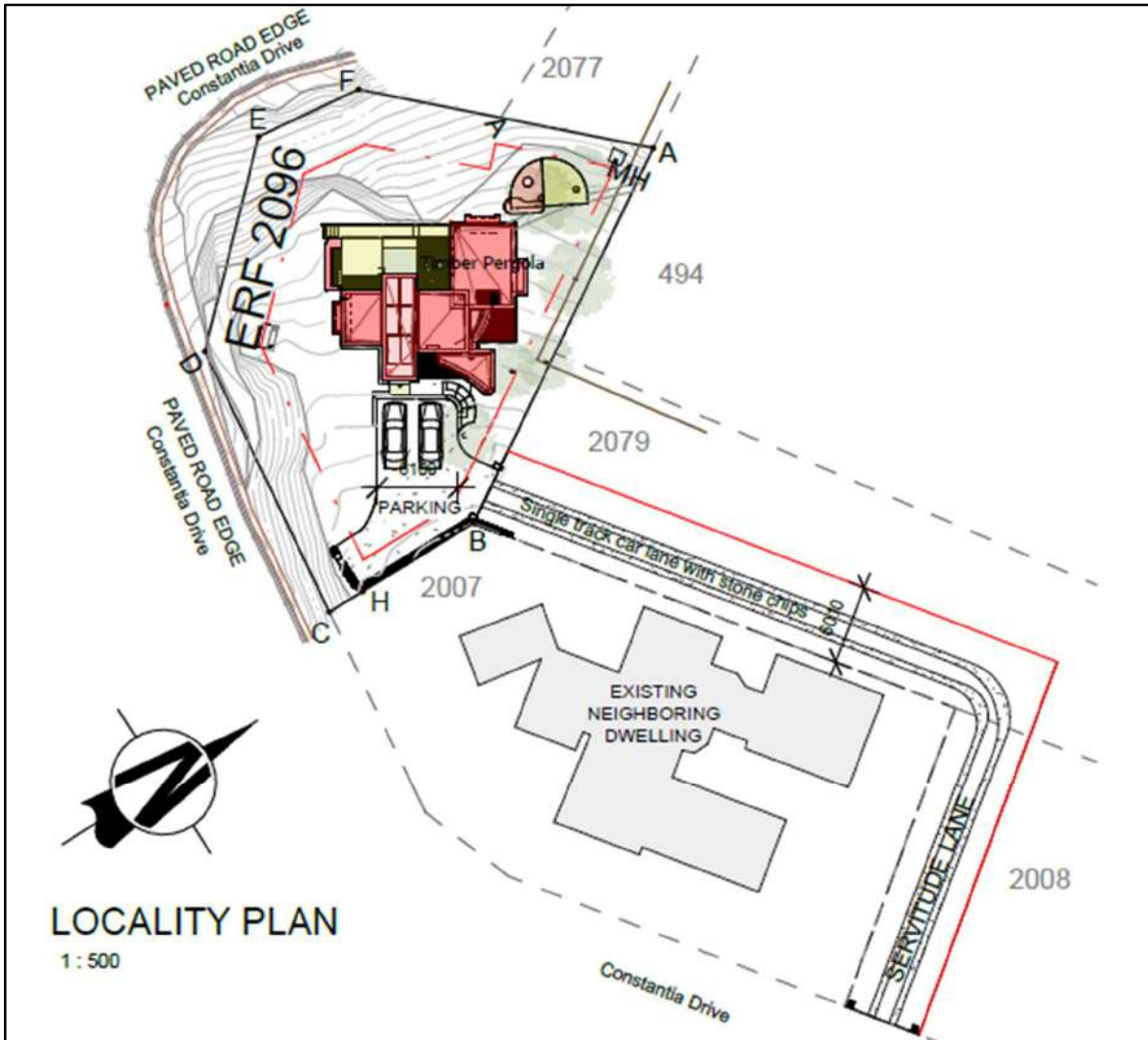
Erf 2096 Wilderness is 814m² in extent and is currently vacant. Erf 2096 is one of only a few undeveloped properties in Constantia Kloof as the area has been developing consistently in the last few years.

The owner intends to develop a single-store dwelling house with a flat roof on Erf 2096 Wilderness. The dwelling house will consist of one bedroom with ensuite bathroom and balcony, a kitchen with scullery and patio, a lounge and outdoor deck with a swimming pool. The dwelling house will have a floor area of 94.6m², a covered patio of 22.8m², a swimming pool of 8.3m² and a deck of 41.7m².

The dwelling house will have a total footprint of 117,4m² which is equivalent to a coverage of 18.18%. In terms of the George Integrated Zoning Scheme By-law, 2023 the coverage applicable to a dwelling house on an erf smaller than 1 000m² is 50%. The proposed dwelling house on Erf 2096 Wilderness is therefore compliant with the coverage applicable to the erf.

The property which forms the subject of this application was established in 1996 together with the original Constantia Kloof and was originally known as Erf 2006 Wilderness. During 1996, Erf 2006 Wilderness was consolidated with a portion of Erf 494 Wilderness to create the now known Erf 2096 Wilderness. Erf 2096 Wilderness is the first property when driving up Constantia Drive.

Due to the steep slope and rocky formation on Erf 2096 Wilderness, vehicular access along the borders of Erf 2096 Wilderness to Constantia Drive was unfeasible. Therefore, a right-of-way servitude to allow access to Erf 2096 Wilderness from Constantia Kloof Drive was registered over Erf 2008 Wilderness and Erf 2079 Wilderness, as can be seen via the extract of the site plan.



The 3D renderings below, which is also attached hereto as **Annexure “C”** gives an indication of the visual appearance of the proposed dwelling house to be erected on Erf 2096 Wilderness. The picture below gives an indication of the dwelling house as seen from a western direction via Constantia Drive.



The design and style of the proposed dwelling house can be described as modern Mediterranean or Spanish Revival and will be constructed from concrete and will be painted with natural colors including terracotta, as can be seen in the image below. Therefore, a departure is required from the original conditions of approval for Constantia Kloof, to allow the use of concrete and to paint the proposed dwelling house.



Melisa Dalton has been appointed by the owners to attend to the required OSCAE application. A letter confirming the appointment is attached hereto as **Annexure “D”**.

The purpose of this application is to obtain approval for the proposed dwelling house to be developed on Erf 2096 Wilderness which utilizes modern construction materials and colors.

4. PRE-APPLICATION CONSULTATION

A pre-application consultation is not required as the proposal entails an application for permanent departures including relaxation of building lines and conditions of approval. This is in line with the e-mailed directive in this regard to various consultants by the Municipal Town Planners, which was issued by e-mail dated 10 May 2022.

5. GENERAL INFORMATION REGARDING ERF 2096 WILDERNESS

5.1 Locality

Erf 2096 Wilderness is located in Constantia Kloof which is directly north of the CBD of Wilderness. Wilderness is located approximately 20km east of George. The locality of the property is indicated on the locality plan which is attached hereto as **Annexure “E”**.

5.2 Existing land use

The application property is currently vacant.

5.3 Extent of erf

Erf 2096 Wilderness, Constantia Kloof is 814m² in extent.

5.4 Existing zoning

In terms of the George Integrated Zoning Scheme By-Law, 2023, the zoning of Erf 2096 Wilderness is Single Residential Zone I. The proposed dwelling house complies with all the development parameters applicable to a Single Residential Zone I zoning as stated in the George Integrated Zoning Scheme By-Law, 2023.

5.5 Surveyor General Diagram

A copy of the Surveyor General Diagram for Erf 2096 Wilderness is attached hereto as **Annexure “F”**.

5.6 Title Deed

Erf 2096 Wilderness is registered in the name of Lindl Viljoen and Gawie Steyn Viljoen. A copy of Title Deed of the property, Title Deed No. T20303/2026, is attached hereto as **Annexure “G”**.

5.7 Power of Attorney

A Power of Attorney, whereby Jan Vrolijk Town Planner / Stadsbeplanner is appointed by Lindl Viljoen and Gawie Steyn Viljoen, the registered owners of Erf 2096 Wilderness, to prepare the application referred to in point 1 of this motivation report and to sign all relevant documents is attached hereto as **Annexure “H”**.

5.8 Bondholder’s Consent

Erf 2096 Wilderness is not encumbered by a bond.

5.9 Conveyancer Certificate

A Conveyancer Certificate in respect of Erf 2096 Wilderness is attached hereto as **Annexure “I”**. The Conveyancer Certificate confirms that there are no conditions in the Title Deed of the Erf 2096 Wilderness which places a restriction of the erf as proposed.

6. DESIRABILITY OF APPLICATION FOR PERMANENT DEPARTURE (CONDITIONS OF APPROVAL FOR BUILDING MATERIAL FOR CONSTANTIA KLOOF): ERF 2096 WILDERNESS

6.1 Introduction

Specific issues which must be addressed in the motivation of applications are highlighted in the Land Use Planning By-Law for George Municipality, 2023. These issues are, however, aimed at more complex applications and are not applicable to lesser applications, such as this application for a permanent departure of the conditions of approval for Constantia Kloof.

This application will therefore be motivated with reference to the following aspects:

- *Compatibility of the proposal with the existing planning and land uses of the surrounding area.*
- *The impact that the proposal will have on the environment.*
- *The impact that the proposal will have on traffic and parking in the surrounding area.*
- *The impact that the proposal will have on surrounding facilities such as schools, open spaces and other community facilities, should the application result in an increase in the population of the area concerned.*
- *The impact that the proposal will have on the existing character of the surrounding area and the right of the inhabitants of the area in respect of property values, privacy, view, sunlight, et cetera.*
- *Provision of essential services.*

It will be indicated in the following paragraphs that the proposal can be regarded as being desirable as far as the mentioned aspects are concerned.

6.2 Existing planning in the area

The area of Wilderness where the application erf is located has a single residential land use character and because of the unique location, some guesthouses are present. The conditions of approval for Constantia Kloof are outdated and therefore the George Municipality has in the past

granted various departures from the conditions of approval. Several properties exist in Constantia Kloof for which similar type of applications were approved by the George Municipality.

In this instance a departure is required to allow for a dwelling house making use of different construction materials including concrete and terracotta colour paint.

As stated before, this departure is not uncommon in Constantia Kloof with numerous dwelling houses which depart from the conditions of approval applicable to Farm 158.

The permanent departure, as proposed in this application, will therefore not establish an undesirable precedent, and can be accommodated within the existing planning of the area.

6.3 Impact on schools, open spaces and other community facilities

The permanent departures proposed in this application will not result in an increase in the number of permanent inhabitants. As such, the proposal will not have an impact on schools and community facilities in the area. Ample open space is available in the close proximity of the erf, and the proposal will thus have no impact on open spaces. This aspect is therefore not relevant to this application.

6.4 Impact on the streetscape

The proposed dwelling house will be visible from Constantia Drive.

Constantia Drive is the main road, providing access to most properties in Constantia Kloof. Erf 2096 Wilderness is the first property to the north of Constantia Drive, at the entrance to Constantia Kloof. Constantia Drive is not a road that carries through traffic and primarily gives access to the properties located along the road and located in Constantia Kloof.

The photo below indicates the existing street frontage and Erf 2096 Wilderness. The property is undeveloped and in a natural state.



Most of the properties along Constantia Drive have been developed and the proposed dwelling house on Erf 2096 Wilderness will not be out of character with the dwelling houses along Constantia Drive and will therefore not have any impact on the streetscape along Constantia Drive.

The proposed departure from the conditions of approval for Constantia Kloof to make use of modern building materials and colors will also not negatively impact the streetscape as there are dwelling houses with various design features within Constantia Drive in the Constantia Kloof area.

The permanent departure as proposed in this application will, therefore, not have a negative impact on the streetscape in the vicinity of the application property.

6.5 Impact on sunlight, view and privacy

The orientation of the proposed dwelling house on Erf 2096 Wilderness is positioned to make the most of the beautiful view over Wilderness and the ocean.

Erf 2096 Wilderness only has one adjacent residential property, namely Erf 2007 Wilderness. Towards the south and west of Erf 2096 Wilderness is an open space, to the north is a Municipal property (Utility Zone) and the only residential neighbouring property, Erf 2007 Wilderness is located to the east and is developed with a dwelling house. The locality of the only residential neighbouring property is indicated below.



The proposed dwelling house on Erf 2096 Wilderness cannot have any negative effect on the adjacent property, Erf 2007 Wilderness, as it keeps within its building lines, height restriction and coverage and the only departure is for the alternative building material.

The permanent departure as proposed in this application can thus have no negative impact on the sunlight, view or privacy in respect of the mentioned adjacent erf and can be regarded as irrelevant to the application.

6.6 Impact on property values

As indicated in the previous paragraphs, the proposed dwelling house in respect of which the permanent departure is required, does not have a negative impact on any of the surrounding properties. The outside finishes of the dwelling house will be of good quality and have a modern architectural style. The proposal will add value to the erf and represents a substantial capital investment by the owner.

The value of surrounding properties can, therefore, not be negatively impacted upon by the permanent departure as proposed in this application.

6.7 Impact on provision of parking

The parking requirements applicable to different land uses are set out in table format in Section 42 of the George Integrated Zoning Scheme By-law, 2023.

As indicated on the site and building plans attached hereto as **Annexure “A”**, it will be possible to provide the required number of parking bays within the boundaries of the erf. Two parking spaces with a harden surface is proposed, which complies with the minimum parking requirement to provide 2 parking bays per dwelling house on an erf. The departures applied for will have no effect on provision of parking.

The provision of on-site parking will therefore not be negatively impacted upon by the granting the permanent departure as proposed.

6.8 Impact of traffic circulation

Erf 2096 Wilderness is located in Constantia Drive, Wilderness, which is a residential street, serving primarily the local residents residing in Constantia Kloof.

The proposed access to Erf 2096 Wilderness is via the approved right-of-way servitude located over Erf 2006 Wilderness and Erf 2079 Wilderness. The Surveyor General Diagrams indicating the right-of-way servitude over Erf 2006 and 2079 Wilderness is attached hereto as **Annexure “J”**.

This singular access to the residential property cannot have any impact on traffic circulation in Constantia Kloof Drive.

6.9 Provision of services

The dwelling house will connect to the municipal services that are available in the area, the permanent departure as proposed in this application will not have any negative impact on existing services or the provision of services in the area concerned.

6.10 Firefighting

The firefighting requirements stipulated in the fire-regulations will not be negatively impacted upon as the application erf will still be fully accessible for fire-fighting purposes.

7. CONCLUSION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 to depart from the original conditions of approval of Constantia Kloof, to use alternative building material on Erf 2096 Wilderness.

As indicated in this motivation report the opinion is held that the proposal will not have a negative impact on the environment, development, public facilities, traffic circulation or municipal services in the surrounding area.

The application can therefore be considered desirable and is submitted for consideration in terms of the relevant stipulations of the Land Use Planning By-Law for the George Municipality, 2023.

ANNEXURE "A" - SITE PLAN AND BUILDING PLAN

STAND:

CONSTRUCTION NOTES

EARTHWORKS
Remove topsoil over the building area to a depth of 150mm and temporarily store on site for later use as garden soil. Backfill to approved clean earth at optimum moisture content in layers not exceeding 100mm by hand compaction and 150mm for mechanical compaction, to a density of at least 90% root RASFO. At completion of the works, dig up concrete or mortar mixing platforms, and clean the site of all surface and buried rubble. Position the soil against the inside foundation walls and under floors with cherted soil. For landscaping, complying with SANS 1165, applied according to SANS 10124. Obtain a written guarantee from the pest control contractor for 10 years for the effectiveness of the treatment, and hand over to the Client.

CONCRETE FORMWORK
Use cement to comply with SANS 50197-1, strength class 32.5 or higher. Cement must be SABS-mark bearing. Use natural crushed or blended sand for use in concrete to comply with SANS 1065. Stone for use in concrete to comply with SANS 1081. Cast concrete test cubes of size and quantity, and at intervals of 4 batches in accordance with SANS test method 5861.

MASONRY
All walls are to comply with SANS10400-K. Use clay bricks, where specified, complying with SANS 227. Use concrete bricks and blocks, where specified, complying with SANS 1215. Corobrik common or similar equivalent to be used where to receive plaster and Corobrik engineering bricks or similar equivalent below ground level in foundation walls. Wire brick reinforcement must be galvanized mild steel. Bricks/force to all courses from window head to underside of wall plate. Use precast pre-stressed lintels complying with SANS 1504. Lintels with a bearing length of at least 200mm in 1:3 cement mortar. Prop lintels at 1.5m centres for at least seven days after masonry was completed.

WATERPROOFINGS
Use 0.375mm black embossed polyolefin damp proof course complying with SANS 962, type B. Lay damp proof course in unjointed lengths where possible and with full corner laps over full width of wall. Level with the top of floors and not less than 150mm above finished ground level, and under copings and in parapet walls. Lay damp proof course under jointed window sills and tuck in under window profiles. Use 0.25mm smooth green polyolefin membrane complying with SANS 952 type C. Lay damp proof membrane under concrete surface beds or concrete floors. Fold membrane up against the foundation walls. Lay damp proof membrane in the largest practical sizes with 200mm laps. Seal laps according to manufacturer's instructions.

ELECTRICAL INSTALLATION
Comply with all requirements of the local authority and with SANS 10142. All work must be done under supervision of a registered electrician. Chase neatly. Do not chase walls constructed of hollow blocks - locate services in the block cavities. Chase solid walls not deeper than one third of the wall thickness vertically and not more than one sixth horizontally. Avoid horizontal chasing where possible. Fill chases with class 1/2 mortar once the conduits are in position.

GLAZING
Glass to comply with SANS 50572. Discuss the direction of the pattern in obscure glass with the architect before ordering.

GAS INSTALLATION
Gas fire-places, stove and all gas feeds to be fitted and installed by specialist. All to comply with SANS 10087 and SANS 460.

ROOF COVERINGS
Roof to comply with SANS 10400 - L. Roof to be structural timber roofs and to be specified and inspected by Engineer at each stage.

CARPENTRY AND JOINERY
In the case of prefabricated trusses, supply a certificate after erection, signed by the competent person who designed the structure, stating that the whole roof structure has been fabricated and erected to SANS 10243.

CEILING PARTITIONING
Use gypsum partitioning board complying with SANS 266, 6mm thick, or as specified. Use longest lengths possible to suit room. Ensure building is enclosed before partitioning boards are fixed. Fix boards with 38mm galvanneal chisel nails or 32x2.5mm diameter galvanneal serrated ceiling nails at 150mm centres to partitioning structure. All joints to be covered with FibraTape. Plaster the entire ceiling with 3 - 6mm lightweight hemi-hydrate gypsum plaster. Finish plaster to a smooth polished surface. Use mineral fibre blanket insulation to comply with SANS 1381 and SANS 10400-XX.

ALUMINIUM FRAME WINDOWS AND DOORS
Classed Aluminium slidy windows and doors for external use to comply with SANS 1651 as specified in the window and door schedules. The supplier is responsible for confirmation of opening sizes. The manufacturer is responsible for taking height of product head above ground into account when selecting products of appropriate performance. Design wind pressure must be SANS 10160. Protect frames against impact or scratching by wrapping with paper, plastic or covering with a light tape, and leave these wrappings in place until all rough trades are finished and clean down on completion. Avoid direct contact between aluminium and other metals or wet concrete by applying separating coat of bituminous paint.

SEWER
Existing sewer presumed to be according to previous approval. Not visible for inspection by Architect.

ENERGY USAGE IN BUILDING
1. Roof assemblies to receive insulation to achieve the R-value as indicated in table 7, thickness given in SANS 204 table 14. See SANS 10400-XX clause 4.4.3.4. See SANS 204 table 10. Non masonry walls will have R-values as provided. See SANS 10400-XX clause 4.4.3.1.
2. Double skin masonry with plaster inside or render outside complies. Single leaf, minimum 140mm with plaster inside and render outside complies. See SANS 10400-XX clause 4.4.3.2.
3. Other masonry walls will have R-value of 0.35. See SANS 10400-XX clause 4.4.3.3.
4. All leakage shall not exceed 15litre/m² penetration area. 0.35litre/m² floor plate; and 5litre/m² revolving / swing doors. See SANS 10400-XX clause 4.4.11 and SANS 613 clause 4.4.
5. Penetration more than 15% area to net floor area per storey complies. See SANS 10400-XX clause 4.4.1.1.
6. Fenestration up to 15% area to net floor area per storey complies. See SANS 10400-XX clause 4.4.1.1.
7. Provide 50% of hot water required by volume through non-electrical resistance sources. All exposed hot water piping to be insulated with R-value of 1. See SANS 10400-XX clause 4.1.

Copyright reserved © SAMA
-All artwork is to be set out using a profile marked at 85mm c/c
-All dimensions as indicated on plan are to be set out on a level horizontal plane.
-All dimensions to be checked on site before work commences.
-Use figured dimensions in preference to scaled dimensions. This drawing is not to be scaled.
-All dimensions are given in millimetres.
-Quality of all materials and workmanship to comply with the relevant SABS specification.
-All work to be carried out strictly in accordance with NBRs and local authority regulations. The contractor is to make themselves aware of these prior to commencement of work.
-Copyright over all designs and drawings shall remain the property of Liminal Architects and any provision to the contrary in terms of the copyright act no.63 of 1965 is hereby specifically excluded.
-The design on this drawing remains the property of the designer - copyright reserved Liminal Architects
-All relevant details, levels are to be checked prior to commencement of work.
-Any discrepancies are to be brought to the attention of the architect.
-Should any part of the drawings, specification or bills of quantities not be clearly intelligible or that the materials or articles to be used in the execution of the works be considered insufficiently described, request the architect / principal agent in writing for clarification, also in writing.
-Failing which any alterations or substitutions rendered necessary the incorrect interpretation of such drawings, specification or bills of quantities shall be at contractor's cost.
-The description of an item implies the complete supply, assembly and operation of the item, unless otherwise specified.
-The architect accepts no responsibility for errors resulting from misinterpretation of the drawings.

Area Schedule	
Ground Floor	94.2m ²
Covered Patio (Pool) (Deck)	22.8m ² (8.3m ²) (41.7m ²)
GROUND FLOOR	117m²

TIMBER PERGOLA:
38x76mm SA Pine CCA Treated purlins @ max 120mm c/c fixed to underside of, 228x50mm SA Pine CCA Treated curved rafters @ max 1020mm c/c to detail.

DECK PERGOLA:
38x76mm SA Pine CCA Treated purlins @ max 120mm in between, SA Pine CCA Treated composite beam.

COMPOSITE BEAM:
228x76mm SA Pine CCA Treated joist fixed to, 152x50mm SA Pine CCA Treated joist fixed to, 50x228mm SA Pine CCA Treated joist @ 2465mm high, to detail.

ROOF:
170mm RC Concrete slab to engineer's specification with 170x280mm upstand beam. Waterproofing to be, Berigum SP 4mm, applied as per product spec, with flashing and counter flashing, screed to fall to overflow Full-Bore outlets (two way roof outlet centre bolt). All to engineer's specification.

ARCHED BALCONY:
170mm concrete floor slab finished with screed to fall with Clay Kloppe The 550 Colour: Chai Texture Travertine, to engineer's spec. Balcony wall to be 280mm brick wall to wrap into continuous arched profile. All brickwork to be face brick, neatly pointed with flush joints, to engineer's spec.

ROOF:
170mm RC Concrete slab to engineer's specification with 170x280mm upstand beam. Waterproofing to be, Berigum SP 4mm, applied as per product spec, with flashing and counter flashing, screed to fall to overflow Full-Bore outlets (two way roof outlet centre bolt). All to engineer's specification.

ROOF:
170mm RC Concrete slab to engineer's specification with 170x280mm upstand beam. Waterproofing to be, Berigum SP 4mm, applied as per product spec, with flashing and counter flashing, screed to fall to overflow Full-Bore outlets (two way roof outlet centre bolt). All to engineer's specification.

BRISE SOLEIL:
Bricks to be laid in pattern, see detail, over skylight and courtyard. Laid on 85x280mm up-stand beam.

PATIO PERGOLA:
38x38mm SA Pine CCA Treated purlins @ max 150mm c/c fixed to, 50x152mm SA Pine CCA Treated rafters @ max 600mm c/c supported by, 100mm square SA Pine CCA Treated column on, steel support plate into concrete, as per detail.

ROOF:
170mm RC Concrete slab to engineer's specification with 170x280mm upstand beam. Waterproofing to be, Berigum SP 4mm, applied as per product spec, with flashing and counter flashing, screed to fall to overflow Full-Bore outlets (two way roof outlet centre bolt). All to engineer's specification.

ENTRANCE PERGOLA:
228x50mm SA Pine CCA Treated rafters @ max 215mm c/c.

SITE PLAN
1 : 100

STATUS

CLIENT
Steyn Viljoen

CLIENT SIGNATURE

PROJECT
Stilkrans - Proposed New Dwelling

ARCHITECT
LIMINAL ARCHITECTS

CELL - 078 386 7497
EMAIL - penny@limarc.co.za
ADDRESS - 392 Waterside road, Wilderness, George, 6530

ARCHITECT SIGNATURE
P. J. Vorster

SACAP - PrARCH - 44016884

PROFESSIONAL ARCHITECT
PENELOPE JOY VORSTER
09:23 AM (09/04/2025) on 04 April 2025

OCCUPATION CLASSIFICATION RESIDENTIAL - H4

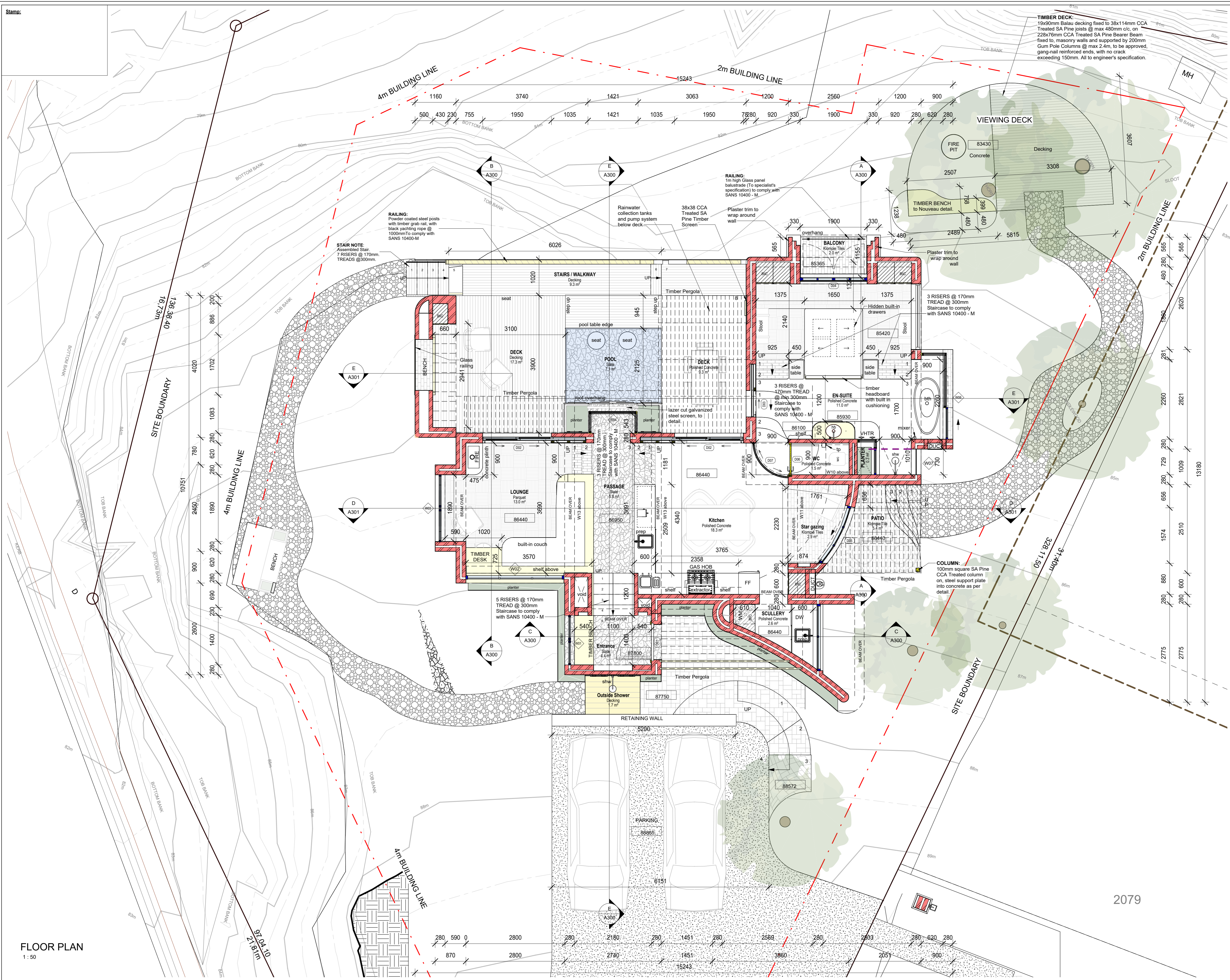
SITE
2096 Constantia Drive, Wilderness, 6560

DRAWING
SITE PLAN

SCALE (@ A1) As indicated	DRAWN KW
DATE 2026/04/22 21:00:21	CHECKED PV
PROJECT NO. 02-26	DRAWING NO. A100
CURRENT REVISION:	REVISION DATE:

Engineer - Land Surveyor - Landscape Architects -

2026/04/22 21:00:21



FLOOR PLAN
1:50

- CONSTRUCTION NOTES**
- EARTHWORKS**
Remove topsoil over the building area to a depth of 150mm and temporarily store on site for later use as garden soil. Backfill to approved clean earth at optimum moisture content in layers not exceeding 100mm for hand compaction and 150mm for mechanical compaction, to a density of at least 90% wet AASHTO. All completion of the works, dig up concrete or mortar mixing platforms, and clean the site of all surface and buried rubble. Position the soil against the inside foundation walls and under floors with cherted soil and compacted, complying with SANS 1165, applied according to SANS 10124. Obtain a written guarantee from the pest control contractor for 10 years for the effectiveness of the treatment, and hand over to the Client.
- CONCRETE FORMWORK**
Use cement to comply with SANS 50197-1, strength class 32.5 or higher. Cement must be SABS-mark bearing. Use natural crushed or blended sand for use in concrete to comply with SANS 1063. Stone for use in concrete to comply with SANS 1081. Cast concrete over cast cases of size and quantity, and in intervals or in accordance with SANS test method 5861.
- MASONRY**
All walls are to comply with SANS10400-K. Use clay bricks, where specified, complying with SANS 227. Use concrete bricks and blocks, where specified, complying with SANS 1215. Corobrik common or similar equivalent to be used where to receive plaster and Corobrik engineering bricks or similar equivalent below ground level in foundation walls. Wire brick reinforcement must be galvanized mild steel. Bricks/foam to all courses from window head to underside of wall plate. Use precast pre-stressed masonry complying with SANS 1594. Lay bricks with a bearing length of at least 200mm in 1:3 cement mortar. Prop holes at 1.5m centres for at least seven days after masonry was completed.
- WATERPROOFING**
Use 0.375mm black embossed polyethene damp proof course complying with SANS 952, type B. Lay damp proof course in unprinted lengths where possible and with full corner laps over full width of wall. Level with the top of floors and not less than 150mm above finished ground level, and under copings and in parapet walls. Lay damp proof course under joined windowills and tuck in under window profiles. Use 0.25mm smooth green polyethene membrane complying with SANS 952, type C. Lay damp proof membrane under concrete surface beds or concrete floors. Fold membrane up against the foundation walls. Lay damp proof membrane in the largest practical sizes with 200mm laps. Seal laps according to manufacturer's instructions.
- ELECTRICAL INSTALLATION**
Comply with all requirements of the local authority and SANS 10142. All work must be done under supervision of a registered electrician. Chase neatly. Do not chase walls constructed of hollow blocks - locate services in the block cavities. Chase solid walls not deeper than one third of the wall thickness vertically and not more than one sixth horizontally. Avoid horizontal chasing where possible. Fill chases with class 1 or 2 mortar once the conduits are in position.
- GAS INSTALLATION**
Gas fire-places, stove and all gas feeds to be fitted and installed by specialist. All to comply with SANS 10007 and SANS 460.
- ROOF COVERINGS**
Roof to comply with SANS 10400 - L. Roof to be structural timber roofs and to be specified and inspected by the Engineer at each stage.
- CARPENTRY AND JOINERY**
In the case of prefabricated frames, supply a certificate after erection, signed by the competent person who designed the structure, stating that the whole roof structure has been fabricated and installed to SANS 10243.
- Ceilings/Partitioning**
Use gypsum partitioning board complying with SANS 286, 6.4mm thick, or as specified. Use longest lengths possible to suit room. Ensure building is enclosed before partitioning boards are fixed. Fix boards with 38mm galvanneal coat nails or 32x2.5mm diameter galvanneal cement nailed walls at 150mm centres to partitioning structure. All joints to be covered with FibraTape. Plaster the entire ceiling with 3 - 6mm lightweight hemi-hydrate gypsum plaster. Finish plaster to a smooth polished surface. Use mineral fibre blanket insulation to comply with SANS 1381 and SANS 10400-XA.
- ALUMINIUM FRAME WINDOWS AND DOORS**
Glazed Aluminium alloy windows and doors for external use to comply with SANS 1651 as specified in the window and door schedules. The supplier is responsible for confirmation of opening sizes. The manufacturer is responsible for taking height of product head above ground into account when selecting products of appropriate performance. Design and pressure must be to SANS 10160. Protect frames against impact or scratching by wrapping with paper, plastic or covering with a light tape, and leave these wrappings in place until all rough trades are finished and clean down on completion. Avoid direct contact between aluminium and other metals or wet concrete by applying separating coat of aluminium paint.
- SEWER**
Existing sewer presumed to be according to previous approval. Not visible for inspection by Architect.
- ENERGY USAGE IN BUILDING**
1. Roof assemblies to receive insulation to achieve the R-value as indicated in table 7, thickness given in SANS 204 table 10. See SANS 10400-XA clause 4.4.8 & SANS 204 table 10. Non masonry walls will have R-values as provided. See SANS 10400-XA clause 4.4.3.1.
 2. Double skin masonry with plaster and render outside complies. See SANS 10400-XA clause 4.4.3.2.
 3. Other masonry walls will have R-value of 0.35. See SANS 10400-XA clause 4.4.3.3.
 4. Air leakage shall not exceed 2.0m³/m²/24hrs at 50Pa. See SANS 10400-XA clause 4.4.3.4.
 5. Fenestration more than 15% area to net floor area per storey, the solar heat gain and heat conduction should comply with SANS 10400-XA clause 4.4.3.5.
 6. Fenestration up to 15% area to net floor area per storey complies. See SANS 10400-XA clause 4.4.4.1.
 7. Provide 50% of hot water required by volume through non-electrical resistance sources. All exposed hot water piping to be insulated with R-value of 1. See SANS 10400-XA clause 4.1.
- Copyright reserved © S.A.A.**
-All tracings to be cut using a profile marked at 85mm cut.
-All dimensions as indicated on plan are to be set out on a level horizontal plane.
-All dimensions to be checked on site before work commences.
-Use figured dimensions in preference to scaled dimensions. This drawing is not to be scaled.
-All dimensions are given in millimetres.
-Quality of all materials and workmanship to comply with the relevant SABS specification.
-All work to be carried out strictly in accordance with NBR's and local authority regulations. The contractor is to make themselves aware of these prior to commencement of work.
-Copyright over all designs and drawings shall remain the property of Liminal Architects and any provision to the contrary in terms of the copyright act no.63 of 1965 is hereby specifically excluded.
-The design on this drawing remains the property of the designer - copyright reserved Liminal Architects
-All relevant details, levels are to be checked on site prior to commencement of work.
-Any discrepancies are to be brought to the attention of the architect.
-Should any part of the drawings, specification or bills of quantities not be clearly intelligible or that the materials or articles to be used in the execution of the works be considered insufficiently described, request the architect's principal agent in writing for clarification, also in writing.
-Filing which any alterations or substitutions rendered necessary the correct interpretation of such drawings, specification or bills of quantities shall be at contractor's cost.
-The description of an item implies the complete supply, assembly and operation of the item, unless otherwise specified.
-The architect accepts no responsibility for errors resulting from misinterpretation of the drawings.

STATUS

CLIENT
Steyn Viljoen

CLIENT SIGNATURE

PROJECT
Stilkrans - Proposed New Dwelling

ARCHITECT
LIMINAL ARCHITECTS

CELL - 078 386 7497
EMAIL - penny@liminal.co.za
ADDRESS - 392 Waterside road, Wilderness, George, 6530

ARCHITECT SIGNATURE
P. J. Vorster

SACAP - PrArch - 44016884

PROFESSIONAL ARCHITECT
PENelope JOY VORSTER
09:23 AM (UTC+02:00) on 24 Apr 2023

OCCUPATION CLASSIFICATION RESIDENTIAL - H4

SITE
2096 Constantia Drive, Wilderness, 6560

DRAWING
GROUND FLOOR

SCALE (@ 1)
1 : 50

DATE
2026/04/22 21:00:30

PROJECT NO.
02-26

CURRENT REVISION:

DRAWN
KE

CHECKED
PV

DRAWING NO.
A101

REVISION DATE:

Engineer - Land Surveyor - Landscape Architects -

2026/04/22 21:00:30

Slabs:

ROOF:
170mm RC Concrete slab to engineer's specification with 170x280mm upstand beam. Waterproofing to be, Berligum SP 4mm, applied as per product spec, with flashing and counter flashing, screed to fall to overflow Full-Bore outlets (two way roof outlet centre bolt). All to engineer's specification.

PARAPET:
270x280mm RC up-stand beam with 85x100mm carved cutout. To detail.

CONCRETE TRIM:
160mm concrete trim to wrap around wall.

GLASS BALUSTRADE:
1m high Glass panel balustrade (To specialist's specification) to comply with SANS 10400 - M.

BALCONY FLOOR:
Finish as per Nouveau on, min. 35mm Screed to fall on, 100mm Steel Reinforced Concrete slab with drip joint, to 170x280mm RC down stand beam. All to Engineers specs.

BEDROOM FLOOR:
OGGIE engineered 154mm parquet floor on, 3mm self leveling screed, as per Specifications on, min. 35mm Screed, 225mm Steel Reinforced Concrete slab, to 170x280mm down stand beam, where it cantilevers. Floor to step to 100mm Steel Reinforced Concrete slab. All to Engineers specs.

SECTION A-A
1 : 50

ROOF:
170mm RC Concrete slab to engineer's specification with 170x280mm upstand beam. Waterproofing to be, Berligum SP 4mm, applied as per product spec, with flashing and counter flashing, screed to fall to overflow Full-Bore outlets (two way roof outlet centre bolt). All to engineer's specification.

SEAQUAL HYDRAN:
with 50mm side outlet. To specialist specification. Outlet to be 500mm from upstand beam, to comply with SANS 1400 - L.

WALL:
280mm cavity brick wall, plastered and painted to client's specification.

LINTOL:
Pre-cast concrete lintol.

TIMBER SHELF:
timber shelf to wrap down to timber desk and wrap into window reveal, as per Nouveau detail.

TIMBER DESK:
Timber desk as per Nouveau detail.

PLANTER EDGE:
2.5x250mm steel plate fitted into ground as planter edge.

SUB-SOIL DRAIN:
to detail.

LIVING ROOM FLOOR:
OGGIE engineered 154mm parquet floor on, 3mm self leveling screed, as per Specifications on, min. 35mm Screed on, 100mm Steel Reinforced Concrete slab on, SABS approved 0,25mm DPM Fitted up against Foundation Walls & Stepped Down 1 Brick course through Cavity Wall, on Min 20mm Sand Blinding Layer on well compacted, Poisoned Fill. All to Engineers specs.

ROOF:
170mm RC Concrete slab to engineer's specification with 170x280mm upstand beam. Waterproofing to be, Berligum SP 4mm, applied as per product spec, with flashing and counter flashing, screed to fall to overflow Full-Bore outlets (two way roof outlet centre bolt). All to engineer's specification.

SEAQUAL HYDRAN:
with 50mm side outlet. To specialist specification. Outlet to be 500mm from upstand beam, to comply with SANS 1400 - L.

SECTION B-B
1 : 50

ROOF:
170mm RC Concrete slab to engineer's specification with 170x280mm upstand beam. Waterproofing to be, Berligum SP 4mm, applied as per product spec, with flashing and counter flashing, screed to fall to overflow Full-Bore outlets (two way roof outlet centre bolt). All to engineer's specification.

PARAPET:
270x280mm RC up-stand beam with 85x100mm carved detail. To detail.

NICHE:
280x1200x100mm arched niche, as per Nouveau.

BUILT-IN BENCH:
As per Nouveau detail.

STONE CHIP AGGREGATE:
300mm stone chip aggregate on poisoned well compacted soil.

PLANTER EDGE:
2.5x250mm steel plate fitted into ground as planter edge.

SECTION C-C
1 : 50

ROOF:
170mm RC Concrete slab to engineer's specification with 170x280mm upstand beam. Waterproofing to be, Berligum SP 4mm, applied as per product spec, with flashing and counter flashing, screed to fall to overflow Full-Bore outlets (two way roof outlet centre bolt). All to engineer's specification.

ENTRANCE PERGOLA:
228x50mm SA Pine CCA Treated rafters @ max 215mm c/c.

CURVED WALL:
280mm curved cavity wall

PLASTER AND PAINTED

SCULLERY
Polished Concrete 1.2 m

FOUNDATION TO ENG. SPEC.

FOUNDATION TO ENG. SPEC.

FOUNDATION TO ENG. SPEC.

FOUNDATION TO ENG. SPEC.

FOUNDATION TO ENG. SPEC.

FOUNDATION TO ENG. SPEC.

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FOUNDATION TO ENG. SPEC.

FOUNDATION TO ENG. SPEC.

FOUNDATION TO ENG. SPEC.

FOUNDATION TO ENG. SPEC.

8.5m HEIGHT RESTRICTION

8.5m HEIGHT RESTRICTION

FLUE:
with flashing and counter flashing, to specialist's detail.

TIMBER PERGOLA:
38x75mm SA Pine CCA Treated purlins @ max 120mm c/c fixed to underside of, 228x50mm SA Pine CCA Treated curved rafters @ max 1020mm c/c, to detail.

DECK PERGOLA:
38x75mm SA Pine CCA Treated purlins @ max 280mm in between, SA Pine CCA Treated composite beam.

COMPOSITE BEAM:
228x76mm SA Pine CCA Treated joist fixed to, 152x28mm SA Pine CCA Treated joist fixed to, 50x228mm SA Pine CCA Treated joist @ 2465mm high to create boxed beam, to detail.

CONCRETE PLINTH:
100mm cast-in-place RC plinth to support fire place.

TIMBER DECK:
19x90mm Balau decking to wrap down 510mm @ deck edge.

CEILING PARTITIONING:
Use gypsum partitioning board complying with SANS 296, 6.4mm thick, or as specified. Use longest lengths possible to suit room. Ensure building is enclosed before partitioning boards are fixed. Fix boards with 38mm galvanneal steel nails @ 302.5mm diameter galvanneal serrated ceiling nails at 150mm centres to partitioning structure. All joints to be covered with FibraTape. Plaster the entire ceiling with 3 - 6mm lightweight hemi-hydrate gypsum plaster. Finish plaster to a smooth polished surface. Use mineral fibre blanket insulation to comply with SANS 1381 and SANS 10400-XA.

ALUMINUM FRAME WINDOWS AND DOORS:
Glazed Aluminum alloy windows and doors for external use to comply with SANS 1651 as specified in the window and door schedules. The supplier is responsible for confirmation of opening sizes. The manufacturer is responsible for taking height of product head above ground into account when selecting products of appropriate performance. Design wind pressure must be SANS 10160. Protect frames against impact or scratching by wrapping with paper, plastic or covering with a light tact tape, and leave these wrappings in place until all rough trades are finished and clean down on completion. Avoid direct contact between aluminum and other metals or wet concrete by applying separating coat of bituminous paint.

SEWER:
Existing sewer presumed to be according to previous approval. Not visible for inspection by Architect.

ENERGY USAGE IN BUILDING
1. Roof assemblies to receive insulation to achieve the R-value as indicated in Table 7, thickness given in SANS 204 table 10. See SANS 10400-XA clause 4.4.3.1. Non masonry walls will have R-values as provided. See SANS 10400-XA clause 4.4.3.1.
2. Double skin masonry with plaster inside or render outside complies. Single leaf, minimum 140mm with plaster inside and render outside complies. See SANS 10400-XA clause 4.4.3.2.
3. Other masonry walls will have R-value of 0.35. See SANS 10400-XA clause 4.4.3.3.
4. All leakage shall not exceed 10mm³/m²/hour/area. 0.38 l/m²/hour/area and 5 l/m²/hour/area / swing doors. See SANS 10400-XA clause 4.4.11 and SANS 613 clause 4.4.
5. Fenestration more than 15% area to net floor area per storey complies. See SANS 10400-XA clause 4.4.1.1.
6. Fenestration up to 15% area to net floor area per storey complies. See SANS 10400-XA clause 4.4.1.1.
7. Provide 50% hot water recovery by volume through non-electrical resistance sources. All exposed hot water piping to be insulated with R-value of 1. See SANS 10400-XA clause 4.1.

COPYRIGHT RESERVED © S.A.
All work is to be set out using a profile marked at 85mm c/c.
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Use figured dimensions in preference to scaled dimensions. This drawing is not to be scaled.
All dimensions are given in millimetres.
Quality of all materials and workmanship to comply with the relevant SANS specifications.
All work to be carried out strictly in accordance with NBRs and local authority regulations. The contractor is to make themselves aware of these prior to commencement of work.
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Failing which any alterations or substitutions rendered necessary the incorrect interpretation of such drawings, specification or bills of quantities shall be at contractor's cost.
The description of an item implies the complete supply, assembly and operation of the item, unless otherwise specified.
The architect accepts no responsibility for errors resulting from misinterpretation of the drawings.

ROOF:
170mm RC Concrete slab to engineer's specification with 170x280mm upstand beam. Waterproofing to be, Berligum SP 4mm, applied as per product spec, with flashing and counter flashing, screed to fall to overflow Full-Bore outlets (two way roof outlet centre bolt). All to engineer's specification.

PARAPET:
270x280mm RC up-stand beam with 85x100mm carved detail. To detail.

NICHE:
280x1200x100mm arched niche, as per Nouveau.

BUILT-IN BENCH:
As per Nouveau detail.

STONE CHIP AGGREGATE:
300mm stone chip aggregate on poisoned well compacted soil.

PLANTER EDGE:
2.5x250mm steel plate fitted into ground as planter edge.

FOUNDATION TO ENG. SPEC.

FOUNDATION TO ENG. SPEC.

FOUNDATION TO ENG. SPEC.

FOUNDATION TO ENG. SPEC.

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FOUNDATION TO ENG. SPEC.

FOUNDATION TO ENG. SPEC.

CONSTRUCTION NOTES

Remove topsoil over the building area to a depth of 150mm and temporarily store on site for later use as garden soil. Backfill to approved clean earth at optimum moisture content in layers not exceeding 100mm for hand compaction and 150mm for mechanical compaction, to a density of at least 95% root AASHTO. At completion of the works, dig up concrete or mortar mixing platforms, and clean the site of all surface and buried rubble. Position the soil against the inside foundation walls and under floors with chlorine soil fungicide, complying with SANS 1165, applied according to SANS 1024. Obtain a written guarantee from the pest control contractor for 10 years for the effectiveness of the treatment, and hand over to the Client.

CONCRETE FORMWORK
Use cement to comply with SANS 50197-1, strength class 32.5 or higher. Cement must be SABS-mark bearing. Use natural crushed or blended sand for use in concrete to comply with SANS 1065. Stone for use in concrete to comply with SANS 1081. Cast concrete test cubes of size and quantity, and at intervals or of batches in accordance with SANS test method 5861.

MASONRY
All walls are to comply with SANS 10400-K. Use clay bricks, where specified, complying with SANS 227. Use concrete bricks and blocks, where specified, complying with SANS 1215. Corobrik common or similar equivalent to be used where to receive plaster and Corobrik engineering bricks or similar equivalent below ground level in foundation walls. Wire brick reinforcement must be galvanized mild steel. Bricks/force to all courses from window head to underside of sill plate. Use precast pre-stressed lintels complying with SANS 1594. Lay lintels with a bearing length of at least 200mm in 1:3 cement mortar. Prop lintels at 1.5m centres for at least seven days after masonry was completed.

WATERPROOFING
Use 0.37mm black embossed polyethylene damp proof course complying with SANS 952, type B. Lay damp proof course in unjointed lengths where possible and with full corner laps over full width of wall. Level with the top of floors and not less than 150mm above finished ground level, and under copings and in parapet walls. Lay damp proof course under jointed windowsills and tuck in under window profiles. Use 0.25mm smooth green polyethylene membrane complying with SANS 952 type C. Lay damp proof membrane under concrete surface beds or concrete floors. Fold membrane up against the foundation walls. Lay damp proof membrane in the target practical sizes with 200mm laps. Seal laps according to manufacturer's instructions.

ELECTRICAL INSTALLATION
Comply with all requirements of the local authority and with SANS 10142. All work must be done under supervision of a registered electrician. Chase neatly. Do not chase walls constructed of hollow blocks - locate services in the block cavities. Chase solid walls not deeper than one third of the wall thickness vertically and not more than one sixth horizontally. Avoid horizontal chasing where possible. Fix chases with class 1, 2 mortar once the conduits are in position.

GLAZING
Glass to comply with SANS 50572. Discuss the direction of the pattern in obscure glass with the architect before cutting.

GAS INSTALLATION
Gas fire-places, stove and all gas feeds to be fitted and installed by specialist. All to comply with SANS 1087 and SANS 460.

ROOF COVERINGS
Roof to comply with SANS 10400 - L. Roof to be structural timber roofs and to be specified and inspected by Engineer at each stage.

CARPENTRY AND JOINERY
In the case of prefabricated frames, supply a certificate after erection, signed by the competent person who designed the structure, stating that the whole roof structure has been fabricated and erected to SANS 10243.

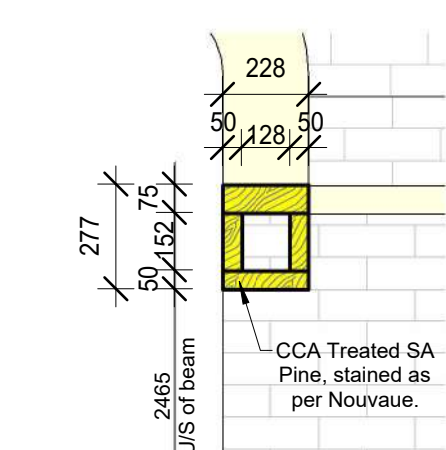
CEILING PARTITIONING
Use gypsum partitioning board complying with SANS 296, 6.4mm thick, or as specified. Use longest lengths possible to suit room. Ensure building is enclosed before partitioning boards are fixed. Fix boards with 38mm galvanneal steel nails @ 302.5mm diameter galvanneal serrated ceiling nails at 150mm centres to partitioning structure. All joints to be covered with FibraTape. Plaster the entire ceiling with 3 - 6mm lightweight hemi-hydrate gypsum plaster. Finish plaster to a smooth polished surface. Use mineral fibre blanket insulation to comply with SANS 1381 and SANS 10400-XA.

ALUMINUM FRAME WINDOWS AND DOORS
Glazed Aluminum alloy windows and doors for external use to comply with SANS 1651 as specified in the window and door schedules. The supplier is responsible for confirmation of opening sizes. The manufacturer is responsible for taking height of product head above ground into account when selecting products of appropriate performance. Design wind pressure must be SANS 10160. Protect frames against impact or scratching by wrapping with paper, plastic or covering with a light tact tape, and leave these wrappings in place until all rough trades are finished and clean down on completion. Avoid direct contact between aluminum and other metals or wet concrete by applying separating coat of bituminous paint.

SEWER
Existing sewer presumed to be according to previous approval. Not visible for inspection by Architect.

ENERGY USAGE IN BUILDING
1. Roof assemblies to receive insulation to achieve the R-value as indicated in Table 7, thickness given in SANS 204 table 10. See SANS 10400-XA clause 4.4.3.1. Non masonry walls will have R-values as provided. See SANS 10400-XA clause 4.4.3.1.
2. Double skin masonry with plaster inside or render outside complies. Single leaf, minimum 140mm with plaster inside and render outside complies. See SANS 10400-XA clause 4.4.3.2.
3. Other masonry walls will have R-value of 0.35. See SANS 10400-XA clause 4.4.3.3.
4. All leakage shall not exceed 10mm³/m²/hour/area. 0.38 l/m²/hour/area and 5 l/m²/hour/area / swing doors. See SANS 10400-XA clause 4.4.11 and SANS 613 clause 4.4.
5. Fenestration more than 15% area to net floor area per storey complies. See SANS 10400-XA clause 4.4.1.1.
6. Fenestration up to 15% area to net floor area per storey complies. See SANS 10400-XA clause 4.4.1.1.
7. Provide 50% hot water recovery by volume through non-electrical resistance sources. All exposed hot water piping to be insulated with R-value of 1. See SANS 10400-XA clause 4.1.

COPYRIGHT RESERVED © S.A.
All work is to be set out using a profile marked at 85mm c/c.
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The architect accepts no responsibility for errors resulting from misinterpretation of the drawings.



COMPOSITE BEAM
1 : 20

STATUS

CLIENT **Steyn Viljoen**

CLIENT SIGNATURE _____

PROJECT **Stilkrans - Proposed New Dwelling**

ARCHITECT **LIMINAL ARCHITECTS**

CELL - 078 386 7497
EMAIL - penny@limarc.co.za
ADDRESS - 392 Waterside road, Wilderness, George, 6530

ARCHITECT SIGNATURE *P. J. Vorster*

SACAP - PRARCH - 44016884

PROFESSIONAL ARCHITECT
PENelope JOY VORSTER
09-23 AM (0783867497) on 24 Apr 2023

OCCUPATION CLASSIFICATION **RESIDENTIAL - H4**

SITE **2096 Constantia Drive, Wilderness, 6560**

DRAWING **SECTIONS**

SCALE (@ A1) **As indicated**

DATE **2026/04/22 21:00:39**

PROJECT NO. **02-26**

CURRENT REVISION: _____

DRAWN **KE**

CHECKED **PV**

DRAWING NO. **A300**

REVISION DATE: _____

Engineer -
Land Surveyor -
Landscape Architects -

2026/04/22 21:00:39

ANNEXURE "B" - APPLICATION FORM



**PLANNING AND DEVELOPMENT
APPLICATION FORM FOR CONSENT USE FOR A SECOND
DWELLING/ADDITIONAL DWELLING AND/OR DEPARTURE**

(Please complete the form in full for consideration - tick appropriate boxes with X)

BUILDING LINE RELAXATION	<input checked="" type="checkbox"/>	SECOND DWELLING	<input type="checkbox"/>	ADDITIONAL DWELLING	<input type="checkbox"/>
--------------------------	-------------------------------------	-----------------	--------------------------	---------------------	--------------------------

PROPERTY DETAILS

ERF NUMBER	2096	EXTENSION/A REA	Constantia Kloof, Wilderness
ZONING	Single Residential Zone I		
EXISTING LAND USE	Vacant		

CORRESPONDENCE DETAILS

IS THE APPLICANT ALSO THE REGISTERED OWNER OF THE RELEVANT PROPERTY?					YES	NO	
ADDRESS CORRESPONDENCE TO			OWNER	APPLICANT	POST OR E- MAIL	POST	E-MAIL
COLLECT BY HAND	YES	<input checked="" type="checkbox"/> NO	TELEPHONE NO	0824647871			

OWNER DETAILS

OWNER NAME	Lindl and Gawie Steyn Viljoen				
STREET NAME	Barrie Road	HOUSE NUMBER	9A		
POSTAL ADDRESS	N/a	SAME AS POSTAL ADDRESS	YES	NO	
EXTENSION/AREA	Heatherlands, George	CODE	6529		
ID NUMBER	Lindl Viljoen – 8806030124087 Gawie Steyn Viljoen - 8409165023081	E-MAIL ADDRESS	steyn@viljoene.com		
TELEPHONE NO	N/a	CELL NO	082 374 5157		

APPLICANT DETAILS (strike through if registered owner is also the applicant)

NAME	Jan Vrolijk Town Planner / Stadsbeplanner				
STREET NAME	Victoria Street	HOUSE NUMBER	-		
POSTAL ADDRESS	P O Box 710	SAME AS POSTAL ADDRESS	YES	NO	
EXTENSION/AREA	George CBD	CODE	6530		
TEL / CELL NO	082 464 7871	E-MAIL ADDRESS	janvrolijk@jvtownplanner.co.za		
PROFESSIONAL CAPACITY	Town Planner	SACPLAN NO	A/1386/2011		

BOND HOLDERS DETAILS (Only applicable if property is encumbered by a bond)

IS THE PROPERTY ENCUMBERED BY A BOND?		YES	NO
NAME OF BOND HOLDER	N/A		

TITLE DEED DETAILS

TITLE DEED NO.	T20303/2026		
ARE THERE RESTRICTIONS IN THE TITLE DEED WHICH IMPACT THE APPLICATION? (If yes, describe restrictions below)		YES	NO
N/A			


APPLICATION DETAILS

DESCRIPTION OF BUILDING LINE RELAXATION (STREET / LATERAL / REAR BUILDING LINE)	FROM M	TO M	DETAILS
<i>Departure of Constantia Kloof Condition 4.2</i>			<i>Other building material and colours</i>
Is an application for an increase in coverage being applied for? (Indicate increase under details)	YES	NO	N/a
Is an application for a 2 nd dwelling /additional dwelling being applied for? (indicate size under details)	YES	NO	N/a

HOA/ ADJACENT OWNERS DETAILS (Consent letters as well as site plans to be signed by adjacent owners)

ERF NO	ADDRESS	NAME	CONSENT LETTER ATTACHED
To be advertised			

I hereby acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.

APPLICANT'S SIGNATURE		DATE	28 May 2026
-----------------------	---	------	-------------

FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:

Locality Plan	Building Plan/ Site Plan on A3/ A4	SG Diagram/ General Plan	Title Deed
Power of Attorney	Motivation	Neighbours Consent / Comment	HOA Consent
Bond Holder Consent	Proof of Payment	Conveyance Certificate	Other (Specify)

ANNEXURE "C" – 3D RENDERINGS



 LIMINAL
ARCHITECTS



 LIMINAL
ARCHITECTS



 LIMINAL
ARCHITECTS

ANNEXURE "D" – LETTER IN RESPECT OF ECO APPOINTMENT



DATE : 16 May 2026
RE : ERF 2096, WILDERNESS, GEORGE MUNICIPALITY
SUBJECT: APPOINTMENT OF ENVIRONMENTAL COMPLIANCE CONSULTANT
ATTN : STEYN AND LINDL VILJOEN
TEL : 082 374 5157

Hi there Steyn and Lindl

This serves to confirm that I have accepted the appointment as your Environmental Consultant for Erf 2096, Wilderness, George Municipality in respect of consent use activities (building operations) on the property and adherence to OSCAE permit conditions as laid out in the OSCAE permit, as well as recommendations made by relevant authorities in respect of the public participation process.

This effectively includes:

1. Ensuring compliance by the property owner with respect to ALL the conditions of this permit, as well as those recommendations made by all other relevant authorities commenting on the application.
2. Ensuring compliance w.r.t vegetation clearing, construction and post-construction rehabilitation phases.
3. Monitoring compliance with the OSCAE permit conditions and reporting any contraventions to the permit holder and George Municipality, should they arise.
4. Monitoring the implementation of the relevant recommendation of the Environmental Assessment Plan accompanying the OSCAE permit.
5. Determining a compliance monitoring schedule for the (i) initial clearing, (ii) construction and (iii) post-construction/rehabilitation phases as implemented by the permit holder.
6. Conducting a minimum of one - three site visits is required for each of the three phases, determined by construction contract period or as determined by the Conditions of Authorisation letter issued by George Municipality.
7. Submitting Compliance Monitoring Reports to George Municipality w.r.t the (i) initial clearing, (ii) construction and (iii) post-construction/rehabilitation phases.
8. Submitting a close-out report for George Municipality – which will be submitted as part of the application documents for an Occupation Certificate to the Building Control Department (George Municipality).

Services offered for the above are not included in the OSCA Permit Application cost. These services are carried out post online submission (Collab Portal) and are offered at R500.00 per hour (site visits) plus R1950.00 per accompanying desktop report for each site visit – and to be submitted by myself onto the online portal.

Please contact me on 084 490 8876 for any queries.

Regards

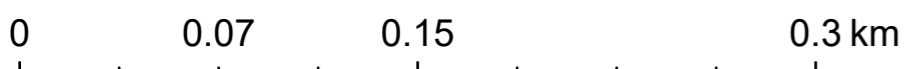
Melissa Dalton
650528 0174 089
084 490 8876

Melissa Dalton t/a thrive
BA (Education); N.D Naturopathy
322 Erica Road, Wilderness Heights, 6570
084 490 8876 www.facebook.com/thrivewilderness

ANNEXURE "E" – LOCALITY PLAN



Erf 2096 Wilderness - Locality plan



Date: 4/29/2026 11:50 AM Scale: 1:2,850



Disclaimer
 George Municipality makes no warranties as to the correctness of the information supplied.
 Persons relying on this information do so entirely at their own risk.

George Municipality will not be liable for any claims whatsoever, whether for damages or otherwise,
 which may arise as a result of inaccuracies in the information supplied.

ANNEXURE “F” – SURVEYOR GENERAL DIAGRAM

Diese) & Munns

SIDES		ANGLES OF DIRECTION	CO-ORDINATES			
Metres			Constant:	Y	System	X
A B	31, 40	328 11 50	A +	38 942, 84	+ 62 374, 62	
B C	12, 80	0 55 50	B +	38 926, 29	+ 62 401, 31	
C D	21, 81	97 04 10	C +	38 926, 50	+ 62 414, 11	
D E	16, 73	136 38 40	D +	38 948, 14	+ 62 411, 43	
E F	8, 33	187 18 50	E +	38 959, 63	+ 62 399, 26	
F A	22, 71	223 50 30	F +	38 958, 57	+ 62 391, 00	
		[445] Wilderness	△ +	38 968, 73	+ 62 307, 65	
		[447] Lakes	△ +	36 514, 28	+ 62 961, 33	

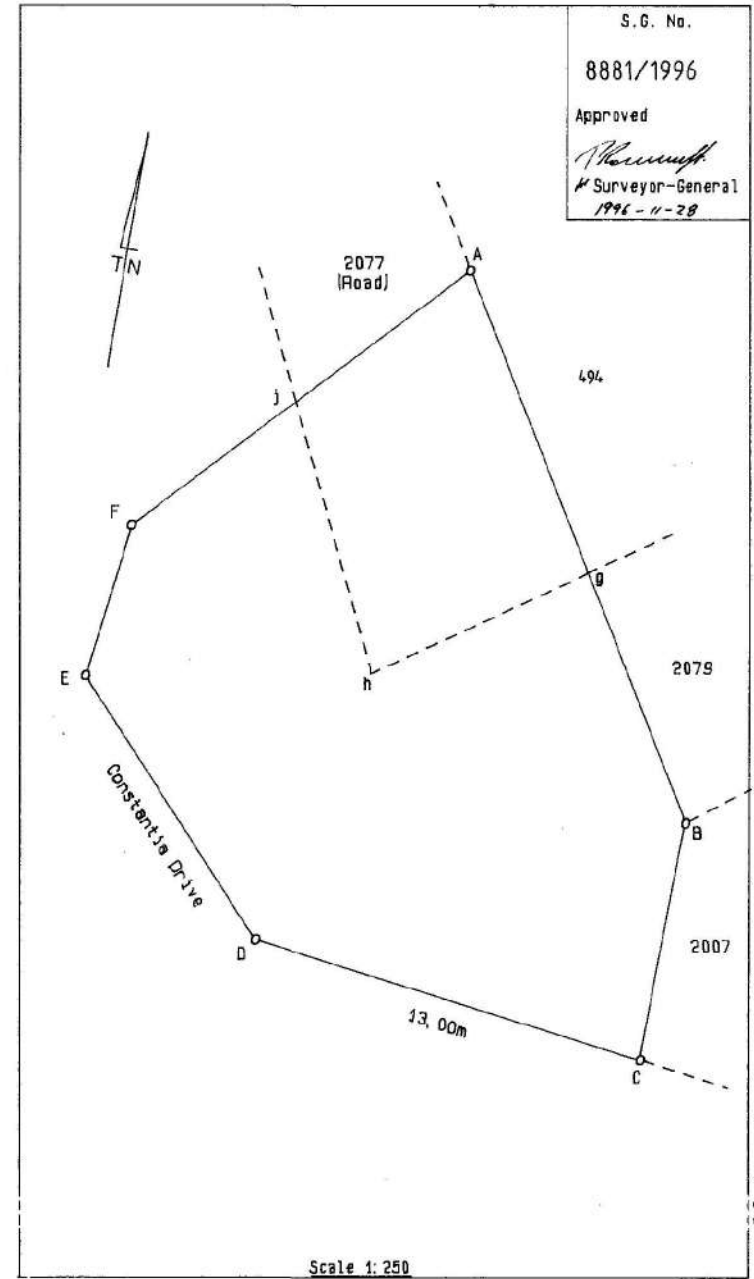
Description of Beacons.
A, B, C, D, E, F 12mm round iron peg

Components.
1. The figure Aghj represents Erf 2078 Wilderness. Vide Diagram S.G.No. 8879/1996; DT 1998-29666
2. The figure jhgBCDEF represents Erf 2006 Wilderness. Vide General Plan No. 8139/1995

The figure A B C D E F represents 814 square metres of land, being ERF 2006 WILDERNESS and comprises 1 & 2 above situate in the Wilderness District Council Administrative District of George, Province Western Cape Surveyed in December 1994 - September 1995 by me, *G.K. Munns* Professional Land Surveyor PLS-0429

This diagram is annexed to No. dated <u>18/9/98</u> i f n	The original diagrams are as quoted above	File No. S. 8692 S.R. No. E. 2599/95 Comp. BL-BCC/241 (1755)
Registrar of Deeds		

OFFICE COPY



S. G. No.
8881/1996
Approved
G.K. Munns
Surveyor-General
1996-11-28

ANNEXURE "G" – TITLE DEED

1083

Ilse Pretorius Attorneys Inc
Unit 18 Milkwood Village
Beacon Road
Wilderness
6560

Prepared by me

CONVEYANCER
ILSE PRETORIUS
(LPC NUMBER 93583)

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 3 000 000	R. 2 281 2 408,00
Reason for exemption	Category Exemption.....	Exemption i to. Sec/Reg..... Act/Proc.....

DATA / CAPTURE
10 APR 2026
Anitha Manyisana

T 000020303 / 2026

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

EMILE GREYVENSTEIN
(LPC NUMBER 90318)

appeared before me, REGISTRAR OF DEEDS: WESTERN CAPE at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him/her by

HENDRY WALTER GEORGE VAN BRANDEN
Identity Number 580416 5113 08 5
Unmarried

which said Power of Attorney was signed at WILDERNESS on 23 February 2026

And the appearer declared that his/her said principal had, on 21 January 2026, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

1. **LINDL VILJOEN**
Identity Number 880603 0124 08 7
Married out of community of property
2. **GAWIE STEYN VILJOEN**
Identity Number 840916 5023 08 1
Married out of community of property

their Heirs, Executors, Administrators or Assigns, in full and free property

**ERF 2096 WILDERNESS
IN THE MUNICIPALITY AND DIVISION OF GEORGE
PROVINCE OF THE WESTERN CAPE**

IN EXTENT 814 (EIGHT HUNDRED AND FOURTEEN) Square metres

FIRST REGISTERED by Certificate of Consolidated Title Number T89670/1998 with Diagram Number SG8881/1996 annexed thereto and held by Deed of Transfer Number T89671/1998

- I. As regards the figure A j h g as indicated on Diagram Number SG8881/1996 subject to the following conditions: -
 - A. SUBJECT to the conditions which are referred to in Deed of Transfer Number T27274/1981.
 - B. FURTHER SUBJECT to the further special conditions contained in Deed of Transfer Number T2059/1923 dated 22 March 1923 in favour of "The Wilderness (1921) Limited" namely: -
 - "1.
 2. No trade or business of any description may be carried on, on this Lot without the written permission of the Seller first had and obtained.
 3. All buildings erected on this Lot shall be built of brick, stone or concrete and the ground plan showing the relation of the position of such buildings to the boundaries of the said Lot, as well as the elevation plans of such buildings shall be submitted to the Seller for its approval in writing before any buildings are commenced.



ZM
M

4. All walls, fences or hedges or like structures abutting upon any road or pathway shall be of a type approved of by the Seller. The Seller shall not be liable to contribute to the cost of any party or dividing fence, or wall, nor the cost or repair thereof, but it may call upon the Purchaser to enclose the said Lot. This provision eliminating any contribution by the Seller to the cost or repair of any party or dividing fence or wall shall not extend to any adjoining Lot which the Seller may sell or dispose of subsequent to the date hereof, and the Purchaser of such Lot adjoining the Lot hereby sold shall in all respects be subject to the laws governing contributions to such party or dividing fence or walls. The Purchaser agrees to observe uniformity in respect of fencing line for all fences that may abut on to any road, pathway, open space, or property of the Seller and to maintain all boundary fences of the said Lot in good order and repair. No Purchaser shall be entitled to erect any corrugated iron fence or screen upon his Lot without the leave of the Seller.
5. The Seller retains the right and power to enforce the observation of property sanitation or cleanliness upon this Lot as well as the right to construct, use and maintain across this Lot any pipe line for water leading, sewerage or drainage. The purchaser binds himself to conform to all such regulations as the Seller may hereafter prescribe in regard to matters of public health and sanitation, and the use of all roads, paths, open spaces and the remainder of the Seller's estate at The Wilderness.
6. Seller retains ownership and control of all roads, streets, paths, avenues, lanes, paths, avenues, lanes, open spaces or reserves shown on the plan of the estate, as well as the right in its discretion to alter, close, deviate, or otherwise deal with any such roads, streets, paths, avenues, lanes, open spaces or reserves. Seller reserves full rights to which it is, or may be, entitled, to all minerals and precious stones.
7. The Purchaser of any Lot having a frontage on either "The Park" or any other open space or reserve, shall be obliged to plant, and maintain at a suitable height, such live hedge and/or such trees or shrubs as shall be prescribed by the Seller to suitably screen any premises situate on such Lot."

The mentioned conditions have been imposed for the benefit of all the Purchasers, their successors-in-title of the portions of the property held by the Seller under Deed of Transfer Number T2059 dated 22 March 1923 of the said Seller and their successors-in-title to the remainder of the mentioned property.

The definitions "Seller" and "Purchaser" in the abovementioned conditions, shall deem to include the successors-in-title of the said Seller of the remainder of the property now known as Wilderness Estate (Site 497, Site H) Barbiere Kraal and of Die Park, portion of the said Wilderness Estate in the Division of George, the Heirs, Executors, Administrators or Assigns of the hereinmentioned Transferee. (The Seller which is referred to is "The Wilderness (1921) Limited").



II. As regards the figure g B C D E F j h as indicated on Diagram Number SG. 8881/1996 subject to the following conditions: -

- A. SUBJECT to the conditions referred to in Deed of Transfer Number T2059/1923.
- B. SUBJECT FURTHER to the terms of the servitude referred to in an endorsement on Deed of Transfer Number T4632/1905 to the effect that certain water and other rights have been ceded in favour of the land transferred by Deeds of Transfer Numbers T2955/1907 and T2956/1907.
- C. SUBJECT FURTHER to the following conditions contained in said Deed of Transfer Number T2059/1923, namely: -

"Special Conditions

Wilderness Estate

George Freeholds Vol.12 No. 7 13 March 1852.

General Plan W71

Remaining extent (259,8037 hectares). Without prejudice to existing vested rights (if any) of the public or of any persons whomsoever the Liquidator of the Wilderness Estate Company Limited, in so far as the said Company may be entitled so to do imposes the following special conditions.

ROADS All public roads and all roads shown on the original diagram and/or General Plan W71 shall unless and until closed or altered by competent authority remain free and open as heretofore.

The owner of the remaining extent shall not be under obligation to maintain such roads.

RECOGNISED ROAD In this term is included: -

A certain private road, not shown on either the original diagram or the General Plan W71, constructed by the Wilderness Estate Company Limited and called "Whites Road", branching off the public road to the Wilderness "transferred to the Kerkeraad of the Dutch Reformed Church by transfer Number 14200 dated 6th October 1920 and crossing part of that land and eventually crossing part of the remaining extent and again joining the public road aforesaid on the remaining extent, shall remain free and open for the use of owners as hereinafter defined. So long as this road be not taken over by a local or provincial authority and be not proclaimed a public road and as such be maintained by a local or provincial authority, the said road shall remain open for the use of owners as hereinafter defined, but the owner of the remaining extent shall have the right to control the said road and to limit the use of such road to such classes of vehicles or traffic as it may think fit. The owners of Lots "d" and "dd" shall contribute one-half of the cost of maintenance and repair thereof, but in such maintenance and repair shall not be included relaying or re-grading or deviation of any portion thereof.



Handwritten initials: JM

RECOGNISED PATHS In this term are included:-

- (1) A path leading from Lots "d" and "dd" across the remaining extent to the Kaaimans River and to the top of the Hill on the remaining extent, overlooking the Kaaimans River, and what is known as the "Map of Africa".
- (2) A path leading from Lots "d" and "dd" across the remaining extent direct to the Beach.

The recognised Paths shall (subject to the provisions hereinafter contained) remain free and open for the use of owners as hereinafter defined, provided always that the use of these Recognised Paths shall not constitute a servitude for camping or picnicking and further that the owner of the Remaining extent shall be at liberty at any time to deviate the whole or any part of these paths or to close the same upon providing other roads or paths giving facilities of access of substantial equal degree.

In respect of the portion of the Road shown on the General Plan W71 and included in the Diagram of Transfer Number 9087, 22 September 1921, the owners of: -

- (1) Lots "a", "b", "d", "dd", Block E lots 1,2 and 3.
- (2) The Park.
- (3) The Remaining Extent.
- (4) Any portions hereafter transferred therefrom

shall make no claim in respect of above portion of the road included in the Diagram of Transfer Number 9087 - 22 September 1921 and no objection shall be raised by such owners to the closing and cancellation of the said portion of such road should the owner of the land described in the said Transfer hereafter take any steps to have the same closed or cancelled according to law.

Nothing hereinbefore contained shall be taken as preventing the owner of the Remaining Extent from passing transfer of further portions of the Wilderness Estate subject to similar conditions with or without modification in regard to such future transfers.

BUILDINGS It shall be a condition in respect of all portions which may be hereafter laid out as lots and transferred from the present Remaining Extent that all dwelling houses erected on any such portions shall be built of brick, stone, or concrete, provided that this shall not apply to what are known as "Sand Plots" being the Lots comprised in Blocks "A", "B", "C", "D", as shown on the General Plan W71, nor to such further plots as the owner of the Remaining Extent may lay out on land similar to Blocks "A", "B", "C", "D".

WATER The owner of the Remaining Extent shall allow the owner of Lots "d" and "dd" access to the Kaaimans River and other sources of water for the purposes of drawing a reasonable supply of water therefrom, whether by pipes or otherwise, provided that this shall not interfere with the present and future rights, if any, of other parties entitled."



- D. ENTITLED to benefits under the terms of the servitude referred to in the endorsement dated 24th February 1928 on said Deed of Transfer Number T2059/1923, namely: -

"By deed of transfer No. 1613 dd 24 February 1928 The Wilderness (1921) Limited as owners of the remaining extent of the property set out under Para. 2 hereof reserves to itself the right to construct and maintain a road over Lots 28 and 29 Block E of the Wilderness Estate and shown on the diagrams annexed to deed of transfer 14199 dd 6th October 1920, as will more fully appear on reference to the said Deed of Transfer."

- E. ENTITLED FURTHER to benefits under the terms of the servitude referred to in the endorsement dated 23rd April 1928 on the said Deed of Transfer Number T2059/1923, namely: -

"By notarial deed dated 10th March 1928 the owner of the remainder of Wilderness Estate held under para 2 of this deed and it's successors is granted the right to construct, maintain and use in perpetuity a road not exceeding 16 feet in width over the property (Lot 27 Block E) held under transfer No. 638 dd 30th January 1928 as shown on the diagrams thereof, as will more fully appear on reference to the copy annexed hereto."

- F. ENTITLED FURTHER to the benefits under the terms of the servitude referred to in the endorsement dated 11th July 1929 on the said Deed of Transfer Number T2059/1923, namely: -

"By Notarial Deed dd 22 May 1929 the conditions in favour of the land contained in transfer 9209, September 1925 relating to paths buildings and water, etc. have been cancelled and certain other conditions imposed as will more fully appear on reference to the copy annexed hereto."


- G. ENTITLED FURTHER to benefits under the terms of the servitude referred to in the endorsement dated 7th April 1932 on the said Deed of Transfer Number T2059/1923, namely: -

"By Deed of Transfer No. 1999 dd 7.4. 1932 certain road, more fully described in the diagram No. 498/1932 attached thereto, has been reserved to the owners of the remaining extent of the freehold land now called the Wilderness Estate held under para. 2 hereof, subject to conditions as will more fully appear on reference to the said Deed of transfer."

- H. ENTITLED FURTHER to benefits under the terms of the servitude referred to in the endorsement dated 9th June 1932 on the said Deed of Transfer Number T2059/1923, namely: -

"By Deed of Transfer No. 3497 dd 9.6.1932 the owner of the remainder of the property held by para 2 hereof is entitled to construct, use, and maintain a road across that portion of the property thereby conveyed marked "pathway reserve" on the diagram thereto annexed, as will more fully appear on reference to the said deed of transfer."

- I. ENTITLED FURTHER to benefits under the terms of the servitude referred to in the endorsement dated 21st June 1940 on the said Deed of Transfer No. T2059/1923, namely:-



"By Notarial Deed No. 152/1940 dated 10.6.1940 the properties conveyed by Transfer 6029/1940 have been made subject to conditions relating to persons who may own, lease or occupy the properties, prohibition of trades or business, nature of buildings, walls, fences, etc. provisions for sanitation, water, electric light, etc. clearing or destroying bush or shrub, for the benefit of Wilderness (1921) Limited as owners of the property conveyed by Para. 2 hereof and the owners of properties which are subject to similar conditions as will more fully appear on reference to the said Notarial Deed registered this day in the Servitude Register under No. 152/1940."

J.

K.

L. ENTITLED FURTHER to benefits under the terms of the servitude referred to in the following endorsement dated 12th August 1947 on the said Deed of Transfer Number T2059/1923, namely: -

"By Deed of Trf. 15345 dated 12.8.1947 the ppty thereby transferred is subject to the following conditions: - that no hotel or boarding house shall be established thereon, but such expression shall include the construction and letting of service flats with necessary outbuildings and appurtenances in favour of portion of the ppty held hereunder."

M.

N. SUBJECT FURTHER to the terms of the servitude referred to in the endorsement dated 25th February 1952 on the said Deed of Transfer Number T2059/1923, namely: -

By Not. Deed No. 61/52 dated 15.5.51 the owner of the remainder held under para 2 hereof has granted to the owners of the properties held by Trfs. 4691/47, 15345/47, 206353/49 and 19389/50 the unimpeded access of light, air and view of the servitude area on the said remainder as indicated in red on extract from General Plan W71 annexed to said Not. Deed (more fully described therein) subject to conditions as will more fully appear on reference to the said Not. Deed, a copy of which is annexed hereto."

O. ENTITLED FURTHER to benefits under the terms of the servitude referred to in the following endorsement dated 23rd December 1949 on the said Deed of Transfer Number T2059/1923, namely: -

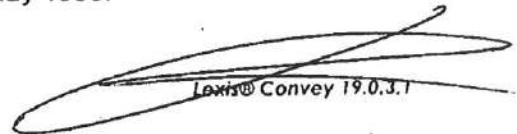
"By Deed of Trf. 20653 dated 23rd Dec. 1949 the ppty thereby conveyed is subject to the following conditions: that no hotel or boarding house shall be established thereon, but such expression shall not include the construction and letting of service flats with necessary outbuildings and appurtenances in favour of portion of ppty held hereunder. As will more fully appear on reference to said trfr."

P.

Q. ENTITLED FURTHER to benefits under the terms of the servitude referred to in the endorsement dated 18th November 1958 on the said Deed of Transfer Number T2059/1923, namely: -

"By Notarial Deed No. 705/1958 dated 21st May 1958.

JM


Lexis® Convey 19.0.3.1

- (1) A condition prohibiting the establishing of hotels and boarding houses on Lots 15 and 16, Block F, Wilderness held by T20653/1949, Lot 15, Block G, and Lot 5, Block F, Wilderness held by T15345/1947 the remainder of Wilderness Extension Township 1G and Lots 88 and 85, Wilderness Extension Township site 1G held by T4691/1947 has been cancelled. (The said condition being referred to in endorsements dated 12/8/1947 and 23/12/1949 on this Deed).
- (2) Conditions b to f hereinafter set out are imposed against Lts 15 and 16, Block F, Wilderness held by Transfer 20653 dated 23/12/1949 and the remaining extent of Wilderness Extension Township 1G (excluding the figure abcde marked on diagram A4501/1931 annexed to Certificate of Consolidated Title No. 4126/32) held by T4691/1947: -
- (b) No trade or business of any description may be carried out on the Lot without the written permission of the Company first had and obtained.
 - (c) All buildings erected on the Lot shall be built of brick, stone or concrete, and the ground plan showing the relation of the position of such buildings to the boundaries of the Lot, as well as the elevation plans of such buildings shall be submitted to the Company for its approval in writing before any buildings are commenced.
 - (d) All walls, fences or hedges or like structures abutting upon any road or pathway shall be of a type approved of by the Company. The Company shall not be liable to contribute to the cost of any party for dividing fence or wall, nor to the costs of repair thereof, but it may call upon the said Grant to enclose the said Lot. The said Grant agrees to observe uniformity in respect of fencing line for all fences that may abut on to any road, pathway, open space, or property of the Company and to maintain all boundary fences of the said Lot in good repair and order. No corrugated iron fence or screen shall be erected on the lot without the leave of the company.
 - (e) The said Grant shall be obliged to plant and maintain at a suitable height such life hedge and/or such trees or shrubs as shall be prescribed by the Company suitably to screen any premises situate on the Lot.
 - (f) The said Grant agrees to be bound not to clear or destroy the trees and bush on the Lot without first consulting the Company, whose consent to such clearing or destroying shall be necessary but shall not unreasonably interfere with the said Grant's full use and enjoyment of the Lot."
- (3) The following condition is imposed against Lot 15, Block G of Lot H, held by Deed of Transfer 15345 dated 12th August 1947:
- "Not trade or business of any description may be carried out on the Lot without the written permission of the Company first had and obtained."
- (4) That the area marked xCDy on diagram A.4026/1924 annexed to Trf. 7863/1926 of Lot 5 Block F Wilderness held by T15345/1947 is subject to the conditions that the owner shall not without the permission of Wilderness (1921) (Ltd) make or suffer to stand any building, structure or thing whatsoever, including fencing.

ZM

(5) That Hugh Owen Bruce Grant as owner of the following properties: -

1. Certain piece of freehold land situate in the Division of George, Being Lot 15, Block F, Wilderness; Held under T20653 dated 23.12.1949.
2. Certain piece of freehold land, situate as above, being Lot 16, Block F, Wilderness; Held under T20653 dated 23.12.1949.
3. Certain piece of freehold land, situate as above, being Lot 5, Block F, Wilderness; Held under T15345 dated 12.8.1947.
4. Certain piece of freehold land, situate as above, being the remaining extent of Wilderness Extension Township No. 1G.
5. Certain piece of freehold land, situate as above, being Lot No. 88 a portion of Wilderness Extension Township Site No. 1G.
6. Certain piece of freehold land, situate as above, being Lot 85 a portion of Wilderness Extension Site No. 1G.

Held under T4691 dated 20.3.1947.

shall not sell or dispose of any of them save as provided in Clause 5 of the said Notarial Deed."

R. SUBJECT FURTHER by virtue of Deed of Transfer Number T10573/1978 to the following conditions imposed by the Administrator of the Province of the Cape of Good Hope in terms of Section 9 of ordinance 33/1934 when approving of the subdivision of Remainder Farm 158 George, namely: -

- (a) The owner of this erf shall without compensation, be obliged to allow electricity, telephone and television cables and/or wires and main and/or other water-pipes and the sewage and drainage, including storm-water of any other erf or erven to be conveyed across this erf, if deemed necessary by the local authority and in such manner and position as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time for the purpose of constructing, altering, removing or inspecting any works connected with the above.
- (b) The owner of this erf shall be obliged, without compensation to receive such material or permit such excavation on the erf, as may be required to allow use of the full width of the street and provide a safe and proper slope to its bank owing to difference between the levels of the street as finally constructed and the erf, unless he elects to build retaining walls to the satisfaction of and within a period to be determined by the local authority."

- S. SUBJECT FURTHER to the terms of the endorsement dated 5 March 1987 on said Deed of Transfer Number T61267/1973, which endorsement reads as follows:-

"Restant Para 2

Kragtens Akte van Transport Nr. T9457/87 hede gedateer, is die restant van die plaas Nr. 158 groot 175,9896 Ha gehou hieronder, onderhewig aan die volgende voorwaardes opgelê deur die Administrateur i.t.v. Art 9 (van Ord. 33/34 tydens die goedkeuring van onderverdeling:

- (a) The owner of this erf shall without compensation be obliged to allow gas mains, electricity, telephone and television cables and/or wires and main and/or other waterpipes and the sewage and drainage including stormwater of any other erf or erven to be conveyed across this erf, and surface installations such as mini-substations, meter kiosks and service pillars to be installed thereon if deemed necessary by the local authority in such manner and position as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time for the purpose of constructing, altering, removing or inspecting any works connected with the above."

- T. FURTHER ENTITLED as indicated in Deed of Transfer Number T84274/1997 to a right of way 6 metres wide over Erf 2008 Wilderness held under said Deed of Transfer, as indicated on diagram 8877/1996 by the figures a.b.C.D., as will more fully appear from said Deed of Transfer with Diagram 8877/1996.

ZM



WHEREFORE the said Appearer, renouncing all rights and title which the said

HENDRY WALTER GEORGE VAN BRANDEN, Unmarried

heretofore had to the premises, did in consequence also acknowledge him to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

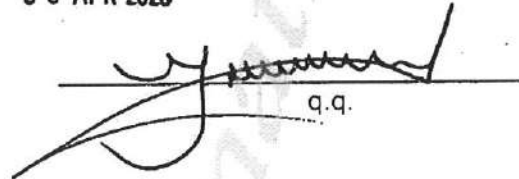
1. **LINDL VILJOEN, Married as aforesaid**
2. **GAWIE STEYN VILJOEN, Married as aforesaid**

their Heirs, Executors, Administrators or Assigns, now are and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R3 000 000,00 (THREE MILLION RAND).

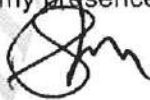
IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS: WESTERN CAPE at CAPE TOWN on

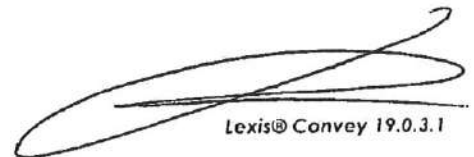
08 APR 2026


q.q.

In my presence



REGISTRAR OF DEEDS


Lexis® Convey 19.0.3.1



ANNEXURE "H" – POWER OF ATTORNEY

POWER OF ATTORNEY

We, the undersigned

Lindl Viljoen and Gawie Steyn Viljoen

the registered owners of

Erf 2096 Wilderness

do hereby appoint Jan Vrolijk Town Planner/Stadsbeplanner to prepare, sign and submit the following applications to the George Municipality:

An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the original conditions of approval for Farm 158 known as Constantia Kloof, with specific reference to Condition 4.2 of the approval dated 25 November 1996 to allow a concrete and painted dwelling house on Erf 2096 Wilderness.

Signed at George on 28 May 2026

Lindl Viljoen



Gawie Steyn Viljoen



ANNEXURE "I" - CONVEYANCER CERTIFICATE

CONVEYANCER'S CERTIFICATE

**IN TERMS OF SECTION 38(1)(n) OF THE GEORGE MUNICIPALITY: LAND USE
PLANNING BY LAW, 2023**

ERF 2096 WILDERNESS

APPLICATION DETAILS

An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the original conditions of approval for Farm 158 known as Constantia Kloof, with specific reference to Condition 4.2 of the approval dated 25 November 1996 to allow a concrete and painted dwelling house on Erf 2096 Wilderness.

APPLICATION DATE

May 2026

I, the undersigned

ANDALEEN CHIMES a duly qualified and admitted Conveyancer, practicing at A Chimes & Van Wyk Attorneys, Cathedral Street, George do hereby certify as follows:

1. I have perused the following title Deed/s and conducted a search behind the pivot of the said title deed/s at the Deeds Office, Cape Town:

T20303/2026 (current Title Deed)

in respect of:

**ERF 2096 WILDERNESS
IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE**

IN EXTENT: 814 (FOUR EIGHT THREE) SQUARE METRES

HELD BY DEED OF TRANSFER NUMBER T20303/2026

REGISTERED in the name of

LINDL VILJOEN AND GAWIE STEYN VILJOEN

2. I have appraised myself with the details of the abovementioned Land Development Application.
3. The abovementioned Title Deed contains no conditions restricting the contemplated Land Use in terms of the abovementioned Land Development Application.
4. There is no bond registered over the property.

SIGNED at GEORGE on 26 May 2026

A handwritten signature in black ink, appearing to read 'Lindl Viljoen', written in a cursive style.

CONVEYANCER

**ANNEXURE “J” – SURVEYOR GENERAL DIAGRAMS IN RESPECT OF RIGHT OF WAY
SERVITUDES**

Diesel & Munns

	SIDES METRES	ANGLES OF DIRECTION
A B	24,06	323 45 50
B C	39,65	53 32 50
C D	24,07	142 39 30
D A	40,12	233 32 50

S. G. No.

8877/1996

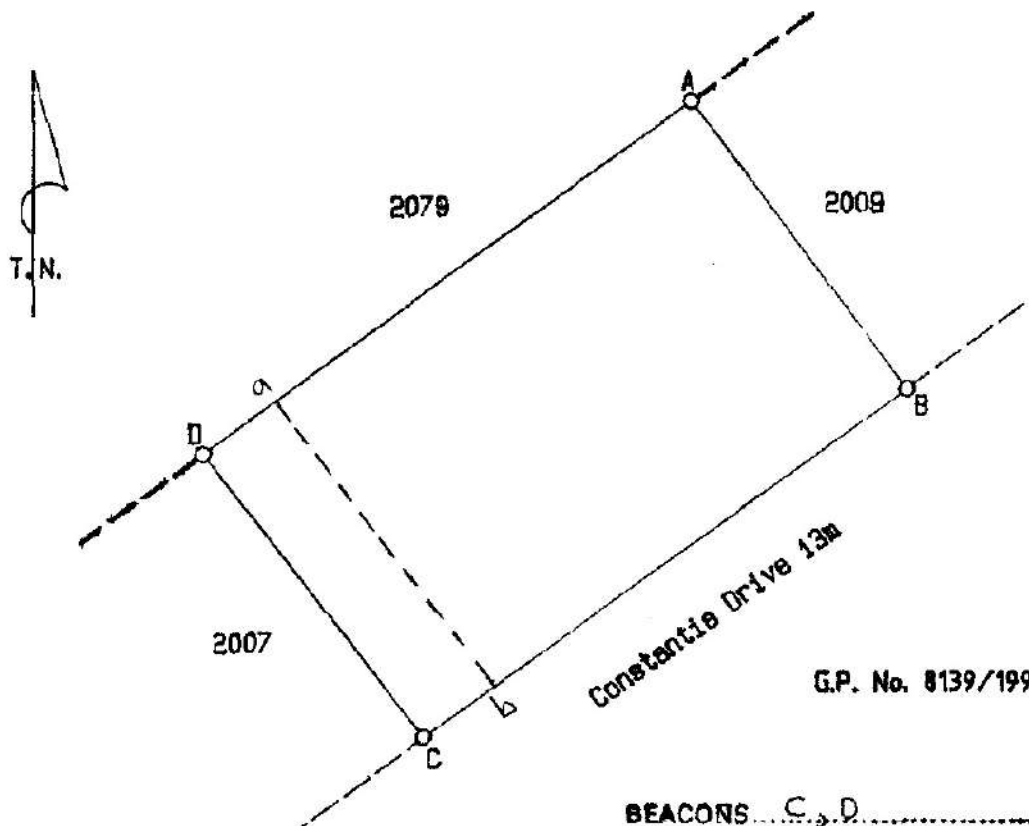
Approved

G. K. Munns

1996-11-28
Surveyor - General

Description of Beacons.

A, B, C, D 12mm round iron peg



G.P. No. 8139/1995

BEACONS C, D

REPLACED, VIDE E. 627/97
i/o Reg 18(2).S/8692 P. 60-62

Scale 1:500

The figure A B C D represents

950 square metres
ERF 2008 WILDERNESS

of land, being

situate in the Wilderness District Council
Administrative District of George,
Surveyed in December 1994 - September 1996
by me,

Province Western Cape

G. K. Munns

G. K. Munns
Professional Land Surveyor

PLS 0429

This diagram is annexed to No. T84274/97 dated i. f. o.

The original diagram is S. G. No. annexed to Transfer No.

File No. S. 8692
S. R. No. E. 2599/95
Comp. BL-8CC/Z41 (1765)
Gen. Plan No. 8139/1995

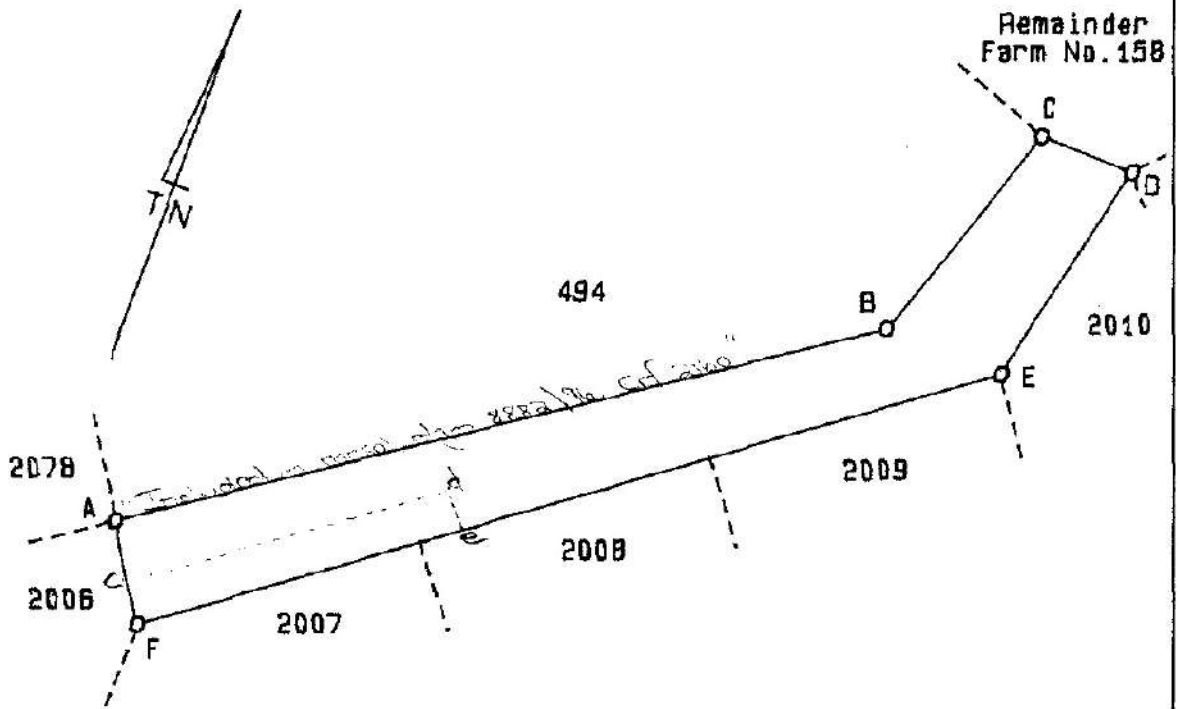
Registrar of Deeds

Ojese & Munns

SIDES Metres	ANGLES OF DIRECTION	CO-ORDINATES System L ₂₃			S.G. No. 8880/1996	
		Y	X			
	Constant:	+	0,00	+3 700 000,00	Approved <i>[Signature]</i> Surveyor-General 1997-01-06	
A B	105,35	235 45 00	A +	38 933,78		+ 62 389,23
B C	33,17	198 19 30	B +	38 846,70		+ 62 329,94
C D	12,98	271 35 20	C +	38 836,27		+ 62 298,45
D E	32,46	12 38 10	D +	38 823,30		+ 62 298,81
E F	119,21	53 32 50	E +	38 830,40		+ 62 330,48
F A	14,21	148 11 50	F +	38 926,29		+ 62 401,31
	[445] Wilderness	△	+	39 968,73	+ 62 307,65	
	[447] Lakes	△	+	36 514,28	+ 62 961,33	

Description of Beacons.

A, B, D, E, F 12mm round iron peg
C 12mm drillhole in rock



Scale 1:1000

The figure A B C D E F represents

1817 square metres
ERF 2079 WILDERNESS

of land, being

situate in the Wilderness District Council
Administrative District of George,
Surveyed in December 1994 - September 1995
by me,

Province Western Cape

G.K.Munns

[Signature]
Professional Land Surveyor

PLS-0429

This diagram is annexed to No. T89663/98 dated i.f.o.

Registrar of Deeds

The original diagram is No. 1324/1852 annexed to Grant No. 1852-12-Geo.F. 12.7. i.f.o. Adriaan V. Bergh FARM No. 158

File No. S.8692
S.R. No.E. 2599/95
Comp.BL-8CC/241 (1765)
Gen. Plan No. W 71^c (3560)
(sheets 1, 3, 4)

FOR ENCLOSUREMENTS
SEE ERF 2079 FORM

S
B/1