



TOWN PLANNING

Marlize de Bruyn
marlize@mdbplanning.co.za
076 634 0150

Denise Janse van Rensburg
denise@mdbplanning.co.za
067 817 3733

DEVELOPMENT MANAGEMENT CONSULTING

**PROPOSED REZONING, CONSENT USE & PERMANENT DEPARTURES
FOR KEMP EIENDOMS TRUST**

**ERF 2333 GEORGE, 71 CRADOCK STREET, GEORGE CBD
GEORGE MUNICIPALITY & DIVISION**



CONTENTS

1. BACKGROUND INFORMATION & PROPERTY DETAILS3

2. APPLICATION3

3. CONTEXTUAL INFORMANTS4

 3.1 LOCALITY4

 3.2 ZONING4

 3.3 CHARACTER OF THE PROPERTY & AREA4

4. DEVELOPMENT PROPOSAL6

 4.1 FURTHER CONSIDERATIONS8

 4.1.1. PRE-APPLICATION8

 4.1.2. PUBLIC INTEREST9

 4.1.3. MUNICIPAL ENGINEERING SERVICES & ACCESS9

 4.1.4. ENVIRONMENTAL CONSIDERATIONS9

 4.1.5. HERITAGE CONSIDERATIONS10

5. CONSIDERATION OF THE APPLICATION11

 5.1 SPATIAL PLANNING & LAND USE MANAGEMENT ACT, 2013 (SPLUMA)11

 5.2 WESTERN CAPE LAND USE PLANNING ACT, 2014 (LUPA)12

 5.3 GEORGE MUNICIPALITY: LAND USE PLANNING BY-LAW, 202312

 5.4 GEORGE INTEGRATED ZONING SCHEME BY-LAW, 2023 (GIZS)12

 5.5 GEORGE MUNICIPAL SPATIAL DEVELOPMENT FRAMEWORK (GMSDF) (2023)14

6. NEED & DESIRABILITY17

7. CONCLUDING18

Annexures

1. POWER OF ATTORNEY
2. COPY OF TITLE DEED
3. BONDHOLDER'S CONSENT
4. COPY OF SURVEYOR-GENERAL DIAGRAM
5. CONVEYANCER'S CERTIFICATE
6. LOCALITY PLAN
7. SITE DEVELOPMENT PLAN
8. ELEVATIONS
9. PRE-APPLICATION CONSULTATION
10. HWC-PERMIT (1 JULY 2025)

Aerial images:

<https://gis.elsenburg.com/apps/cfm/#>

<https://gis.george.gov.za/portal/apps/webappviewer/index.html?id=0283eccf869641e0a4362cb099290fca>

<https://www.google.com/earth/>

Authors of this report:

M de Bruyn (eds)	Professional Planner A/1477/2011	B. Art. et. Scien. Planning
D Janse van Rensburg	Professional Planner A/3594/2025	MSc. Urban and Regional Planning

Copyright

Copyright © 2026 by Marlize de Bruyn Planning except where expressly transferred by written agreement to the Client and the Municipality. Any unauthorised reproduction, adaptation, alteration, translation, publication, distribution or dissemination (including, but not limited to, performances in public, broadcasting and causing the work to be transmitted in a diffusion service) of the whole or any part of this Document in any manner, form or medium (including, but not limited to, electronic, oral, aural, visual and tactile media) whatsoever will constitute an act of copyright infringement in terms of the Copyright Act 98 of 1978 and will make the Doer/Transgressor liable to civil action and may in certain circumstances make the Doer/Transgressor liable to criminal prosecution. All trademarks and registered trademarks mentioned in this document are the property of their respective owners. Nothing contained in this document should be construed as granting any license or right to use any trademarks without the prior written permission of Marlize de Bruyn Planning.

**PROPOSED REZONING & CONSENT USE
ERF 2333, 71 CRADOCK STREET, GEORGE CBD
GEORGE MUNICIPALITY & DIVISION**

1. BACKGROUND INFORMATION

Erf 2333 George is a 1095m² property in the George CBD, currently zoned Single Residential Zone I and developed with a dwelling house and outbuildings, partly used for business purposes. Pre-applications in 2024 initially proposed rezoning to Business Zone II, but feedback suggested rezoning to Business Zone I with consent for a dwelling unit. The owner instead decided to apply for a permanent departure for expanded home occupation, which completed public participation in February 2025 with no objections. Following further business expansion and engagement with the Municipality, a new land use application is now required for rezoning the property to Business Zone I with consent for a dwelling unit. The necessary departures are included where necessary.

DMC Town Planning was appointed to address the land use requirements for the proposed business and dwelling unit on Erf 2333 George. The power of attorney is attached as **Annexure 1** to this report. The table below shows the property details for Erf 2333 George:

Property Description:	Erf 2333 George
Physical Address:	71 Cradock Street, George CBD, George
Owner:	Kemp Eiendoms Trust
Title Deed No:	T39165/2023 (Annexure 2)
Bond:	Yes, FNB (Annexure 3)
Size of the property:	1095m ²
Zoning of the property	Single Residential Zone I
SG Diagram	Annexure 4

A Conveyancer's Certificate is attached hereto as **Annexure 5**. It confirms no restrictive conditions that limit this land use application.

2. APPLICATION

This land use application for Erf 2333 George entails the following:

- **Rezoning** in terms of Section 15(2)(a) of the George Municipality: Land Use Planning By-law (2023) from Single Residential Zone I (dwelling house) to Business Zone I (business premises).
- **Consent use** in terms of Section 15(2)(o) of the George Municipality: Land Use Planning By-law (2023) for a dwelling unit.

3. CONTEXTUAL INFORMANTS

3.1 LOCALITY

Erf 2333 George is located in George CBD in Cradock Street just one erf row southeast of the Nelson Mandela Boulevard (NMB) activity corridor. The property is also located within the CBD functional area and densification zone. A locality plan is attached hereto as **Annexure 6**.

3.2 ZONING

Erf 2333 George is currently zoned Single Residential Zone I (dwelling house). The property is located in the CBD of George in an area with a mixed zoning character including Business Zone I (business premises), Business Zone II (shop), Business Zone VI (service station), General Residential Zone II (group housing), General Residential Zone IV (flats), and Single Residential Zone I (dwelling house). The property abuts group housing to the northwest, flats to the northeast, Cradock Street to the southeast, and a service station to the southwest.



3.3 CHARACTER OF THE PROPERTY & AREA

Erf 2333 George is a 1095m² residential property in the George CBD, an area specifically characterised by mixed land uses. Erf 2333 George abuts the Engen fuel station to the southwest, higher density residential developments to the northwest & northeast, and obtains access from Cradock Street to the southeast. The area and property have flat topographies. This area of the George CBD is known for its diversity of residential typologies and properties with mixed business-residential land uses. Erf 2333 George is already developed with a dwelling house and outbuildings.

The structures on the property are currently used for a dwelling house, business, and garage / outbuilding. The property currently has a 5.0m street building line and 3.0m side and rear building lines under SRZI. Of the three storage structures/containers shown in the 2022 images of the backyard, two have been removed, and the area has been tidied to make space for parking. *For consistency, the 2022 aerial imagery will be used throughout this report, even though it still shows the containers. However, the 2024 aerial imagery from Google confirms that the backyard has been cleared as described.*



4. DEVELOPMENT PROPOSAL

Erf 2333 George is located in the George CBD on Cradock Street, just southeast of the Nelson Mandela Boulevard activity corridor, and within the CBD functional area and densification zone. The property is currently zoned as Single Residential Zone I (SRZI). Existing structures on the property include a dwelling house and outbuilding. A significant portion of the main structure (±125 m²) is currently utilized for business purposes, exceeding the 60m² threshold permitted for home occupation. Given that the scale of the business use is no longer compliant with home occupation provisions, a rezoning to Business Zone I (BZI) is proposed to align the land use with the existing and intended activities. The owner continues to reside in the rear portion of the structure, and it is therefore proposed to include a consent use for a dwelling unit on the business premises.

Under BZI, a 0.0m building line applies to all boundaries. The proposed business premises comprises a showroom/reception area (considered a “shop”) and two offices, with a total gross leasable area (GLA) of 85m² (46m² shop and 39m² offices).

Based on the zoning scheme parking requirements, the following applies:

- Offices: 4 bays per 100m² GLA (normal) or 3 bays per 100m² GLA (PT1) = 2 bays (normal & PT1)
- Shop (CBD): 6 bays per 100m² GLA (normal) or 4 bays per 100m² GLA (PT1) = 3 bays (normal) or 2 bays (PT1)
- Dwelling unit: 2 bays (normal) or 1 bay (PT1)

This results in a total parking requirement of 7 bays (normal) or 5 bays (PT1). The property comfortably accommodates 8 compliant parking bays within its boundaries at the rear of the property.

Vehicular access is provided from Cradock Street via a driveway running between existing structures to the rear parking area. The driveway width ranges from 3.375m at its narrowest to 4.182m at its widest, which has proven adequate for access.



The access point itself is 5.0m wide and complies with the minimum requirements for a carriageway crossing as indicated in the zoning by-law. The property has altered the existing garage to increase the width of the passage to the rear of the property.

The garage will continue to be used for parking and storage, and the rear section of the outbuilding is a staff restroom. Given the mixed-use character of the surrounding area, the proposed use of the property as a business premises aligns with the nature of the area and is considered reasonable. The following images show the comparison of the current zoning and the proposed zoning in relation to character of the area.



The updated site development plan is attached hereto as **Annexure 7** and the updated elevations as **Annexure 8**.

4.1 FURTHER CONSIDERATIONS

4.1.1. PRE-APPLICATION

The latest pre-application consultation is attached hereto as **Annexure 9** with the minutes discussed in the paragraphs to follow:

Comments	Response
Town Planning	
The applicant is advised to cancel the current application in the system prior to the submission of the new rezoning and consent use applications.	Noted and done accordingly. A new application is being submitted in accordance with discussions and this pre-application.
All activities must take place within the boundaries of the property and not in the road reserve.	Noted and done accordingly.
Applicant to ensure that parking is provided in line with the zoning scheme, maneuvering space and access to the parking area to be clearly depicted. Vehicular path and driveway to be indicated.	Noted and done accordingly.
All structures (and uses) on site to be indicated on the site layout plan.	Noted and done accordingly.
Encroachments over the road reserve will not be allowed, applicant to address this before the application is submitted.	Noted.
Parking within the road reserve will also not be allowed.	Noted.
Applicant to address compliance with the zoning scheme and MSDF.	Noted and done accordingly.
Comment from Heritage Western Cape will be required as part of the PPP process or prior.	HWC does not comment on land use application. The required permit for additions and alterations has already been received from HWC. See the permit dated 1 July 2025 attached hereto as Annexure 10 .

CES	
Applicant to contact CES for comments	This was done, but no response received. Comments will be provided during the internal circulation of this land use application during the public participation period.

ETS	
DC's applicable.	Noted.

4.1.2. PUBLIC INTEREST

The proposed application is not anticipated to result in any negative impacts on surrounding properties. The subject property is located within the CBD, where a mix of business and medium-density residential uses already defines the prevailing character. The proposed land use is therefore considered in line with the existing character of the area, a mix of business and residential.

The surrounding properties are mostly zoned for business and medium-density residential purposes, with only one Single Residential Zone I (SRZI) property located across the street. Given the nature and scale of the proposed application, none of the surrounding properties will be negatively affected.

The previous public participation process conducted in 2025, when the business component was limited to 70m², received no comments or objections from surrounding property owners or interested and affected parties. This indicates a level of acceptance of the proposed mixed use of the property in principle. The current proposal involves an increase in the business component to 123m², still to be accommodated within the existing structure. This increase is not considered significant enough to alter the nature of the use or to introduce new impacts that would give rise to concern. The positive outcome of the previous public participation process is therefore regarded as an indication of the general acceptability of the proposed development within the local context.

A new public participation process will still be conducted for this application, during which all surrounding property owners and interested and affected parties will again be given the opportunity to review and comment on the proposal.

4.1.3. MUNICIPAL ENGINEERING SERVICES & ACCESS

The property has access to municipal water, water-borne sewerage, solid waste removal and electricity. This will not change.

The proposed business premises will be about 123m². The parking requirements for the proposed land use are 7 bays under 'normal' requirements and 5 bays under 'PT1' requirements. Sufficient parking (8 bays) is provided at the rear of the property, and the garage can also accommodate 2 extra tandem bays.

The access from Cradock Street is 5.0m and complies with the provision of the zoning by-law. The space between the structures for vehicular access has proven sufficient for comfortable accessibility across the property.

4.1.4. ENVIRONMENTAL CONSIDERATIONS

The property has no natural features thereon, a flat topography, has been cleared of natural vegetation decades ago, is paved and landscaped, and within the urban edge and CBD. Thus, the proposed change in use of the existing structures will not have a negative environmental impact in this location. It is expected that more landscaping will follow in relation to what is present on the property now.

4.1.5. HERITAGE CONSIDERATIONS

As seen on the 1957 aerial image to the right, the house and a section of the garage on Erf 2333 George is older than 60 years and protected in terms of the National Heritage Resources Act (25 of 1999).

The required permit has been issued by Heritage Western Cape and the plans stamped accordingly. See *Annexure 10*.



5. CONSIDERATION OF THE APPLICATION

The criteria for the consideration of land use applications as per the Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013) (SLPUMA), the Western Cape Land Use Planning Act, (Act 3 of 2014) (LUPA) and the George Municipality: By-law on Municipal Land Use Planning (2023) builds on each other. SLPUMA introduced legislative and procedural changes to the management of land use planning in South Africa. The Western Cape Province followed with LUPA and thereafter George Municipality with the Municipal Land Use Planning By-law (2023). What is relevant to this land use application is discussed in the paragraphs to follow.

5.1 SPATIAL PLANNING & LAND USE MANAGEMENT ACT, 2013 (SPLUMA)

Section 7 of this Act sets out the five development principles that are applicable to spatial planning, land development and land use management and section 42 of SPLUMA then refers to the factors that must be considered by a municipal tribunal when considering a land use planning application, which include but are not limited to:

- Five SPLUMA development principles;
- Public interest;
- Constitutional transformation;
- Respective rights and obligations of all those affected;
- State and impact of engineering services, social infrastructure and open space requirements;
- Compliance with environmental legislation.

The five development principles of SPLUMA, namely spatial justice, spatial sustainability, efficiency, spatial resilience, and good administration are not all directly relevant to this land use application. The land use application for Erf 2333 George supports the relevant development principles of SPLUMA.

Spatial justice as described in Section 7(a) of SPLUMA is not relevant to this land use application.

Spatial sustainability as described in Section 7(b) of SPLUMA is not relevant as the natural environment will not be affected by this application.

- Prime and unique agricultural land is not affected by this land use application.
- Environmental matters are not relevant to this application.
- The effective and equitable functioning of land markets is not negatively affected by this application.
- All current and future costs to all parties for the provision of infrastructure and social services in land developments must be considered. The impact on infrastructure cannot be more than that of a dwelling house with a home occupation.
- Land development in locations that are sustainable and that limits urban sprawl, must be promoted. The property is in the urban edge and CBD, and the application contributes to this section.

Efficiency as described in Section 7(c) of SPLUMA is supported. The efficient use of a property within the urban edge and CBD is proposed.

Spatial resilience as described in Section 7(d) of SPLUMA is not fully relevant to this land use application.

Good Administration as described in Section 7(e) of SPLUMA indicates the responsibilities of all involved in any land use matter.

5.2 WESTERN CAPE LAND USE PLANNING ACT, 2014 (LUPA)

LUPA requires that local municipalities consider the following when deciding on land use applications:

- Applicable spatial development frameworks;
- Applicable structure plans;
- Land use planning principles referred to in Chapter VI (Section 59) which is an expansion of the five development principles of SPLUMA;
- Desirability of the proposed land use; and
- Guidelines that may be issued by the Provincial Minister regarding the desirability of proposed land use.

The applicable spatial development frameworks are discussed in Paragraph 4.2 of this motivation report. The land use planning principles expands on the five development principles of SPLUMA which is discussed in foregoing paragraphs and desirability of the proposed land use is addressed in Paragraph 4.3 to follow.

Section 19(1) and (2) of LUPA refers to **consistency** and **compliance** of a land use proposal regarding spatial development frameworks or structure plans. Considering the aim of this land use application for Erf 2333 George, no conflict was found with the George Municipal Spatial Development Framework (GMSDF) – see Paragraph 4.2.1.

5.3 GEORGE MUNICIPALITY: LAND USE PLANNING BY-LAW, 2023

The general criteria for the consideration of applications in terms of this By-law are included in Section 65 which, inter alia, includes:

- Desirability of the proposed utilisation of land;
- Impact of the proposed land development on municipal engineering services;
- Integrated development plan, including the municipal spatial development framework, the applicable local spatial development framework and/or local structure plans;
- Relevant municipal policies;
- Western Cape Provincial Spatial Development Framework;
- Section 42 of SPLUMA (public interest, constitutionality);
- Land use planning principles transposed from LUPA; and
- Provisions of the applicable zoning scheme.

The above is addressed elsewhere in this motivation report as relevant.

5.4 GEORGE INTEGRATED ZONING SCHEME BY-LAW, 2023 (GIZS)

Erf 2333 George is zoned Single Residential Zone I (dwelling house). It is proposed to rezone the property to Business Zone I for the property to be predominantly used as a business premises. A consent use for a dwelling unit is also required for the owner to continue to reside in the rear portion of the structure.

Business Zone I (BZI)		
<i>The objective of this zone is to provide for intensive business and mixed-use development with relatively few restrictions in order to promote urban vitality and economic growth.</i>	Primary use • Business premises	Consent uses • Adult entertainment • Adult services • Adult shop • Animal care centre • Boarding hostel • Boarding house • Dwelling units • Flats

“business premises”

Land use description: “business premises” means a property from which business is conducted and—

- (a) includes a shop, big box retail, restaurant, liquor store, plant nursery, office, funeral parlour, financial institution and building for similar uses, place of assembly, place of leisure, institution, hotel, conference facility, rooftop base telecommunication station, and multiple parking garage;
- (b) includes five electronic or mechanical playing devices that are ancillary to a restaurant or place of leisure per property;
- (c) includes also the following land uses above ground floor only -
 - (i) flats,
 - (ii) caretaker’s quarters,
 - (iii) backpackers lodge,
 - (iv) youth hostel, as well as
 - (v) boarding houses; and
- (c) does not include a place of entertainment, gambling place, motor repair garage, industry, noxious trade, risk activity, adult entertainment, adult services, or adult shop.

The business premises is in the front section of the structures and has a showroom / reception area of about 46m². This area is also where walk-in clients will be waiting and scouting for products to order. It is thus proposed that for the purpose of parking calculations, that this area be considered a ‘shop’. The business premises will also have two offices with a total floor area of 39m². The dwelling unit is 111m² at the rear of the property.

The property will have 0.0 building lines on all its boundaries so no building line relaxations for the change in uses of the existing structure will be required. All other development parameters (height, coverage, etc) are complied with.

The parking requirements for the property are shown in the following table:

	Normal	GLA	Bays required	Bays provided
Shop	6 bays per 100m ² GLA	46m ²	2.76	4
Offices	4 bays per 100m ² GLA	39m ²	1.56	2
Dwelling unit	2 bays per dwelling unit	111m ²	2	2
Provided			6.32	8

The parking area will have more than sufficient space for vehicular manoeuvring. All relevant development parameters, including the provision of parking, will be complied with.

5.5 GEORGE MUNICIPAL SPATIAL DEVELOPMENT FRAMEWORK (GMSDF) (2023)

Erf 2333 George is not addressed specifically in GMSDF. It is in a mixed-use area of the CBD (Category A node) within the George urban edge. The property also abuts the Medium-Term Business Development Edge, is wholly within the densification zone, the CBD functional area, primary node, and is one property away from the Nelson Mandela Road Activity Corridor.



The George CBD is a high intensity mixed use area defined by a business edge applicable to the core area, including office use and high-density housing options. Revitalization and urban design focussed on the public realm, including pedestrian linkages, planning aimed at improving safety and shared management must be considered in all developments in the CBD.

Two use categories are demarcated:

- i. The core (business Edge) area includes mixed uses such as retail, commercial, offices, residential and other, but excludes industrial; and
- ii. areas allocated to high density residential development Map 23.

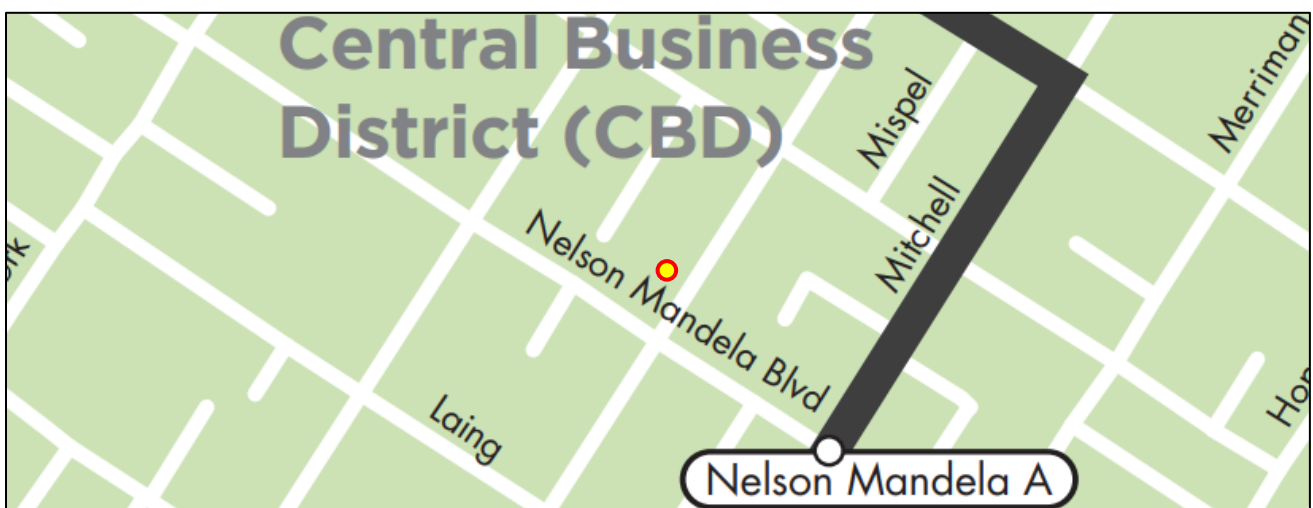
The SDF further states the following for the CBD (Category A node):

- The Central Business district is the primary economic core of the city area, consisting of main businesses, commercial activities, corporate head offices, regional community services, transportation hubs and open spaces.
- Focusing on mixed land uses including high density residential.
- Development of flats advised to include retail components on ground floor.
- The CBD is subject to the restructuring zone together with the residential densification fringe, this fringe relates density in accordance with distance from public transport routes. Measured as walking distance from public transport route (80u/ha (or more to be motivated) for 150m, 60u/ha in 151-350m and 45u/ha for 351-500m.

The SDF also states the following for the Nelson Mandela Road Activity Corridor:

- Commercial Corridors refer to routes that form activity spines along which a mix of high-density urban uses should be encouraged, and public transport should be promoted.
- AMP to reflect roadside development environment.
- Fine grain access supported, or secondary access system provided.
- Activity (mixed use) corridor, along public transport route, with secondary access possibilities. Includes TOD opportunity, business/retail, industrial transition, tourism, higher density residential.
- Only existing offices (not extension of office use).
- Road design to support pedestrian orientated development and vehicle access should not be a priority for business use. Specifically aimed at supporting vibrant, existing street front activity.

Erf 2333 George falls within the densification zone and abuts the business edge. So, a mixed use between residential and business is considered appropriate given its specific locality in the CBD. The property is less than 300m from the nearest public transport pickup point. The proposed backyard parking area directly supports a vibrant street front.



The following policies as set out in the SDF are supported by the proposed use of Erf 2333 George:

Policy A2:PG(d):

Promote appropriate classification of roads, access management and parking requirements that relate to a roadside development environment that supports the urban concept.

Policy B4:PG(a)&(b):

Protection of shared areas of economic activity and opportunity.

Policy B8:PG(a):

Encouraging integrated development (spatial integration - shared uses/access) with mixed typologies and densities in private/public development.

Policy C2.5:PG(b):

Promote walkability within the intensification zone (densification area and priority nodes).

Policy C2.6:PG(a):

Support Hierarchy of Nodes/Precincts and activity streets.

Policy F1:PG(a):

To celebrate built heritage assets in a manner that contributes to renewal, urban quality, and opportunity.

This land use application will contribute to the efficient use of a property within George CBD and will support the mixed-use character of the direct and greater CBD area. The property is walking distance from public transport facilities and by placing the parking area at the rear of the property it directly supports and enhances the sense of place in Cradock Street. This report shows that the development proposal for Erf 2333 George supports the aims of the GMSDF.

6. NEED & DESIRABILITY

Need and desirability is the balancing of various factors.

Need

Need depends on the nature of a development proposal and is based on the principle of sustainability. This report has shown that the proposed application for a business premises and dwelling unit on Erf 2333 George can have a positive impact on the character of the George CBD as a mixed-use area. It will fulfil the property owner's need to live and operate their business from the same property.

Desirability

Desirability from a planning perspective is defined as the degree of acceptability of a proposed development on a property. The relevant factors include the physical characteristics of the property, existing planning in the area, character of the area, the locality and accessibility of the property as well as the provision of services. Another important consideration is the economic or financial impact which is only positive in this instance.

Physical characteristics of the properties

The physical characteristics of Erf 2333 George do not create conflict for the proposed application. The property is not within any environmentally restricting areas, and no new development is proposed.

Existing planning in the area

As indicated earlier in this report, this land use application is not in conflict with the George Municipal Spatial Development Framework (GMSDF).

Character of the area

As discussed earlier in this report, the proposed application for Erf 2333 George will support the character of the area.

Provision of services

Existing municipal engineering services will continue to be used as provided at present and expanded if necessary.

Economic impact

This proposed mixed use of Erf 2333 George will form part of the economic network of the CBD.

Direct impact on surrounding properties

No neighbour will be overshadowed or overlooked considering no new development is proposed and the uses on the property will remain as it currently is.

It is our view that the need and desirability of the proposal for Erf 2333 George, showed no negative impacts.

7. CONCLUDING

The proposal to rezone Erf 2333 George to BZI for business premises and consent for a dwelling unit is aligned with the mixed-use character of George CBD and supports the efficient use of the property.

This application aims to accommodate both business and residential use without proposing any new development, ensuring minimal impact on the streetscape and surrounding properties. The proposal complies with SPLUMA, LUPA, and the municipality's land use planning regulations. It enhances the local urban environment by supporting mixed-use development, maintaining heritage structures, and ensuring that as-built plans can be submitted.

The provision of parking at the back of the property further supports the relevant design and streetscape principles that encourage a vibrant streetscape. The need and desirability factors indicate positive outcomes for the community and the property owner, contributing to the economic and social fabric of the area. Thus, the proposed application for Erf 2333 George is both necessary and desirable.

From this report, it is our opinion that the proposed land use application for Erf 2333 George as described in the foregoing paragraphs is consistent with all relevant considerations as prescribed by the planning legislation. It supports the recommended and desired vision of the CBD as a primary node and functional area.



MARLIZE DE BRUYN Pr. Pln



DENISE JANSE VAN RENSBURG Pr. Pln

May 2026

ANNEXURE 1

Resolution & Power of Attorney

Kemp Eiendoms Trust (IT851/04(B), the registered owner of *Erf 2333, George Municipality & Division* hereby resolves to authorise *Marlize de Bruyn and Denise Janse van Rensburg of Marlize de Bruyn Planning* to submit the required land use application for the property in terms of Section 15(2) of the George Municipality: Land Use Planning By-law, 2023 for the property



JW Scheepers

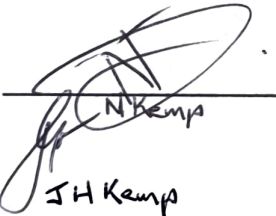
Date: 24/05/2024



Gary Kemp

27/05/2024

Date



N Kemp

JH Kemp

27 May 24

Date



Nadine Kemp

Witness _____

27/5/24

30/05/2024

Date



REPUBLIC OF SOUTH AFRICA

GEWYSIGDE / AMENDED

MAGTIGINGSBRIEF LETTERS OF AUTHORITY

Ingevolge Artikel 6(1) van die Wet op Beheer oor Trustgoed, 1988 (Wet 57 van 1988)
In terms of Section 6(1) of the Trust Property Control Act, 1988 (Act 57 of 1988)

No: IT 851/04 (B)

Hiermee word gesertifiseer dat /

This is to certify that

.....
JOHAN HENDRIK KEMP

.....
NOELINE KEMP

.....
JOHANNES WERNER SCHEEPERS

.....
GARY KEMP

.....
NADINE KEMP

.....
gemagtig word om op te tree as trustee(s) van die /
is/are hereby authorized to act as trustee(s) of the
KEMP EIENDOMS TRUST

GEGEE onder my hand te op hede die dag van
GIVEN under my hand at BLOEMFONTEIN this day of year 2022

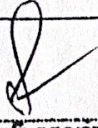
F. JANSEN
10 NOV 2022
Signature
SIC
ASSISTENT-MEESTER
ASSISTANT MASTER

ANNEXURE 2

Prepared by me

CONVEYANCER
JANINE FOUCHE
LPCM60411

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R 2 900 000,00	R 2 014,00
Reason for Exemption	Category Exemption	Exemption i.o. Sec/Reg Act/Proc

VERBIND MORTGAGED	
VIR FOR R 2 600 000,00	
B 000020160 / 2023	
15 SEP 2023	REGISTRAR/REGISTRAR

DATA / VERIFY
18 SEP 2023
Unathi Jonggo

T 000039165 / 2023

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

~~JANINE FOUCHE (60411)~~ RONELLE WILKINSON(97489)

appeared before me, the REGISTRAR OF DEEDS at CAPE TOWN, the said Appearer, being duly authorised thereto by a power of attorney granted to him by

CINDY CHARLENE DE JAGER
Identity Number 800602 0002 08 4
Married out of Community of Property

signed at GEORGE on 13 JULY 2023

And the Appearer declared that:

Whereas the Transferor had truly and legally sold the undermentioned property on 8 June 2023 by Private Treaty

Now therefore the Appearer on behalf of the Transferor, did by these presents, cede and transfer to and on behalf of

DATA / CAPTURE
18 SEP 2023
Nomzamo Siyoko



The Trustees of KEMP EIENDOMS TRUST
Registration Number IT851/04 (B)

its successors in office or assigns, in full and free property

ERF 2333 GEORGE, IN THE MUNICIPALITY AND DIVISION OF GEORGE,
PROVINCE OF THE WESTERN CAPE

IN EXTENT 1095 (ONE THOUSAND AND NINETY FIVE) SQUARE METRES

FIRST TRANSFERRED BY DEED OF TRANSFER NUMBER T15145/1943 WITH
DIAGRAM NO. 1501/1943 RELATING THERETO AND HELD BY DEED OF
TRANSFER NO. T14414/2017

A. **SUBJECT** to the conditions referred to in Certificate of Consolidated Title No.
T15143/1943.

WHEREFORE the Appearer, renouncing all the rights and title the said

CINDY CHARLENE DE JAGER, Married as aforesaid

heretofore had to the premises, did, in consequence also acknowledge her to be entirely
dispossessed of, and disentitled to, the same; and that, by virtue of these presents, the said

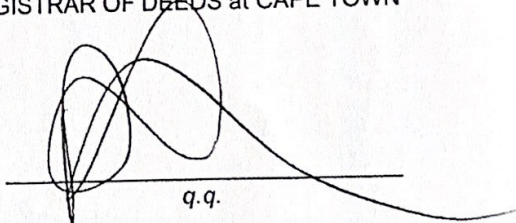
The Trustees of KEMP EIENDOMS TRUST

its successors in office or assigns, now is and henceforth shall be entitled thereto, conformably
to local customs; the State, however, reserving its rights, and finally acknowledging that the
purchase price is the amount of R2 900 000,00 (TWO MILLION NINE HUNDRED THOUSAND
RAND).


IN WITNESS WHEREOF I, the said Registrar, together with the Appearer, have subscribed to
these presents, and have caused the seal of office to be affixed thereto.

THUS DONE AND EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN
on

15 SEP 2023


q.q.

In my presence



REGISTRAR OF DEEDS





ANNEXURE 3

FNB Private Wealth
5 Merchant Place, 9 Fredman Drive, Sandton
PO Box 62164
Marshalltown, 2017
Email: servicesuite@fnbprivatewealth.co.za
Web: www.fnb.co.za



23rd April 2026

Kemp Eiendoms Trust
Erf 2333
George

Dear Sirs,

OUR CLIENT:	KEMP EIENDOMS TRUST
ACCOUNT NUMBER:	3-000-020-481-629
MORTGAGE BOND BY:	KEMP EIENDOMS TRUST
OVER:	ERF 2333, GEORGE

We refer to the above mortgage bonds registered in our favour.

Consent is granted for the rezoning of the abovementioned property Business Zone 1, subject to the property being taken over by Commercial Property Finance.

This consent shall not be construed as substituting, varying or novating any of your existing obligations to us nor shall it affect any security furnished by you in terms of your existing agreement save as provided for herein.

Authorised Signatory

Authorised Signatory

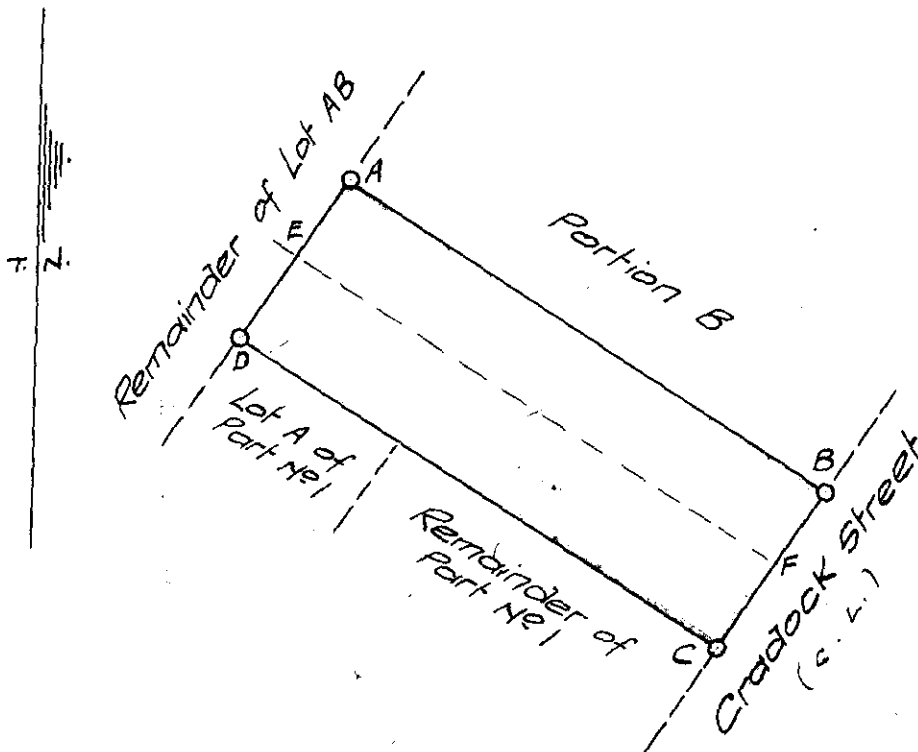
ANNEXURE 4

SIDES Cape Feet		ANGLES	
AB	180.00	A	90.00
BC	61.34	B	90.00
CD	180.00	C	90.00
DA	61.34	D	90.00

S. G. No. 15/1943

Approved

R. E. Drumblton
Surveyor-General.
21-5-1943



Description of Beacons:

A, B = Iron pegs .18" x 1/2"
C, D = Iron pegs 1/2"



The figure A, B, C, D

represents

11,041

Square Feet of land being

* Portion A of Lot A, B

situate in the Municipality of George,
Division of George,

Surveyed in Nov! 1942 by me

Province of Cape of Good Hope.

R. E. Drumblton
Land Surveyor.

S

This diagram is annexed to dt.
No. 1545. d.d. 3. 12. 1943
J. J. Swosh.

Registrar of Deeds.

The original diagram is
No. 1500/1943 annexed to

S. G. File No. S. 8775/77
S.R. No. E. 1469/42
George Tship St. 2.

NTD 81-700
B X 41 **C**

[Handwritten signature]



[Faint handwritten notes on the right margin]

ANNEXURE 5

CONVEYANCER CERTIFICATE

I the undersigned, **J.J. VAN DER BERG (LPC61135)**, in my capacity as Conveyancer and Attorney practising at Oosthuizen Marais & Pretorius Inc. in Mossel Bay hereby certify that a search was conducted in the Deeds Registry, Cape Town, regarding the following property (including both current and earlier title deeds / pivot deeds / deeds of transfer):

ERF 2333 GEORGE
IN THE MUNICIPALITY AND DIVISION OF GEORGE
PROVINCE OF THE WESTERN CAPE;

IN EXTENT: 1095 (ONE THOUSAND AND NINETY FIVE) Square metres

Held by Deed of Transfer T39165/2023

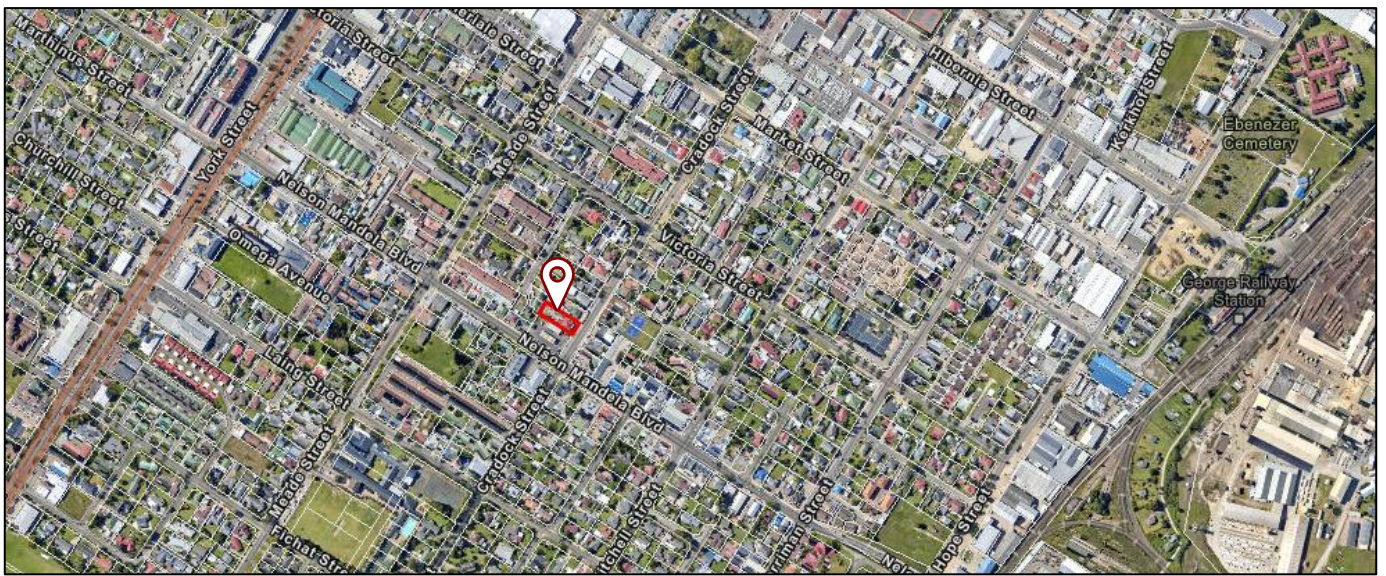
In respect of which it was found that there are no restrictive conditions registered against such property prohibiting it from being utilised / developed as more fully elaborated on in the accompanying permanent departure application.

DATED and SIGNED at MOSSEL BAY on the 7TH day of NOVEMBER 2024.



CONVEYANCER
J.J. VAN DER BERG
OOSTHUIZEN, MARAIS & PRETORIUS INC.
SIOUX BUILDING
16 SIOUX STREET
VOORBAAI
MOSSEL BAY

ANNEXURE 6

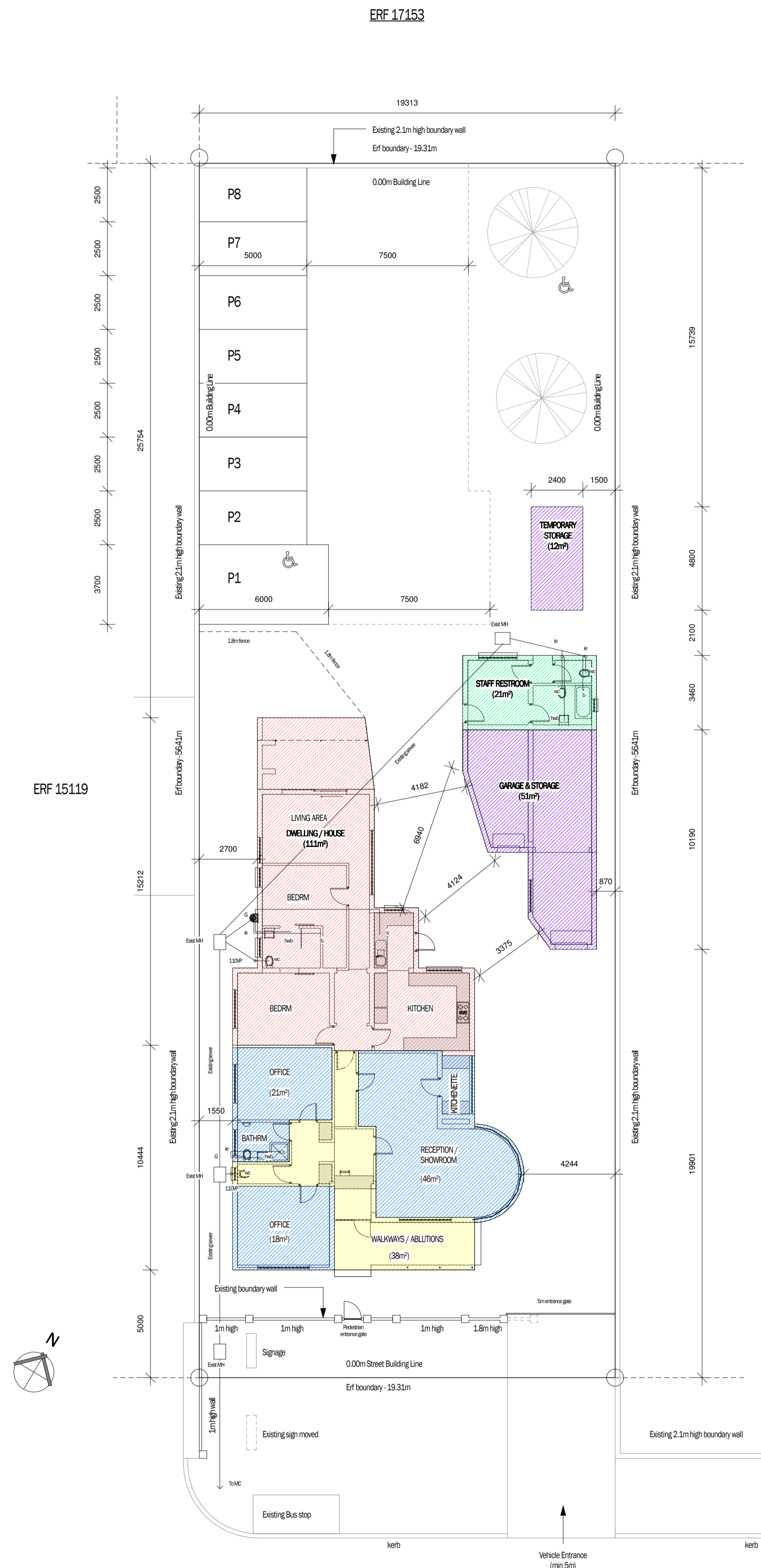


Copyright ©

ERF 2333
71 CRADOCK STREET, GEORGE CBD
GEORGE MUNICIPALITY & DIVISION

For scale refer to figured dimensions. Measurements always to be checked by Professional Land Surveyor.

ANNEXURE 7



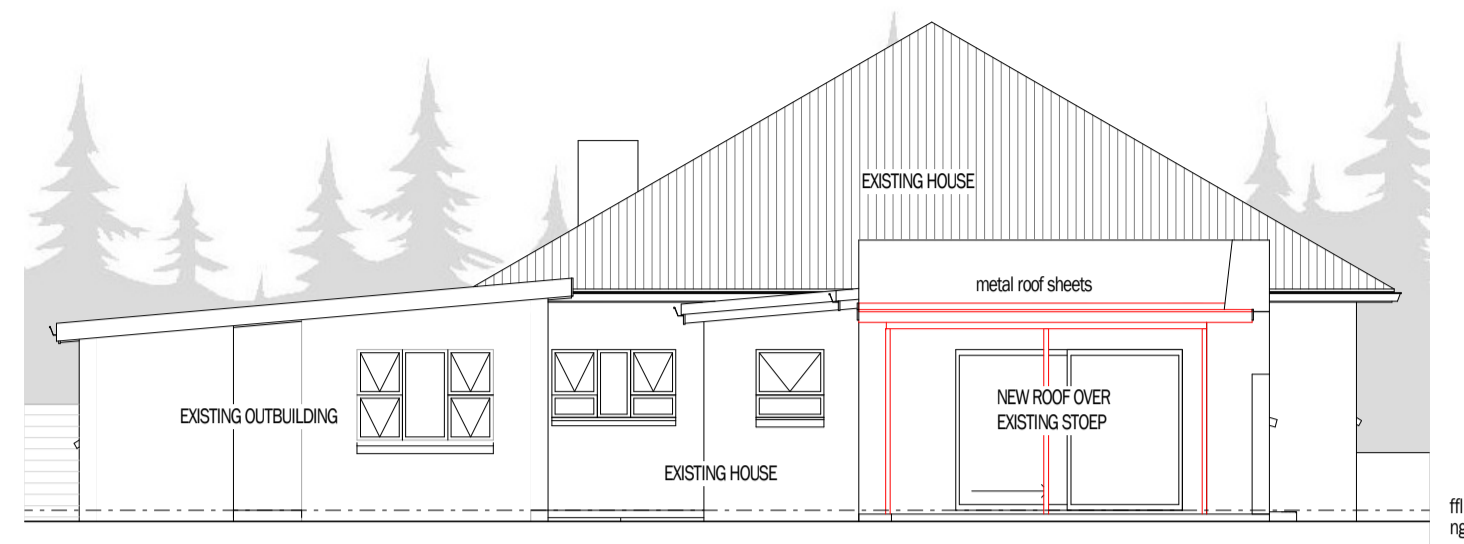
Land use description: "business premises"
Development parameters:
 The following development parameters apply:
 (a) **Coverage:**
 The maximum coverage for all buildings on a land unit is 100%.
 (b) **Street centre line setback:**
 The Municipality may require a street centre line setback, in which case all buildings or structures on a land unit must be set back at least 8 metres from the centre line of the abutting public street or streets.
 (c) **Floor factor:**
 The maximum floor factor on the land unit is 3, which may be departed from if subsection (i) is complied with.
 (d) **Height:**
 (i) The highest point of a building may not exceed 15 metres to the top of the roof.
 (ii) The general provisions regarding earth banks and retaining structures in the by-law apply.
 (e) **Building line:**
 (i) The street building line is 0 metres.
 (ii) Side and rear building lines are 0 metres up to a height of 8.5 metres and 4.5 metres for the remainder of the building provided that the Municipality may lay down more restrictive common building lines in the interest of public health and safety or in order to enforce any other law or right.
 (iii) Minor architectural and subsurface features may project beyond the street boundary building line, provided that such features do not project more than 250 millimetres beyond the street boundary.
 (f) **Hotel floor space concession:**
 Where it is proposed to erect a hotel of at least 30 bedrooms in terms of this use right, the development parameters applicable to "hotel" apply.
 (g) **Canopy or balcony projection:**
 The Municipality may require, and may approve, a canopy or balcony projection over the street boundary in accordance with the following conditions:
 The canopy or balcony may not project closer than 500 millimetres to a vertical plane through the kerb line or proposed kerb line.
 No portion of a canopy or balcony projection may be less than 2.8 metres above the pavement.
 The Municipality may lay down more restrictive requirements relating to the dimensions, design and materials of the canopy or balcony, and the owner must enter into an encroachment agreement with the Municipality.
 (h) **Public pedestrian footway along street boundary:**
 If the owner provides a public pedestrian footway of at least 3 metres wide on the land unit, next to a building situated alongside the street boundary, with a canopy and pavement that ties in with the street pavement, and which is accessible to the public at all times, then, in recognition of the urban design contribution to the street environment, the maximum floor factor of the building may be increased by twice the area of the public pedestrian footway.
 (i) **Street corners:**
 The Municipality may require that the owner of a building which is to be situated at a public street corner, and which the Municipality considers to be significant, must incorporate in the building architectural features which focus visual interest on the corner, and which emphasise the importance of pedestrian movement around the corner. Such features may include building out-lets, walkthrough covered arcades, plazas or other elements.
 (j) **Parking and access:**
 (i) Parking and access must be provided on a land unit in accordance with this by-law, except in a case where the Municipality has approved alternative parking supply under subsection 43(1).
 (ii) Except with the approval of the Municipality, no parking bays at ground floor level on a land unit, either outside or within a building, may be located closer than 10 metres to a street boundary in order to enhance amenity at street level.
 (k) **Loading:**
 Loading bays must be provided on the land unit in accordance with this by-law.
 (l) **Screening:**
 The Municipality may require screening in accordance with this by-law.
 (m) **Refuse room:**
 A refuse room must be provided on the land unit in accordance with this by-law.
 (n) **Landscaping:**
 The Municipality may request a landscaping plan on submission of building plans.
 (o) **Development charges:**
 The Municipality may impose development charges in accordance with the provisions of Section 52.

AREA SCHEDULE	
ERF 2333, George. ERF SIZE: 1000m ² Current Zoning: Single Res 1 Proposed new zoning: Business 1	
COVERED AREA:	
Existing Dwelling / House:	111m ²
Existing garage / Storage:	48m ²
Total:	157m²
Existing structures converted to: Business Premises:	123m ²
Staff restroom:	21m ²
Total:	144m²
Total U/cover areas: (Exist)	301m²
Temporary Storage:	12m ²
ZONING TABLE:	Project provides:
Building Lines:	
Street - 0m	5m
Sides - 0m	1.5m & 0.87m
Back - 0m	Canopy
FAR:	3 (3270m ²)
Coverage:	100%
Height:	Max 15m
Parking:	6 per 100m ² GLA
	10 (1 x disabled parking) (7 x normal parking) (2 x garage parking)

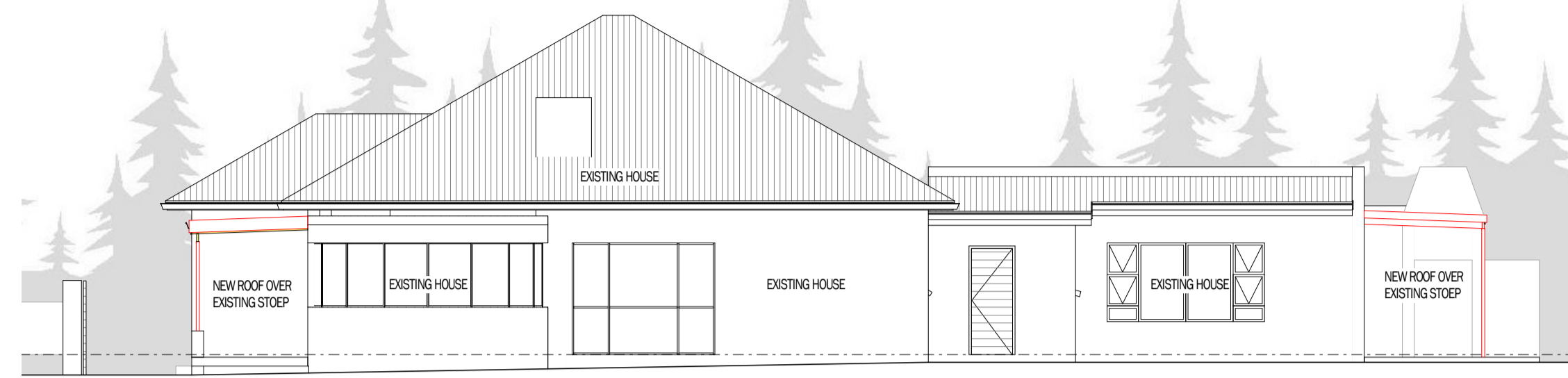
1 SITE DEVELOPMENT PLAN
1 : 150

owner designer
LONGHOUSE
 DESIGN | STUDIO
 1 Swarth Ave, Denebos, George, 6529
 charloppeman@hotmail.com
 082 619 3236
 SACAP PR22101 | SABD 0412 | SAAT 2686
 client
KEMP EBDOMS TRUST
 project
 AS-BUILT additions on Erf 2333, George.
 issue
 Municipal submission - Not for construction
 drawing name
 SITE DEVELOPMENT PLAN
 date / datum sheet
 24.04.2026 A1.2

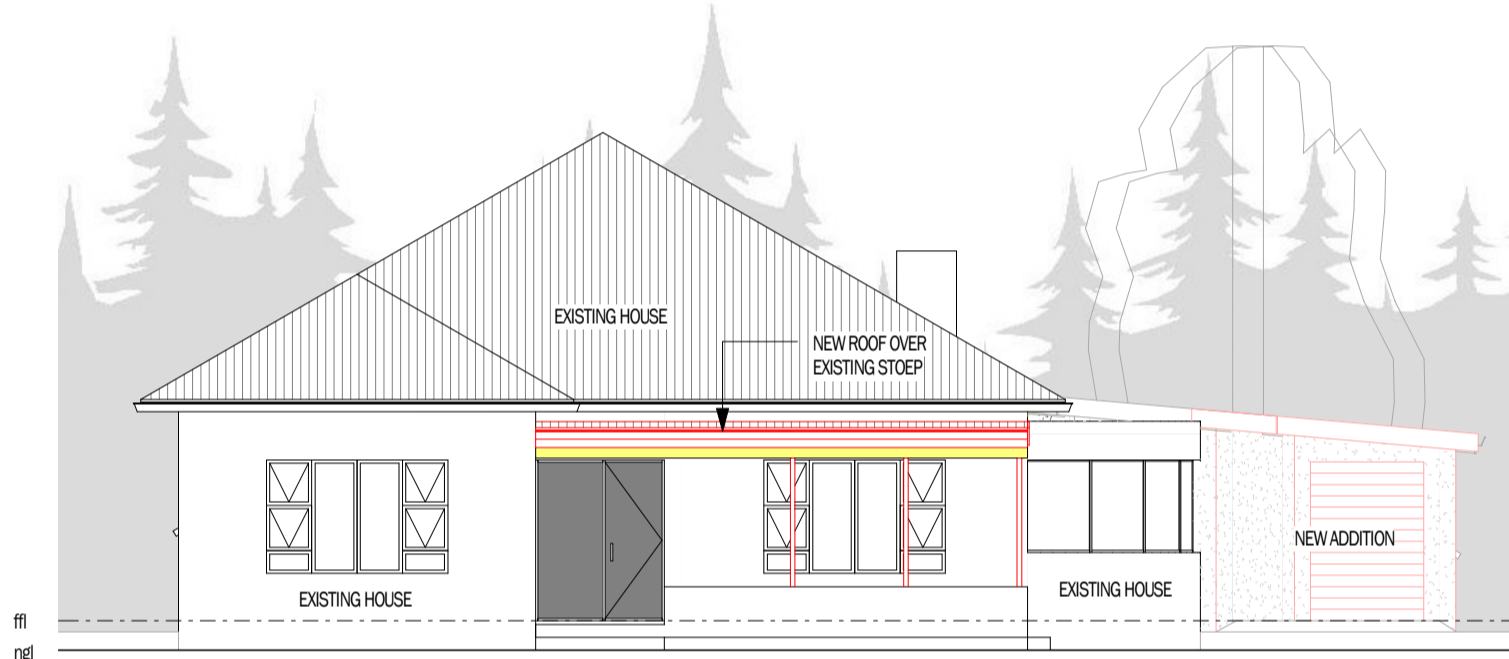
ANNEXURE 8



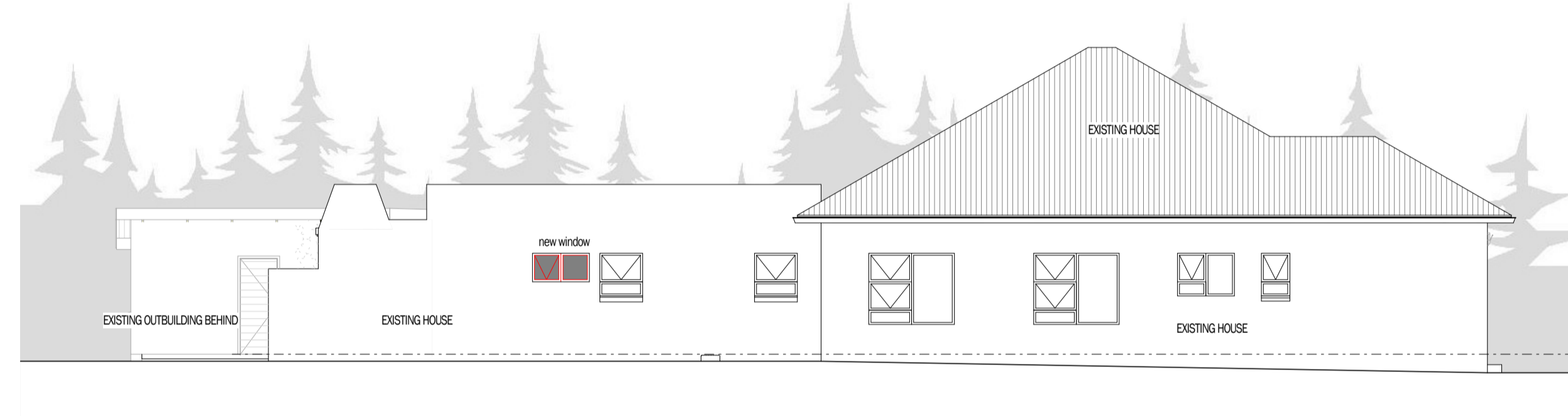
1 NORTH ELEVATION
1 : 100



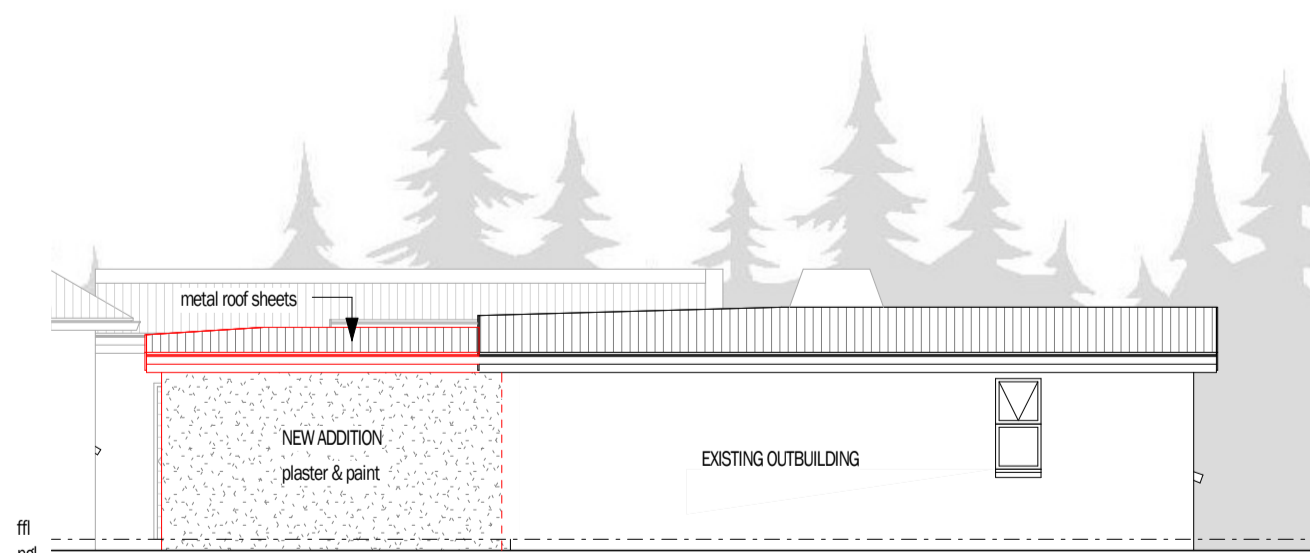
2 EAST ELEVATION
1 : 100



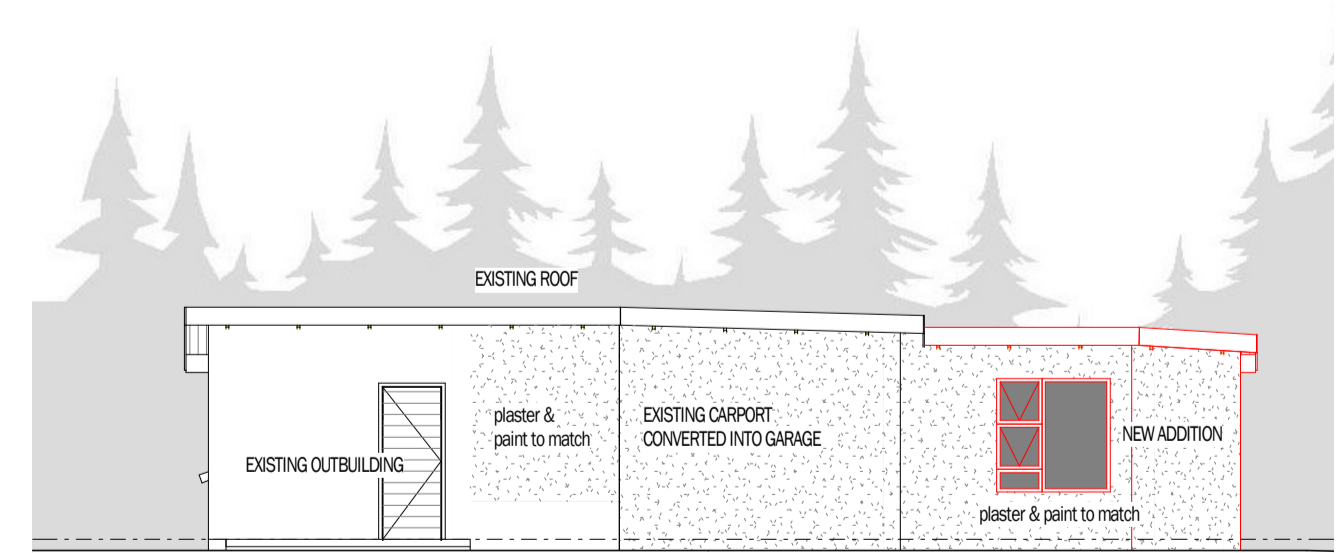
4 SOUTH ELEVATION
1 : 100



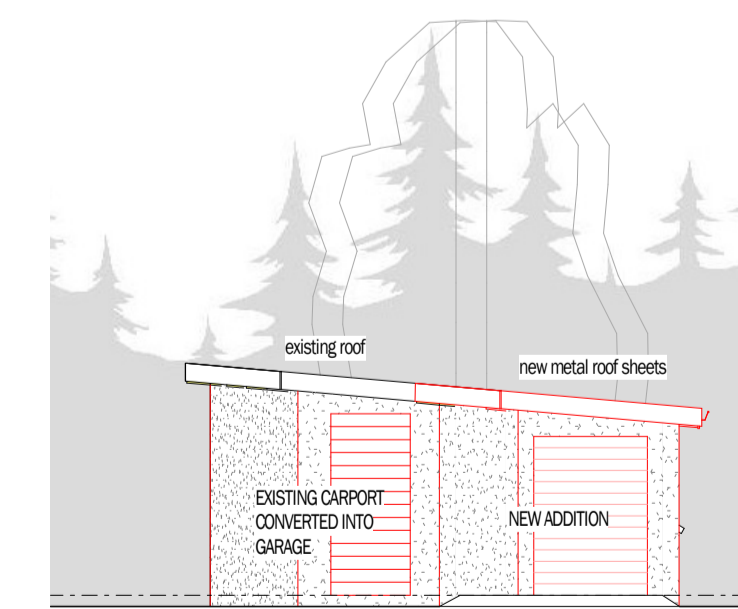
5 WEST ELEVATION
1 : 100



3 EAST ELEVATION (Outbuilding)
1 : 100



6 WEST ELEVATION (Outbuilding)
1 : 100



7 SOUTH ELEVATION (Outbuilding)
1 : 100

General Notes:

- * Habitable rooms to have min 10% light & 5% ventilation per floor area.
- * Roof overhangs - 200mm - (Max 1m.)
- * All dimensions are metric and in mm.
- * All work must be done in accordance with NBR & SANS10400 & 1545
- * SANS10400 XA NOT REQUIRED.
- * All outer walls are 270mm plastered brick cavity walls unless stated otherwise.
- * All interior walls are 110mm plastered brick walls unless stated otherwise.
- * All foundations are reinforced concrete to engineers specifications. Refer to geotechnical report for foundation details.
- * All concrete roof structures as per engineer's specifications & details.
- * All aluminum windows and doors as per schedule and supplier's spec.
- * Glazing must comply with SANS10137, Aluminium to comply with AAAMSA.
- * All electrical & plumbing installation to be carried out by registered contractors as per NBR & SANS regulations.
- * All plumbing pipes to be 110mm uPVC (brown) / 50mm uPVC (green)
- * Minimum invert level @ 450mm / Gradient 1:5 - 60 / RE max every 25m.
- * Gully @ 50mm AFG, (paving) / 150mm AKGL (ground)
- * 1 x 110 Open vent to extend to min 100mm above roof level.
- * Sewer shaft (if applicable); min 440x200.
- * All stairs: Treads: Min 250mm. Risers: Max 200mm. Max 3 winders.
- * All railing & balustrading as indicated. Min 1m height & no openings >100mm. All as per SANS10400.
- * Vehicular entrance: Min 2,7m & Max 4m width / min 10m to intersection.
- * Swimming pool: Fence min 1200mm with self closing gate.
- * The Contractor to ensure that the installation of a sleeve for future fibre connection is to be installed as indicated on the plans from the sidewalk to the structure.
- * LP Gas: Max 38 kg allowed on premises without a Flammable Substance Certificate in terms of section 37(6) of the Community Fire Safety By-Law.
- * A Gas installation certificate of compliance to be provided prior the request of a Occupancy certificate. Gas installation to comply with SANS 10087-1:2008
- * Boundary walls to be finish to the satisfaction of the adjacent owner
- * No structure or any portion thereof to encroach the property boundary
- * Rainwater not to discharge onto neighboring property
- * Drainage installations under building work must be installed in terms of Part P of SANS 10400 (4.19.4)
- * Drainage installations under building work must be protected in terms of Part P of SANS 10400 (4.22.2)
- * Drainage installation to comply with SANS 10400 Part P
- * Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.21)
- * SANS 10021 prescribed type of waterproofing to be done for any part of a building below natural or finished ground level or as specified by engineer.
- * These plans are for municipal submission (not construction) & should be read in conjunction with the engineer's plan for construction. Contact the designer or engineer if there are any uncertainties.
- * Any changes to this plan should be discussed with the designer before construction of such change.

Specifications:

- FOUNDATIONS AND FLOORS: (Existing)**
- * RC Concrete raft foundation as per SANS10400-H. Min 10Mpa @ 28 days.
 - * Floor finish, on 100mm concrete slab, on 250 micron Green Polyethylene waterproofing membrane (SABS 952) with 600mm sealed overlaps as per manufacturer, on 50mm sand layer, on approved filling in max 150mm layers.
- WALLS: (Existing Garage)**
- * 110 / 220mm clay brick walls, plastered & painted to match existing.
 - * BRICKFORCE every 5th layer in walls. Every 3rd layer in foundation walls and every layer above windows and doors.
- ROOF: (AS BUILT roof over existing open stoep)**
- * Roof pitch at 5° and flush overhangs.
 - * Corrugated profile metal roof sheets on 76x50 SS-SAP purlins @ 1050 c/c on 152x28 SS-SAP rafters @ 760 c/c max.
 - * on 152x50 SS-SAP bearer, on galvanized round metal columns, on 220 brick wall.
- RAINWATER GOODS:**
- * 12x150mm NUTEC fascias and 200x80mm NUTEC barge boards.
 - Color: Charcoal
 - * PVC to match existing
 - Colour: Charcoal
- DOORS, WINDOWS & BALUSTRADES:**
- * Garage Door: Timber Side hung type door.
- WINDOW SILLS:**
- * All existing
- PAVING:**
- * All existing.
- GENERAL:**
- * ALL ADDITIONS ARE AS-BUILT EXISTING.

owner _____ designer _____

LONGHOUSE
DESIGN | STUDIO

2 Seventh Ave, Durwood, George, 6529
charloppeman@outlook.com
082 619 3236

SACAP PR21011 | SABD 0412 | SAAT 2686

client _____

KEMP BENDOMS TRUST

project AS-BUILT additions on Erf 2333, George.

issue Municipal submission - Not for construction

drawing name ELEVATIONS

date / datum 07.05.2026 sheet A1.02

ANNEXURE 9



Planning and Development
 E-mail: town.planning.application@george.gov.za
 Tel: +27 (0)44 801 9477

LAND USE PLANNING PRE-APPLICATION CONSULTATION FORM

PLEASE NOTE:

Pre-application consultation is an advisory session and is required prior to submission of an application for rezoning, consent use, temporary departure and subdivision. It does not in any way pre-empt the outcome of any future application which may be submitted to the Municipality.

PART A: PARTICULARS

Reference number: **4008245**

Purpose of consultation: **To discuss proposed land use application**

Brief proposal: **Proposed rezoning**

Property(ies) description: **Erf 2333 George**

Date: **14 January 2026**

Attendees:

	Name & Surname	Organisation	Contact Number	E-mail
Official	Ilané Huyser	George Mun.	044 801 9477	ihuyser@george.gov.za
Official	Fakazile Vava	George Mun.	044 801 9477	ihuyser@george.gov.za
Pre-applicant	Marlize de Bruyn	DMC Town Planning	0766340150	marlize@mdbplanning.co.za

Documentation provided for discussion:

(Include document reference, document/plan dates and plan numbers where possible and attach to this form)

Copy of title deed, locality, building plans, two previous pre-applications _____

Has pre-application been undertaken for a Land Development application with the Department of Environmental Affairs & Development Planning (DEA&DP)?

YES	NO
-----	----

Comprehensive overview of proposal:

Erf 2333 George is zoned Single Residential Zone I and 1095m² in extent. Three pre-applications were submitted during 2024. At first, we stated that it is necessary to rezone this property to Business Zone II (shop) to accommodate the existing offices and showroom. At the same time a consent use for a dwelling house is proposed to accommodate the portion of the structure that is still utilised as a dwelling house. The feedback suggested that the property be rezoned to Business Zone I (business premises) with consent for a dwelling house.

The property owner then however decided to retain the Single Residential Zone I-zoning and request a permanent departure for an increase in the floor space for home occupation. The land use application was submitted accordingly. Public participation concluded during February 2025 with no negative comments.

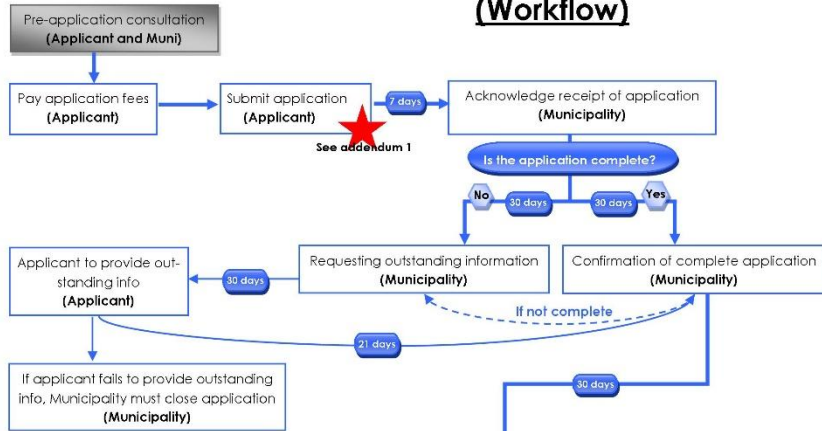
During the subsequent evaluation process, the property owner expanded his business operations from Erf 2333 George. Following discussions with the Town Planning Section during the second half of 2025, the property owner was requested to obtain a new bond holder's consent for the proposed amendments to the land use application. As the property is registered to a Trust, the bond holder requested certain changes to the Trust. This is still in process and await feedback from the Master of the Court.

This pre-application now addresses the amendment of the current land use application for Erf 2333 George – to become a rezoning to Business Zone I (business premises) with consent for a dwelling house. Permanent departures will be added as needed to the proposed land use application.

PART B: APPLICATION PROCESS (WILL FULLY APPLY ONLY ONCE LUPA REGULATIONS ARE IN FORCE)

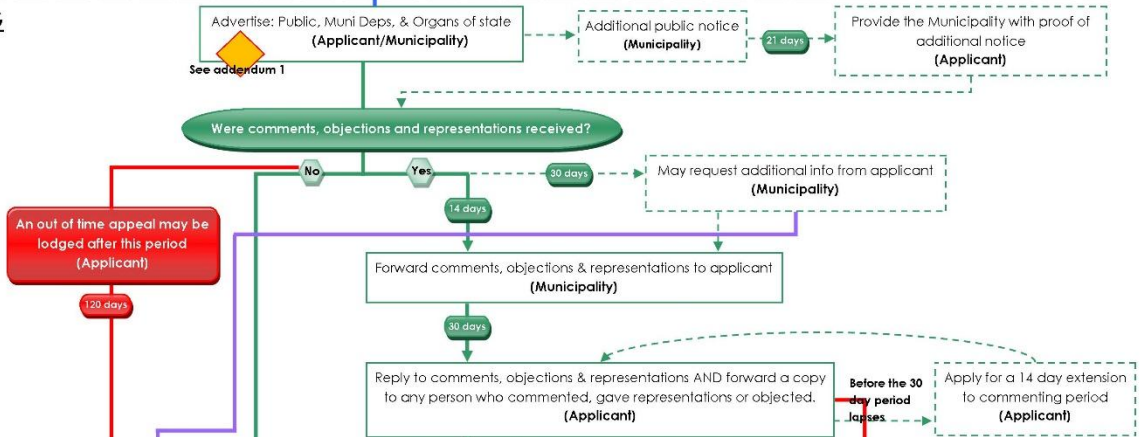
**Draft By-Law on Municipal Land Use Planning
(Workflow)**

SUBMISSION



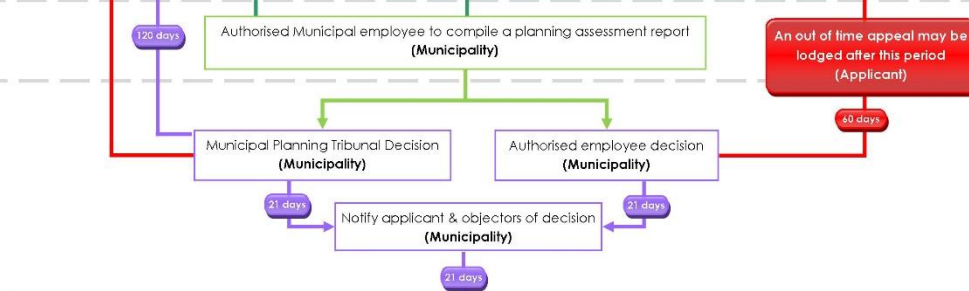
- Types of applications that can be submitted in terms of Section 15 (2)**
- (a) Rezoning of land
 - (b) Permanent departure
 - (c) Temporary departure
 - (d) Subdivision of land
 - (e) Consolidation of land
 - (f) Amendment, suspension or removal of restrictive conditions
 - (g) Permission required in terms of the zoning scheme
 - (h) Amendment, deletion or imposition of condition in respect of an approval
 - (i) Extension of validity period of an approval
 - (j) Approval of an overlay zone
 - (k) Phasing, amendment or cancellation of a subdivision plan or part thereof
 - (l) Permission required in terms of condition of approval
 - (m) Determination of zoning
 - (n) Closure of public place or part thereof
 - (o) Consent use
 - (p) Occasional use

ADVERTISING



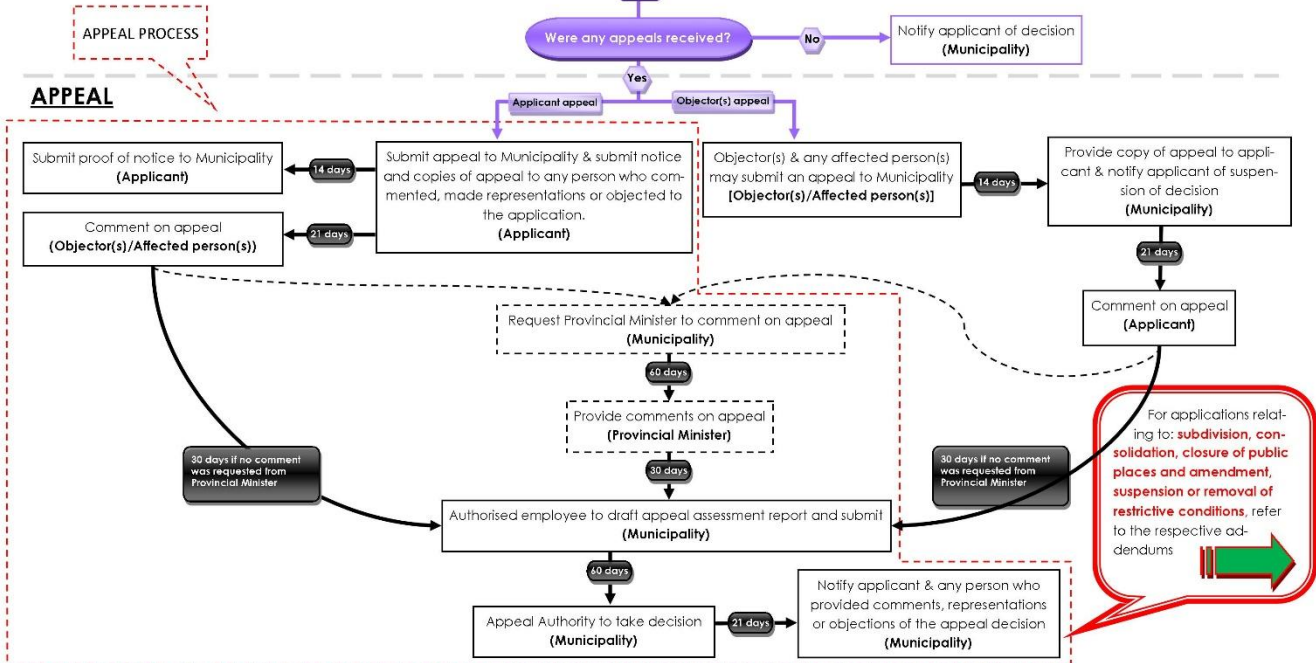
ASSESSMENT

DECISION



APPEAL PROCESS

APPEAL



SECTION A:

DETERMINATION OF APPLICATION TYPES, PRESCRIBED NOTICE AND ADVERTISEMENT PROCEDURES

Tick if relevant		What land use planning applications are required?	Application fees payable
x	2(a)	a rezoning of land;	To be determined
x	2(b)	a permanent departure from the development parameters of the zoning scheme;	To be determined
	2(c)	a departure granted on a temporary basis to utilise land for a purpose not permitted in terms of the primary rights of the zoning applicable to the land;	R
	2(d)	a subdivision of land that is not exempted in terms of section 24, including the registration of a servitude or lease agreement;	R
	2(e)	a consolidation of land that is not exempted in terms of section 24;	R
	2(f)	a removal, suspension, or amendment of restrictive conditions in respect of a land unit;	R
	2(g)	a permission required in terms of the zoning scheme;	R
	2(h)	an amendment, deletion, or imposition of conditions in respect of an existing approval;	R
	2(i)	an extension of the validity period of an approval;	R
	2(j)	an approval of an overlay zone as contemplated in the zoning scheme;	R
	2(k)	an amendment or cancellation of an approved subdivision plan or part thereof, including a general plan or diagram;	R
	2(l)	a permission required in terms of a condition of approval;	R
	2(m)	A determination of a zoning;	R
	2(n)	A closure of a public place or part thereof;	R
	2(o)	a consent use contemplated in the zoning scheme;	R
	2(p)	an occasional use of land;	R
	2(q)	to disestablish a home owner's association;	R
	2(r)	to rectify a failure by a home owner's association to meet its obligations in respect of the control over or maintenance of services;	R
	2(s)	a permission required for the reconstruction of an existing building that constitutes a non-conforming use that is destroyed or damaged to the extent that it is necessary to demolish a substantial part of the building	R
Tick if relevant		What prescribed notice and advertisement procedures will be required?	Advertising fees payable
Y	N	Serving of notices (i.e. registered letters etc.)	R
Y	N	Publication of notices (i.e. Provincial Gazette, Local Newspaper(s) etc.)	R
Y	N	Additional publication of notices (i.e. Site notice, public meeting, local radio, website, letters of consent etc.)	R
Y	N	Placing of final notice (i.e. Provincial Gazette etc.)	R
TOTAL APPLICATION FEE* (VAT excluded):			To be determined

PLEASE NOTE: * Application fees are estimated on the information discussed and are subject to change with submission of the formal application and/or yearly application fee increase.

**SECTION B:
PROVISIONS IN TERMS OF THE RELEVANT PLANNING LEGISLATION / POLICIES / GUIDELINES**

QUESTIONS REGARDING PLANNING POLICY CONTEXT	YES	NO	TO BE DETERMINED	COMMENT
Is any Municipal Integrated Development Plan (IDP)/Spatial Development Framework (SDF) and/or any other Municipal policies/guidelines applicable? If yes, is the proposal in line with the aforementioned documentation/plans?	X			
Any applicable restrictive condition(s) prohibiting the proposal? If yes, is/are the condition(s) in favour of a third party(ies)? [List condition numbers and third party(ies)]	X			Conveyance attorney to confirm
Any other Municipal by-law that may be relevant to application? (If yes, specify)	X			
Zoning Scheme Regulation considerations: Which zoning scheme regulations apply to this site? <u> GIZSB 2023 </u> What is the current zoning of the property? <u> SRZI </u> What is the proposed zoning of the property? <u> BZI with consent for a dwelling house </u> Does the proposal fall within the provisions/parameters of the zoning scheme? <u> To be determined </u> Are additional applications required to deviate from the zoning scheme? (if yes, specify) <u> To be determined </u>				

QUESTIONS REGARDING OTHER PLANNING CONSIDERATIONS	YES	NO	TO BE DETERMINED	COMMENT
Is the proposal in line with the Provincial Spatial Development Framework (PSDF) and/or any other Provincial bylaws/policies/guidelines/documents?	X			
Are any regional/district spatial plans relevant? If yes, is the proposal in line with the document/plans?		X		

SECTION C:

CONSENT / COMMENT REQUIRED FROM OTHER ORGANS OF STATE

QUESTIONS REGARDING CONSENT / COMMENT REQUIRED	YES	NO	TO BE DETERMINED	OBTAIN APPROVAL / COMMENT FROM:
Is/was the property(ies) utilised for agricultural purposes?		X		Western Cape Provincial Department of Agriculture
Will the proposal require approval in terms of Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)?		X		National Department of Agriculture
Will the proposal trigger a listed activity in terms of National Environmental Management Act, 1998 (Act 107 of 1998) (NEMA)?		X		Western Cape Provincial Department of Environmental Affairs & Development Planning (DEA&DP)
Will the proposal require authorisation in terms of Specific Environmental Management Act(s) (SEMA)? (National Environmental Management: Protected Areas Act, 2003 (Act 57 of 2003) (NEM:PAA) / National Environmental Management: Biodiversity Act, 2004 (Act 10 of 2004) (NEM:BA) / National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004) (NEM:AQA) / National Environmental Management: Integrated Coastal Management Act, 2008 (Act 24 of 2008) (NEM:ICM) / National Environmental Management: Waste Act, 2008 (Act 59 of 2008) (NEM:WA) (strikethrough irrelevant)		X		National Department of Environmental Affairs (DEA) & DEA&DP
Will the proposal require authorisation in terms of the National Water Act, 1998 (Act 36 of 1998)?		X		National Department of Water & Sanitation (DWS)
Will the proposal trigger a listed activity in terms of the National Heritage Resources Act, 1999 (Act 25 of 1999)?		X		South African Heritage Resources Agency (SAHRA) & Heritage Western Cape (HWC)
Will the proposal have an impact on any National or Provincial roads?		X		National Department of Transport / South Africa National Roads Agency Ltd. (SANRAL) & Western Cape Provincial Department of Infrastructure (RNM)

QUESTIONS REGARDING CONSENT / COMMENT REQUIRED	YES	NO	TO BE DETERMINED	OBTAIN APPROVAL / CONSENT / COMMENT FROM:
Will the proposal trigger a listed activity in terms of the Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations		X		National Department of Labour (DL)
Will the proposal affect any Eskom owned land and/or servitudes?		X		Eskom
Will the proposal affect any Telkom owned land and/or servitudes?		X		Telkom
Will the proposal affect any Transnet owned land and/or servitudes?		X		Transnet
Is the property subject to a land / restitution claim?		X		National Department of Rural Development & Land Reform
Will the proposal require comments from SANParks and/or CapeNature?		X		SANParks / CapeNature
Will the proposal require comments from DFFE?		X		Department of Environment, Forestry and Fishery
Is the property subject to any existing mineral rights?		X		National Department of Mineral Resources
Does the proposal lead to densification to such an extent that the number of schools, healthcare facilities, libraries, safety services, etc. In the area may be impacted on? (strikethrough irrelevant)		X		Western Cape Provincial Departments of Cultural Affairs & Sport (DCAS), Education, Social Development, Health and Community Safety

**SECTION D:
SERVICE REQUIREMENTS**

DOES THE PROPOSAL REQUIRE THE FOLLOWING ADDITIONAL INFRASTRUCTURE / SERVICES?	YES	NO	TO BE DETERMINED	OBTAIN COMMENT FROM: (list internal department)
Electricity supply:			X	Directorate: Electro-technical Services
Water supply:			X	Directorate: Civil Engineering Services
Sewerage and wastewater:			X	Directorate: Civil Engineering Services
Stormwater:			X	Directorate: Civil Engineering Services
Road network:			X	Directorate: Civil Engineering Services
Telecommunication services:			X	
Other services required? Please specify.			X	

Development charges:			X	
----------------------	--	--	----------	--

PART D: COPIES OF PLANS / DOCUMENTS TO BE SUBMITTED AS PART OF THE APPLICATION

COMPULSORY INFORMATION REQUIRED:

Y	N	Power of Attorney / Owner's consent if applicant is not owner (if applicable)	Y	N	S.G. noting sheet extract / Erf diagram / General Plan
Y	N	Motivation report / letter	Y	N	Full copy of the Title Deed
Y	N	Locality Plan	Y	N	Site Layout Plan
Y	N	Proof of payment of fees	Y	N	Bondholder's consent

MINIMUM AND ADDITIONAL REQUIREMENTS:

Y	N	Site Development Plan	Y	N	Conveyancer's Certificate
Y	N	Land Use Plan	Y	N	Proposed Zoning plan
Y	N	Phasing Plan	Y	N	Consolidation Plan
Y	N	Abutting owner's consent	Y	N	Landscaping / Tree Plan
Y	N	Proposed Subdivision Plan (including street names and numbers)	Y	N	Copy of original approval letter
Y	N	Services Report or indication of all municipal services / registered servitudes	Y	N	Home Owners' Association consent
Y	N	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) (strikethrough irrelevant)	Y	N	1 : 50 / 1:100 Flood line determination (plan / report)
Y	N	Other (specify)	Y	N	Required number of documentation copies

PART E: DISCUSSION

Pre-application as discussed on 14 January 2026 for the proposed rezoning of Erf 2333, George to allow for operation of a business on this property as well as a consent use for a dwelling house. The following draft site layout plan was provided for discussion.

PART F: SUMMARY / WAY FORWARD

Refer to comments above.

Application to be submitted in accordance with the Land Use Planning By-Law and our Guidelines.



OFFICIAL: _____

Fakazile Vava (Town Planner)

PRE-APPLICANT: **Marlize de Bruyn** _____

(FULL NAME)



SIGNED: _____

Ilané Huyser (Senior Town Planner)

SIGNED: _____

DATE: 2026.01.21 _____

5 January 2026 _____

**Please note that the above comments are subject to the documents and information available to us at the time of the pre-application meeting and we reserve our rights to elaborate on this matter further and/or request more information/documents should it deemed necessary.*

ANNEXURE 10

Our Ref: HM / GARDEN ROUTE / GEORGE / GEORGE / ERF 2333
Case No.: HWC25062010RB0620
Enquiries: Ruan Brand
E-mail: ruan.brand@westerncape.gov.za
Tel: 021 829 3319



Applicant: Denise Janse van Rensburg
Owner: Kemp Eiendoms Trust
denise@mdbplanning.co.za | kempie@kempgroup.co.za

PERMIT

CASE NUMBER: HWC25062010RB0620

Issued in terms of Section 34 of the National Heritage Resources Act, 1999 (Act 25 of 1999) and Regulation 3(3)(a) of PN 298 (29 August 2003)

This permit is valid for three years from the date of issue.

Proposed Action: Additions & Alterations
Site: Erf 2333, 7 Cradock Street, George
Graded: Not graded

Permit issued in accordance with drawings:

No: A1-01; A1-02
Dated: 04.11.2024
Drawings prepared by: LONGHOUSE DESIGN STUDIO

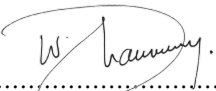
Conditions applicable to this Permit:

1. Work to be done strictly in accordance with the HWC stamped plans.

NOTE:

- This decision is subject to an **appeal period of 14 working days. Kindly note that the appeal period is calculated from the date indicated on the HWC date stamp, which is the date the appeal is sent, and not the date of signature.**
- Appeals to HWC are to be submitted to HWC.Appeals@westerncape.gov.za
- The applicant is required to inform any party who has expressed a bona fide interest in any heritage-related aspect of this record of decision. The appeal period shall be taken from the date above. It should be noted that for an appeal to be deemed valid it must refer to the decision, it must be submitted by the due date, and it must set out the grounds of the appeal. Appeals must be addressed to the official named above and it is the responsibility of the appellant to confirm that the appeal has been received within the appeal period.
- **Work may NOT be initiated during this 14-day appeal period.**
- If any archaeological material or evidence of burials is discovered during earth-moving activities all works must be stopped and Heritage Western Cape must be notified immediately.
- This approval does not exonerate the applicant from obtaining any necessary approval from any other applicable statutory authority.
- **An HWC STAMPED PLAN must be always present on the site and must be produced on demand by any heritage inspector, building control official, or any person duly authorized to do so.**
- **A copy of this permit must be displayed in a prominent place on the site until the permitted work is completed.**

Should you have any further queries, please contact the official above and quote the case number.


.....
Waseefa Dhansay
Assistant Director: Professional Services

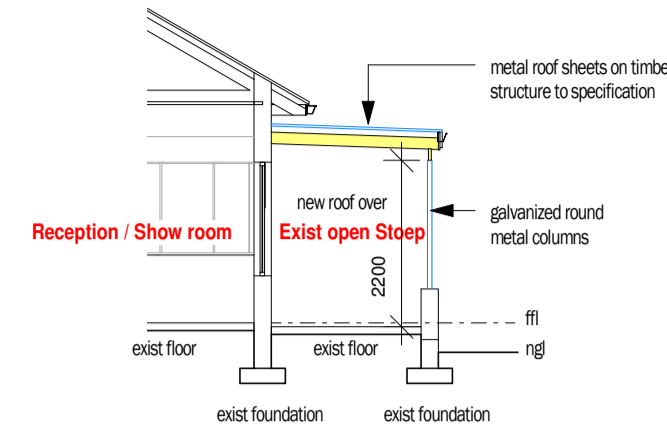


www.westerncape.gov.za/cas

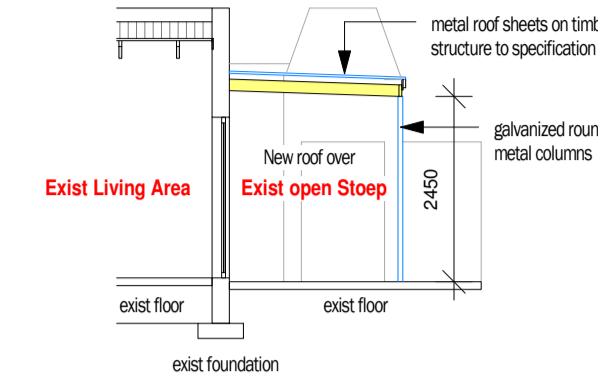
Street Address: Protea Assurance Building, Green Market Square, Cape Town, 8000 • **Postal Address:** P.O. Box 1665, Cape Town, 8000
• **Tel:** +27 (0)21 483 5959 • **E-mail:** ceoheritage@westerncape.gov.za

Straatadres: Protea Assuransie-gebou, Groentemarkplein, Kaapstad, 8000 • **Posadres:** Posbus 1665, Kaapstad, 8000
• **Tel:** +27 (0)21 483 5959 • **E-pos:** ceoheritage@westerncape.gov.za

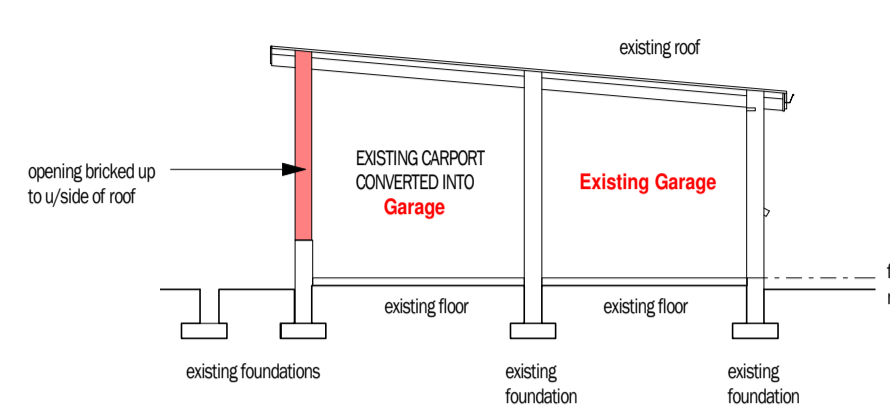
Idilesi yendawo: kumgangatho 3, kwisakhiwo iprotea Assurance, Greenmarket Square, ekapa, 8000 • **Idilesi yeposi:** Inombolo yebhokisi yeposi 1665, eKapa, 8000 • **Iinombolo zomnxeba:** +27 (0)21 483 5959 • **Idilesi ye-imeyile:** ceoheritage@westerncape.gov.za



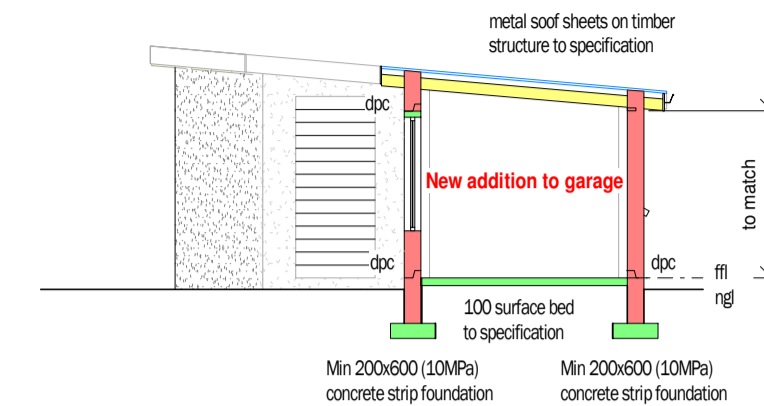
A SECTION A
1 : 100



B SECTION B
1 : 100



C SECTION C
1 : 100



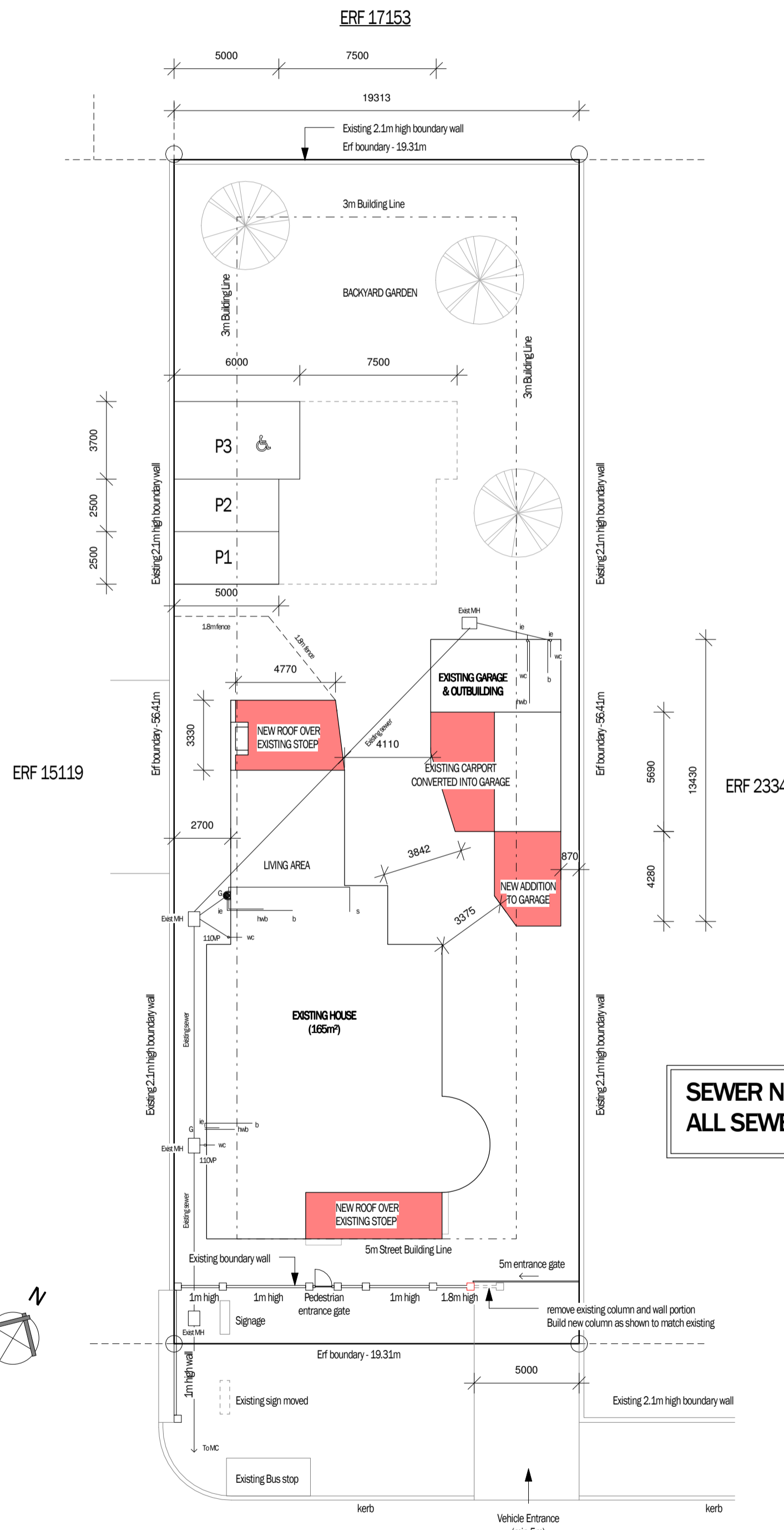
3 SECTION D
1 : 100

General Notes:

- * Habitable rooms to have min 10% light & 5% ventilation per floor area.
- * Roof overhangs - 200mm (Max 1m.)
- * All dimensions are metric and in mm.
- * All work must be done in accordance with NBR & SANS10400 & 1545
- * SANS10400 IA NOT REQUIRED.
- * All outer walls are 270mm plastered brick cavity walls unless stated otherwise.
- * All interior walls are 110mm plastered brick cavity walls unless stated otherwise.
- * All foundations are reinforced concrete to engineers specifications. Refer to geotechnical report for foundation details.
- * All concrete roof structures as per engineer's specifications & details.
- * All plumbing pipes to be 110mm uPVC (brown) / 50mm uPVC (green).
- * Glazing must comply with SANS1037. Aluminium to comply with AAAMSA.
- * All electrical & plumbing installation to be carried out by registered contractors as per NBR & SANS regulations.
- * Minimum invert level @ 450mm / Gradient 1:5 - 60 / R/E max every 25m.
- * Gully @ 50mm AFGL (paving) / 150mm ANGL (ground)
- * 1 x 110 Open vent to extend to min 100mm above roof level.
- * Sewer shaft (if applicable): min 400x200.
- * All stairs: Treads: Min 250mm. Risers: Max 200mm. Max 3 winders.
- * All railing & balustrading as indicated. Min 1m height & no openings >100mm. All as per SANS10400.
- * Vehicular entrances: Min 2.7m & Max 4m width / min 10m to intersection.
- * Swimming pool. Fence min 1200mm with self closing gate.
- * The Contractor to ensure that the installation of a sleeve for future fire connection is to be installed as indicated on the plans from the sidewalk to the structure.
- * LP Gas: Max 38 kg allowed on premises without a Flammable Substance Certificate in terms of section 37(1) of the Community Fire Safety By-Law.
- * A Gas installation certificate of compliance to be provided prior the request of a Occupancy certificate. Gas installation to comply with SANS 10087-1:2008
- * Boundary walls to be finish to the satisfaction of the adjacent owner.
- * No structure or any portion thereof to encroach the property boundary.
- * Rainwater not to discharge onto neighboring property
- * Drainage installations under building work must be installed in terms of Part P of SANS 10400 (4.13-4)
- * Drainage installations under building work must be protected in terms of Part P of SANS 10400 (4.22.2)
- * Drainage installation to comply with SANS 10400 Part P
- * Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.21).
- * SANS 10021 prescribed type of waterproofing to be done for any part of a building below natural or finished ground level or as specified by engineer.
- * These plans are for municipal submission (not construction) & should be read in conjunction with the engineer's plan for construction. Contact the designer or engineer if there are any uncertainties.
- * Any changes to this plan should be discussed with the designer before construction of such change.

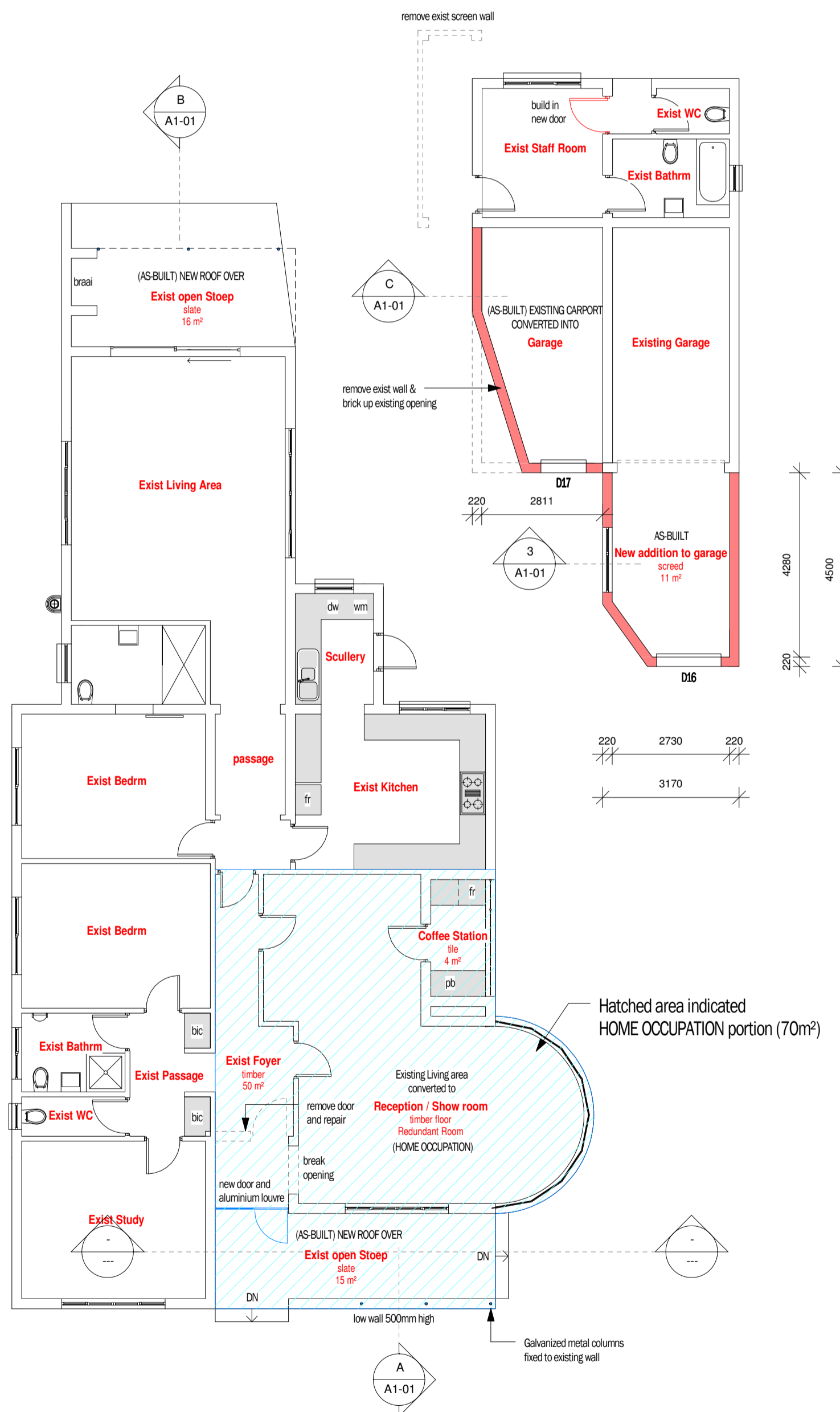
Specifications:

- FOUNDATIONS AND FLOORS: (Existing)**
- * RC concrete raft foundation as per SANS10400-H. Min 10Mpa @ 28 days.
 - * Floor finish, on 100mm concrete slabs, on 250 micron Green Polyethylene waterproofing membrane (SABS 952) with 600mm sealed overlap as per manufacturer, on 50mm sand layer, on approved filling in max 150mm layers.
- WALLS: (Existing Garage)**
- * 110 / 220mm clay brick walls, plastered & painted to match existing.
 - * BRICKWORK: Every 5th layer in walls. Every 3rd layer in foundation walls and every layer above windows and doors.
- ROOF: (AS BUILT roof over existing open stoep)**
- * Roof pitch at 5° and flush overhangs.
 - * Corrugated profile metal roof sheets on 76x50 SS-SAP purlins @ 1050 c/c on 152x38 SS-SAP rafters @ 760 c/c max, on galvanized round metal columns, on 220 brick wall.
- RAINFALL GOODS:**
- * 12x150mm NUTEC fascias and 200x80mm NUTEC barge boards.
 - Color: Charcoal
 - * PVC to match existing
 - Colour: Charcoal
- DOORS, WINDOWS & BALUSTRADES:**
- * Garage Door: Timber Side hung type door.
- WINDOW SILLS:**
- * All existing
- PAVING:**
- * All existing.
- GENERAL:**
- * ALL ADDITIONS ARE AS-BUILT EXISTING.



1 SITE PLAN
1 : 200

**SEWER NOTE:
ALL SEWERAGE IS EXISTING**

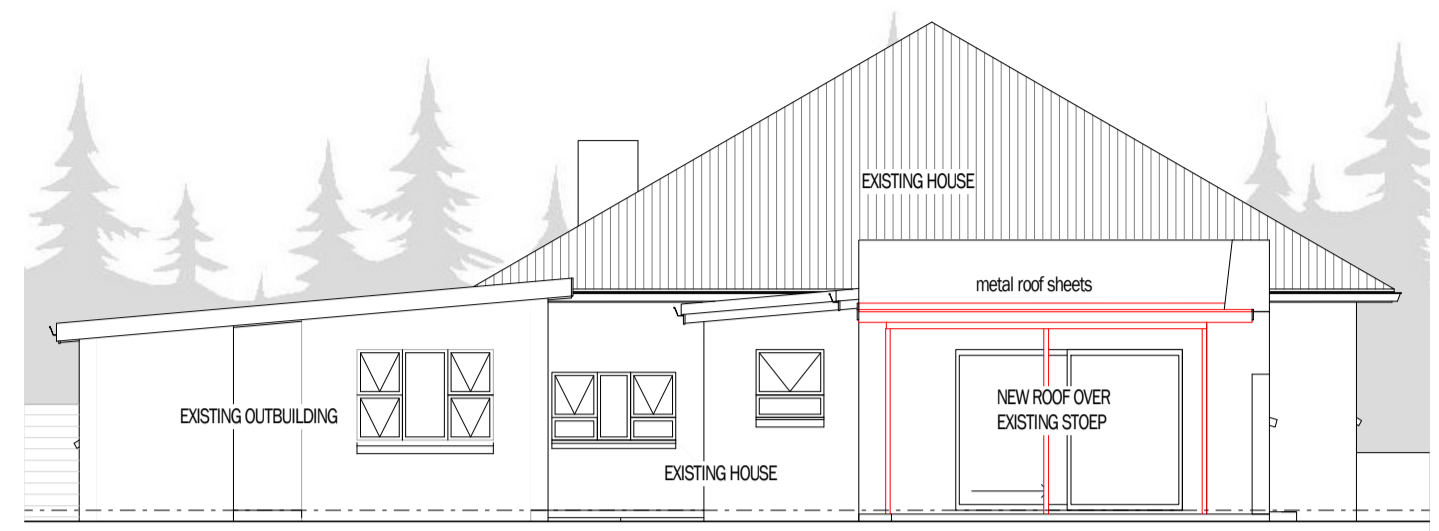


2 GROUND FLOOR PLAN
1 : 100

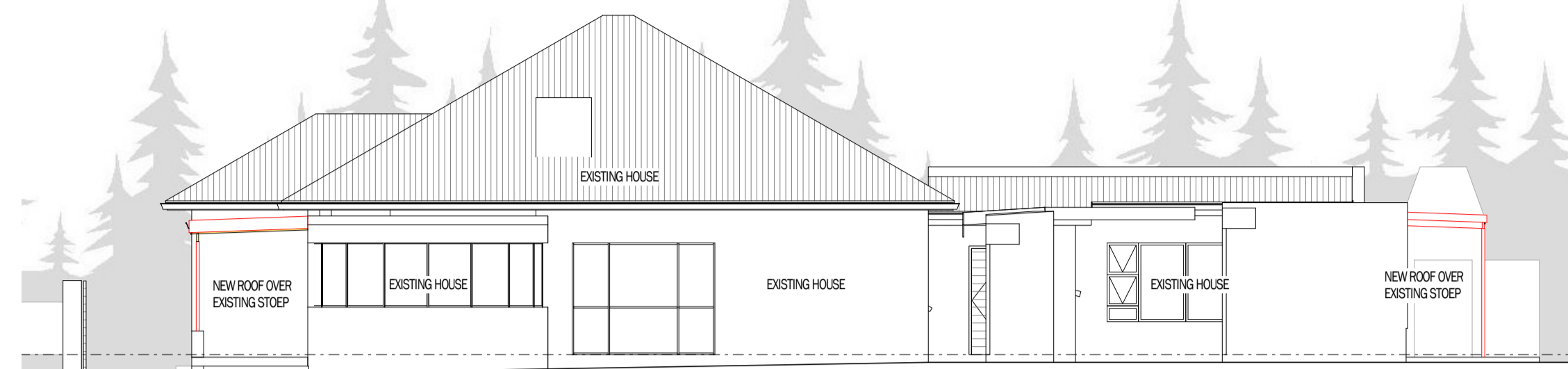


AREA SCHEDULE	
ERF 2333, George ERF SIZE: 1090m² Current Zoning: Single Res 1	
COVERED AREA:	
Existing House:	202m²
Existing Outbuilding:	38m²
Total:	242m²
New roof over existing open stoep:	31m²
New garage addition:	14m²
New U/I cover carport enclosed:	15m²
Total:	60m²
Total: Exist + New:	302m²
Coverage:	40% (max 500m²)
	27.61% (301m²)
PARKING SCHEDULE:	
Dwelling / House:	2 Bays (Garage)
Home Occupation: (70m²)	3 Bays (U, 25m²)

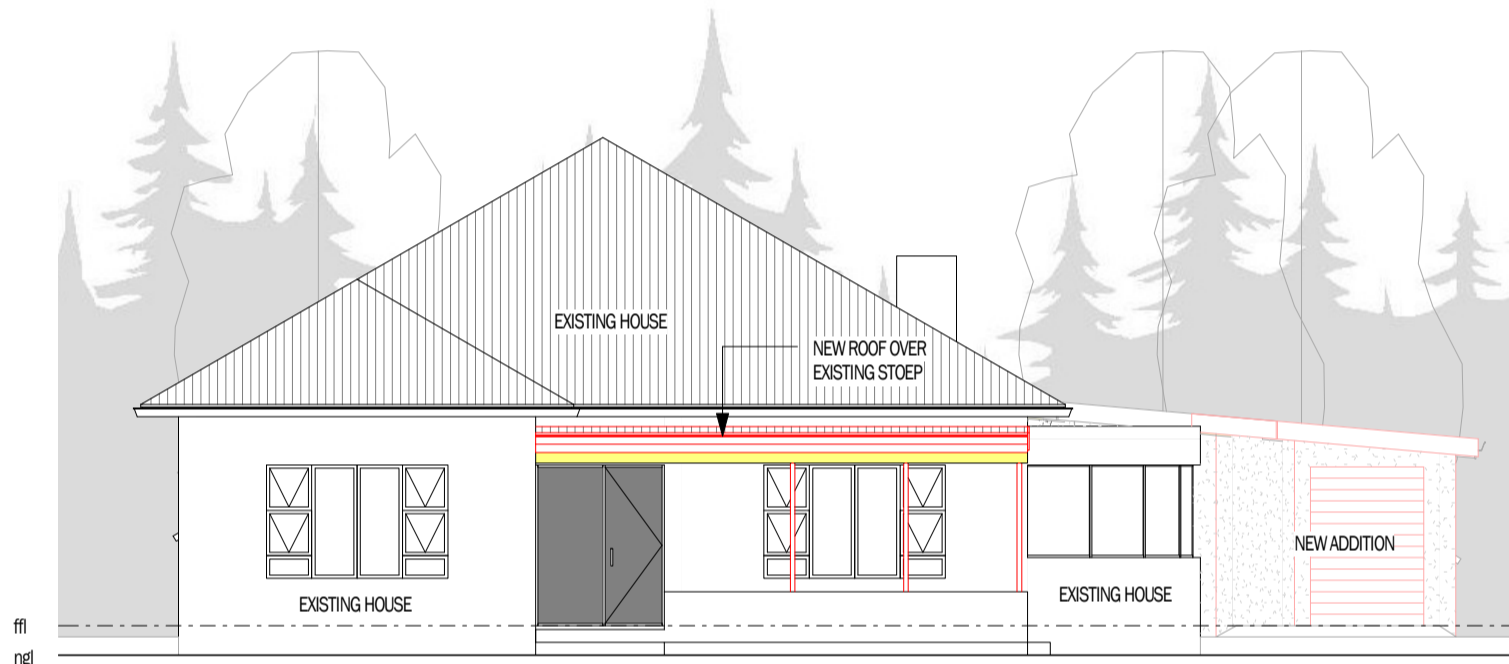
owner		designer	
LONGHOUSE DESIGN I STUDIO			
2 Seventh Ave, Deerness, George, 6529 charloppeman@hotmail.com 082 619 3236			
client			
SACAP PR21011 SABD 0412 SAAT 2686			
project			
AS-BUILT additions on Erf 2333, George.			
issue			
Municipal submission - Not for construction			
drawing name			
SITE PLAN, FLOOR PLAN, SECTIONS			
date / datum		sheet	
04.11.2024		A1.01	



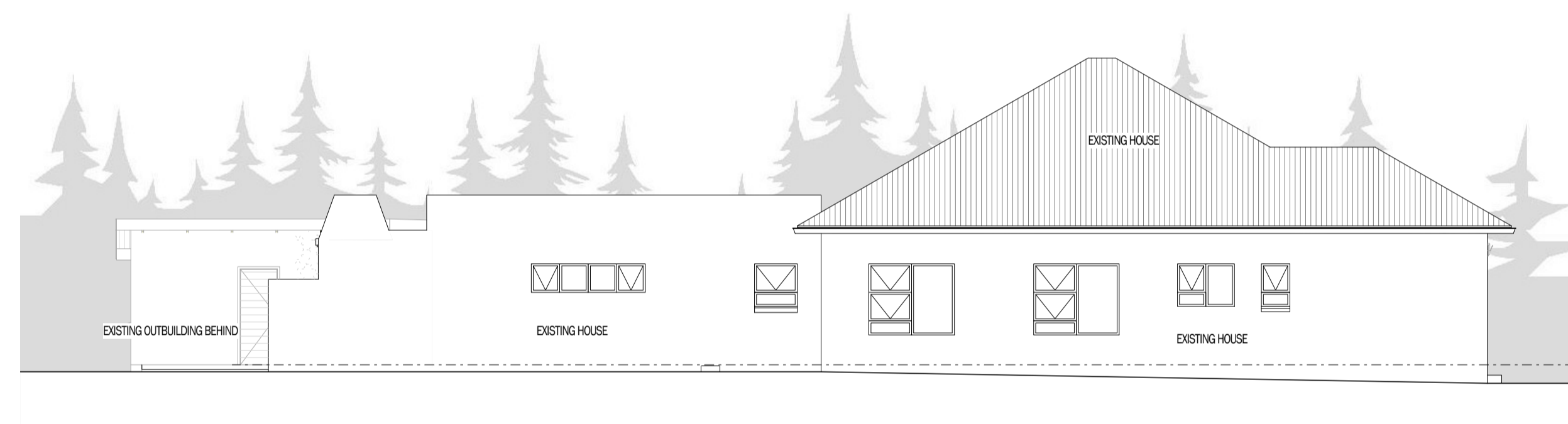
1 NORTH ELEVATION
1 : 100



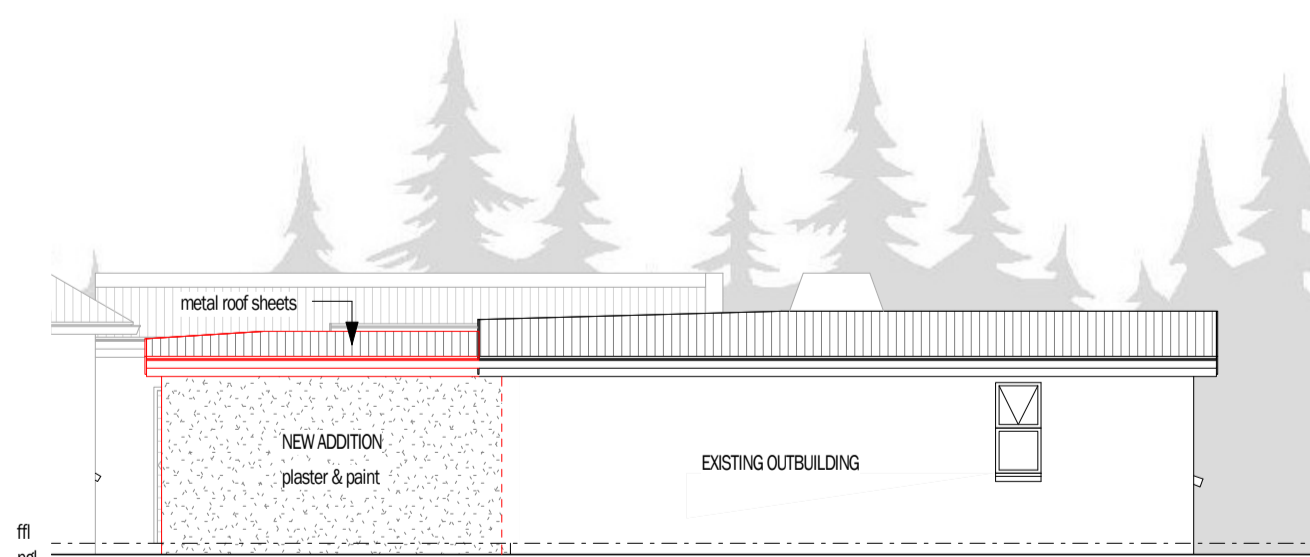
2 EAST ELEVATION
1 : 100



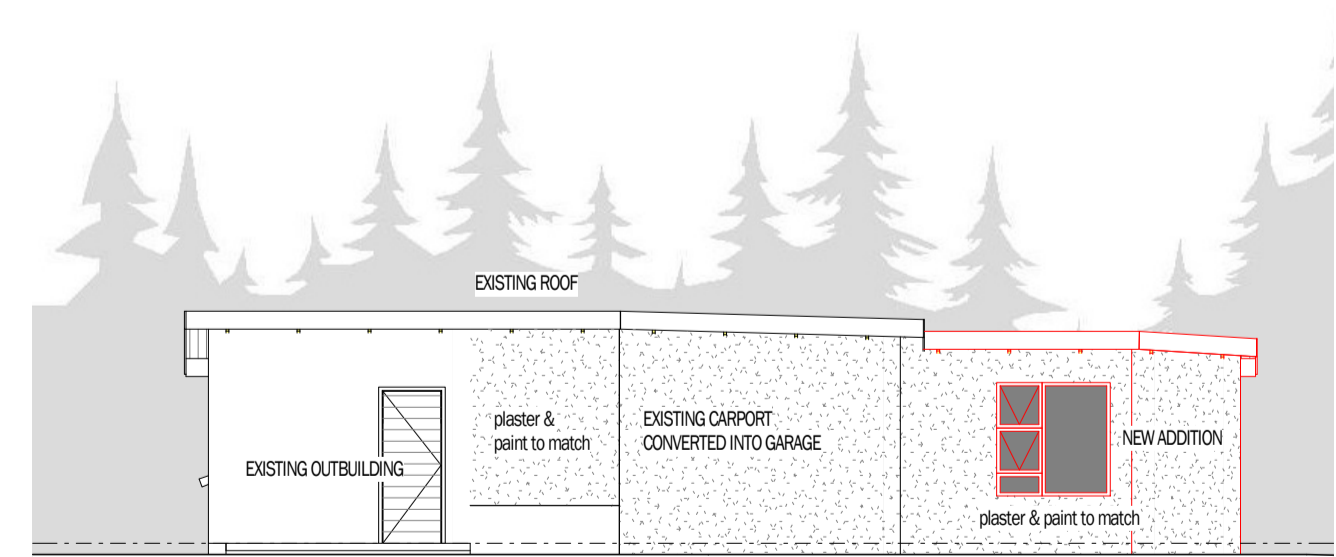
4 SOUTH ELEVATION
1 : 100



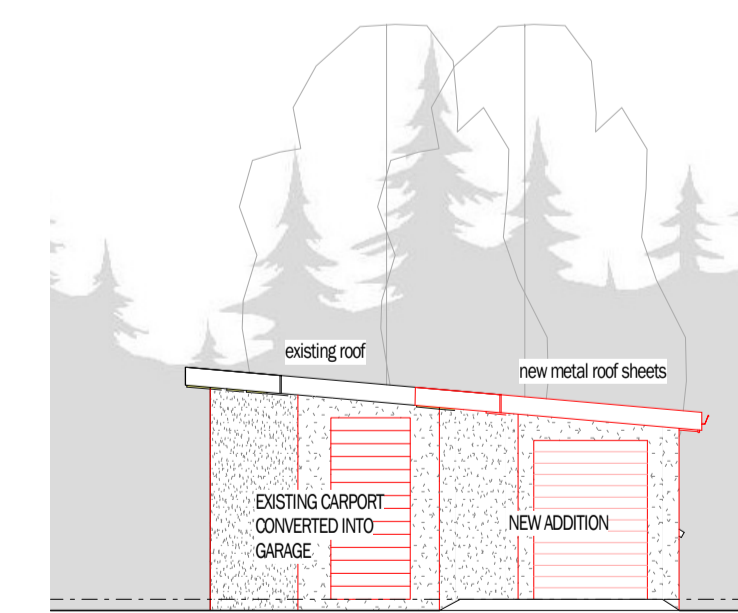
5 WEST ELEVATION
1 : 100



3 EAST ELEVATION (Outbuilding)
1 : 100



6 WEST ELEVATION (Outbuilding)
1 : 100



7 SOUTH ELEVATION (Outbuilding)
1 : 100

General Notes:

- * Habitable rooms to have min 10% light & 5% ventilation per floor area.
- * Roof overhangs - 200mm - (Max 1m.)
- * All dimensions are metric and in mm.
- * All work must be done in accordance with NBR & SANS10400 & 1545
- * SANS10400 XA NOT REQUIRED.
- * All outer walls are 270mm plastered brick cavity walls unless stated otherwise.
- * All interior walls are 110mm plastered brick walls unless stated otherwise.
- * All foundations are reinforced concrete to engineers specifications. Refer to geotechnical report for foundation details.
- * All concrete roof structures as per engineer's specifications & details.
- * All aluminium windows and doors as per schedule and supplier's spec
- * Glazing must comply with SANS10137, Aluminium to comply with AAAMSA.
- * All electrical & plumbing installation to be carried out by registered contractors as per NBR & SANS regulations.
- * All plumbing pipes to be 110mm uPVC (brown) / 50mm uPVC (green)
- * Minimum invert level @ 450mm / Gradient 1:5 - 60 / RE max every 25m.
- * Gully @ 50mm AFGL (paving) / 150mm AKGL (ground)
- * 1 x 110 Open vent to extend to min 100mm above roof level.
- * Sewer shaft (if applicable): min 40x200.
- * All stairs: Treads: Min 250mm. Risers: Max 200mm. Max 3 winders.
- * All railing & balustrading as indicated. Min 1m height & no openings >100mm. All as per SANS10400.
- * Vehicular entrance: Min 2,7m & Max 4m width / min 10m to intersection.
- * Swimming pool: Fence min 1200mm with self closing gate.
- * The Contractor to ensure that the installation of a sleeve for future fibre connection is to be installed as indicated on the plans from the sidewalk to the structure.
- * LP Gas: Max 38 kg allowed on premises without a Flammable Substance Certificate in terms of section 37(6) of the Community Fire Safety By-Law.
- * A Gas installation certificate of compliance to be provided prior to the request of a Occupancy certificate. Gas installation to comply with SANS 10087-1:2008
- * Boundary walls to be finish to the satisfaction of the adjacent owner
- * No structure or any portion thereof to encroach the property boundary
- * Rainwater not to discharge onto neighboring property
- * Drainage installers under building work must be installed in terms of Part P of SANS 10400 (4.19.4)
- * Drainage installations under building work must be protected in terms of Part P of SANS 10400 (4.22.2)
- * Drainage installation to comply with SANS 10400 Part P
- * Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.21)
- * SANS 10021 prescribed type of waterproofing to be done for any part of a building below natural or finished ground level or as specified by engineer.
- * These plans are for municipal submission (not construction) & should be read in conjunction with the engineer's plan for construction. Contact the designer or engineer if there are any uncertainties.
- * Any changes to this plan should be discussed with the designer before construction of such change.

Specifications:

- FOUNDATIONS AND FLOORS: (Existing)**
- * RC Concrete raft foundation as per SANS10400-H. Min 10Mpa @ 28 days.
 - * Floor finish, on 100mm concrete slab, on 250 micron Green Polyethylene waterproofing membrane (SABS 952) with 600mm sealed overlaps as per manufacturer, on 50mm sand layer, on approved filling in max 150mm layers.
- WALLS: (Existing Garage)**
- * 110 / 220mm clay brick walls, plastered & painted to match existing.
 - * BRICKFORCE every 5th layer in walls. Every 3rd layer in foundation walls and every layer above windows and doors.
- ROOF: (AS BUILT roof over existing open stoep)**
- * Roof pitch at 5° and flush overhangs.
 - * Corrugated profile metal roof sheets on 76x50 SS-SAP purlins @ 1050 c/c on 152x28 SS-SAP rafters @ 760 c/c max, on 152x50 SS-SAP bearer, on galvanized round metal columns, on 220 brick wall.
- RAINWATER GOODS:**
- * 12x150mm NUTEC fascias and 200x80mm NUTEC barge boards.
 - Color: Charcoal
 - * PVC to match existing
 - Colour: Charcoal
- DOORS, WINDOWS & BALUSTRADES:**
- * Garage Door: Timber Side hung type door.
- WINDOW SILLS:**
- * All existing
- PAVING:**
- * All existing.
- GENERAL:**
- * ALL ADDITIONS ARE AS-BUILT EXISTING.



owner	designer
LONGHOUSE DESIGN STUDIO	
2 Seventh Ave, Denebos, George, 6529 charloppeman@hotmail.com 082 619 3236	
client	SACAP PR21081 SABD 0412 SAAT 2686
KEMP ENDOMS TRUST	
project	AS-BUILT additions on Erf 2333, George.
issue	Municipal submission - Not for construction
drawing name	ELEVATIONS
date / datum	sheet
04.11.2024	A1.02