

Collaborator No.: 3861857
Reference / Verwysing: Erf 349, Herolds Bay
Date / Datum: 19 June 2026
Enquiries / Navrae: Andrea Griessel

Email: planning@delplan.co.za

DELAREY VILJOEN CC
P O Box 9956
GEORGE
6530

**APPLICATION FOR PERMANENT DEPARTURE AND ADMINISTRATOR'S CONSENT: ERF 349,
HEROLDS BAY**

Your application in the above regard refers.

The Senior Manager: Town Planning (Authorised Official) has, under delegated authority, 4.17.3.13 of 24 April 2025 decided:

- A. That the application for Administrator's Consent in terms of Section 39(4) of the Western Cape Land Use Planning Act, 2014 (Act 3 of 2014) in accordance with Condition 7.(i) and (ii) of Deed of Transfer T11058/2025 in order to allow for the relaxation of the following building lines applicable to Erf 349, Herolds Bay:
- (a) The northwest street boundary building line from 5m to 4.3m for the existing carport;
 - (b) The southwest common boundary building line from 1.5m to 0.9m for the existing deck, games room and carport;
 - (c) The southwest common boundary building line from 3m to 2m for the existing pergola;

BE APPROVED.

- B. That the application for Permanent Departure in terms of Section 15(2)(b) of the Land Use Planning By-Law of George Municipality, 2023 for the relaxation of the southwestern common boundary building line from 2m to 0.9m for the existing games room, carport and deck;

BE APPROVED in terms of Section 60 of the said By-law for the following reasons:

REASONS

- (i) The proposed departures will not negatively impact the surrounding character of the area, streetscape or natural environment.
- (ii) There will be no negative impact on surrounding neighbours' rights or amenity in terms of views, privacy or overshadowing.

- (iii) The proposed addition forms part of residential development and can be accommodated within the property.
- (iv) No negative comments or objections were received.

Subject to the following conditions imposed in terms of Section 66 of said By-law, namely:

CONDITIONS:

1. That in terms of the provisions of the Land Use Planning By-law for the George Municipality 2023, the approval shall lapse if not implemented within a period of two (2) years from the date it comes into operation.
2. This approval shall be taken to cover only the departures as applied for and generally as indicated on the site layout plan, Plan no. M001, drawn by MSMITH architectural Group dated 3 March 2026 attached as “Annexure A” which bears Council’s stamp and shall not be construed as to depart from any other Council requirements or legal provision.
3. In accordance with Section 66(2)(z) of the Land Use Planning By-Law for George Municipality, 2023, a contravention levy of R4 563.20 (VAT included) shall be payable to the Directorate: Planning and Development on submission of building plans.
4. The above approval will be considered as implemented on the issuing of an occupation certificate in accordance with the approved building plans.

Notes:

- *As-built building plans must be submitted for approval in accordance with the National Building Regulations.*
- *Stormwater must be dispersed responsibly, and the stormwater management and erosion measures must be addressed on the building plans.*
- ***The on-street parking (along Gange Street) to be removed and the road reserve be rehabilitated to the satisfaction of the Department Civil Engineering Services as indicated on the site layout plan attached as Annexure A.***
- *The contravention levy was calculated as follows:*
 - *Encroachments: 7.68m² for the existing carport*
 - *Property value: R3 100 000.00/600m²= R5 166.67/m²*
 - *Contravention = 10% x R5 166.67/m² x 7.68m²= R3968.00 (VAT Excluded)*
 - *plus VAT@15%= R595.20*
 - *Total: **R4 563.20 (VAT Included)***

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Planning and Development, P O Box 19, George, 6530 or Directorate: Planning and Development, 46 Market Street (Old York Hostel Building), George **on or before 10 JULY 2026**, and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

Yours faithfully



C PETERSEN

SENIOR MANAGER: TOWN PLANNING

C:\Town Planning\Approvals\Erf 349, Herolds Bay_approval letter

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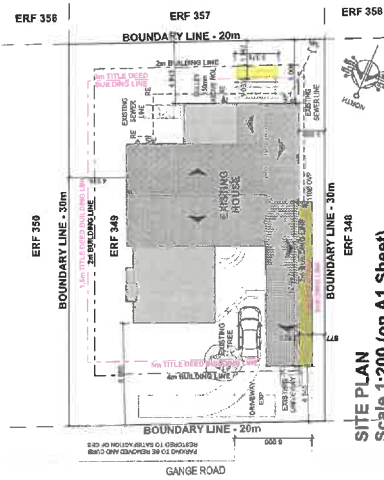
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SITE PLAN
 Scale 1:200 (on A1 Sheet)



AREA SCHEDULE:

- 154,57m² - EXISTING HOUSE
- 40,34m² - EXISTING COVERED BRAAI
- 20,14m² - EXISTING CARPORT
- 215,05m² - TOTAL EXISTING AREA
- 22m² - CONVERT GARAGE INTO GAMES ROOM
- 600m² - ERF AREA
- 35,84% COVERAGE

OWNER'S BUILDING CONTRACTORS AND SUB-CONTRACTORS TO COMPLY WITH THE FOLLOWING REQUIREMENTS OF SANS 10400 (SANS 34A):

The building must be constructed in accordance with the approved drawings and specifications for the building. The building must be constructed in accordance with the approved drawings and specifications for the building. The building must be constructed in accordance with the approved drawings and specifications for the building.

REVISIONS

No.	Date	By	Reason
			Initial

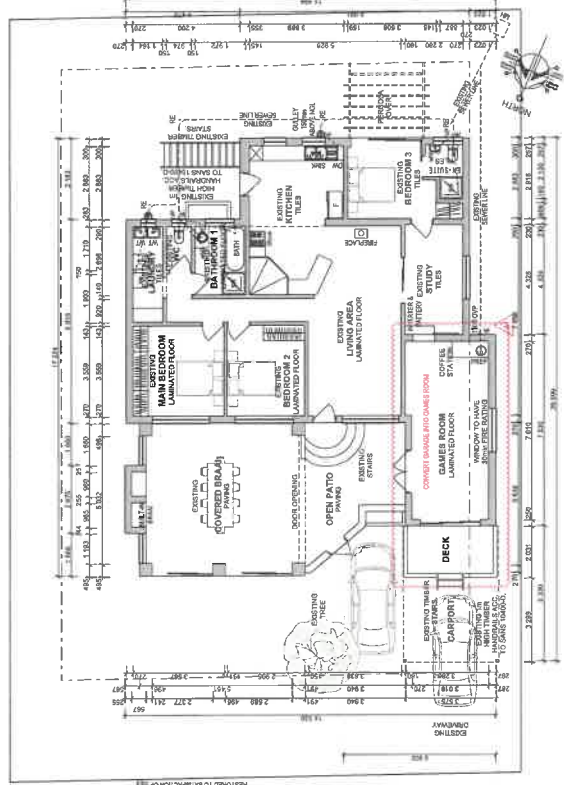
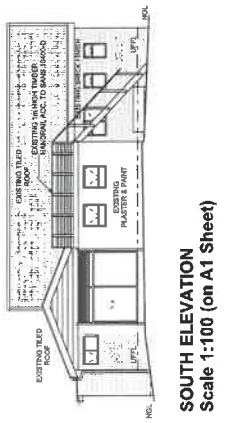
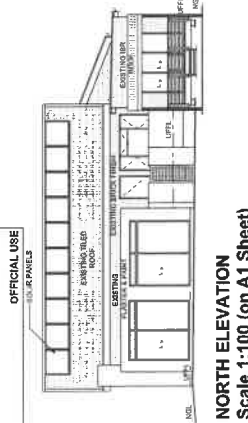
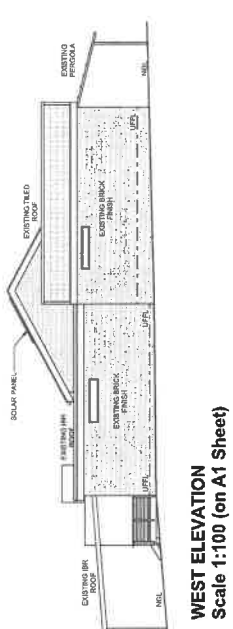
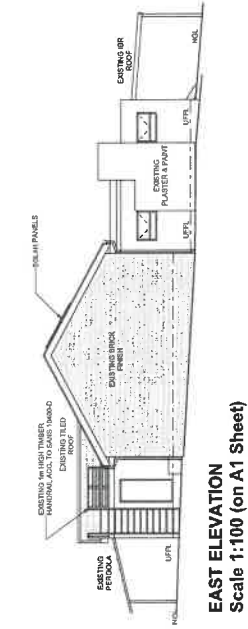
MSMITH ARCHITECTURAL GROUP
 PASSION TO CREATE
 UNIT 2 FAIRVIEW OFFICE PARK
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 Call: 082 940 2844
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EXISTING HOUSE FOR DIRK GOOSEN ON ERF 349 HEROLDS BAY GEORGE

SITE PLAN, GROUND FLOOR PLAN, ELEVATIONS

SCALE	DATE	REVISION
1:200, 1:100	25.01.04	1

DATE: 2026/03/03
 DRAWN: HDU PREZ
 CHECKED: MS



MUNICIPALITEIT GEORGE MUNICIPALITY

Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

19/06/2026
 DATE
 DATUM

SENIOR MANAGER: TOWN PLANNING
 SENIOR BESTUURDER: STATSBEPANNING