

**Our Ref.: 1519/GEO/26**  
**Your Ref.: Erf 588, Wilderness**

21 May 2026

The Municipal Manager  
George Municipality  
PO Box 19  
GEORGE  
6530

**ATTENTION: MR. CLINTON PETERSEN**

Dear Mr. Petersen,

**PROPOSED DEPARTURES & ADMINISTRATORS CONSENT ON ERF 588, WILDERNESS, GEORGE MUNICIPALITY AND DIVISION**

1. The above matter refers.
2. Attached hereto find the following:
  - A copy of the required documentation;
3. We hope that you will be able to process the application as soon as possible.

Yours faithfully  
**DELPLAN Consulting**



**DELAREY VILJOEN Pr. Pln**

<https://delplan.sharepoint.com/sites/Delplan/Shared Documents/General/Documents/PROJECTS/2026/1519-GEO-26/Korrespondensie/Cover letter.docx>

**Cc: ERIC LOURET MAGNUS & INEZ MONICA MAGNUS**

**PROPOSED DEPARTURES & ADMINISTRATORS CONSENT ON ERF 588,  
WILDERNESS, GEORGE MUNICIPALITY AND DIVISION**



**FOR: ERIC LOURET MAGNUS & INEZ MONICA MAGNUS**



URBAN & REGIONAL PLANNERS

DEVELOPMENT ENVIRONMENT LINK

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**PROPOSED DEPARTURE & ADMINISTRATORS CONSENT ON ERF 588, WILDERNESS, GEORGE  
MUNICIPALITY AND DIVISION**

- **Departure:** Application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023, for the relaxation of the:
  - 3m southern rear boundary building line to 2.1m & 1.5m for the storage area as well as 2.4m for the kitchen.
- **Administrator’s Consent:** Application in terms of Section 39(4) of the Western Cape Land Use Planning Act, 2014, for departure from the 3m rear restrictive title deed building line to 1.942m for the **as-built existing addition** and 0m for the **carport** along the western common boundary building line.

<b>Property Description:</b>	Erf 588, Wilderness
<b>Physical Address:</b>	588 Serpentine Road, Wilderness
<b>Owner:</b>	Eric Louret Magnus & Inez Monica Magnus
<b>Title Deed No:</b>	T45830/10
<b>Bond Holder:</b>	NO
<b>Size of the property:</b>	1434m <sup>2</sup>

**1. INTRODUCTION**

Erf 588, Wilderness, is currently developed with a main dwelling, garage and a carport. The owners intend to apply a departure. *DELPLAN Consulting* has been appointed by the registered owners of Erf 588, Wilderness, and is hereafter referred to as the “subject property” to prepare and submit the required land use application. A copy of the Power of Attorney authorising the submission of this land use application is attached as **Annexure 1**.

**2. OWNERSHIP/TITLE DEED**

The property is currently registered to Eric Louret Magnus & Inez Monica Magnus according to the Title Deed (T45830/10) and is attached as **Annexure 2**. There are relevant title deed restrictions prohibiting the application; this is also confirmed with the attached conveyancer certificate (**Annexure 3**). According to the Title Deed, the property measures 1434m<sup>2</sup> in extent as shown in the SG Diagram attached herewith as **Annexure 4**.

### 3. LOCALITY

The subject property is located in Wilderness East, at 588 Serpentine Road, within Ward 4. Figure 1 illustrates the location of the subject property in relation to the surrounding neighbourhood, while Figure 2 provides a closer view of the subject property and its immediate surroundings.



**Figure 1:** The subject property (highlighted in red) in relation to surrounding area



**Figure 2:** Closer view of the subject property in relation to the immediate surroundings

No significant historic buildings, ruins, grave sites or any other heritage-related activities and objects are evident within the landscape. A locality plan is attached hereto as **Annexure 5**.

#### 4. PROPOSED DEVELOPMENT

As mentioned, the property is currently developed with a main dwelling, garage, and carport. The previous owners have undertaken extensions to the existing dwelling at the rear of the property, as well as the construction of a carport located along the western and northern common boundary line. Figure 3 provides a visual of the existing carport, while Figure 4 provides a visual of the as-built existing addition. Neither the clients nor the municipality has plans for the existing house.



**Figure 3:** Existing carport



**Figure 4:** As-built existing addition

As a result, the as-built extension at the rear of the property (south) requires a building line relaxation from the 3m to 2.1m & 1.5m for the storage area as well as 2.4m for the existing kitchen.

The as-built extension, existing kitchen as well as the carport not only encroaches on the applicable zoning scheme building lines but also contravenes the relevant title deed restrictions, thereby necessitating the administrators consent. The applicable title deed condition, Section 4(b), stipulates that no building may be erected within 15 feet ( $\pm 4.5m$ ) of the street boundary and 10 feet ( $\pm 3m$ ) from the rear and lateral boundaries. Figure 5 provides a visual extract of the site layout.

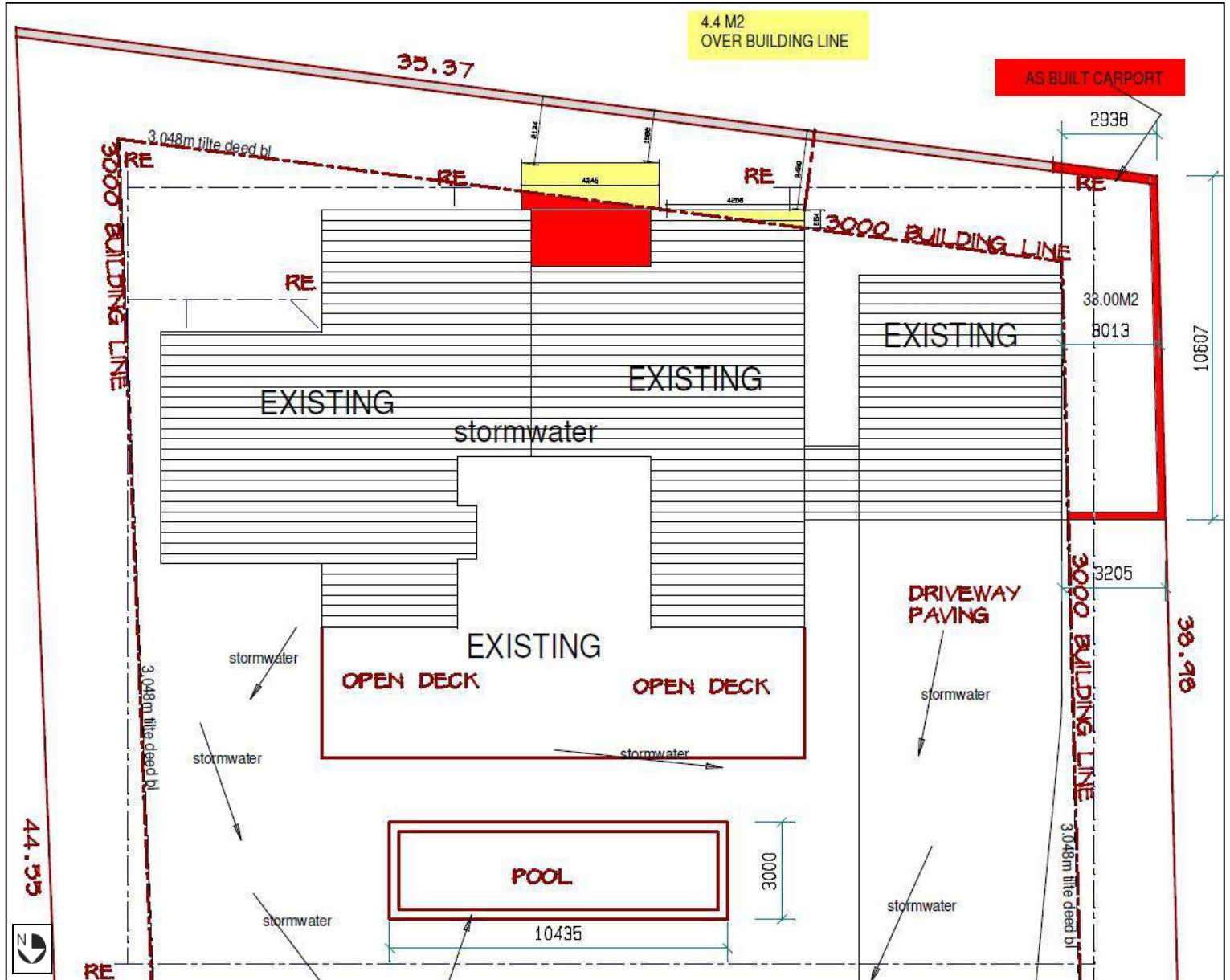


Figure 3: Site Plan extraction

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The proposed development is not anticipated to have any significant adverse effect on surrounding properties. The current dwelling and extensions are already constructed and form an integrated part of the existing built form, aligning with the architectural character and scale of the main dwelling and garage. Furthermore, given that the structures are located within the existing developed footprint of the property, no additional intrusion into neighbouring privacy, access, or amenity is expected.

The existing development does not alter or negatively influence the visual character of the surrounding area, as the built form is already established and consistent with adjacent residential development patterns. The proposal, therefore, represents an adjustment to formalise existing conditions rather than introduce new physical impacts. The proposed site plan is attached as **Annexure 6**.

## **5. NATURAL ENVIRONMENT**

The subject property is not located in a heritage area, and none of the buildings is older than 60 years; therefore, no heritage impact assessment is necessary.

## **6. HERITAGE**

The subject property is not located in a heritage area, and none of the buildings is older than 60 years, no heritage impact assessment is necessary.

## **7. TRAFFIC AND PEDESTRIAN MOVEMENT**

Figure 6 provides a visual representation of the existing streetscape conditions along Serpentine Road. The building is set back far away from the street. The existing structures gain access directly from Serpentine Road, and this access arrangement will remain unchanged. As illustrated on the attached site plan, sufficient on-site parking is provided, with adequate space available to accommodate all internal vehicle manoeuvring within the property boundaries.



**Figure 4:** View along Serpentine Road

Pedestrian movement along Serpentine Road is currently partially constrained; however, this is not as a result of the proposed development, but rather due to mature vegetation located within the pedestrian pathway reserve.

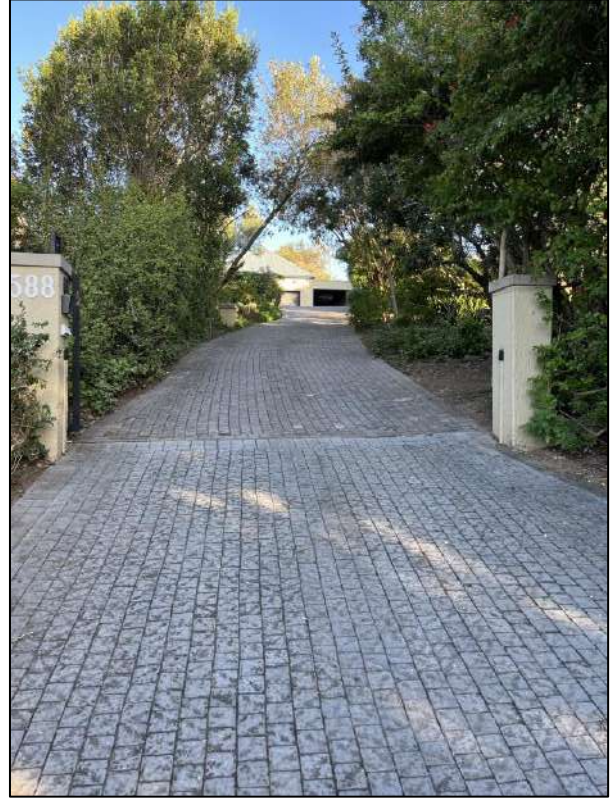
## **8. IMPACT ON NEIGHBOURING PROPERTIES**

The proposed development is not anticipated to negatively impact the surrounding neighbouring properties as subject property is enclosed by existing boundary walls and mature vegetation, which assist in maintaining privacy between the subject property and neighbouring erven. It also functions as a sound buffer, thereby limiting potential noise impacts on neighbouring properties. Furthermore, the proposal will not adversely affect neighbouring properties' access to sunlight, as the height and overall scale of the existing structures will remain unchanged.

Although the subject property is situated on a slope, the design and positioning of the existing development are such that no material overlooking or loss of privacy towards adjoining properties will occur. Figure 7 provides a visual of the rear (south) side of the property, while Figure 8 provides a visual of access from Serpentine Road.



**Figure 6:** Visual along the rear side



**Figure 6:** Access off Serpentine Road

Note that the carport is within the allowable height of 4m and a relaxation in terms of the Zoning Scheme is not being applied for. All other structures are also within the respective height limitations. Only the title deed limits the use of the carport within the building line currently. It is also unlikely that surrounding property owners would be aware of the proposed development, as the structures already exist and are largely screened from view.

No additional structures or intensification of land use are proposed as part of this application. Consequently, the existing streetscape character and visual appearance of the area will remain unchanged. In addition, the proposal does not increase residential density or traffic generation. Existing traffic movement patterns and access arrangements will therefore remain unaffected. The proposal is considered compatible with the surrounding residential character of the area and is not anticipated to place additional pressure on existing municipal infrastructure or services.

## **9. PUBLIC PARTICIPATION**

The Formal Public Participation Process will be followed by sending notice letters to the surrounding property owners informing them of the proposed development. A site notice will also be erected.

## **10. NEED AND DESIRABILITY**

Desirability, within the land use planning context, may be defined as the degree of acceptability of a proposed development on the land unit concerned. This section, therefore, considers the desirability of the proposed building line relaxations in relation to the applicable planning principles, policy frameworks, and the broader public interest. It is considered that the proposed application is desirable, as no significant negative impacts have been identified through the assessment process. The primary purpose of the application is to regularise the existing as-built structures and obtain the necessary statutory approvals for the existing encroachments. The proposal does not seek to introduce a new land use or increase the intensity of the existing residential use, but rather to formalise development that is already established on the property.

The proposed departures are considered appropriate within the context of the surrounding residential character of the area, as the development remains consistent with the existing use and zoning of the property. Furthermore, the proposal is not anticipated to negatively impact neighbouring properties in terms of privacy, overlooking, traffic generation, noise, visual character, or access to sunlight. In addition, the application is not considered to conflict with the relevant spatial planning policies or development principles applicable to the area.

The proposed relaxations are of a limited nature and are not expected to prejudice the future development potential of surrounding properties or adversely affect the general amenity of the neighbourhood. The proposal is therefore regarded as desirable from a land use planning perspective, as it represents a reasonable and compatible form of development that aligns with the existing residential character of the area while serving to regularise existing structures in the interest of sound planning and administrative compliance. The application is not needed to realise any spatial goal of the SDF or LSDF but it is argued that the application holds no negative effects on the surrounding neighbouring dwellings or broader area, its spatial influence is therefore negligible.

## 11. POLICIES

### George Municipal Spatial Development Framework (GMSDF) (2023)

The proposed development is considered to be aligned with the objectives and development principles of the MSDF, as the application does not propose a change in land use or an increase in residential density, but rather seeks to regularise existing residential structures on the property. The existing residential use of the property remains consistent with the surrounding land use pattern and established neighbourhood character of the area. Furthermore, the proposal does not introduce any land use activities that may be regarded as incompatible with the surrounding residential environment. Figure 9 provides a visual of the approximate location of the subject, as mentioned, it can be clearly seen the subject property is located within well-developed area.



Figure 7: MSDF extraction

The application is also considered to support the broader spatial planning objectives of the SDF, which promotes orderly and sustainable development within the existing urban footprint. As the structures are already developed and connected to existing municipal services infrastructure, no additional pressure is anticipated to be placed on engineering services, transportation networks, or public infrastructure. The proposal, therefore, represents a low-impact form of development that remains compatible with the existing built environment.

In addition, the proposed building line relaxations are limited in nature and are not anticipated to negatively affect the visual character, streetscape, privacy, or amenity of adjoining properties. The proposal does not undermine the future development potential of neighbouring erven and is considered to be in keeping with the scale and character of surrounding residential development. The application is therefore not considered to conflict with the spatial vision, development objectives, or planning principles contained within the George SDF and may accordingly be regarded as desirable from a spatial planning perspective.

### **Wilderness-Lakes-Hoekwil Local Spatial Development Framework (LSDF) (2015)**

The proposed development is considered to be generally aligned with the overarching objectives of the LSDF. The LSDF promotes the protection of the area's established residential character, the efficient utilisation of already developed urban land, and the containment of urban expansion through the prioritisation of infill and consolidation within existing developed footprints. In this case, the subject property is located within a residential area as seen in Figure 10.



**Figure 8: LSDF extraction**

The subject property is located within an already established residential area, and the proposal does not introduce any new land use activity or intensification beyond the existing residential use of the site. The application is limited to the regularisation of existing as-built structures through building line relaxations and does not increase density, land use change, or expansion of the urban edge.

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In this regard, the proposal is consistent with the LSDF's objective of encouraging development that remains compatible with the existing built form and neighbourhood character, while avoiding incremental impacts that may compromise spatial quality or environmental integrity.

Furthermore, the development does not encroach into environmentally sensitive areas, nor does it extend development pressure into open space systems or undeveloped land. It remains contained within an already transformed residential erven and is connected to existing municipal infrastructure, thereby aligning with the LSDF's emphasis on efficient infrastructure utilisation and consolidation of services within established urban areas.

The proposal is not anticipated to negatively impact the visual or experiential character of the surrounding area, as the structures already exist and no additional building bulk is introduced. The application, therefore, maintains consistency with the LSDF's intent to preserve the scenic and residential qualities of the Wilderness area while accommodating appropriate, low-impact development within existing developed areas. Accordingly, the proposed development is considered to be consistent with the policy direction and spatial principles of the Wilderness–Lakes–Hoekwil LSDF (2015) and is not regarded as conflicting with its objectives.

## **12. CONCLUSION**

As mentioned in this motivation report, we believe that the abovementioned principles, considerations and guidelines for this land use application for Erf 588, Wilderness satisfy the applicable legislation. As a result, it is trusted that this application can be finalised successfully.



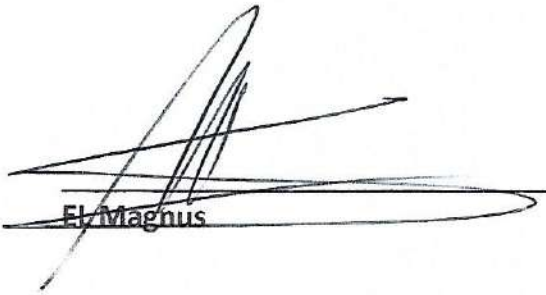
**DELAREY VILJOEN Pr. Pln**

**JUNE 2026**

# **ANNEXURE 1**

POWER OF ATTORNEY

We, **Eric Louret Magnus & Inez Monica Magnus**, the undersigned and the registered owners of Erf 588, Wilderness, George Municipality and Division, hereby instruct Delarey Viljoen of *DELPLAN Consulting* to submit the required land use application with the local authority.

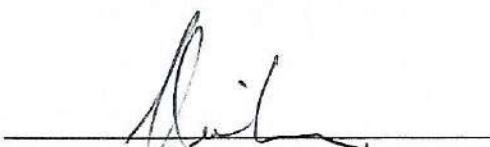
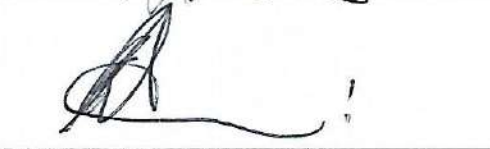
  
E. Magnus

Date: 19/05/2026

  
IM Magnus

Date: 19/05/2026

Witnesses:

1. 
2. 

# **ANNEXURE 2**

# DEED OF TRANSFER

**NO. T 45830/10**

**IFO**

**EL & IM MAGNUS**

**ERF 588 WILDERNESS**

IG KRUGER  
PROKUREUR AKTEBESORGER & NOTARIS  
ATTORNEY CONVEYANCER & NOTARY  
PARAKIETSTRAAT 24 PARAKIET STREET  
PO BOX 1441, SEDGEFIELD, 6573  
TEL : (044) 343 3230  
FAX: (044) 343 1712

IG Kruger Attorneys  
24 Parakiet Street  
Sedgefield  
6573

Prepared by me

**FEE**  
R. 1000,00

  
CONVEYANCER  
KRUGER IM

DATA / CAPTURED  
13 SEP 2010  
WARD ELIZABETH

## DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

**MICHELLE YVONNE du PLESSIS**

appeared before me, REGISTRAR OF DEEDS at Cape Town, the said appearer being duly authorised thereto by a Power of Attorney which said Power of Attorney was signed at Sedgefield on 9 July 2010 granted to him by

**MARK GREGORY RUBIN**  
Identity Number 611109 5173 08 3  
Unmarried

T 045830/10

**ZIYANDA**  
2010-09-16  
VERIFIER

And the appearer declared that his said principal had, on 22 June 2010, truly and legally sold by Private Treaty, and that he, the said Appearer, in his capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

**ERIC LOURET MAGNUS**  
**Identity Number 470830 5037 08 1**  
**and**  
**INEZ MONICA MAGNUS**  
**Identity Number 510504 0049 08 4**  
**Married in community of property to each other**

their Heirs, Executors, Administrators or Assigns, in full and free property

ERF 588 WILDERNESS, IN THE MUNICIPALITY AND DIVISION OF  
GEORGE, WESTERN CAPE PROVINCE

IN EXTENT 1434 (ONE THOUSAND FOUR HUNDRED AND THIRTY FOUR)  
SQUARE METRES

First transferred by Deed of Transfer No T20691/1963 with Diagram  
No 4573/1963 thereunto annexed and Held by Deed of Transfer No

T ①45829 /2010

- A. SUBJECT to the conditions referred to in Certificate of Registered Title No 19388/1954.
- B. SUBJECT FURTHER to the following special conditions contained in Deed of Transfer No T20691/1963 imposed by the Administrator of the province of the Cape of Good Hope in terms of Ordinance 33 of 1934 when approving the establishment of Wilderness Township Extension No 2 namely:
1. Any words and expressions used in the following conditions shall have the same meaning as may have been assigned to them by the regulations published under Provincial Administration Notice No 401 dated 17<sup>th</sup> October 1935 and in the memorandum which accompanied the said regulations.
  2. The owners of this erf shall without compensation, be obliged to allow electricity and water mains and the sewage and drainage including stormwater of any other erf or erven within or without this Township to be conveyed across this erf if deemed necessary by the Local Authority, and in such manner and position as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time in order to construct, maintain, alter, remove or inspect any sewer, manhole, channel conduit or other works pertaining thereto.
  3. The owner of this erf shall be obliged without compensation, to receive the material or permit excavation on the erf as may be required to allow use of the full width of the street and provide a safe and proper slope to its bank owing to the difference between the levels of the street as finally constructed and the erf, unless he elects to build retaining walls to the satisfaction of and within a period to be determined by the local authority.

4. This erf shall be subject to the following further conditions, provided especially that where, in the opinion of the Administrator after consultation with the Townships Board and the Local Authority, it is expedient that the restriction in any such condition should at any time be suspended or relaxed, he may authorise the necessary suspension or relaxation subject to compliance with such conditions as he may impose:

- (a) it shall not be subdivided;
- (b) it shall be used only for the purpose of erecting thereon one dwelling together with outbuildings as are ordinarily required to be used therewith;
- (c) not more than half the area thereof shall be built upon;
- (d) no building or structure or any portion thereof except boundary walls and fences shall be erected nearer than 15 feet to the street line which forms a boundary of this erf nor within 10 feet of the rear or 10 feet of the lateral boundary common to any adjoining erf, provided that with the consent of the local authority, an outbuilding not exceeding 10 feet in height measured from the floor to the wall plate and no portion of which will be used for human habitation, may be erected within the above prescribed space. On consolidation of any two or more erven, this condition shall apply to the consolidated area as one erf;
- (e) notwithstanding the provisions of Condition (d) above, a garage intended as an adjunct to the dwelling may, where the slope of the erf up from the level of the abutting street is such that in the opinion of the local authority it cannot reasonably be sited at a distance of 15 feet from the street line, be erected at such lesser distance therefrom as the local authority may approve, provided that not more than 50 per cent of the cubic measure of such garage may project above natural ground level and that in no event shall any such garage be erected at less than 10 feet from the street line;
- (f) in the event of the provisions of a Town Planning Scheme being made applicable to this erf, which provisions are more restrictive than the provisions contained in the above, then the provisions of such Scheme shall apply.

C. SUBJECT FURTHER to the following special conditions contained in Deed of Transfer No. T20691/1963 imposed by Wilderness (1921) Limited for the benefit of all purchasers and their successors in title of erven comprising Wilderness Township Extension No. 2 and for the benefit of the said Company and its successors in title as owners of the remainder of the said Township held by it under Certificate of Registered Title No T19388/1954, namely:-

DEFINITIONS

The term "Seller" in these conditions shall be deemed to include the successors in title of the Seller to the remainder of the land held under the aforesaid Certificate of Registered Title No T19388 dated 24<sup>th</sup> November 1954.

The term "Purchaser" shall be deemed to include the heirs, Executors, Administrators or assigns, of the Purchaser of the property hereby sold.

TRADE AND OTHER RESTRICTIONS

1. ....
2. No sand or gravel shall be dig or removed from the lot except in the way of excavating for the foundations of any building to be erected thereon, or for use in such building or in preparing or laying out gardens to be occupied therewith, and no brick, tiles, clay or lime shall at any time be manufactures or burnt upon the lot.
3. All buildings and/or alterations erected on this lot shall be constructed of brick, stone or concrete, and no building shall be erected on the lot until the site and elevation plans thereof and the site of any offices or building together with the sanitation plans in relation thereto, shall have been approved by the Seller in writing. No such building shall, after erection, be altered without the like previous consent in writing. The Purchaser shall provide the Seller with plans in duplicate to the Seller's satisfaction.
4. The Seller shall be entitled to call upon the Purchaser to screen suitably any outbuildings erected on the lot.
5. All walls, fences, live hedges or like structures abutting upon any road or pathway, shall be of a type approved of by the Seller. The Seller shall not be liable to contribute to the cost of any party or dividing fence, or wall, or to the cost of repair thereof, but he may call upon the Purchaser to enclose the said lot. This provision eliminating any contribution by the Seller to the cost or repair of any party or dividing fence or wall shall not extend to any adjoining lot which the Seller may sell or dispose if subsequent to the date hereof, and the Purchaser of such lot adjoining the lot hereby sold shall in all respects be subject to the laws governing contributions to such party or dividing fences or walls.
6. No wind driven appliance or windmill or wireless aerial and poles shall be erected by the Purchaser without the specific written approval thereof and permission of the Seller.
7. All buildings or structures, fences, live hedges or the like erected on the lot shall be reasonably maintained externally buy the Purchaser in good order and repair, the intention being that adjoining lots shall not be depreciated by any shabby, uncared for or dilapidated buildings, structures, fences or live hedges.
8. Should any buildings or structures be erected out of compliance with these conditions, the Seller shall have the right to insist upon the



demolition thereof, and the Seller shall at all reasonable times, through its proper officers, have the right of access to and inspection of any building operations conducted by the Purchaser on the lot.

9. ....

10. In respect of any lot upon the sea front, Purchasers shall not cut down or otherwise destroy the natural bush growth on the sea front and so endanger any plot to erosion by the sea or to shifting sands. Sellers reserves the right to prescribe the level at which all buildings shall be placed on such lots, or any of them, and it called upon to do so by the Seller, Purchaser shall be obliged to plant and maintain suitable turf on any clear or open portions of such lots to guard against shifting sands.

11. The lot shall not be occupied either for building purposes or as a place of human residence or resort, whether by means of buildings thereon or tents or camps erected or placed thereon for any period, unless the said lot shall have previously been provided with water flush sanitation accommodation for the use of persons so residing or resorting upon the said lot. Such sanitation accommodation shall at all times be maintained in efficient working order by the owner of the plot.

12. The purchaser agrees to be bound not to clear or destroy the trees and bush on the lot without first consulting the seller, the intention being that it is desirable in the general interest that the scenery shall not be marred by excessive or undue clearing of the bush and trees and especially as it is the seller's intention to avoid cutting of any lines or squares or angles which will show marked patterns in the scenic effect of the Township, but it is not the intention to interfere unreasonably with the purchaser's full use and enjoyment of the said lot, and the seller agrees that the frontage of any premises other than domestic should have a clear and uninterrupted view.

13. The Purchaser agrees to observe uniformity in respect of fencing line for all fences, walls, hedges or structures that may abut on to any road, pathway, open space or property of the Seller, and to maintain all boundary fences, walls, hedges or structures of the lot in good order and repair.

↑

WHEREFORE the said Appearer, renouncing all right and title which the said

**MARK GREGORY RUBIN, Unmarried**

heretofore had to the premises, did in consequence also acknowledge him to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

**ERIC LOURET MAGNUS and INEZ MONICA MAGNUS, Married as aforesaid**

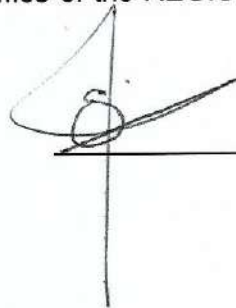
their Heirs, Executors, Administrators or Assigns, now are and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R3 820 000,00 (THREE MILLION EIGHT HUNDRED AND TWENTY THOUSAND RAND).

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at Cape Town on

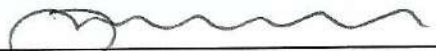
07/09/2010

2010



q.q.

In my presence



REGISTRAR OF DEEDS



2

#### Details of seller(s)/transferor(s)

Full name of seller/transferor (1) **MARK GREGORY RUBIN**

Identity/Trust/CC/Company number **611109 5173 08 3**

Full name of seller/transferor (2) **N/A**

Identity/Trust/CC/Company number **N/A**

#### Details of purchaser(s)/transferee(s)

Full name of purchaser/transferee (1) **ERIC LOURET MAGNUS**

Identity/Trust/CC/Company number **470830 5037 08 1**

Full name of purchaser/transferee (2) **INEZ MONICA MAGNUS**

Identity/Trust/CC/Company number **510504 0049 08 4**

#### Details of purchase transaction

Transfer Duty payable on **R3 820 000,00** being total consideration  or fair value

Date of acquisition **22 June 2010** Bought by:  Private Treaty  Public Auction

Consideration **R3 820 000,00**

Any other consideration payable **NONE** SARS reference

Total consideration **R3 820 000,00** Conveyancer's/Attorney's file reference **20/10**

Description of property (as per Deeds Registry) **ERF 588 WILDERNESS, IN THE MUNICIPALITY AND DIVISION OF GEORGE, WESTERN CAPE PROVINCE; IN EXTENT 1434 (ONE THOUSAND FOUR HUNDRED AND THIRTY FOUR) SQUARE METRES**

#### Declaration by Conveyancer/Attorney

I **IGNATIUS MICHAEL KRUGER (IG Kruger Attorneys)** (full name) hereby certify that this is a true copy of the transfer duty receipt / exemption certificate, drawn from the SARS website (e-filing only).

  
Signature

**19/7/2010**  
Date

RECEIPT/EXEMPTION

2010-07-22 189003742  
(Transfer Duty)  
R 250,600.00  
REMITTANCE DATE: 2010-07-22  
CHEQUE

**IG Kruger Attorneys  
24 Parakiet Street  
Sedgefield  
6573**

NO DUTY PAYABLE ON  
GEEN HEREGEGTE BETAALBAAR OP **500.000,00**  
IN TERMS OF SECTION 2(1) OF THE TRANSFER ACT 1949  
IN TERME VAN ARTIKEL 2(1) VAN DIE WET OP HEREGEGTE 1949



ONTVANGER VAN INKOMSTE • RECEIVER OF REVENUE  
GEORGE

GEORGE  
SARS  
**2010-07-22**  
PRINSIE BAO 0505  
GEORGE

# **ANNEXURE 3**

**CONVEYANCER CERTIFICATE**  
**IN TERMS OF SECTION 38(1)(n) OF THE GEORGE MUNICIPALITY: LAND USE**  
**PLANNING BY-LAW**

**APPLICATION DETAILS:**

Date of Application:

Applicable Subsection/s: Section 15(2)(b) of the George Municipality: Land Use Planning By-Law 2015.

In terms of Section 15(2) of the Bylaw]

I, the undersigned

**ILSE PRETORIUS (LPC NUMBER 93583)**

a duly qualified and admitted Conveyancer, practicing at ILSE PRETORIUS ATTORNEYS INC., 225 LEILA'S LANE, WILDERNESS

do hereby certify as follows:

1. I have perused the following Title Deed/s and conducted a search behind the pivot of the said title deed/s at the Deeds Office, Cape Town:

**T 45830 / 2010** [Current Title Deed]

In respect of:

**ERF 588 WILDERNESS**  
**IN THE UNICIPALITY AND DIVISION OF GEORGE**  
**WESTERN CAPE PROVINCE**

**IN EXTENT 1 434 (ONE THOUSAND FOUR HUNDRED AND THIRTY FOUR)**  
**SQUARE METERS**

**HELD BY DEED OF TRANSFER NUMBER T 45830 / 2010**

REGISTERED in the name of

**ERIC LOURET MAGNUS**

**Identity Number 470830 5037 081**

**and**

**INEZ MONICA MAGNUS**

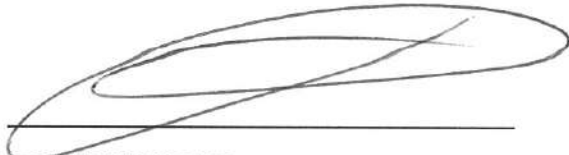
**Identity Number 510504 0049 084**

**Married in community of property to each other**



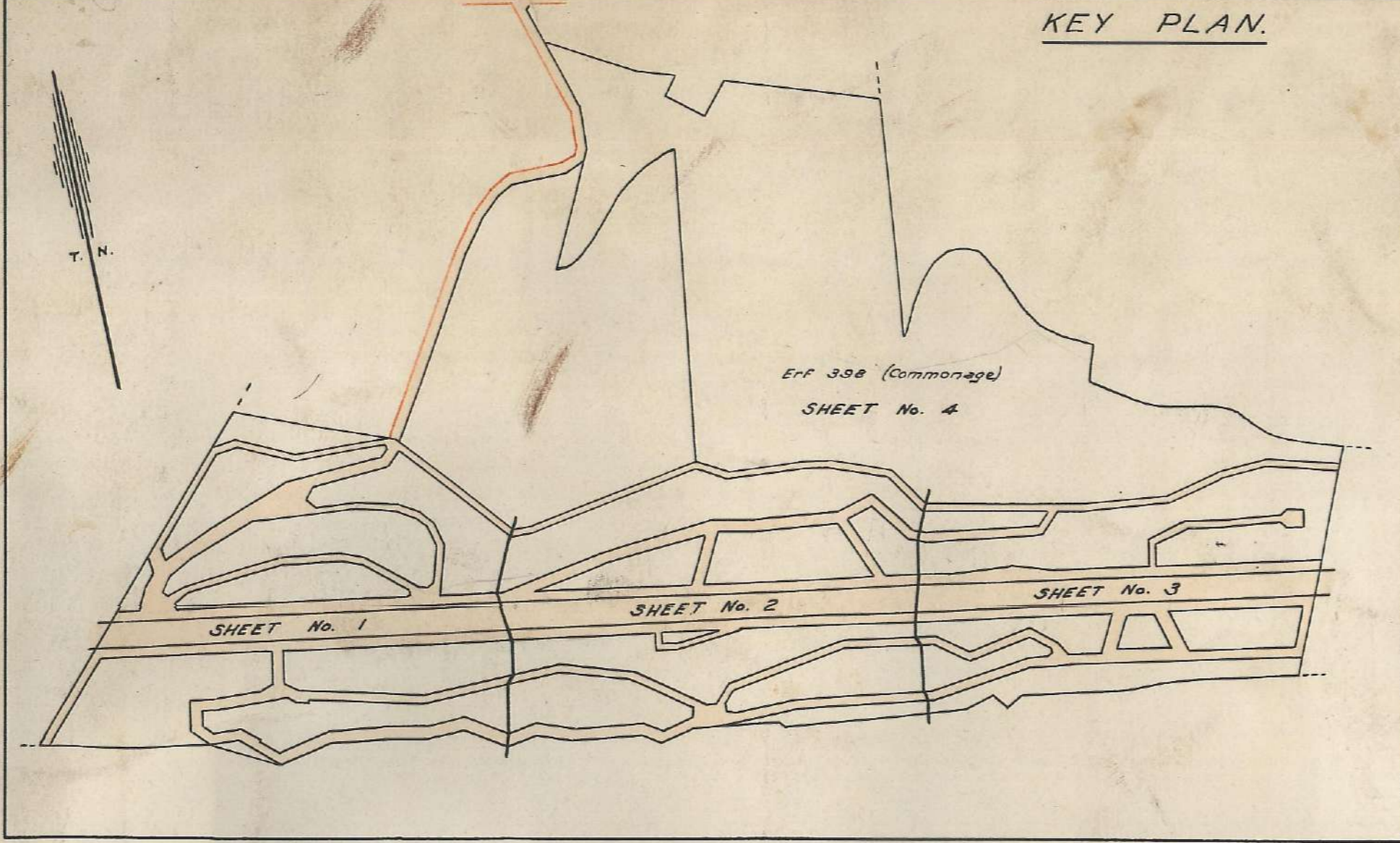
2. I have appraised myself with the details of the abovementioned Land Development Application.
3. The abovementioned Title Deed/s contains no conditions restricting the contemplated Land Uses in terms of the abovementioned Land Development Application.

SIGNED at WILDERNESS on this 29th day of MAY 2026

A handwritten signature in black ink, consisting of several overlapping loops and a long horizontal stroke extending to the left.

**CONVEYANCER**

# **ANNEXURE 4**



This plan comprises 5 sheets. SHEET No. 1.

# WILDERNESS A/A. T P GENERAL PLAN 1065 L.D. OF WILDERNESS TOWNSHIP EXTENSION NO. 2. C.D.R.

No. 8096/1953  
Approved  
*B. B. B. B.*  
SURVEYOR-GENERAL.

In terms of Section 13 of Ordinance No. 85 of 1954, the Administrator has granted the application to establish this Township.  
See Prov. Sec. Minute 2-23-5-1953  
date: 2001/06/28/2004 T.P. File: 2001/06/28/2004  
18-3-1970

Notified as an Approved Township in terms of Section 13(1) of Ord. No. 85 of 1954.  
See Notice No. 373 dated 10-12-54  
Prov. Sec. No. 2132 dated 10-12-54

ERF 565 comprising: 374 even numbered 373 & 398, Public Places 374-397 and Thoroughfares, situated on PORTION 22 (a portion of Portion 21) of the Farm KLEIN KRANTZ, in the DIVISION OF GEORGE, PROVINCE OF GOOD HOPE. Vide Dgm. No. 3015/1953, annexed to D/T 1954-1938B

The beacons of each erf represented on this plan are in accordance with regulations, and have been placed under our personal supervision.  
Surveyed in May 1950 - July 1951 by us  
*J. J. J. J.*  
LAND SURVEYORS.

Scale: 1/1250



ENDORSEMENTS - CONTINUED FROM ABOVE					
No.	AMENDMENT	ADDITION	AUTHORITY	INTD.	DATE
1	Portion of Road Rd 2094 closed		T/C's Notice dd. 1957-11-14 Consent p. 281 Consent p. 278 Consent p. 278 Consent p. 278 Consent p. 278		1957-12-02
2	Portion of Road closed	Erf 2163	T/C's Notice dd. 1958-11-27 Consent p. 121 Consent p. 121 Consent p. 121 Consent p. 121		1959-01-11
3	Portion of Road closed	Erf 2346	T/C's Notice dd. 2002-11-22 S/8692/5 v1 p. 129 Consent p. 121 Consent p. 121 Consent p. 121		2003-11-07
4	Portion of road closed	Erf 2418	T/C's Notice dd. 2002-11-15 S/8692/5 v2 p. 73 Consent Ref. Erf 689, Wilderness dd. 2002-11-15 p. 70		2005-11-15
5	Portion of road closed	Erf 2253 & 2254	Ref: 728 & 729/W File: S/8692/5 v.2 Page: 135 Dated: 17 September 1999 L/A's consent dd. 1999-08-15 Ref: Erf 824 Wilderness File: S/8692/5 p. 241 Notice No. 880/1999 dd. 1999-08-15 p. 198		2004-02-25
6	Portion of Grants Place closed	Erf 2646			2004-02-25

**SG OFFICE NOTES**  
See *Obt 5* for notes 1-14.  
15. Erf 601, beacons replaced to Reg 18(2) see SR2008/1953  
16. Erf 728 & 2253 included in consent vide Dgm 773/2018 Erf 776  
17. Erf 729 & 2254 included in consent vide Dgm 771/2018 Erf 2255  
18. Erf 834, beacons replaced to Reg 18(2) vide sr2008/1953 as well as change in beacon descriptions. See S/8692/5 v2 Pages 228-229.  
19. Erf 777 & 859, beacons replaced vide SR630/2023  
20. Erf 946 framed vide Dgm 1865/2025

Continued from Sheet 5

ENDORSEMENTS : CONTINUED FROM ABOVE					
No.	AMENDMENT	ADDITION	AUTHORITY	INTD.	DATE
7	PORTIONS OF NORTH STREET CLOSED	Erven 2657 & 2658	L/A CONSENT DATED 1951/01/01 REF: Erf 556 WILDERNESS File: S/8692/5 v2 p. 200		4/1/2002

Orig Dgm No. 3003/1953.  
S.G. File S. 8692/5.  
Siy Roads E. 2008/53.  
Dep. Sigs. AL-4003, AL-8021,  
AL-24A, AL-24B,  
E. 2001/53  
18-3-1970

Numbered under the Provisions of the Deeds Registries Act No. 47 of 1937.  
*J. J. J. J.*  
for SURVEYOR-GENERAL  
18-3-1970



T P

# GENERAL PLAN 1065 LD OF WILDERNESS TOWNSHIP EXTENSION NO. 2.

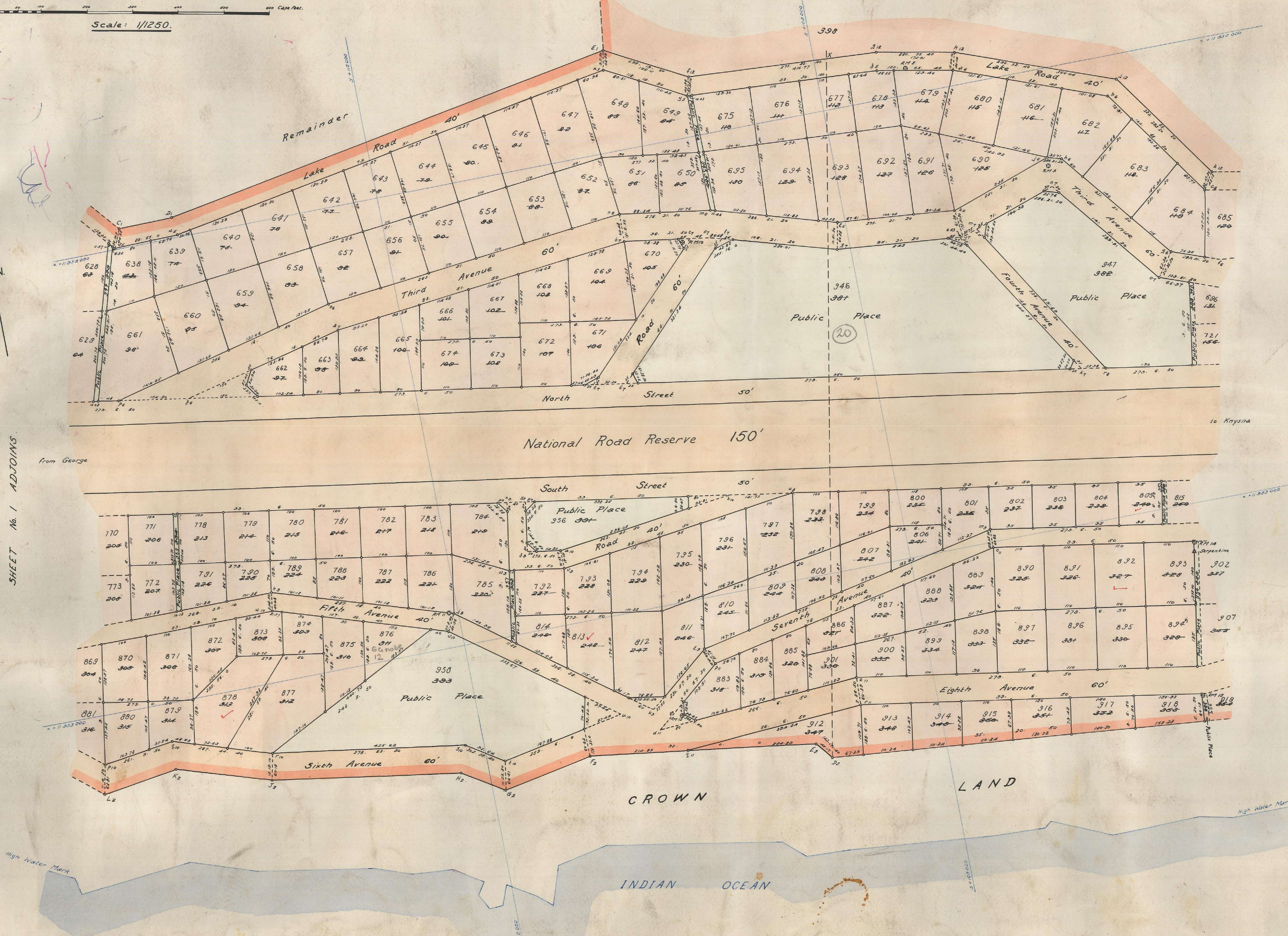
C.D.R.

Surveyed in May 1950-July 1951 by us

*J. H. Harswell*  
LAND SURVEYORS.

Scale: 1/1250.

SHEET No. 4 ADJOINS.



SHEET No. 1 ADJOINS.

SHEET No. 3 ADJOINS.

Orig. Dgm. No. 3015/53.  
 S.G. File 5.8692/5  
 Surv. Roads E.2008/53  
 BL-CC, BL-CCD,  
 Dep. Shes. BL-CC/23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

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T P

# GENERAL PLAN 1065 LD OF WILDERNESS TOWNSHIP EXTENSION NO. 2.



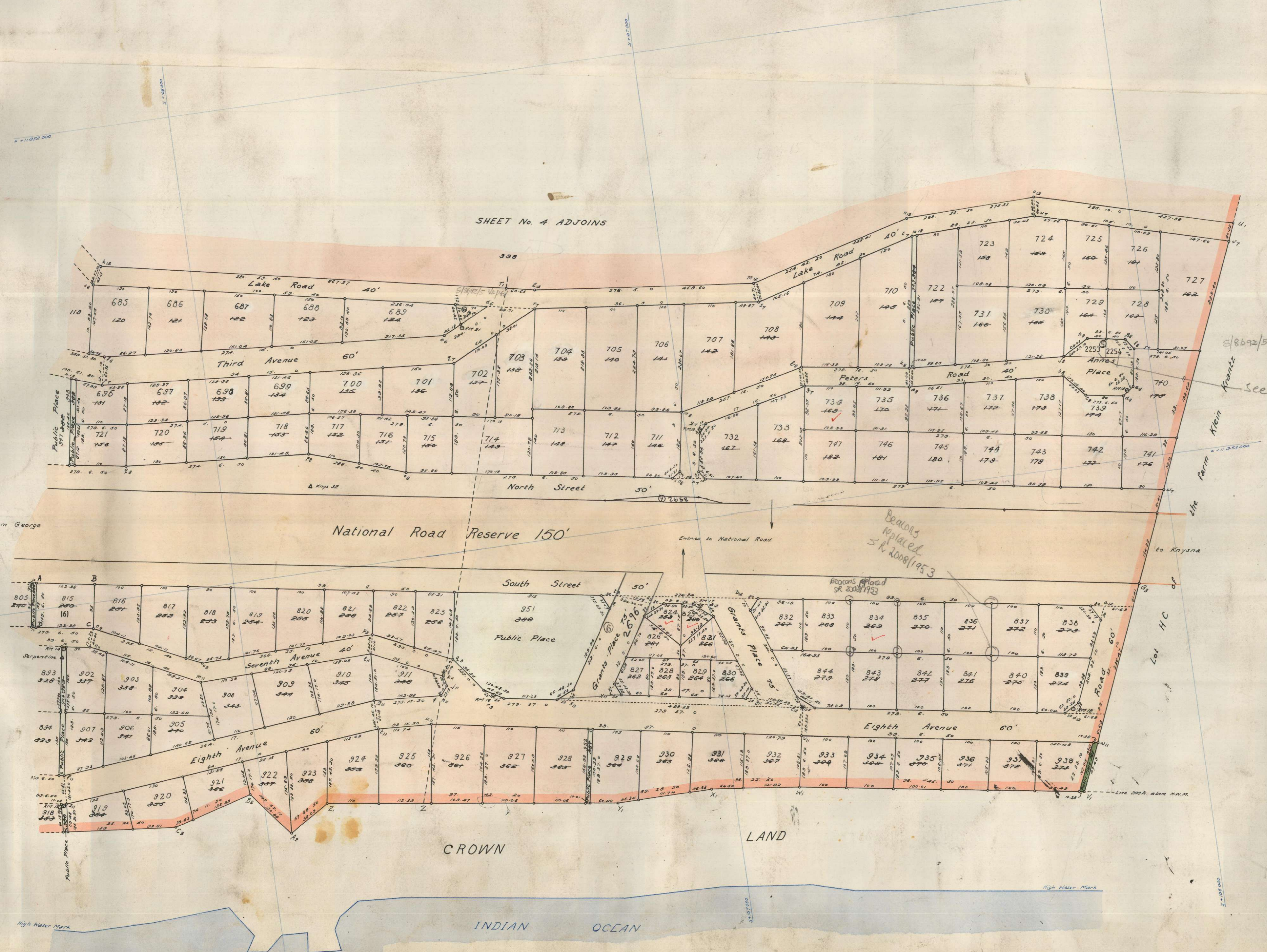
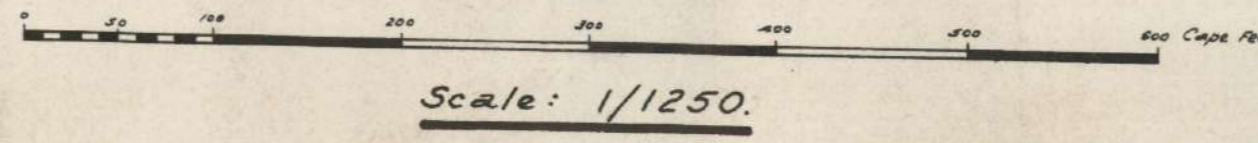
Surveyed in May 1950 - July 1951 by us

*J. H. ...*  
LAND SURVEYORS.

LAND SURVEYORS.

### BEACONS.

- V1, W1, X1, Y1, Z1, A2
  - B2, C2, D2, E2, F2, G2
  - H2, J2, L2, M2, O2, P2
  - Q2, R2, S2, T2
  - G2 planted stone 10" x 6", proj. 12"
  - R1 - " 15" x 6", " 20"
  - S1 - " 12" x 12", " 18"
  - K1, M1, N1, O1, P1 - 3/4" x 1/2" iron pegs, proj. 6"
  - Y2, Z2, A3, B3, C3, D3, E3, F3, G3, H3, J3, L3, M3, O3, P3 - 3/4" x 1/2" iron pegs, proj. 6"
  - L1, Q1 conc. base, 7" x 6", 3/8" high, proj. 6"
  - F1 3" diam. creosoted wooden pole, proj. 18"
  - G1 3/4" section iron rail, proj. 6"
  - H1 1/2" diam. iron pipe, proj. 3"
  - All other beacons 3" diam. creosoted wooden pole, proj. 10"
- RM 1, RM 2, RM 3, RM 4, RM 5, RM 6  
RM 7, RM 8, RM 9, RM 10, RM 11, RM 12  
RM 13, RM 14, RM 15, RM 16, RM 17, RM 18  
RM 19, RM 20, RM 21, RM 22, RM 23.
- 815 D - 16mm iron peg



See SG Note 16-17

SHEET No. 2 ADJOINS

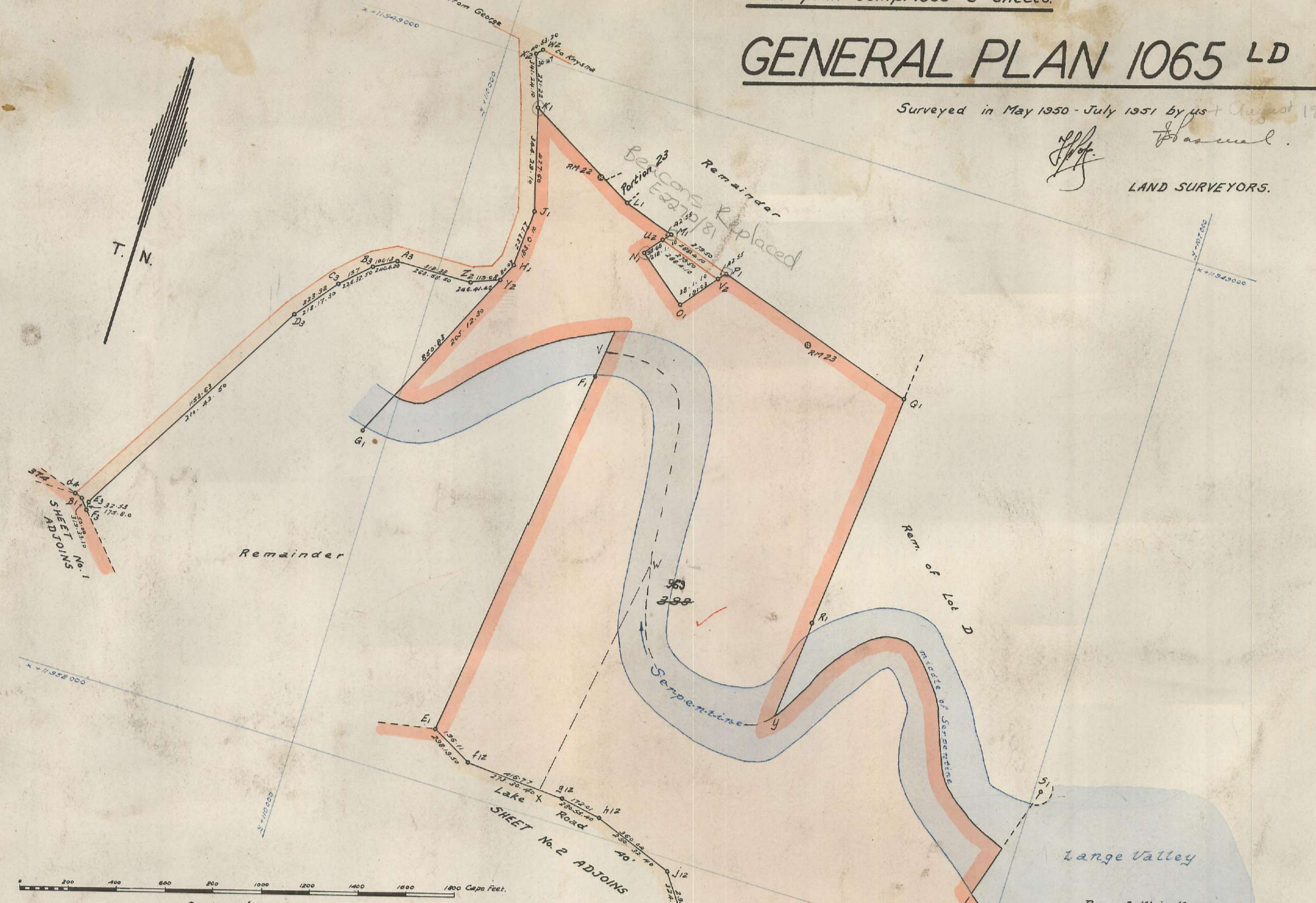
Orig. Dgm. No. 3016/50.  
S.G. File 3. 8096/53.  
Srv. Recd. E. 2008/50.  
Dep. Sigs. BL-800, BL-801/2/3  
AL-2AA, AL-2AB/III  
BL-800/2/4 MATOU



T P WILDERNESS AA  
**GENERAL PLAN 1065 LD OF WILDERNESS TOWNSHIP EXTENSION NO. 2.**

Sheet No. 4.  
 No. 8036/1953  
 Approved  
**C.D.R.** *B. C. C. C.*  
 SURVEYOR GENERAL

Surveyed in May 1950 - July 1951 by *us* & *us* & *us* 1953



ERF NOS.	AREAS Sq. Ft.	DIAGRAM NOS.	TRANSFER REF.	ERF NOS.	AREAS Sq. Ft.	DIAGRAM NOS.	TRANSFER REF.	ERF NOS.	AREAS Sq. Ft.	DIAGRAM NOS.	TRANSFER REF.
1	13 200	5119/1953	856 354	134	11 301	1744/66		267	11 119	9866/60	
2	12 300	3006/1965		135	11 600	5762/65		268	11 600		
3	13 400			136	12 300	1742/66		269	11 000		
4	14 200	8205/67		137	12 300	1747/66		270	11 000	309/1966	8699
5	15 100	251/1964		138	12 300	1748/66		271	11 000	5550/1967	
6	16 200	7077/68		139	12 300	1749/66		272	11 000	8367/1967	
7	17 300	2615/1965		140	24 372	1750/66		273	12 000	553/1968	
8	18 400	4390/1967		141	22 707	1751/66		274	11 622	7659/1968	
9	19 500	3617/66		142	22 178	1752/66		275	12 000	7659/1968	
10	20 600	1695/66		143	20 048	1753/66		276	12 000	7700/1968	
11	21 700			144	24 307	5208/68		277	12 000	3072/67	
12	22 800	8753/67		145	27 373	4251/70		278	12 000	5767/68	
13	23 900	1636/66		146	24 657	8619/1965		279	12 300	5767/68	
14	25 000	4620/69		147	13 373	1754/66		280	12 300	5767/68	
15	26 100	625/190		148	13 373	1755/66		281	12 300	5767/68	
16	27 200	7196/1967		149	13 373	1756/66		282	12 300	5767/68	
17	28 300	2077/68		150	20 358	1757/66		283	12 300	5767/68	
18	29 400			151	13 373	1758/66		284	12 300	5767/68	
19	30 500			152	11 418	1759/66		285	12 300	5767/68	
20	31 600			153	10 366	1760/66		286	12 300	5767/68	
21	32 700			154	11 361	1761/66		287	12 300	5767/68	
22	33 800	1502/1964	1865 8702	155	11 361	1762/66		288	12 300	5767/68	
23	34 900	6245/67		156	11 361	3453/65		289	12 300	5767/68	
24	36 000	6003/68		157	11 361	448/68		290	12 300	5767/68	
25	37 100	4082/67		158	11 361	2035/1966		291	12 300	5767/68	
26	38 200	3493/68		159	11 361	717/67		292	12 300	5767/68	
27	39 300	3501/62		160	11 361	443/62		293	12 300	5767/68	
28	40 400	1078/71		161	11 361	635/1967		294	12 300	5767/68	
29	41 500	8466/67		162	11 361	343/67		295	12 300	5767/68	
30	42 600	1818/68		163	11 361	182/63		296	12 300	5767/68	
31	43 700	1695/66		164	10 450	1893/69		297	12 300	5767/68	
32	44 800	8612/1965		165	10 450	1762/66		298	12 300	5767/68	
33	45 900	8778/1961		166	10 450	1763/66		299	12 300	5767/68	
34	47 000	3601/1968		167	10 450	447/68		300	12 300	5767/68	
35	48 100	1718/69		168	10 450	0.48/1960		301	12 300	5767/68	
36	49 200	2746/63		169	10 450	225/1961		302	12 300	5767/68	
37	50 300	1189/1959		170	10 450	6703/1958		303	12 300	5767/68	
38	51 400	6113/1962		171	11 700	1487/1967		304	12 300	5767/68	
39	52 500	2160/71		172	12 266	6216/66		305	12 300	5767/68	
40	53 600	3653/1957		173	12 170	9106/70		306	12 300	5767/68	
41	54 700			174	12 322	3191/1965		307	12 300	5767/68	
42	55 800	3729/1964		175	12 322	3419/68		308	12 300	5767/68	
43	56 900	3568/1961		176	12 322	3620/1965		309	12 300	5767/68	
44	58 000	3263/1961		177	12 322	2830/1966		310	12 300	5767/68	
45	59 100	3408/1967		178	12 322	3414/1967		311	12 300	5767/68	
46	60 200	1433/63		179	12 322	3144/1967		312	12 300	5767/68	
47	61 300	1457/63		180	12 322	11360/1965		313	12 300	5767/68	
48	62 400	5887/1967		181	12 322	6921/71		314	12 300	5767/68	
49	63 500	4896/1966		182	12 322			315	12 300	5767/68	
50	64 600	6846/64		183	12 322			316	12 300	5767/68	
51	65 700	582/1964		184	2 1537 meq.	6847/64	1945 8638	317	12 300	5767/68	
52	66 800			185	2 1537 meq.			318	12 300	5767/68	
53	67 900	1180/1958		186	12 800	1160/58		319	12 300	5767/68	
54	69 000	6394/1964		187	12 800	1161/58		320	12 300	5767/68	
55	70 100	10334/69		188	12 800	1162/58		321	12 300	5767/68	
56	71 200	7203/66		189	12 800	1163/58		322	12 300	5767/68	
57	72 300	1700/66		190	12 800	1164/58		323	12 300	5767/68	
58	73 400	1707/66		191	12 800	1165/58		324	12 300	5767/68	
59	74 500	1703/66		192	12 800	1166/58		325	12 300	5767/68	
60	75 600	1704/66		193	12 800	1167/58		326	12 300	5767/68	
61	76 700	1705/66		194	12 800	1168/58		327	12 300	5767/68	
62	77 800	1706/66		195	12 800	1169/58		328	12 300	5767/68	
63	78 900	1707/66		196	12 800	1170/58		329	12 300	5767/68	
64	80 000	1708/66		197	12 800	1171/58		330	12 300	5767/68	
65	81 100	1709/66		198	12 800	1172/58		331	12 300	5767/68	
66	82 200	1710/66		199	12 800	1173/58		332	12 300	5767/68	
67	83 300	1711/66		200	12 800	1174/58		333	12 300	5767/68	
68	84 400	1712/66		201	12 800	1175/58		334	12 300	5767/68	
69	85 500	1713/66		202	12 800	1176/58		335	12 300	5767/68	
70	86 600	1714/66		203	12 800	1177/58		336	12 300	5767/68	
71	87 700	1715/66		204	12 800	1178/58		337	12 300	5767/68	
72	88 800	1716/66		205	12 800	1179/58		338	12 300	5767/68	
73	89 900	1717/66		206	12 800	1180/58		339	12 300	5767/68	
74	91 000	1718/66		207	12 800	1181/58		340	12 300	5767/68	
75	92 100	1719/66		208	12 800	1182/58		341	12 300	5767/68	
76	93 200	1720/66		209	12 800	1183/58		342	12 300	5767/68	
77	94 300	1721/66		210	12 800	1184/58		343	12 300	5767/68	
78	95 400	1722/66		211	12 800	1185/58		344	12 300	5767/68	
79	96 500	1723/66		212	12 800	1186/58		345	12 300	5767/68	
80	97 600	1724/66		213	12 800	1187/58		346	12 300	5767/68	
81	98 700	1725/66		214	12 800	1188/58		347	12 300	5767/68	
82	99 800	1726/66		215	12 800	1189/58		348	12 300	5767/68	
83	100 900	1727/66		216	12 800	1190/58		349	12 300	5767/68	
84	102 000	1728/66		217	12 800	1191/58		350	12 300	5767/68	
85	103 100	1729/66		218	12 800	1192/58		351	12 300	5767/68	
86	104 200	1730/66		219	12 800	1193/58		352	12 300	5767/68	
87	105 300	1731/66		220	12 800	1194/58		353	12 300	5767/68	
88	106 400	1732/66		221	12 800	1195/58		354	12 300	5767/68	
89	107 500	1733/66		222	12 800	1196/58		355	12 300	5767/68	
90	108 600	1734/66		223	12 800	1197/58		356	12 300	5767/68	
91	109 700	1735/66		224	12 800	1198/58		357	12 300	5767/68	
92	110 800	1736/66		225	12 800	1199/58		358	12 300	5767/68	
93	111 900	1737/66		226	12 800	1200/58		359	12 300	5767/68	
94	113 000	1738/66		227	12 800	1201/58		360	12 300	5767/68	
95	114 100	1739/66		228	12 800	1202/58		361	12 300	5767/68	
96	115 200	1740/66		229	12 800	1203/58		362	12 300	5767/68	
9											



# **ANNEXURE 5**



**LEGEND:**



A4 Scale:  
1:3,000

**PROJECT:** Proposed departures & administrators consent for EL & IM Magnus  
**PROJEK:**

**DESCRIPTION:** Erf 588, Wilderness □  
**BESKRYWING:**

**TITLE:** Locality plan  
**TITEL:**  
1519/GEO/26/GIS/Ligging

**DESIGNED:** SG  
**ONTWERP:**

**DRAWN:** MV  
**GETEKEN:**

**DATE:** MAY 2026  
**DATUM:**

**PLAN NO:** ANNEXURE 5  
**PLAN NR:**

Tel: 044 873 4566, Email: [planning@delplan.co.za](mailto:planning@delplan.co.za)  
[www.delplan.co.za](http://www.delplan.co.za)

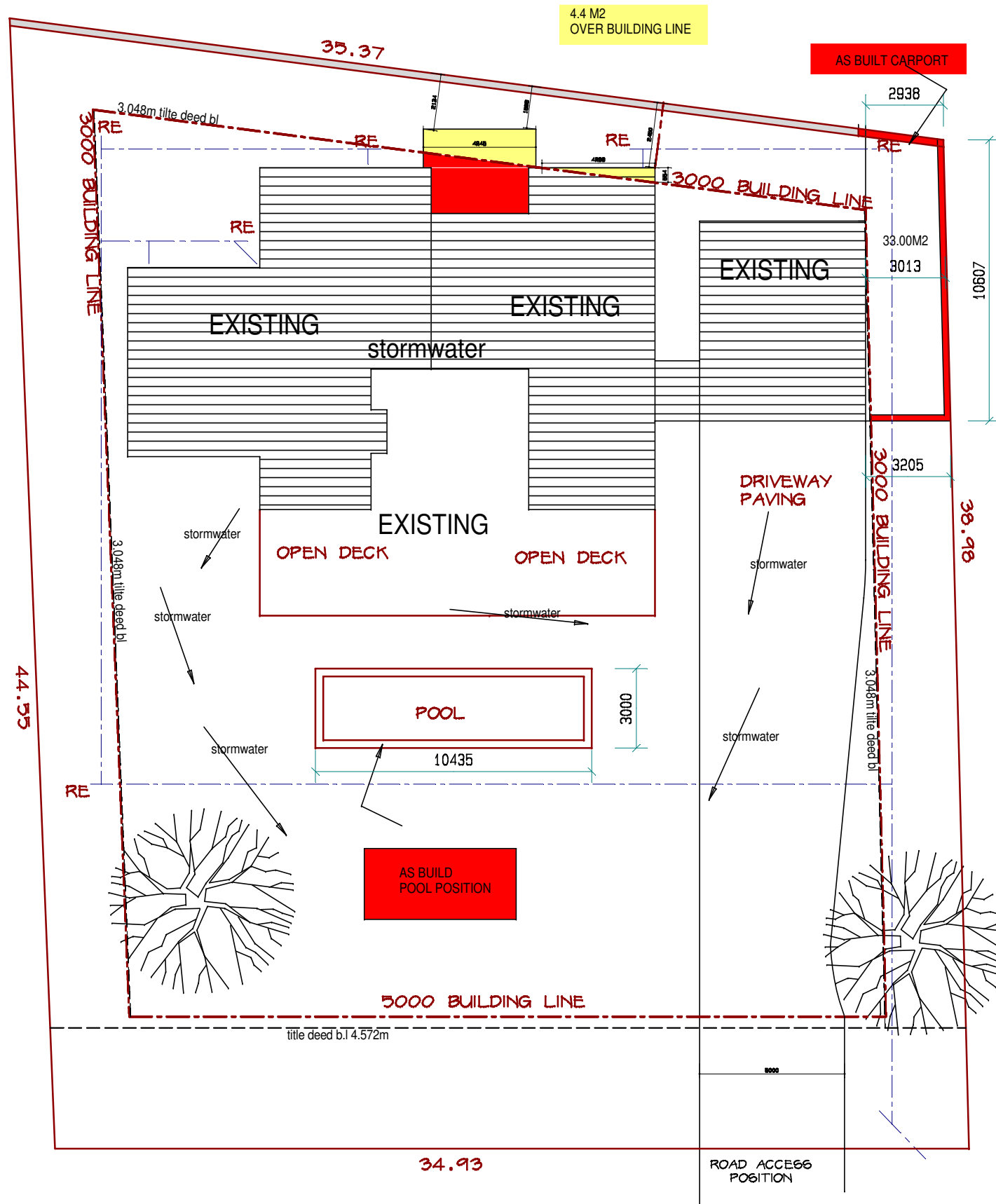


URBAN & REGIONAL PLANNERS

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**KOPIEREG:** Die kopiereg van hierdie tekening behoort aan DELplan Consulting. Moenie daarvan afskaal nie, maar verwys na afstande soos aangedui. Alle afmetings moet deur 'n professionele Landmeter nagegaan en bevestig word. Enige teenstrydighede moet asseblief dadelik aan DELplan rapporteer word.

# **ANNEXURE 6**



● SITE PLAN  
 scale: 1:200

**SPECIFICATIONS GENERAL:**  
 Dpc to be min 150mm above finish ground level  
 Step risers and treads as indicated.

**LINTELS:**  
 PC lintels to have min 4 courses of brickwork with brickforce in every course over all openings  
 not more than 3.0m laid to man. specs.

**STRUCTURE:**  
 All support structures such as beam, retaining walls, concrete slabs, steel and concrete staircases, structural walls and roofs as per structural engineers details.

**MECHANICAL EXTRACTION:**  
 To comply with SANS 10400, Part O.

**FOUNDATION FOOTINGS:**  
 All new foundation footings as per engineers drawings.  
 All existing foundations and footings to be inspected by the engineer.

**WALLS:**  
 Internal brick walls - 110mm or 230mm thick to be plastered and painted to later specification.  
 External brick walls - 270mm cavity walls to be plastered and painted to later specification.  
 All existing boundary walls to be retained.  
 New boundary walls are to comply with part 'K' of the SANS 10 400.  
 All retaining walls to engineers detail.  
 All lateral walls exceeding their max. unsupported length to have stiffeners as eng. detail.

**FLOORS:**  
 New concrete surface beds, to engineers detail, on 250 micron Dpm on 50mm sand bedding  
 layer on well compacted fill.  
 New surface bed to be in with existing. New and existing Dpm to overlap and sealed from water penetration.  
 All new floor slabs to engineers design and detail in accordance with part 'F' of the SANS 10 400  
 New concrete floor slabs to allow for finish on cement screed. Finishes to later specification.

**ROOF:**  
 Waterproofing system as per specialist detail on screed to fall to fullbore outlets on new flat concrete roof slab as per engineers detail.  
 New steep roof structure with Riplok roof sheeting.

**GLAZING:**  
 All new glazing less than 500mm above floor to be safety glazed in accordance with SANS 10400 part N.  
 All glazing to comply with SANS 10137 and SANS 10400 Part N. Access doors and side lights, windows lower than 1800mm above pitch line of stairs and shop fronts to be safety glass. Glass type to adhere to Table 1-6 of SANS 10400 Part N.

**WINDOWS:**  
 All new windows to be aluminium framed. All glazing to comply with SANS 10 400 part N as per the note on glazing above. Windows to be waterproofed.

**SLIDING DOORS:**  
 New sliding doors throughout the house to be 2035 mm high glazed aluminium frame. All glazing to comply with SANS 10 400 part N as per the note on glazing above. External sliding doors to be waterproofed.

All pipes below surface beds to be encased in concrete.  
 50% OF HOT WATER TO BE BY NON-ELECTRICAL MEANS  
 HOT WATER PIPING INSULATION TO BE - R-VALUE OF 1

ELECTRICAL LEGEND		ALL EXTERNAL LIGHTS STAINLESS STEEL
	TELEPHONE POINT	
	TV - POINT	
	WALL PLUG	
	LIGHT SWITCH	
	LIGHT SWITCH WITH DIMMER	
	DISTRIBUTION BOARD	
	INTERCOM	
	EXTERIOR WATERTIGHT LIGHT	
	PENDANT LIGHT	
	INTERNAL WALL MOUNTED LIGHT	
	LOW VOLTAGE INTERNAL LIGHT POINT	
	SINGLE FLOURESCENT LIGHT	
	DOUBLE FLOURESCENT LIGHT	
	TWO WAY LIGHT SWITCH	
	STOVE ISO	
	VENT FOR MECHANICAL EXTRACTOR	
	HEATED TOWEL RAIL ELECTRICAL POINT	
	WATERPOINT	

**EDDIE DA SILVA AND ASSOCIATES ARCHITECT**  
 CHURCH CORNER BUILDING  
 SHOP BESPOKE GROUND FLOOR  
 TEL: 044 873 2454

EDDIE DA SILVA AND ASSOCIATES  
 (SACAP reg pr arch 7719)  
 SAIA / CIPA REG NO 7794

CONDES@NETACTIVE.CO.ZA  
 WWW.EDDIEDASILVA.CO.ZA

**PROJECT**  
 RECORD PLAN - AS BUILT  
 FOR MAGNUS FAMILY  
 ON ERF 588 WILDERNESS  
 570735

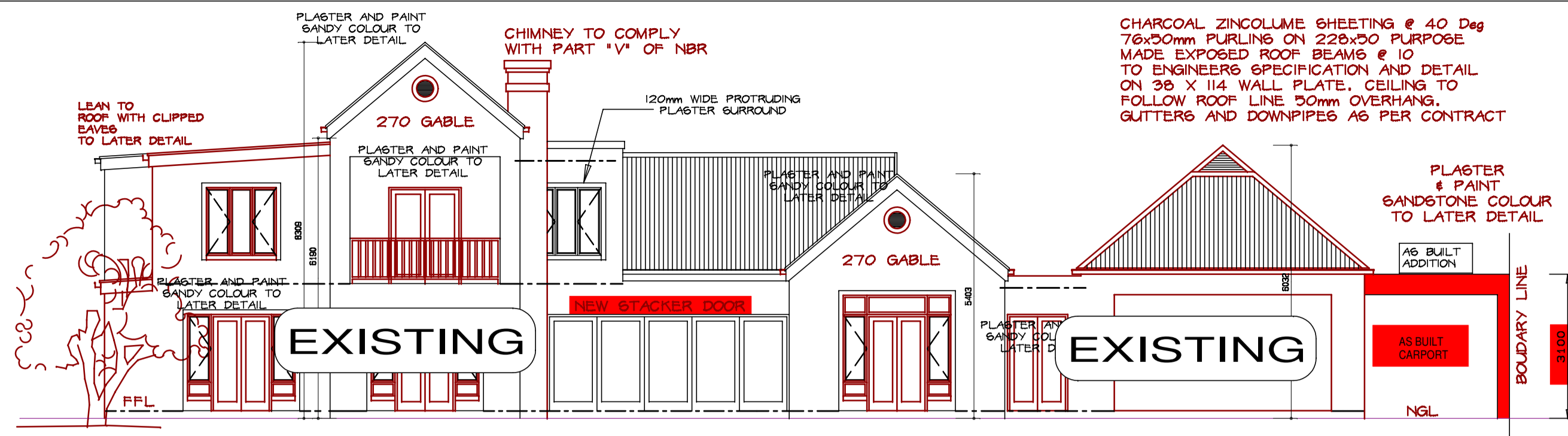
SITEPLAN

DESIGNED: EDS  
 DRAWN: EDS, RNEL

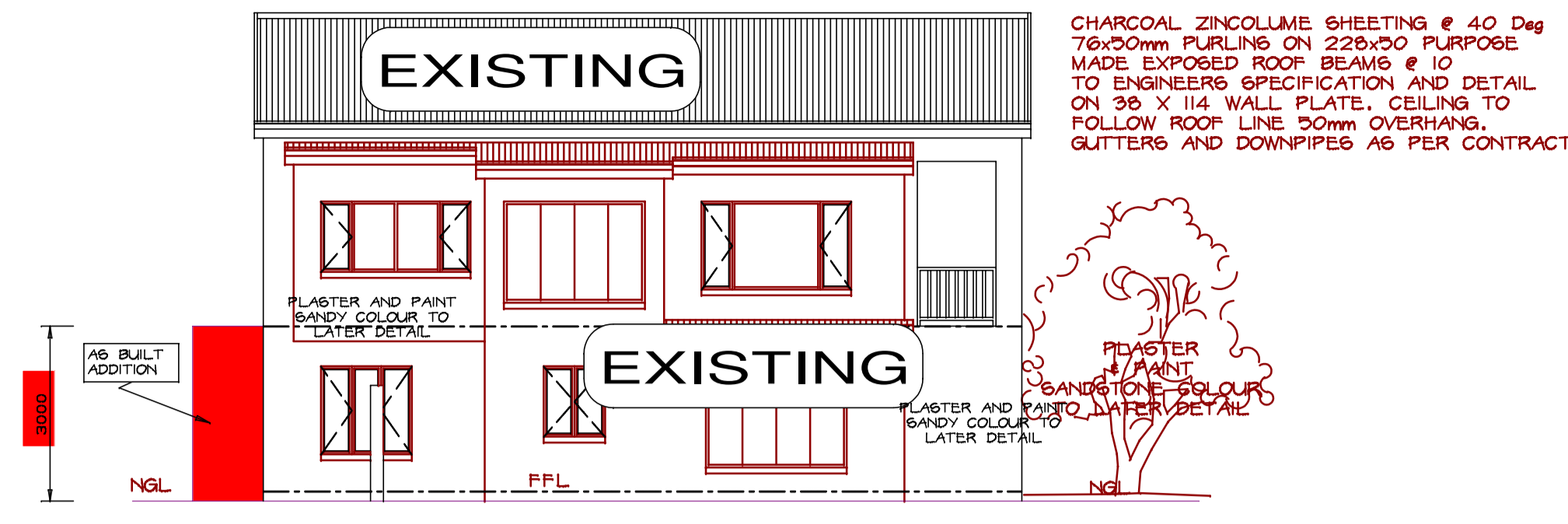
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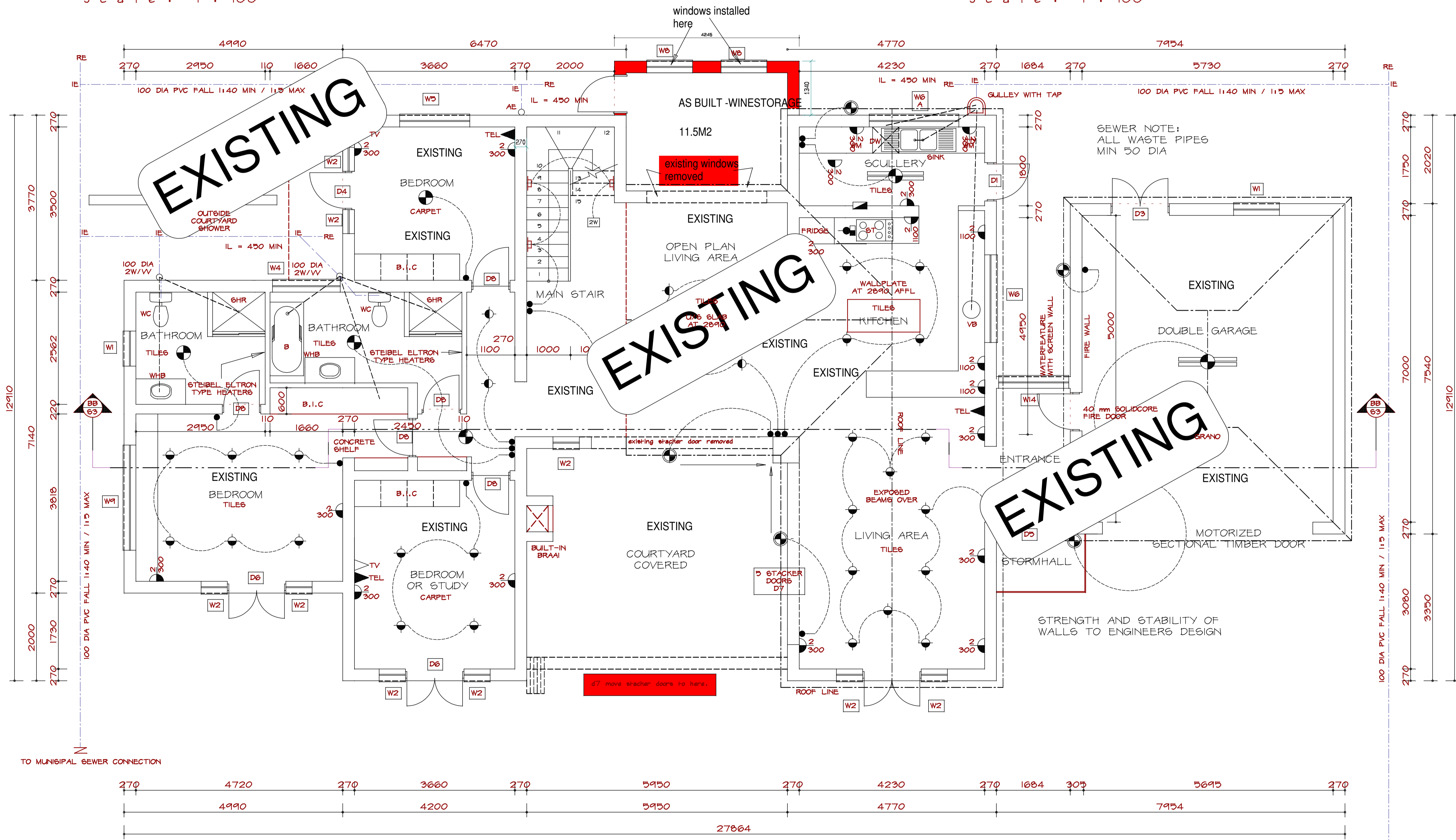
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● NORTH ELEVATION  
scale: 1:100



● WEST ELEVATION  
scale: 1:100



● GROUND FLOOR PLAN  
scale: 1:50

**SPECIFICATIONS GENERAL:**  
Dcc to be min 150mm above finish ground level  
Step risers and treads as indicated.

**LINTELS:**  
PC lintels to have min 4 courses of brickwork with brickforce in every course over all openings  
not more than 3.0m laid to man. specs.

**STRUCTURE:**  
All support structures such as beam, retaining walls, concrete slabs, steel and concrete staircases, structural walls and roofs as per structural engineers details.

**MECHANICAL EXTRACTION:**  
To comply with SANS 10400, Part O.

**FOUNDATION FOOTINGS:**  
All new foundation footings as per engineers drawings.  
All existing foundations and footings to be inspected by the engineer.

**WALLS:**  
Internal brick walls - 110mm or 230mm thick to be plastered and painted to later specification.  
External brick walls - 270mm cavity walls to be plastered and painted to later specification.  
All retaining boundary walls to be retained.  
New boundary walls are to comply with part KK11 of the SANS 10 400.  
All retaining walls to engineers detail.  
All lateral walls exceeding their max. unsupported length to have stiffeners as eng. detail.

**FLOORS:**  
New concrete surface beds, to engineers detail, on 250 micron Dpm on 50mm sand bedding  
layer on well compacted fill.  
New surface bed to tie in with existing. New and existing Dpm to overlap and sealed from water penetration.  
All new floor slabs to engineers design and detail in accordance with part B' of the SANS 10 400.  
New concrete floor slabs to allow for finish on cement screed. Finishes to later specification.

**ROOF:**  
Waterproofing system as per specialist detail on screed to fall to fulfill  
outlets on new flat  
concrete roof slabs as per engineers detail.  
New steel roof structure with kip lok roof sheeting.

**GLAZING:**  
All new glazing less than 500mm above fl to be safety glazed in accordance with SANS 10400 part N.  
All glazing to comply with SANS 10137 and SANS 10400 Part N. Access doors and side lights, windows lower than 1800mm above pitch line of stairs and shop fronts to be safety glass. Glass type to adhere to Table 1-6 of SANS 10400 Part N.

**WINDOWS:**  
All new windows to be aluminum framed. All glazing to comply with SANS 10 400 part N as per the note on glazing above. Windows to be waterproofed.

**SLIDING DOORS:**  
New sliding doors throughout the house to be 2635 mm high glazed aluminum frame. All glazing to comply with SANS 10 400 part N as per the note on glazing above. External sliding doors to be waterproofed.

All pipes below surface beds to be enclosed in concrete.  
50% OF HOT WATER TO BE BY NON-ELECTRICAL MEANS  
HOT WATER PIPING INSULATION TO BE R-VALUE OF 1

ELECTRICAL LEGEND		ALL EXTERNAL LIGHTS STAINLESS STEEL
TEL	TELEPHONE POINT	
TV	TV - POINT	
2	WALL PLUG	
●	LIGHT SWITCH	
●	LIGHT SWITCH WITH DIMMER	
□	DISTRIBUTION BOARD	
□	INTERCOM	
○	EXTERIOR WATERTIGHT LIGHT	
○	PENDANT LIGHT	
○	INTERNAL WALL MOUNTED LIGHT	
○	LOW VOLTAGE INTERNAL LIGHT POINT	
○	SINGLE FLOURESCENT LIGHT	
○	DOUBLE FLOURESCENT LIGHT	
□	TWO WAY LIGHT SWITCH	
□	STOVE ISO	
□	VENT FOR MECHANICAL EXTRACTOR	
HTR POINT	HEATED TOWEL RAIL ELECTRICAL POINT	
WP	WATERPOINT	

**EDDIE DA SILVA AND ASSOCIATES ARCHITECT**  
CHURCH CORNER BUILDING SHOP SPOKE GROUND FLOOR  
TEL: 044 873 2454

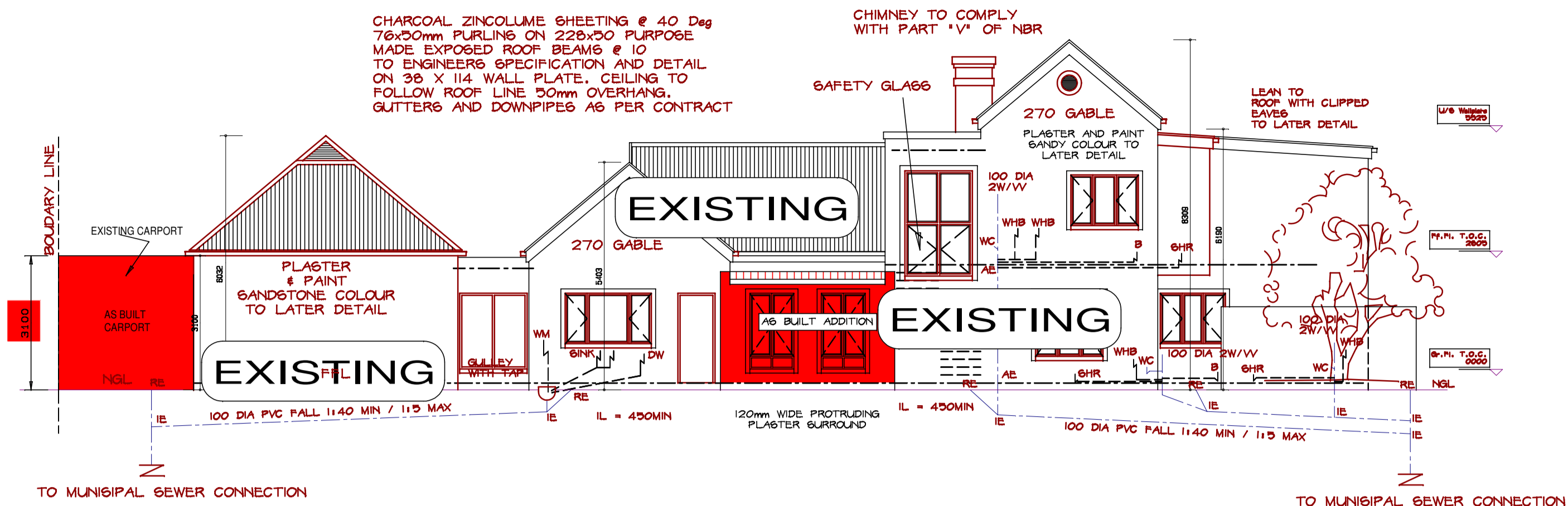
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S.A. / C.P.A. REG NO 7734 WWW.EDDIEDASILVA.CO.ZA

**PROJECT**  
RECORD PLAN - AS BUILT FOR MAGNUS FAMILY ON ERF 388 WILDERNESS ST015

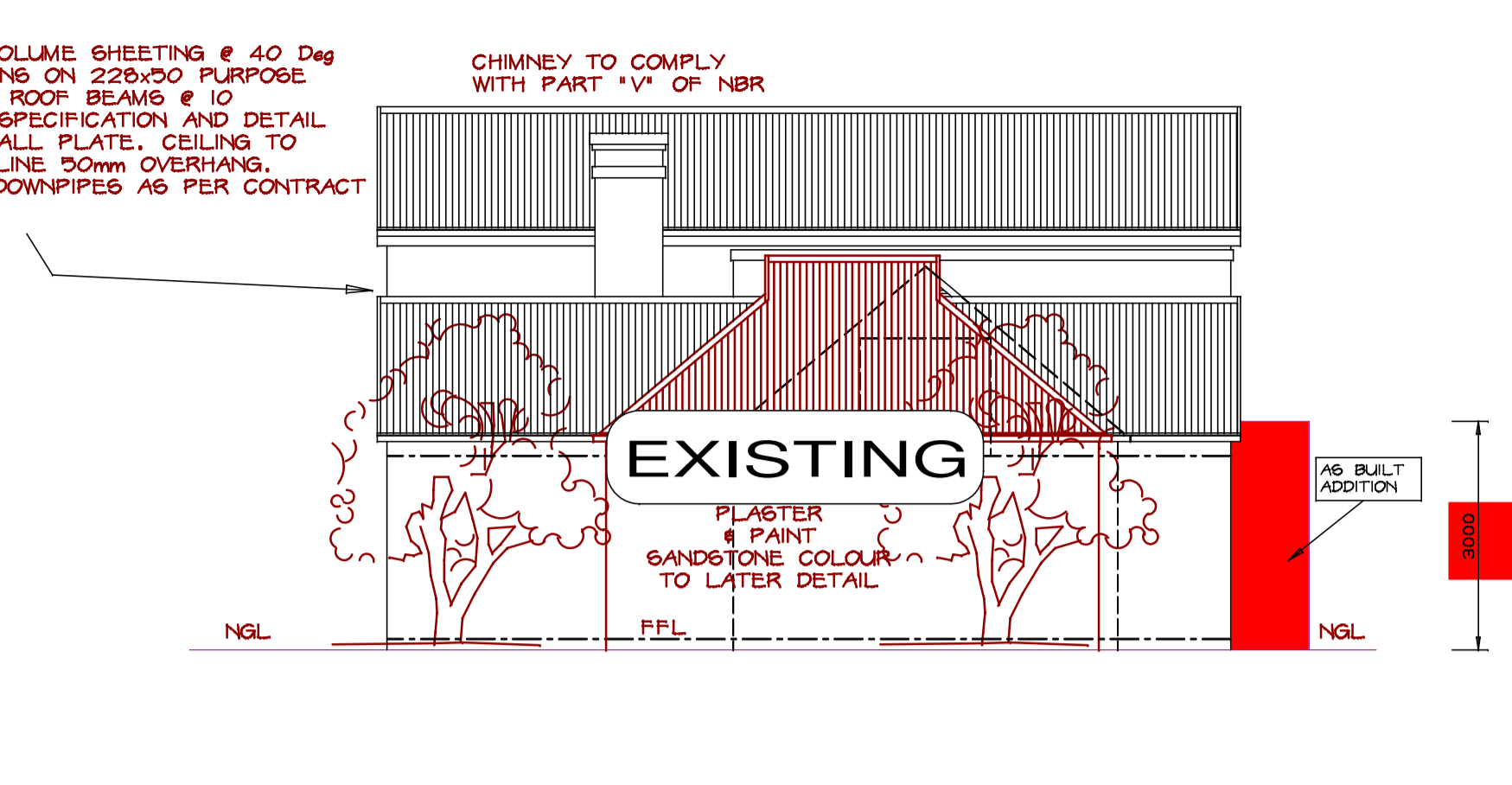
FLOOR PLAN ELEVATIONS: SIGNATURE OWNER, SIGNATURE ARCHITECT

DESIGNED: EDS DRAWN: PNEL  
REVISED: DATE: APRIL 2026  
REVISED: DATE  
REVISED: DATE  
REVISED: DATE  
REF NO

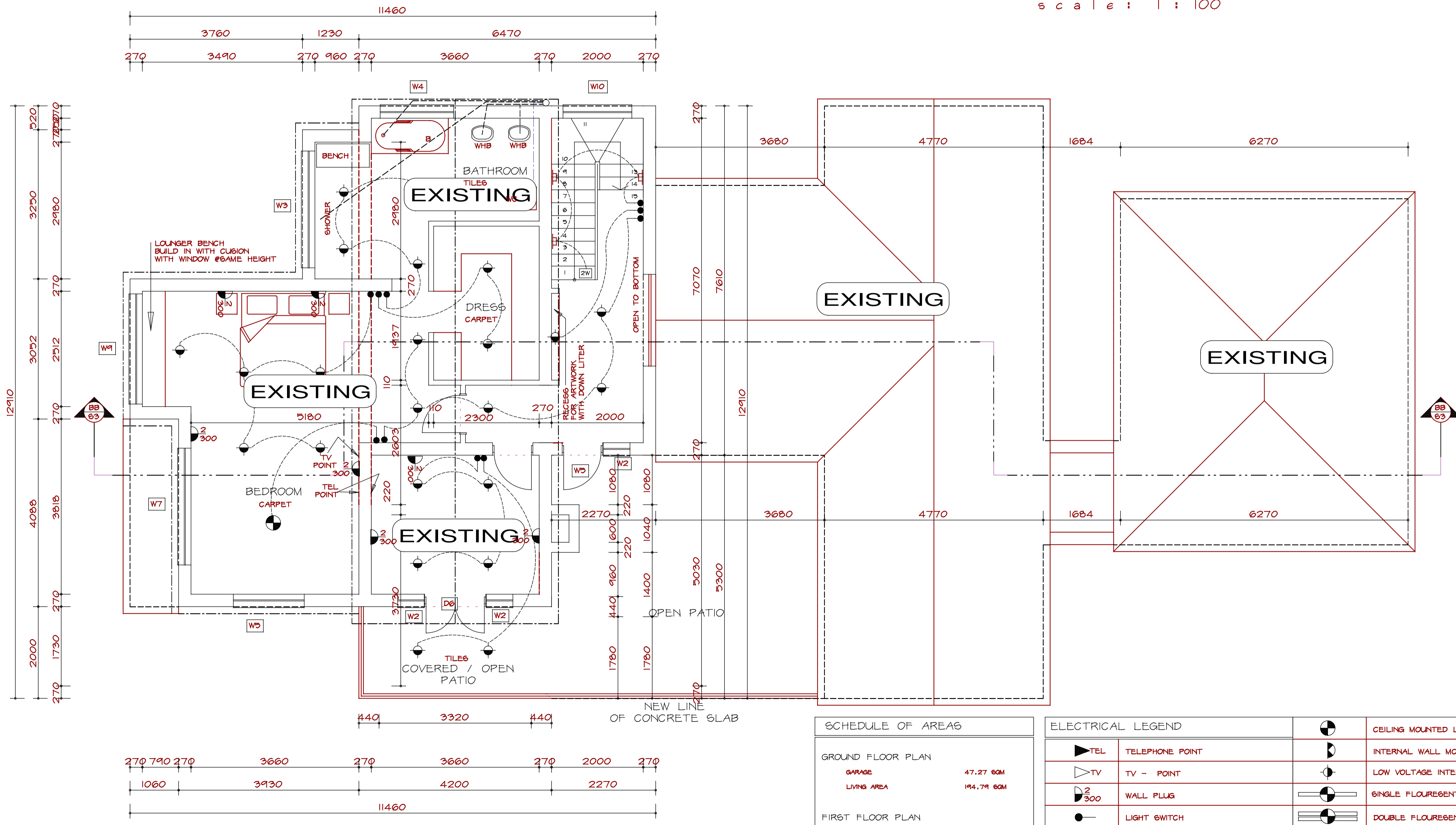
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● SOUTH ELEVATION  
scale: 1:100



● WEST ELEVATION  
scale: 1:100



● FIRST FLOOR PLAN  
scale: 1:50

SCHEDULE OF AREAS	
GROUND FLOOR PLAN	
GARAGE	47.27 SQM
LIVING AREA	194.79 SQM
FIRST FLOOR PLAN	
LIVING AREA	66.29 SQM
COVERED PATIO	6.56 SQM
OPEN PATIO (7.47 SQM)	
TOTAL COVERED AREA	336.91 SQM

ELECTRICAL LEGEND	
TEL	TELEPHONE POINT
TV	TV - POINT
2/300	WALL PLUG
●	LIGHT SWITCH
●-D	LIGHT SWITCH WITH DIMMER
□	DISTRIBUTION BOARD
□	INTERCOM
⊙	EXTERIOR WATERTIGHT LIGHT
⊙	CEILING MOUNTED LIGHT
⊙	INTERNAL WALL MOUNTED LIGHT
⊙	LOW VOLTAGE INTERNAL LIGHT POINT
⊙	SINGLE FLOURESCENT LIGHT
⊙	DOUBLE FLOURESCENT LIGHT
□	TWO WAY LIGHT SWITCH
⊙	STOVE ISO
⊙	VENT FOR MECHANICAL EXTRACTOR
⊙	FOOT LIGHT

ELECTRICAL LEGEND	
TEL	TELEPHONE POINT
TV	TV - POINT
2/300	WALL PLUG
●	LIGHT SWITCH
●-D	LIGHT SWITCH WITH DIMMER
□	DISTRIBUTION BOARD
□	INTERCOM
⊙	EXTERIOR WATERTIGHT LIGHT
⊙	PENDANT LIGHT
⊙	INTERNAL WALL MOUNTED LIGHT
⊙	LOW VOLTAGE INTERNAL LIGHT POINT
⊙	SINGLE FLOURESCENT LIGHT
⊙	DOUBLE FLOURESCENT LIGHT
□	TWO WAY LIGHT SWITCH
⊙	STOVE ISO
⊙	VENT FOR MECHANICAL EXTRACTOR
⊙	HEATED TOWEL RAIL ELECTRICAL POINT
⊙	WATERPOINT

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PROJECT	
RECORD PLAN - AS BUILT FOR MAGNUS FAMILY ON ERF 586 WILDERNESS ST0735	
FIRST FLOOR PLAN ELEVATIONS	SIGNATURE OWNER
	SIGNATURE ARCHITECT
DESIGNED	DRAWN
EDS	EDS
	FINEL
REVISED	DATE
	APRIL 2026
REVISED	DATE
	DATE
REVISED	DATE
	DATE
	REF NO

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