

Collaborator No.: 3969135
Reference / Verwysing: Erf 5897, George
Date / Datum: 19 June 2026
Enquiries / Navrae: Andrea Griessel

Email: sanzonette@mscdraftdesign.co.za

SANZONETTE MEINTJES
P O Box 522
GREAT BRAK RIVER
6525

APPLICATION FOR PERMANENT DEPARTURE: ERF 5897, GEORGE

Your application in the above regard refers.

The Senior Manager: Town Planning (Authorised Official) has, under delegated authority, 4.17.3.13 of 24 April 2025 decided that the application for Departure in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for the relaxation of the following building lines on Erf 5897, George:

- a) northern street boundary building line from 5.0m to 4.241m to accommodate the proposed garage;
- b) western street boundary building line from 5.0m to 2.247m to accommodate the proposed garage;

BE APPROVED in terms of Section 60 of said Bylaw for the following reasons:

REASONS:

- A. The proposed departures will not have an adverse impact on the surrounding residential character or the streetscape.
- B. There will be no negative impacts on surrounding neighbours' rights or amenity in terms of views, privacy or overshadowing.
- C. The proposed additions form part of residential development and can be accommodated within the property.
- D. No negative comments or objections were received.

Note:

- *A building plan must be submitted for approval in accordance with the National Building Regulations (NBR).*
- *Stormwater must be managed responsibly, and stormwater management and erosion control measures must be reflected on the building plans.*
- *Note, the developer is to adhere to the requirements of all relevant Acts, as well as all conditions stipulated by any other authority whose approval is required and obtained for this proposed development.*
- *The applicant is to comply with the National Forestry Act, Act No 84 of 1998, should it be required.*

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Planning and Development, P O Box 19, George, 6530 or Directorate: Planning and Development, 46 Market Street (Old York Hostel Building), George **on or before 10 JULY 2026**, and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

Yours faithfully



C PETERSEN
SENIOR MANAGER: TOWN PLANNING

C:\Town Planning\Approvals\Erf 5897, George_approval letter

DO NOT SCALE FROM PLAN

AREA SCHEDULE	
AREA OF ERF 5897 - GEORGE	1 467,00m ²
TOTAL EXISTING AREAS	
EXISTING DWELLING	234,14m ²
EXISTING COVERED PATIO	48,76m ²
EXISTING COVERED BRAAI AREA	39,85m ²
EXISTING OPEN PATIO	148,85m ²
EXISTING SHADENET CARPORT	139,95m ²
EXISTING PERGOLA	25,00m ²
EXISTING TIMBER DECK	127,00m ²
EXISTING TOOL SHED	22,50m ²
EXISTING PATIO COVERED	33,89m ²
TOTAL EXISTING	514,87m²
NEW DOUBLE GARAGE	48,59m ²
TOTAL NEW	48,59m²
TOTAL AREA	563,46m²
COVERAGE	423,88m²
% COVERAGE	75,03%

NEW DOUBLE GARAGE:
 Area: 48,59m²
 Length: 7,580m
 Width: 6,560m
 Height: 3,638m
 Area over BL: 10,65m²

TOTAL AREA OVER BUILDING LINE:
 10,65m²

MUNICIPALITEIT GEORGE MUNICIPALITY
 Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

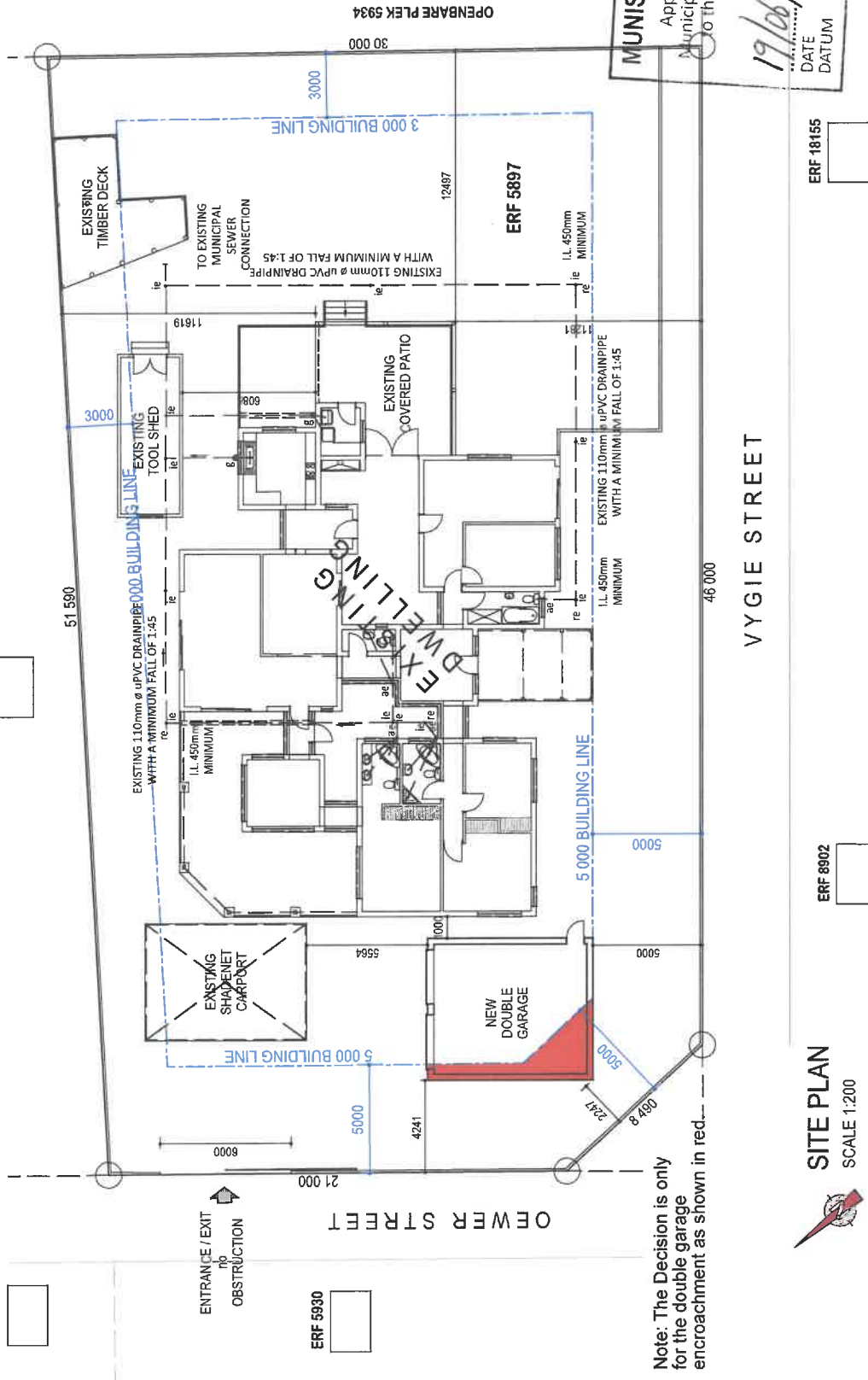
19/06/2026
 DATE DATUM

SENIOR MANAGER: TOWN PLANNING
 SENIOR BESTUURDER: STATISBEPLANNING

MSC DRAFT & DESIGN

Sanzonette Meintjes LLB (Unisa)
 SACAP / SAKAT Registered
 19 Plencoor street, Plencoor strand
 Cell: 082 825 8632

sanzonette@mscdraftdesign.co.za



Note: The Decision is only for the double garage encroachment as shown in red.

SITE PLAN
 SCALE 1:200

PROJECT

BUILDING LINE
 PROPOSED ADDITIONS TO EXISTING DWELLING FOR OWNER N. SLABBERT OF ERF 5897 GEORGE

PROFESSIONAL ENGINEER
 SANZONETTE MEINTJES
 19 Plencoor Street, Plencoor Strand, George, 6140

TITLE
 BUILDING LINE - SHEET 2

SCALE
 As shown

DATE
 NOV 2025

DRAWING NR.
 NSGW/11_25/A3_002

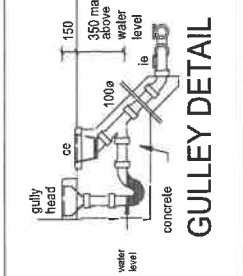
CONSTRUCTION AND SPECIFICATIONS AS PER ENGINEER DETAILS. NO CONSTRUCTION TO COMMENCE WITHOUT ENGINEER & OWNER APPROVAL. ALL DIMENSIONS TO BE CONFIRMED AND CHECKED ON SITE PRIOR TO CONSTRUCTION.

SIGNATURES

OWNER:
 FJ & IR Slabbert

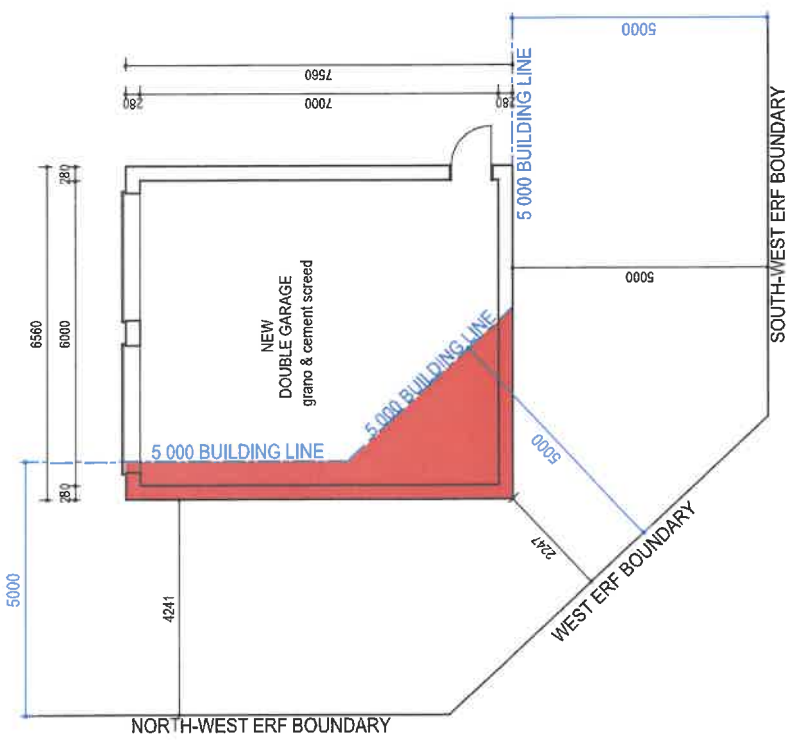
ENGINEER:
 S Meintjes PAD24751286

ARCHITECT / DRAUGHTSPERSON:
 S Meintjes PAD24751286



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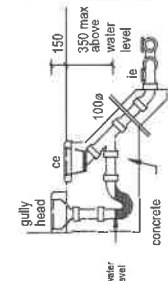
DO NOT SCALE FROM PLAN



GROUND STOREY PLAN: GARAGE
SCALE 1:100



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GULLY DETAIL

SIGNATURES

OWNER:
FJ & IR Slabbert

ENGINEER:
S Meintjes PAD24751266

TITLE

BUILDING LINE - SHEET 1

SCALE

As shown

DATE

NOV 2025

DRAWING N°

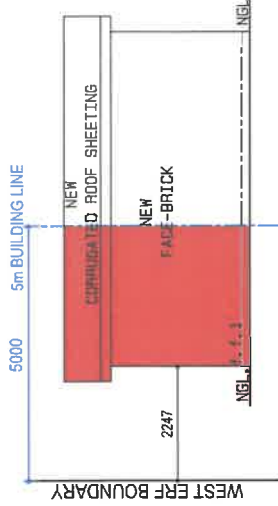
NSGW11.25/A3.001

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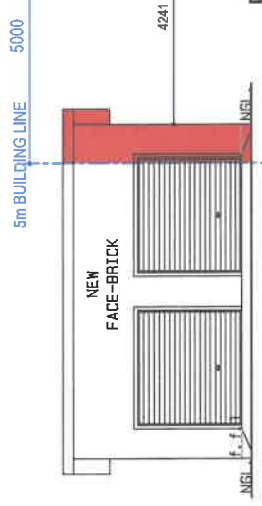
AREA SCHEDULE	1	457.00m ²
AREA OF ERF 5897 - GEORGE		
TOTAL EXISTING AREAS		
EXISTING DWELLING	234.14m ²	
EXISTING COVERED PATIO	46.78m ²	
EXISTING COVERED BRAAI AREA	33.85m ²	
EXISTING OPEN PATIO	(48.68m ²)	
EXISTING SHADENET CARPORT	(38.96m ²)	
EXISTING PERGOLA	(25.05m ²)	
EXISTING TIMBER DECK	(27.00m ²)	
EXISTING TOOL SHED	22.50m ²	
EXISTING PATIO COVERED	33.99m ²	
TOTAL EXISTING	514.97m²	
NEW DOUBLE GARAGE	48.58m ²	
TOTAL NEW	48.58m²	
TOTAL AREA	564.56m²	
COVERAGE	42.88m²	
% COVERAGE	29.08%	

TOTAL AREA OVER BUILDING LINE:
10.65m²

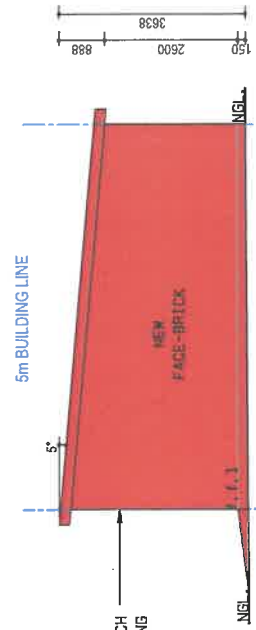
NEW DOUBLE GARAGE:
Area: 49.59m²
Length: 7.560m
Width: 6.560m
Height: 3.638m
Area over BL: 10.65m²



SOUTH-WEST ELEVATION
SCALE 1:100



NORTH-EAST ELEVATION
SCALE 1:100



NORTH-WEST ELEVATION
SCALE 1:100

MUNISIPALITEIT GEORGE MUNICIPALITY

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19/10/2025

DATE / DATUM

SENIOR MANAGER: TOWN PLANNING

SENIOR BESTUURDER: STADSBEPLANNING

MSC DRAFT & DESIGN

Sanzonette Meintjes (Pty) Ltd (Inical)
SACAP / SAAT Registered
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Cell: 082 825 8832
sanzonette@mcsdraftdesign.co.za

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BUILDING LINE ADDITIONS TO EXISTING DWELLING FOR OWNER N. SLABBERT OF ERF 5897 GEORGE

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SANZONETTE MEINTJES

1925 Pienaar Street, Pienaarstrand, George, 6140

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