

**Collaborator No.:** 3865985  
**Reference / Verwysing:** Erf 6271, George  
**Date / Datum:** 05 June 2026  
**Enquiries / Navrae:** Primrose Nako

**Email:** [philip@formaplan.co.za](mailto:philip@formaplan.co.za)

Phillip Theron  
PO Box 9824  
GEORGE  
6530

**APPLICATION FOR REZONING AND DEPARTURE: ERF 6271, GEORGE**

Your application in the above regard refers.

The Senior Manager: Town Planning (Authorised Official) has, under delegated authority, 4.17.3.13 of 24 April 2025 decided that the following applications applicable to Erf 6271, George:

1. Rezoning in terms of section 15(2)(a) of the Land Use Planning By-law for George Municipality, 2023 for of Erf 6271, George from Single Residential Zone I to Business Zone IV;
2. Departure in terms of sections 15(2)(b) of the Land Use Planning By-law for George Municipality, 2023 for the relaxation of the following building lines on Erf 6271, George:
  - a) Street boundary building line from 5m to 4.3m to accommodate an existing outbuilding to be used as a storeroom and office space;
  - b) Western side boundary building line from 3m to 0m to accommodate the existing outbuilding to be used as storage/archives as well as for extensions to the main building for offices on ground floor and a partly covered balcony above the new offices;
  - c) Eastern side boundary building line from 3m to 2.91m in respect of the existing building;

**BE APPROVED** in terms of Section 60 of said By-law for the following reasons:

**REASONS FOR DECISION**

- a) The subject property is situated in the CBD node where land use intensification is supported and also aligns with SPLUMA principles and spatial development objectives for this area.
- b) The site is well-located and easily accessible to public transport.
- c) The proposed land use makes use of an existing building with minimal alterations proposed to it.
- d) The proposal aims to retain economic activity within the city centre, creating work opportunities in line with the spatial planning objections for George Municipality.

Subject to the following conditions imposed in terms of Section 66 of the said By-law, namely:

## CONDITIONS OF THE DIRECTORATE: PLANNING AND DEVELOPMENT

### General conditions

1. That in terms of the provisions of the Land Use Planning By-law for the George Municipality, 2023, the above-mentioned approval shall lapse if not implemented within a period of two (2) years from the date of when the approval comes into operation.
2. This approval shall be taken to cover only the rezoning and permanent departures as applied for and indicated on the site plan no. 2504 dated 31/07/2025 and drawn by Design Life Architects attached as "**Annexure A**" which bears Council's stamp and shall not be construed as to depart from any other Council requirements or legal provisions.
3. A landscaping plan to be submitted with the building plan to the satisfaction of the environmental control officer. The plan shall indicate all hard and soft landscaping elements to be incorporated into the development and the beautification of the streetscape, including the indigenous vegetation and trees that will be retained or planted. Additional to the existing trees to be retained, 1x 100 litre tree for every 4x parking bays must be provided, unless otherwise approved by the Municipality.
4. A revised parking layout, which retains the existing trees at the back of the property, must be indicated on the landscaping plan and site plan submitted with the building plan.
5. In accordance with Section 66(2)(z) of the Land Use Planning By-Law for George Municipality, 2023, a contravention levy of **R48 691.85 (VAT included)** shall be payable to the Directorate: Planning and Development on submission of building plans.
6. The approval will be regarded as implemented on the issuing of the occupation certificate in accordance with the approved building plans.

### Notes:

- i. *Building plans must be submitted in terms of Section 4 of the National Building Regulations and Building Standards Act, 103 of 1977, for the development.*
- ii. *Building plans to comply with SANS 10400, and any other applicable legislation.*
- iii. *It is noted that extensive hard concrete surfaces have already been created on the property, limiting natural drainage, which is not encouraged. Stormwater must be managed and dispersed responsibly, and appropriate stormwater management and retention measures must be indicated on the building plans. The building plans must also illustrate the natural drainage patterns on site.*
- iv. *Service connections/upgrades at owner's/developer's cost.*
- v. *It is the duty of the owners / developers to ensure compliance with the approvals, permissions and authorisations granted by the respective provincial and national authorities.*
- vi. *The contravention levy is calculated as follows:*
  - *Area of unauthorised use: 211.2m<sup>2</sup>.*
  - *Municipal Valuation / Area of Property = Per m<sup>2</sup> value of property.*
  - *R 1 680 000/ 838m<sup>2</sup> = R2004.77m<sup>2</sup>*
  - *Contravention levy = 10% x R2004.77m<sup>2</sup> x 211.2m<sup>2</sup> = R42 340.74 (excluding VAT)*
  - *VAT= 6 351.11*
  - *Total = R48 691.85 (including VAT).*

## CONDITIONS OF THE DIRECTORATE: CIVIL ENGINEERING SERVICES

7. The conditions imposed by the Directorate Civil Engineering Services are attached as "**Annexure B**" dated 12 November 2025, must be adhered to.
8. As stipulated in the attached conditions imposed by the Directorate Civil Engineering Services, the amount of Development Charges (DCs) to be paid by the developer is calculated in terms of the George Municipality Land Use Planning By-Law (as amended) and the approved DC Guidelines. With reference hereto, with regards to the proposed development, the developer will be required to make a development contribution, as indicated below.
9. The amounts of the development contributions are reflected on the attached ("Annexure B") calculation sheet dated 12 November 2025 and are as follows:  
Roads: R 81 636.00 Excluding VAT

Sewer: R 63 344.83 Excluding VAT  
Water: R 97 831.50 Excluding VAT  
**Total R 242 812.33 Excluding VAT**

10. The total amount of the development charges of **R242 812.33 (excluding VAT)** shall be paid prior to the first transfer of a land unit pursuant to the application or upon the approval of building plans, whichever occurs first, unless otherwise provided in an engineering services agreement or, in the case of a phased development, in these or any other relevant conditions of approval.
11. Any amendments or additions to the proposed development which are not contained within the calculation sheet, which might lead to an increase in the proportional contribution to municipal public expenditure, will result in the recalculation of the development charges and the amendment of these conditions of approval or the imposition of other relevant conditions of approval.

#### **CONDITIONS OF THE DIRECTORATE: ELECTRO-TECHNICAL SERVICES**

12. The conditions imposed by the Directorate Electro-technical Services are attached as '**Annexure B**' dated 10 November 2025, must be adhered to.
13. As stipulated in the attached conditions imposed by the Directorate Electro-technical Services, the amount of Development Charges (DCs) to be paid by the developer is calculated in terms of the George Municipality Land Use Planning By-Law (as amended) and the approved DC Guidelines. With reference hereto, with regards to the proposed development, the developer will be required to make a development contribution, as indicated below.
14. The amounts of the development contributions are reflected on the attached calculation sheet dated 10 November 2025 and are as follows:  
**Electricity: R 53 613.83 Excluding VAT**
15. The total amount of the development charges of **R 53 613.83 (excluding VAT)** shall be paid prior to the first transfer of a land unit pursuant to the application or upon the approval of building plans, whichever occurs first, unless otherwise provided in an engineering services agreement or, in the case of a phased development, in these or any other relevant conditions of approval.
16. Any amendments or additions to the approved development parameters which might lead to an increase in the proportional contribution to municipal public expenditure will result in the recalculation of the development charges and the amendment of these conditions of approval or the imposition of other relevant conditions of approval.

*Note: The Development Charges indicated above are based on the information available to the respective engineering departments at the time of approval. It is advised that the owner consult with these departments prior to submission of building plans to ascertain what information they require to provide a more accurate calculation.*

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Planning and Development, P O Box 19, George, 6530 or Directorate: Planning and Development, 46 Market Street (Old York Hostel Building), George **on or before 26 June 2026**, and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

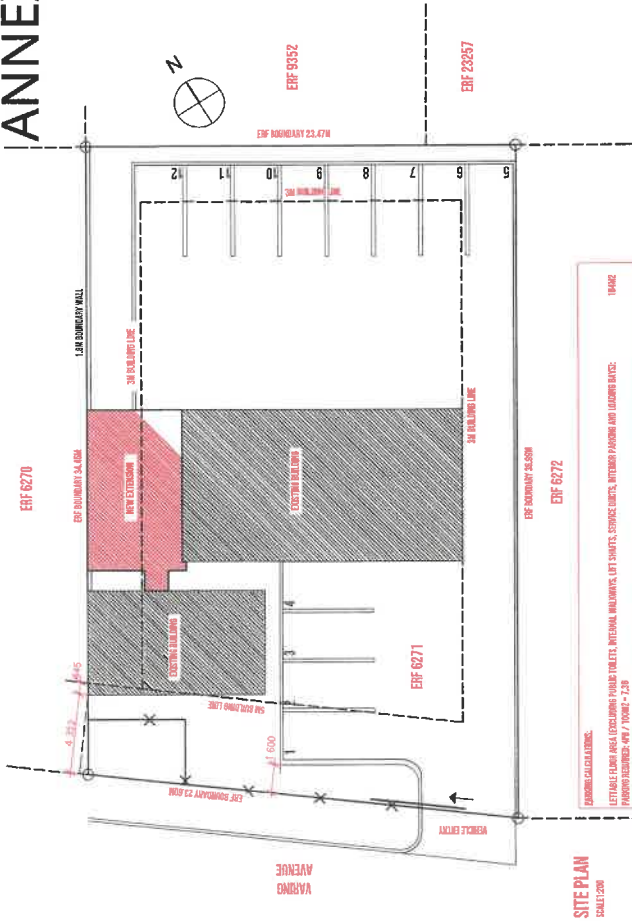
Yours faithfully



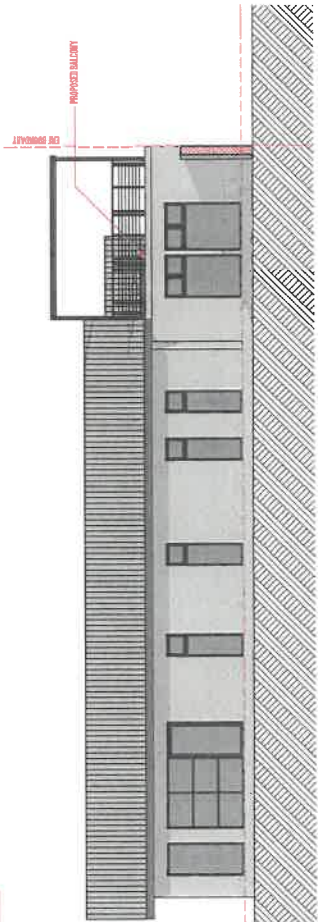
**C PETERSEN**  
**SENIOR MANAGER: TOWN PLANNING**

C:\scan\Erf 6271, George (Rezoning & Departure Approval)\Philip Theron.docx

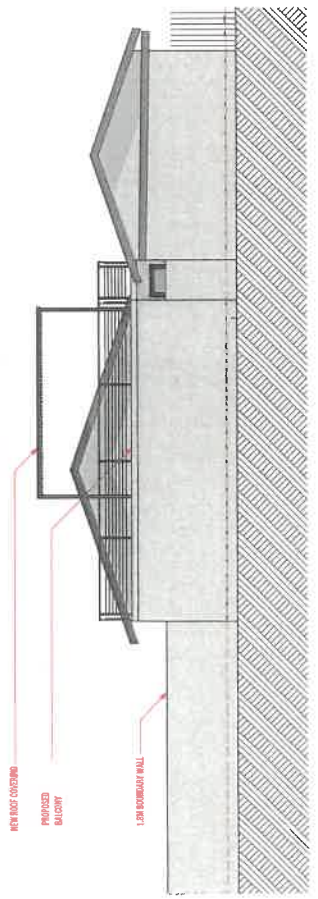
# ANNEXURE A: SITE PLAN



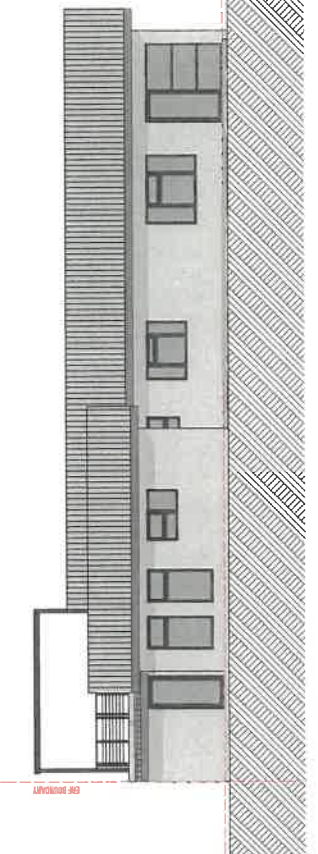
**ROOF PLAN**  
SCALE: 1:200



**NORTH ELEVATION**  
SCALE: 1:100



**WEST ELEVATION**  
SCALE: 1:100



**SOUTH ELEVATION**  
SCALE: 1:100

**MUNICIPALITEIT GEORGE MUNICIPALITY**  
Approved in terms of Section 60 of the George Municipality Land Use Planning By-law (2023) subject to the conditions contained in the covering letter.

05/06/2026

DATE  
DATUM

SENIOR MANAGER: TOWN PLANNING  
SENIOR REGISTERED: STATISTIEK

**EXISTING CALCULATIONS:**  
LEFT-HAND DRIVE (EXCLUDING PUBLIC TABLES, INTERNAL WALKWAYS, SET BACKS, SERVICE DRIVE, INTERIOR PARKING AND LOADING BAYS): 19442  
RIGHT-HAND DRIVE (EXCLUDING PUBLIC TABLES, INTERNAL WALKWAYS, SET BACKS, SERVICE DRIVE, INTERIOR PARKING AND LOADING BAYS): 2236  
TOTAL PARKING SPACES: 21800

REVISION:

1	
2	
3	
4	
5	

DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
PROJECT NUMBER: 2504

REZONING APPLICATION ERF 6271, VARING AVENUE, GEORGE

DATE: 05/06/2026

**SITE**  
SDP, ROOF PLAN & ELEVATIONS  
**1-01**


WORKING DRAWING NO: AL

ALL DIMENSIONS AND LEVELS SPECIFIED ON THIS DRAWING ARE PERMANENT UNLESS OTHERWISE SPECIFIED.  
ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED TO BE IN ACCORDANCE WITH THE PROJECT CONTRACT DOCUMENTS.  
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**URBAN ENGINEERING**

# ANNEXURE B: CES DEVELOPMENT COSTS

GEORGE DC CALCULATION MODEL	Version 1.00	31 August 2021
<b>For Internal information use only (Not to publish)</b>		
	Erf number *	6271
	Allotment area *	George
	Water & Sewer System *	George System
	Road network *	George
	Developer/Owner *	George Municipality
	Erf Size (ha) *	843,82
	Date (YYYY/MM/DD) *	2025-11-12
	Current Financial Year	2025/2026
	Collaborator Application Reference	3865985

**Application:** Rezoning & Departure

Service applicable	Description
Roads	Service available, access via Varing Avenue (Subject to the Road master plan & access approval)
Sewer	Service available (Subject to the Sewer Master Plan, WWTW treatment & network capacity)
Water	Service available (Subject to the Water Master Plan, WTW treatment & network capacity)

## Conditions

### General conditions

- The amount of Development Charges (DCs) to be paid by the developer are calculated in terms of the George Municipality Land Use Planning By-Law (as amended) and the approved DC Guidelines. With reference to clause above, with regards to the proposed development, the developer will be required to make development contribution, as follows:
  - The amounts of the development charges are reflected on the attached calculation sheet dated 12/11/2025 and are as follows:

Roads:	R	81 636,00	Excluding VAT (Refer to attached DC calculation sheet)
Sewer:	R	63 344,83	Excluding VAT (Refer to attached DC calculation sheet)
Water:	R	97 831,50	Excluding VAT (Refer to attached DC calculation sheet)
<b>Total</b>	<b>R</b>	<b>242 812,33</b>	<b>Total Excluding VAT</b>
  - The total amount of the development charges of R242 812,33 shall be paid prior to the first transfer of a land unit pursuant to the application or upon the approval of building plans, whichever occurs first, unless otherwise provided in an engineering services agreement or, in the case of a phased development, in these or any other relevant conditions of approval.
  - Any amendments or additions to the proposed development which is not contained within the calculation sheet as dated in clause 2 above, which might lead to an increase in the proportional contribution to municipal public expenditure, will result in the recalculation of the development charges and the amendment of these conditions of approval or the imposition of other relevant conditions of approval
- Note: The Development Charges indicated above are based on the information available to the respective engineering departments at the time of approval. It is advised that the owners consult with these departments prior to submission of the subdivision plan to ascertain what information they require to provide a more accurate calculation.*
- As provided in section 66(5B)(b) of the Planning By-Law (as amended), using the date of approval as the base month the amount of R242 812,33 shall be adjusted in line with the consumer price index published by Statistic South Africa up to the date when payment is made in terms of paragraph 3 above.
  - Development charges are to be paid to the Municipality in cash or by electronic funds transfer or such other method of payment as may be accepted by the Municipality at the time when payment is made.
  - All services -internal, link and relocation of or upgrades to existing - are to be designed by a registered consulting engineer in accordance with Council specifications. This may include bulk services outside the development area but that must be upgraded to specifically cater for the development. All drawings and plans are to be submitted to the applicable department, or any other relevant authority, (hard copy and electronically) for approval prior to any construction work taking place. All work is to be carried out by a suitable qualified/registered contractor under the supervision of the consulting engineer who is to provide the relevant authority with a certificate of completion, and as-built plans in electronic format. All costs will be for the developer. No transfers will be approved before all the municipal services have been satisfactorily installed and as-builts submitted electronically as well as the surveyor's plan.
  - Any, and all, costs directly related to the development remain the developers' responsibility.
  - Only one connection permitted per registered erf (water and sewer connections). Condition 7 applies.
  - Any services from the development that must be accommodated across another erf must be negotiated between the developer and the owner of the relevant erf. Any costs resulting from the accommodation of such services or the incorporation of these services into the network of another development are to be determined by the developer and the owner of the other erf. (condition 7 applicable)

- 11 Any service from another erf that must be accommodated across the development or incorporated into the services of the development: all negotiations will be between the owner/developer of the relevant erf and the developer. Costs for the accommodation of these services or the upgrade of the developments services to incorporate such services are to be determined by the developers/owners concerned. (condition 7 applicable)
- 12 Any existing municipal or private service damaged during the development will be repaired at the developers cost and to the satisfaction of the George Municipality. (condition 7 applicable)
- 13 Note, the applicant is to comply with the National Forestry Act, Act No 84 of 1998, should it be required.
- 14 Note, provisions for the removal of solid waste is to be addressed in conjunction with the Dir: Environmental Services.
- 15 Note, the developer is to adhere to the requirements of all relevant Acts, as well as all conditions stipulated by any other authority whose approval is required and obtained for this proposed development.
- 16 Transfers, building plan approvals and occupation certificates may be withheld if any sums of money owing to the George Municipality are not paid in full, or if any services have not been completed to the satisfaction of the Dir: CES & ETS, or any condition of any authority has not been satisfactorily complied with.
- 17 The Developer is responsible to obtain the necessary approval / way leaves from third parties which include, but is not limited to the George Municipality, Telkom & Fibre optic service provider.
- 18 No construction activity may take place until all approvals, including way leave approval, are in place, all drawings and material have been approved by the Technical Directorates.
- 19 Municipal water is provided for potable use only. No irrigation water will be provided.
- 20 The development, in its entirety or in phases, is subject to confirmation by the Dir. CES of the availability of Water and Sanitation bulk treatment capacity at the time of the development implementation, or if developed in phases before the commencement of each phase. A development/implementation program is to be provided by the Developer when requesting confirmation of this capacity from the Dir. CES. If the Developer does not adhere to the program the Dir. CES will be entitled to revise the availability of such bulk capacity
- 21 The discharge of surface stormwater is to be addressed by the developer. Condition 7 applies. All related costs are for the developer. The developer is to consult with the Dir: CES to ensure that stormwater planning is done on line with the available stormwater master plans.
- 22 Internal parking requirements (ie within the development area), position of accesses, provision for pedestrians and non-motorised transport, and other issues related to traffic must be addressed and all measures indicated on plans and drawings submitted for approval.
- 23 Adequate parking with a hardened surface must be provided on the premises of the proposed development.
- 24 No private parking will be allowed in the road reserve. The developer will be required at own cost to install preventative measures to insure compliance.
- 25 The approval of the layout of the development and accesses is subject to the George Roads Master Plan and approved by the Dir: CES. A site development plan is to be submitted to the Dir: CES, or any other relevant authority for approval prior to any construction work taking place.
- 26 Permission for access onto municipal, provincial or national roads must be obtained from the relevant authorities.
- 27 Minimum required off-street parking provided, must be provided in terms of the George Integrated Zoning Scheme 2023 parking requirements and vehicles must readily leave the site without reversing across the sidewalk. Alternative Parking may be supplied.
- 28 Site access to conform to the George Integrated Zoning Scheme 2023.  
Access to the development is permitted only through the existing municipal road. Direct access from York Street is not allowed.

 Ricus Fivaz

**Ricus Fivaz**  
 Manager (CES): Land development  
 Civil Engineering Services

**12 Nov 25**  
 Date



GM 2023 Development Charges policy



GM 2023 Integrated Zoning Scheme By-law



GM 2024/25 Tariffs



Civil Engineering Service



Electro-Technical Service

Erf number \* 6271  
 Allotment area \* George  
 Water & Sewer System \* George System  
 Road network \* George  
 Developer/Owner \* George Municipality  
 Erf Size (ha) \* 843,82  
 Date (YYYY/MM/DD) \* 2025-11-12  
 Current Financial Year \* 2025/2026  
 Collaborator Application Reference \* 3865985

Code	Land Use	Unit	Total Existing Right	Total New Right
<b>RESIDENTIAL</b>				
	Residential housing (500-1 000m <sup>2</sup> ) Erf	Unit	1	
<b>GENERAL BUSINESS</b>				
	Offices - Small (<2 000m <sup>2</sup> GLA)	m <sup>2</sup> GLA		280,00
			FAR	1,00
			m <sup>2</sup> Erf	280,00
			FAR	280,00

Is the development located within Public Transport (PT1) zone? **Yes**

Service	Units	Additional Demand	Unit Cost	Amount	VAT	Total
trips/day	18,81		R 4 123,03	R 77 554,20	R 11 633,13	R 89 187,33
trips/day	0,99		R 4 123,03	R 4 081,80	R 612,27	R 4 694,07
kJ/day	1,15		R 55 140,00	R 63 344,83	R 9 501,72	R 72 846,56
kJ/day	2,18		R 44 980,00	R 97 831,50	R 14 674,73	R 112 506,23
<b>Total bulk engineering services component of Development Charge payable</b>				<b>R 242 812,33</b>	<b>R 36 421,85</b>	<b>R 279 234,19</b>

**Link engineering services component of Development Charge**  
**Total Development Charge Payable**

City of George  
 Calculated (CES): **JM Fivaz**  
 Signature : \_\_\_\_\_  
 Date : **November 12, 2025**

**NOTES :** 1. In relation to the increase pursuant to section 66(5B)(b) of the Planning By-Law (as amended) in line with the consumer price index published by Statistic South Africa) using the date of approval as the base month  
 2. Please note the calculation above only surmise as a pro-forma calculation. Once confirmation of the calculation is revised can a VAT invoice be requested from the Municipal Financial department. In this regard you can contact Warner Joubert on email at wjoubert@george.gov.za or telephone on 044 801 1333

Departmental Notes:

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Service	Financial code/key number	Total
Roads	20220703048977	R 89 187,33
Public Transport		R 4 694,07
Sewerage	20220703048978	R 72 846,56
Water	20220703048981	R 112 506,23
		<b>R 279 234,19</b>

# ANNEXURE C: ETS DEVELOPMENT COSTS

GEORGE ELECTRICITY DC CALCULATION MODEL	Version 1.00	2025/06/18
For Internal information use only (Not to publish)		



Erf Number \* 6271  
 Allotment area \* George  
 Elec DCs Area/Region \* George Network  
 Elec Link Network \* LV  
 Elec Development Type \* Normal  
 Developer/Owner \* Urban Engineering Inv (Pty) Ltd  
 Erf Size (ha) \* 0,08  
 Date (YYYY/MM/DD) \* 10 11 2025  
 Current Financial Year 2025/2026  
 Collaborator Application Reference 3865985

Application: Development Charges

Comments: 0

Service applicable	Description
Electricity	Service available (Subject to the Electrical master plan approval)

Conditions	
General conditions	
1	The amount of Development Charges (DCs) to be paid by the developer are calculated in terms of the George Municipality Land Use Planning By-Law (as amended) and the approved DC Guidelines. With reference to clause above, with regards to the proposed development, the developer will be required to make development contribution, as follows:
2	The amounts of the development contributions are reflected on the attached calculation sheet dated 10/11/2025 and are as follows: Electricity:            R            53 613,83            Excluding VAT
3	The total amount of the development charges of R53 614, Excluding VAT shall be paid prior to the first transfer of a land unit pursuant to the application or upon the approval of building plans, whichever occurs first, unless otherwise provided in an engineering services agreement or, in the case of a phased development, in these or any other relevant conditions of approval.
4	Any amendments or additions to the approved development parameters which might lead to an increase in the proportional contribution to municipal public expenditure will result in the recalculation of the development charges and the amendment of these conditions of approval or the imposition of other relevant conditions of approval.
5	As provided in section 66(5B)(b) of the Planning By-Law (as amended), using the date of approval as the base month the amount of R53 614, Excluding VAT shall be adjusted in line with the consumer price index published by Statistic South Africa up to the date when payment is made in terms of paragraph 3 above.
6	Development charges are to be paid to the Municipality in cash or by electronic funds transfer or such other method of payment as may be accepted by the Municipality at the time when payment is made.
7	Any, and all, costs directly related to the development remain the developers' responsibility.
8	Only one connection permitted per registered erf (Electrical, water and sewer connections). Condition 7 applies.
9	Any existing municipal or private service damaged during the development will be repaired at the developers cost and to the satisfaction of the George Municipality. (condition 7 applicable)
10	No development may take place within the 1:100 year flood line or on slopes steeper than 1:4.
11	Should it be required, a services agreement is to be drawn up between the developer and the George Municipality, by an attorney acceptable to the Municipal Manager. All expenses will be for the developer.
12	Suitable servitudes must be registered for any municipal service not positioned within the normal building lines. Servitudes must be registered for all electrical services traversing erven.
13	The developer is to adhere to the requirements of all relevant Acts, as well as all conditions stipulated by any other authority whose approval is required and obtained for this proposed development.
14	Transfers, building plan approvals and occupation certificates may be withheld if any sums of money owing to the George Municipality are not paid in full, or if any services have not been completed to the satisfaction of the Dir: CES & ETS, or any condition of any authority has not been satisfactorily complied with.
Electro Technical	
15	In all cases, where individual customer apply for a supply capacity exceeding that provided for in the calculation of DCs and for the developer paid, will be subject to additional DCs based on the rates applicable at the time.
16	Owner to ensure compliance with Regulation XA of SANS 10400 (building plans).
17	Owner to ensure compliance with Regulation XA of SANS 10142 (wiring) and any other applicable national standards.
18	The developer and/or an owner of an erf shall see to it that no Small Scale Embedded Generation (SSEG) are installed on an erf, any portion of an erf or the development, without prior approval from the ETS. Should any SSEG be installed within any part of the development the Electrotechnical Services will within their discretion either implement applicable penalties and/or disconnect the relevant point of supply.



19	Where DCs have been applied for a particular section of the network, but the developer is requested to install and fund a part of the section of network, such work will be credited against DCs calculated.
20	Installation of ripple relays are compulsory for all geysers with electrical elements.
21	All municipal supply points must be subject to standard DC charges. These charges to be included in the project costs of the project.

M Gatyeni



Singed on behalf of Dept: ETS

10 Nov 25

Development Charges Calculator		Version 1.00		2025/06/18			
		Erf Number	6271				
		Allotment area	George				
		Elec DCs Area/Region	George Network				
		Elec Link Network	LV				
		Elec Development Type	Normal				
		Developer/Owner	Urban Engineering Inv (Pty) Ltd				
		Erf Size (ha)	0,08				
		Date (YYYY/MM/DD)	2025-11-10				
		Current Financial Year	2025/2026				
		Collaborator Application Reference	3865985				
Code	Land Use	Unit	Total Existing Right		Total New Right		
			Units	Units	Units		
<b>RESIDENTIAL</b>							
	Single Res > 650m² Erf (Normal)	unit		1			
<b>OTHERS</b>							
	Small Business < 250 kVA (20% diversity)	Actual kVA (BDMD)			13,8		
			Please select				
Is the development located within Public Transport (PT1) zone?			Yes				
<b>Calculation of bulk engineering services component of Development Charge</b>							
Service	Units	Existing demand (ADMD)	New demand (ADMD)	Unit Cost	Amount	VAT	Total
Electricity	kVA	4,33	11,04	R 7 995,73	R 53 613,83	R 8 042,07	R 61 655,90
Total bulk engineering services component of Development Charge payable					R 53 613,83	R 8 042,07	R 61 655,90
<b>Link engineering services component of Development Charge</b>							
<b>Total Development Charge Payable</b>							
City of George							
Calculated (ETS):		M Gatyeni					
Signature :							
Date :		November 10, 2025					
<b>NOTE : In relation to the increase pursuant to section 66(5B)(b) of the Planning By-Law (as amended) in line with the consumer price index published by Statistic South Africa) using the date of approval as the base month</b>							
Notes:							
Departmental Notes:							

For the internal use of Finance only

Service	Financial code/Key number	Total
Electricity	20160623 021336	R 61 655,90
		R 61 655,90