



The Municipal Manager
P O Box 19
George
6530

Reference: Erf 7719 George

14 April 2026

Sir

**APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATION):
ERF 7719 GEORGE**

Attached hereto please find an application for a permanent departure for the relaxation of the following building lines on Erf 7719 George

- the eastern side boundary building line from 3.0 metres to 0.0 metres to allow for the legalization of the northern portion of the converted storeroom into a non-inter-leading room which will be used as a guestroom with an ensuite bathroom.
- the eastern side boundary building line from 3.0 metres to 0.0 metres to allow for the legalization of the southern portion of the converted storeroom into an inter-leading bedroom with an ensuite bathroom and walk in closet.

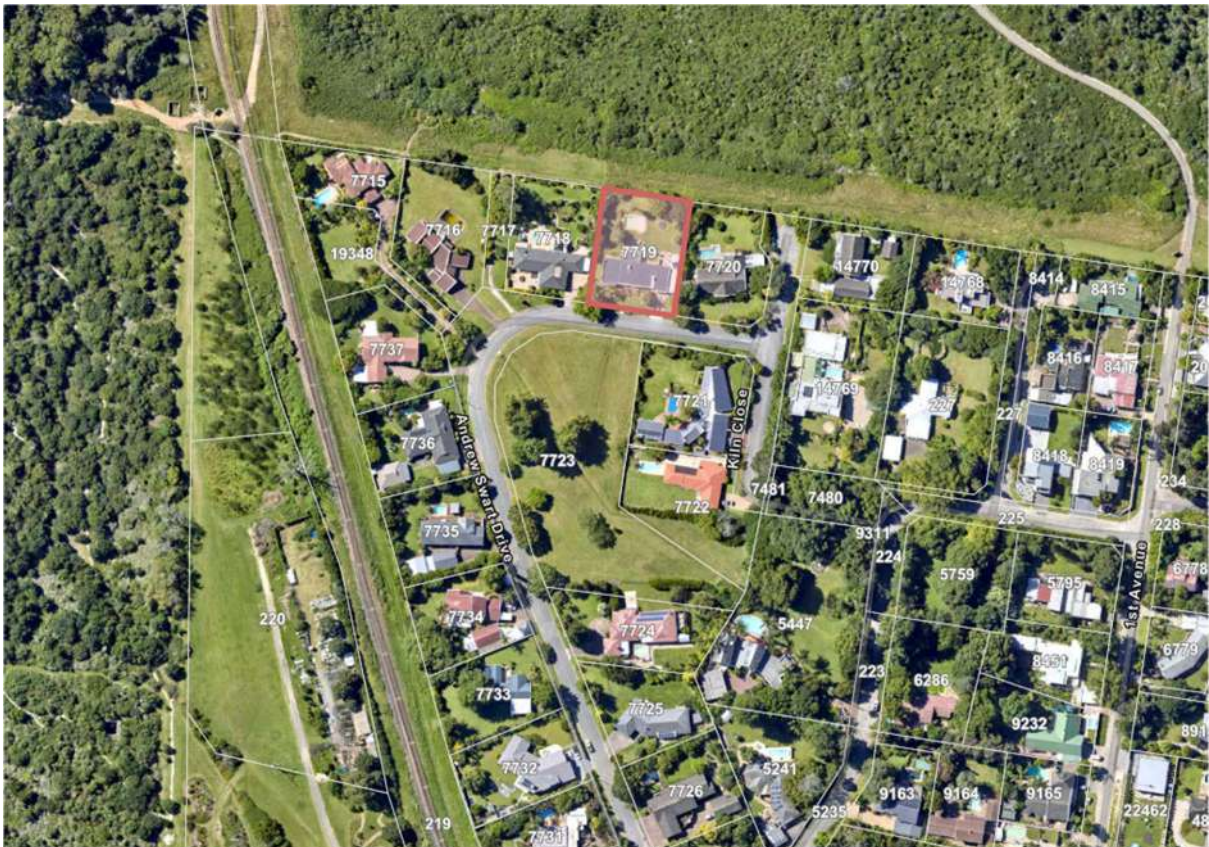
Your prompt consideration of the application will be appreciated.

Thanking you in anticipation.

Jan Vrolijk

MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURE (RELAXATION OF BUILDING LINE)
ERF 7719 GEORGE

14 April 2026



Prepared for:

**Barend Frederik Burger Meyer and
Catharina Fredrika Maria Meyer**
27 Andrew Swart Drive
George
6529

Prepared by:

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SACPLAN Registration No A/1386/2011

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MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURE (RELAXATION OF BUILDING LINE)
ERF 7719 GEORGE

1. APPLICATION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the following building lines on Erf 7719 George:

- the eastern side boundary building line from 3.0 metres to 0.0 metres to allow for the legalization of the northern portion of the converted storeroom into a non-inter-leading room which will be used as a guestroom with an ensuite bathroom.
- the eastern side boundary building line from 3.0 metres to 0.0 metres to allow for the legalization of the southern portion of the converted storeroom into an interleading bedroom with an ensuite bathroom and walk in closet.

A copy of the site plan and building plan is attached hereto as **Annexure “A”** whilst the completed application form for the application for permanent departure is attached hereto as **Annexure “B”**.

2. DEVELOPMENT PROPOSAL

Erf 7719 George had been developed with a dwelling house consisting of 4 bedrooms, 3 bathrooms, a study, TV-room, guest-toilet, an open plan kitchen and lounge with a scullery and kitchen yard.

A portion of the existing outside patio along the northern frontage of the dwelling house was converted into a braai-room to enhance the outdoor area to the north of the dwelling house that has also been developed with an outdoor firepit with a permanent outdoor seating area and a swimming pool.

The dwelling also has a double garage and a storeroom located between the garage and the eastern boundary of the erf that have partially been converted into habitable rooms.

The development is rounded off with a neatly kept lawn, a few mature trees, and shrubs.

The application is submitted to legalize the existing changes to the

- northern section of the storeroom to allow for a non-inter-leading guestroom and ensuite bathroom. The following photo indicates this non-inter-leading guestroom and ensuite bathroom.



- southern section of the storeroom to allow for an inter-leading bedroom with ensuite bathroom and walk in closet. This inter-leading bedroom with an ensuite bathroom and walk in closet will be utilized by the owner's adult child that will be studying from home. The following photo indicates this inter-leading bedroom with an ensuite bathroom and walk in closet which will be used by the owner's child.



The section of the storeroom located between the abovementioned guestrooms will continue to be used as a storeroom.

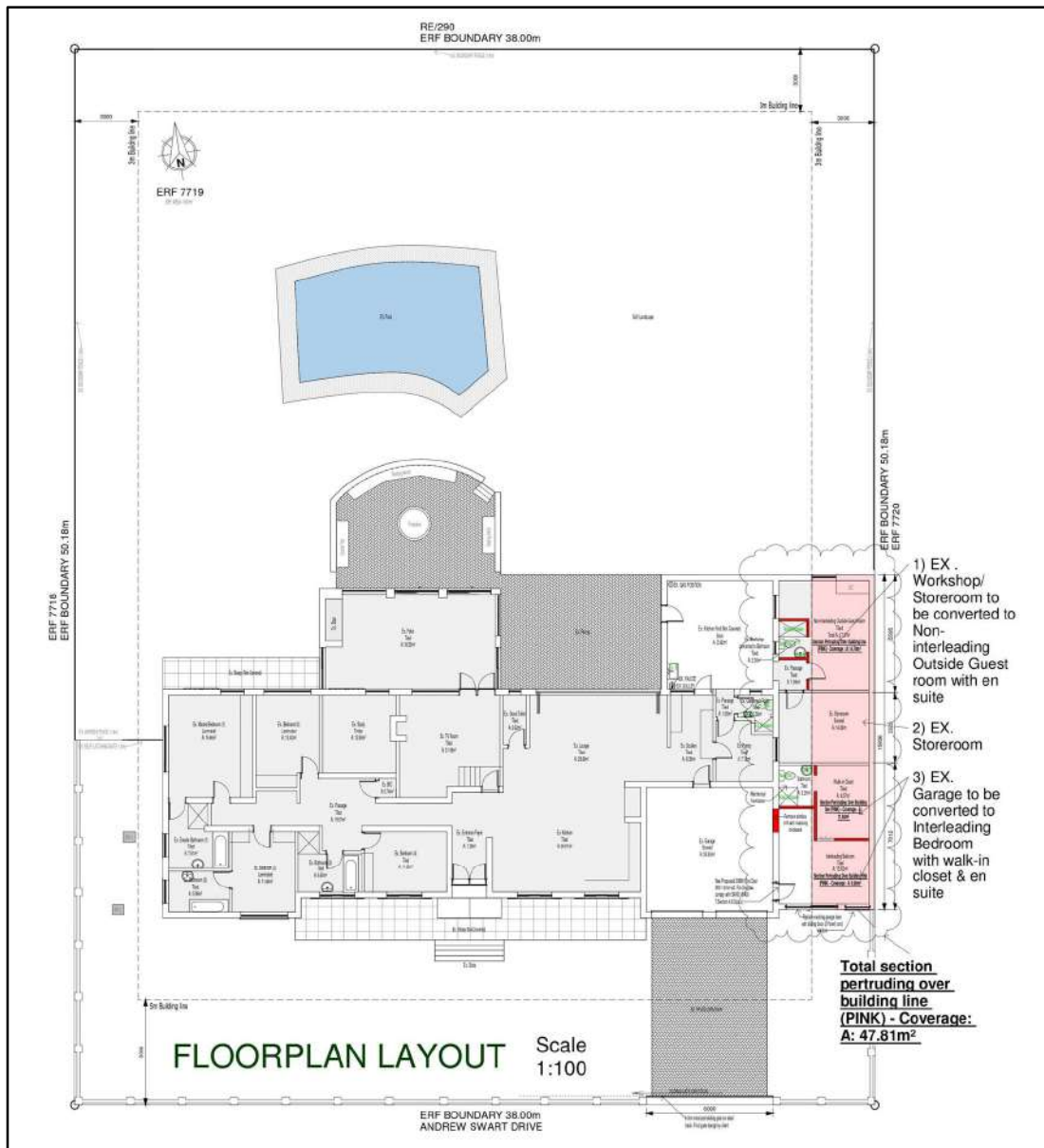
The change in land use of the northern and southern section of the storeroom requires the relaxation of the eastern side boundary building line from 3.0 metres to 0.0 metres.

It is important to note that the restriction of the length of a structure along a common boundary only applies to garages, carports and outbuildings in terms of development parameter (e) for a “dwelling house” as per the George Integrated Zoning Scheme By-Law, 2023. The structure has a total length of 15.936 metres. The non-inter-leading bedroom with an ensuite bathroom to the north has a distance of 5.595 metres along the common boundary whilst the interleading bedroom with an ensuite bathroom and walk in closet to the south has a distance of 7.012 metres along the common boundary. The existing storeroom has a length of 3.329 metres along the common boundary does therefore not require a building line relaxation.

Both the non-inter-leading and interleading rooms have existing kitchenettes, which will be removed.

The present owners bought the property in 2020, with the existing conversions mentioned. No approved building plans do however exist for these conversions. It is the intent of the owners to rectify this situation by submitting building plans for the changes.

The following extract of the building plan indicates the position of the existing converted storeroom and the extent to which this converted storeroom is located in the eastern building line. A copy of the complete building plan is also attached hereto as **Annexure "A"**.



The purpose of this application is to obtain the required building line relaxation approval to allow the owner to submit building plans for the illegally converted storeroom into a not inter-leading guestroom with ensuite bathroom and an interleading bedroom with an ensuite bathroom and walk in closet.

3. GENERAL INFORMATION IN RESPECT OF ERF 7719 GEORGE

3.1 Locality

Erf 7719 George is situated at 27 Andrew Swart Drive, which is located in the neighbourhood known as Fernridge. The locality of the erf is indicated on the locality plan attached hereto as **Annexure “C”**.

3.2 Existing land use

The application erf is developed with a primary dwelling house and associated outbuildings and is used for residential purposes.

3.3 Extent of erf

The total area of Erf 7719 George is 1907m².

3.4 Present zoning

In terms of the George Integrated Zoning Scheme, 2023, the zoning of Erf 7719 George is Single Residential Zone I.

The primary use of Single Residential Zone I is a “dwelling house” which means a building containing one dwelling unit, together with such outbuildings as are ordinarily used with a dwelling house, including:

- (a) a storeroom and garaging;

- (b) a second dwelling unit;
- (c) a braai room;
- (d) home occupation;
- (e) letting to lodgers;
- (f) a bed and breakfast establishment;
- (g) home child care; and
- (h) greenhouse

A dwelling house, comprise of a dwelling unit which is defined in the George Integrated Zoning Scheme Bylaw 2023 as follows:

“dwelling unit” means a self-contained, inter-leading group of rooms with a uniform architectural style approved by the Municipality used for the living accommodation and housing of one family, together with such outbuildings as are ordinarily used with such a dwelling unit —

- (a) with not more than one kitchen;*
- (b) provided that a maximum of two habitable rooms which are not inter-leading with the main dwelling unit and do not include a kitchen, are permissible and an outbuilding is not an inter-leading room;*
- (c) does not include tourist accommodation or accommodation used as part of a hotel; and*
- (d) including the conducting of an office based work-related activity of a professional, clerical, or administrative nature by an employee of a company from their place of residence, which excludes a home occupation, and does not result in additional trip generation.”*

The application is to obtain approval for one non-inter-leading room comprising of a bedroom with ensuite bathroom that will be utilized as a guestroom. The other bedroom with an ensuite bathroom and small lounge will be interleading with the dwelling house to comply with the abovementioned definition of “dwelling unit” in terms of the George Integrated Zoning Scheme By-law, 2023.

3.5 Surveyor General Diagram

The Surveyor General Diagram of Erf 7719 George is attached hereto as **Annexure “D”**.

3.6 Title Deed

Erf 7719 George is registered in the name of Barend Frederik Burger Meyer and Catharina Fredrika Maria Meyer. A copy of the Title Deed T44053/2020 for Erf 7719 George is attached hereto as **Annexure “E”**.

3.7 Power of Attorney

A Power of Attorney, whereby Jan Vrolijk Town Planner/Stadsbeplanner has been appointed by Barend Frederik Burger Meyer and Catharina Fredrika Maria Meyer to prepare the application referred to in point 1 of this motivation report and to sign all relevant documents is attached hereto as **Annexure “F”**.

3.8 Bondholder’s consent

Erf 7719 George is encumbered by a bond. The consent of the bondholder, ABSA Bank is attached hereto as **Annexure “G”**.

3.9 Conveyancer Certificate

A Conveyancer Certificate in respect of Erf 7719 George is attached hereto as **Annexure “H”**. The certificate confirms that there are no conditions in the Title Deed of the property which prohibits the development of the erf as proposed in this application.

4. DESIRABILITY OF APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATION): ERF 7719 GEORGE

4.1 Introduction

Specific issues which must be addressed in the motivation of applications are highlighted in the Land Use Planning By-Law for George Municipality, 2023. These issues are, however, aimed at

more complex applications and are not applicable to lesser applications, such as permanent departures for building line relaxations.

This application will therefore be motivated with reference to the following aspects:

- *Compatibility of the proposal with the existing planning and land uses of the surrounding area.*
- *The impact that the proposal will have on the environment.*
- *The impact that the proposal will have on traffic and parking in the surrounding area.*
- *The impact that the proposal will have on surrounding facilities such as schools, open spaces and other community facilities should the application result in an increase in the population of the area concerned.*
- *The impact that the proposal will have on the existing character of the surrounding area and the rights of the inhabitants of the area in respect of property values, privacy, view, sunlight, et cetera.*
- *Provision of essential services.*

4.2 Existing planning in the area

Erf 7719 George is located at 27 Andrew Swart Drive in the suburb known as Fernridge. This is a well-established neighbourhood with large properties and large older houses where additions and improvements are common practice. Andrew Swart Drive is a quiet neighbourhood street that mainly provides access to the houses located along the street.

This application entails a permanent departure for the relaxation of the eastern side boundary building line on Erf 7719 George to accommodate the conversion of the existing storeroom into a not inter-leading guestroom and ensuite bathroom as well as an interleading bedroom with an ensuite bathroom and small lounge. A portion of this storeroom will continue to be used as a storeroom.

All the properties in the immediate vicinity of Erf 7719 George are zoned as Single Residential Zone I and developed with dwelling houses and second dwelling units. The following aerial photo

indicates the locality of Erf 7719 George, as well as the structures situated on the erf, in relation to the surrounding residential erven.



Erf 7719 George is located adjacent to the Outeniqua Mountains and within walking distance of the Garden Route Botanical Gardens. This neighbourhood is characterized by large erven and is one of a few suburbs in George where subdivisions are restricted to a minimum erf size of 1000m². The quiet neighbourhood will therefore maintain its charm. It is prevalent tendency in the area that the dwelling houses are being renovated to reflect a more modern look.

Erf 7719 George has no street boundary wall or fence, and it is proposed to construct a street boundary wall, that will be in keeping with the character of the neighbourhood

The permanent departure for the relaxation of the side boundary building line as proposed in this application will therefore not establish an undesirable precedent and can be accommodated within the existing planning of the area concerned.

4.3 Impact on schools, open spaces, and other community facilities

This application entails a permanent departure for the relaxation of the side boundary building line on the application erf to accommodate the not inter-leading guestroom and an interleading bedroom with an ensuite bathroom and walk in closet. The proposed permanent departure on the application erf will thus not result in an increase in the number of inhabitants of the erf beyond that which can be accommodated in terms of the zoning of the erf. As such, the proposal will not have an impact on schools, open spaces, and other community facilities in the area.

This aspect is, therefore, not relevant to this application.

4.4 Impact on sunlight, view, and privacy

This application entails a permanent departure for the relaxation of the eastern side boundary building line on the application erf to accommodate the existing not inter-leading guestroom and an interleading bedroom with an ensuite bathroom and small lounge.

The only erf that could be affected by the proposed eastern side boundary building line relaxation is Erf 7720 George, which is situated to the east of the application erf. The dwelling house on Erf 7720 is located approximately 7,5 metres from the boundary and as can be seen from the aerial photo below the dwelling house on Erf 7720 George is totally screened from the illegally converted storeroom on Erf 7719 George by virtue of fairly extensive vegetation.

The structure that is located over the eastern side boundary building line, has been in that position for years and was previously approved as garages and storerooms. The previous owners made the changes, and the current owners want to ensure that the changes and structures are in line with the zoning scheme and building standards. The change in use of the structures is compatible with the residential area and in line with the George Integrated Zoning Scheme By-law, 2023, apart from the building lines relaxation requested.

It is also important to keep in mind that the structure, in respect of which the proposed permanent departure is now required, has been in existence for some time and as far as could be ascertained, no neighbours have yet objected against the locality or use of the structures.



It is as such argued that the proposed relaxation of this building line cannot impact on the adjacent owner negatively with regards to sunlight, view and privacy.

This aspect is, therefore, also not relevant to this application.

4.5 Impact on streetscape

The following photo shows the street elevation of the application erf, including the eastern encroachment. The garage door was replaced with a sliding door and window facing the street.



The next photo indicates the street frontage of most of the dwelling house on Erf 7719 George. The dense vegetation between Erven 7719 and 7720 George creates a soft barrier between the properties, and the encroachment is not visible due to the size of the house and property. The additions are furthermore of the same architectural style and fit into the existing architectural character of the dwelling house.



The converted outbuilding is of good quality and cannot be regarded as intrusive. The visual impact from the streetscape will further be screened by the proposed boundary wall on the street frontage. The proposed relaxation of the side boundary building line does not have a negative impact on the streetscape in the vicinity of the application erf.

4.6 Impact on property values

As indicated in the previous paragraphs, the structures in respect of which the permanent departure is required do not have a negative impact on any of the surrounding properties, and the design and construction material are of good quality. The non-inter-leading room to be used as a guestroom and the inter-leading bedroom with an ensuite bathroom and walk in closet adds value to the utilization of the erf.

The value of surrounding properties can, therefore, not be negatively impacted upon by the proposed permanent departure as proposed in this application.

4.7 Impact on the provision of parking

The parking requirements applicable to different land uses are set out in table format in Section 42 of the George Integrated Zoning Scheme, 2023. In respect of dwelling houses on erven larger than 350m², provision must be made for a minimum of 2 on-site parking bays per dwelling house.

As indicated on the site plan and building plan attached hereto as **Annexure "A"**, the property is developed with a double garage and sufficient space is available to park in front of the garages. The number of parking bays conforms with the parking requirement in the George Integrated Zoning Scheme By-law, 2023.

The provision of on-site parking will, therefore, not be negatively impacted upon by the proposed permanent departure as proposed in this application.

4.8 Impact on traffic circulation

Erf 7719 George is situated at 27 Andrew Swart Drive, Fernridge. Andrew Swart Drive is a quiet neighbourhood street that carries very little traffic. Vehicular access to Erf 7719 George is obtained from the existing street access in Andrew Swart Drive. No additional access is required. The proposed relaxation of the eastern side boundary building line will not result in the generation of more traffic and is located at such a position on Erf 7719 George that it cannot impact on traffic flow along Andrew Swart Drive.

The proposed relaxation of the eastern side boundary building line will, therefore, not have any negative impact on the traffic situation in Andrew Swart Drive.

4.9 Provision of services

The existing development on the application erf has been connected to the municipal services in the area and the permanent departure as proposed in this application will, therefore, not have any negative impact on the existing services or the provision of services.

4.10 Fire-fighting

The fire-fighting requirements stipulated in the fire-regulations will not be negatively impacted upon as the application erf will still be fully accessible for fire-fighting purposes.

5. CONCLUSION

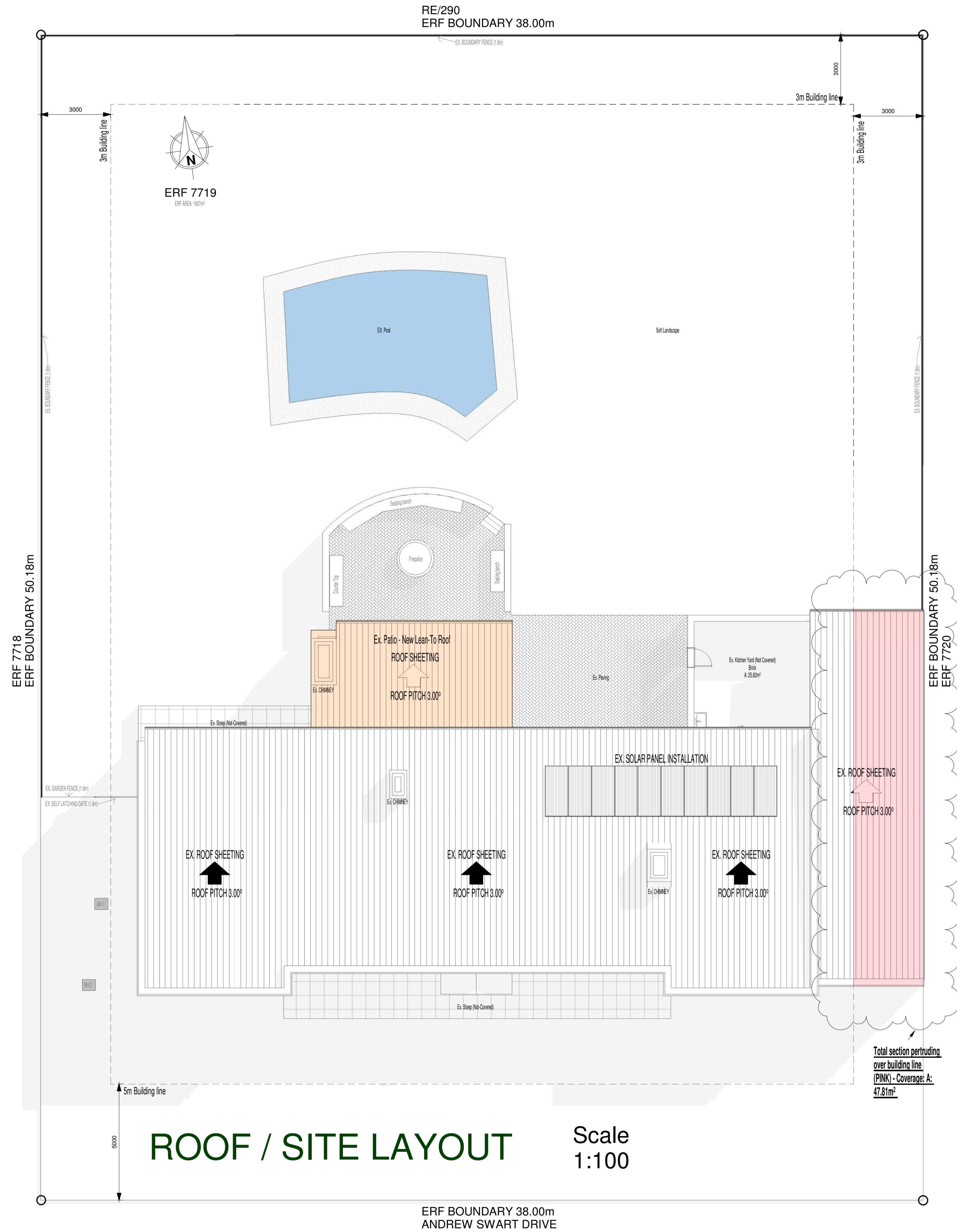
Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the eastern side boundary building line on Erf 7719 George from 3.0 metres to 0.0 metres to allow for the legalization of an existing storeroom which has been converted into

- a non-inter-leading room which will be used as a guestroom with ensuite bathroom, and
- an interleading bedroom with an ensuite bathroom and walk in closet.

The proposed permanent departure for the relaxation of eastern side boundary building line on Erf 7719 George, will not have a negative impact on development, public facilities, or traffic circulation in the surrounding area.

The application conforms with the prescriptions contained in the Land Use Planning By-Law for George Municipality, 2023 and is submitted for consideration in accordance with the relevant stipulations of the mentioned By-Law.

ANNEXURE "A" - SITE PLAN AND BUILDING PLAN



ROOF / SITE LAYOUT

Scale 1:100

GENERAL NOTES:
 Existing walls on boundary to be finished to the satisfaction of the adjacent owners. No structure or any portion thereof to encroach the property boundary.
 Rainwater goods to be inside property.
 Rainwater not to be discharged onto neighboring property.
 Existing patio, open stoep, verandas etc. to remain open as per building plan.
 Drainage installation to comply with SANS 10400 Part P.
 Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.21).
 Drainage installations under the building work must be installed in terms of Part 9 SANS 10400 (4.19.4).
 Drainage installations under the building work must be protected in terms of SANS 10400 (4.22.2).
 Existing drainage and sanitary fittings installation to be as indicated and as per previously approved building plan.
 Patio to remain open as per building plan.
 Pergola to remain open as per building plan.

AREA OF ERF:	1907m ²
% Coverage :	22.04%
Ex. Ground Floor (House):	337.89m ²
Ex. Garage:	42.84m ²
Ex. Patio - New Lean-To Roof:	39.58m ²
Total Coverage Area:	420.31m ²

Total Addition:	
Ex. Patio - New Lean-To Roof:	39.58m ²
Ex. North Patio (Not Covered):	11.16m ²
Ex. South Patio (Not Covered):	32.81m ²
Ex. Kitchen Yard (Not Covered):	28.74m ²

ANY DISCREPANCIES OR CONTRADICTIONS MUST IMMEDIATELY BE POINTED OUT TO TERTIUS CONRADIE FOR CORRECTIONS OR EXPLANATIONS BEFORE ANY CONSTRUCTION PROCEEDS.

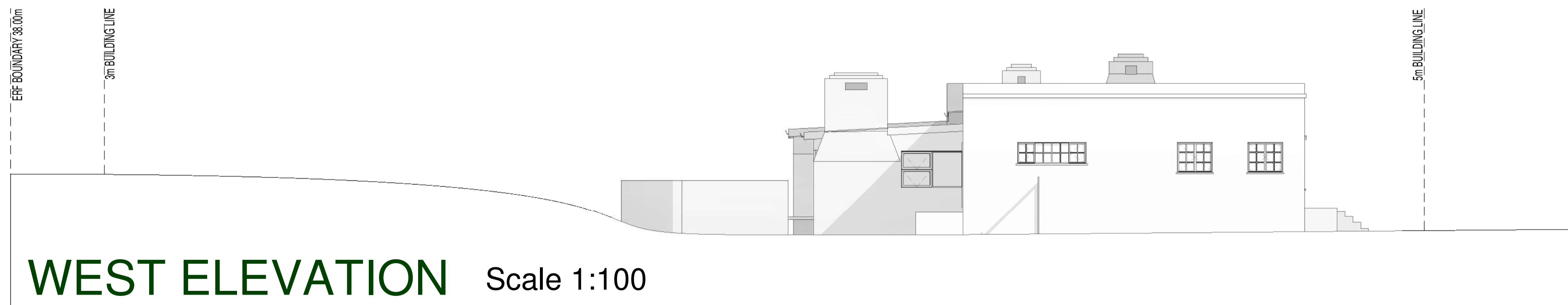
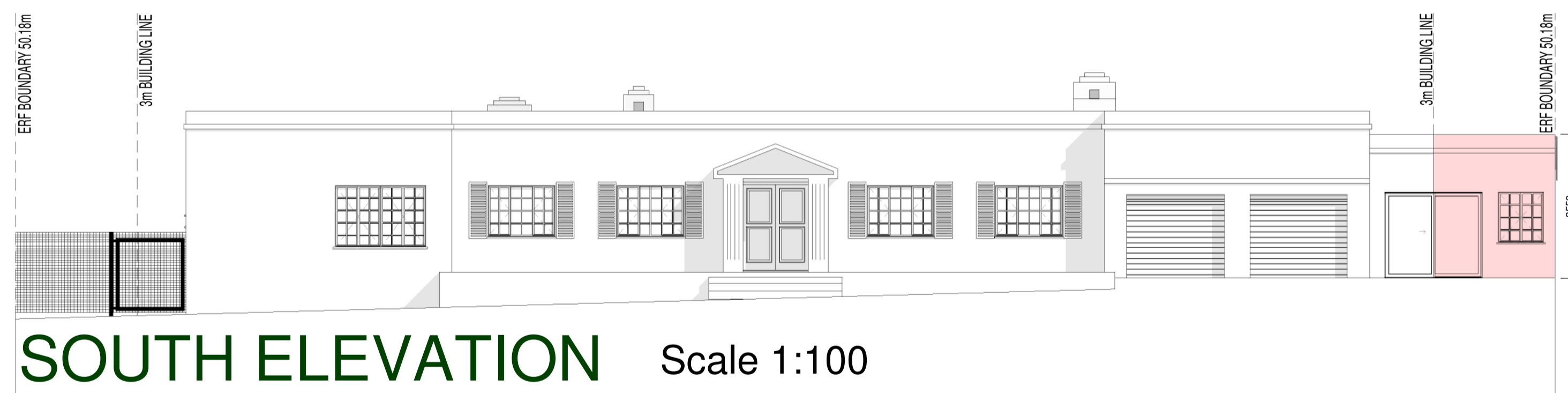
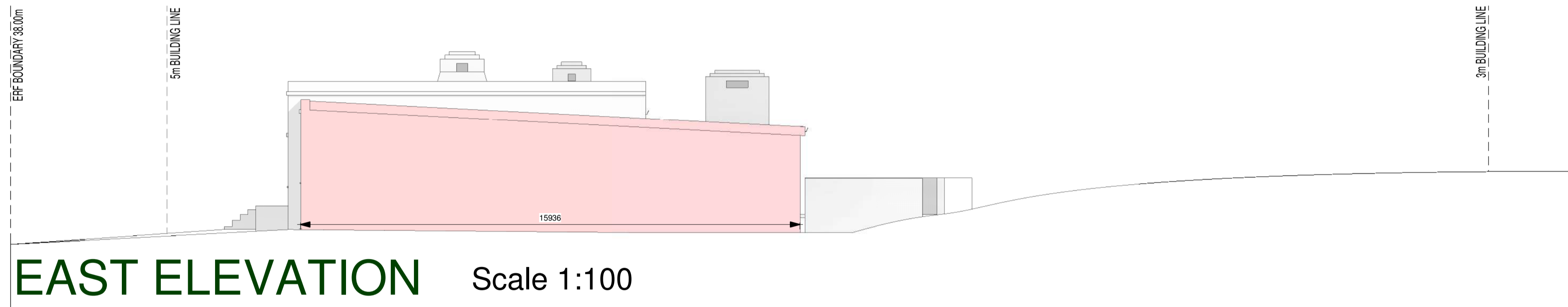
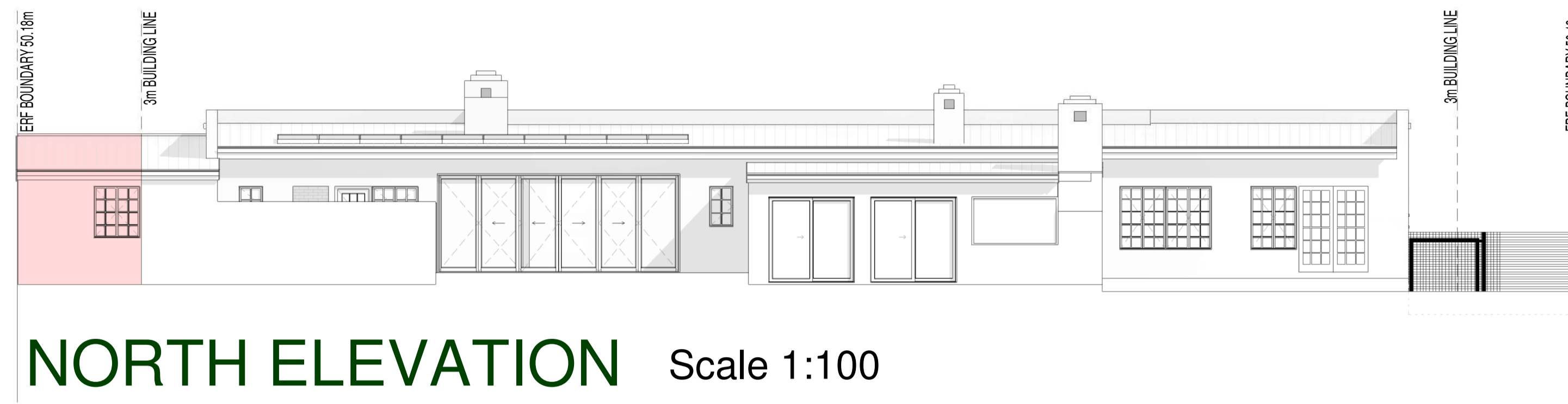
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PROJECT DESCRIPTION:
 ADDITIONS AND ALTERATIONS: ERF 7719, GEORGE

DRAWING / S:
 SDP PLAN- Building line Relaxation

CLIENT SIGNATURE:	DATE: 2025.07.01	SCALE: 1:100
DRAWING NO: E 23_19_SHEET		



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 Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.21).
 Drainage installations under the building work must be installed in terms of Part 9 SANS 10400 (4.19.4).
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Ex. Ground Floor (House):	337.89m ²
Ex. Garage:	42.84m ²
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Total Coverage Area:	420.31m ²

Total Addition:
Ex. Patio - New Lean-to Roof: 39.58m²

Ex. North Patio (Not Covered): 11.16m²
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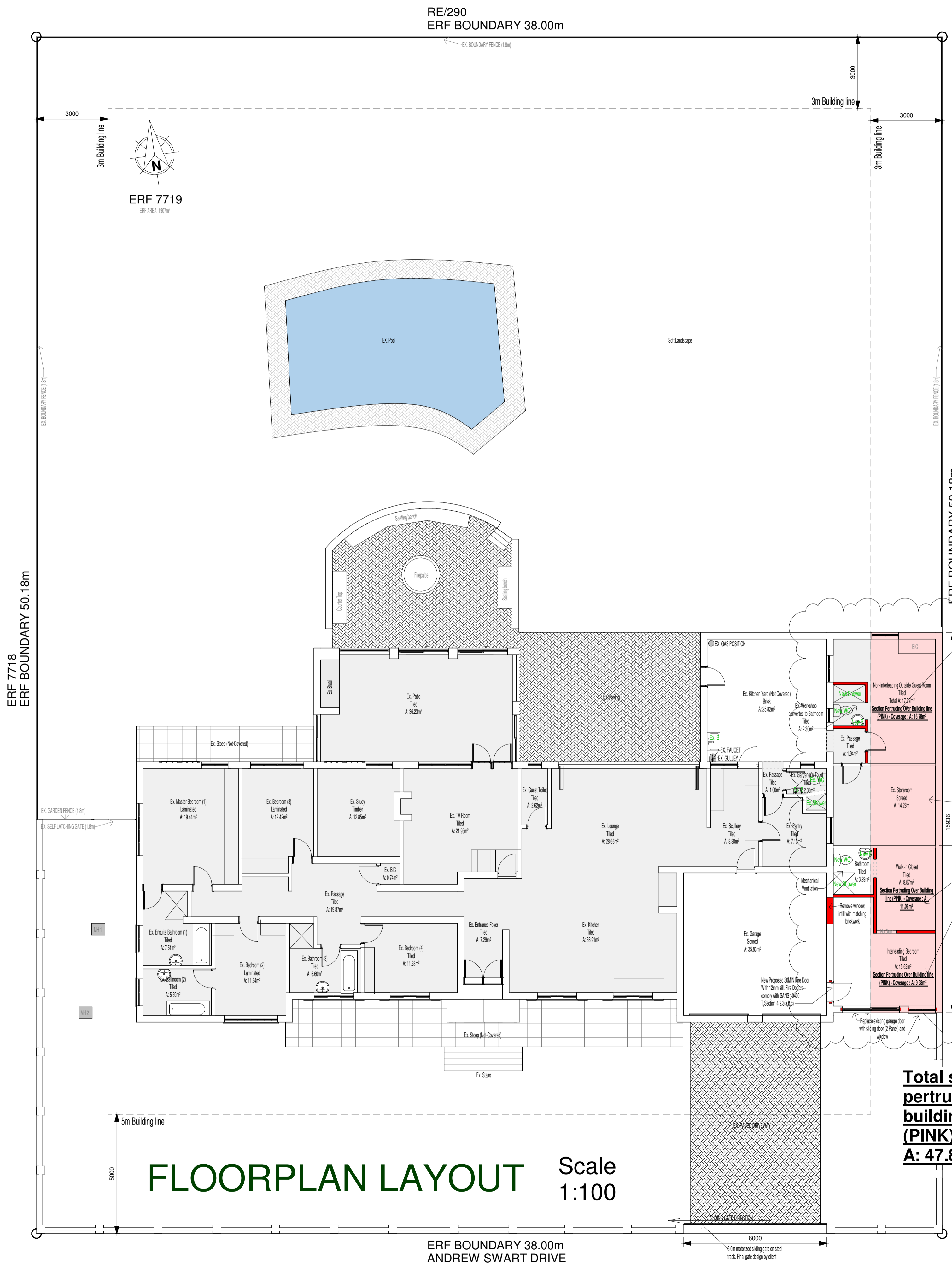
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CLIENT SIGNATURE:	DATE: 2025.07.01	SCALE: 1:100
DRAWING NO: E 23_19_SHEET		



FLOORPLAN LAYOUT Scale 1:100

- 1) EX. Workshop/ Storeroom to be converted to Non-interleaving Outside Guest room with en suite
- 2) EX. Storeroom
- 3) EX. Garage to be converted to Interleaving Bedroom with walk-in closet & en suite

Total section protruding over building line (PINK) - Coverage: A: 47.81m²

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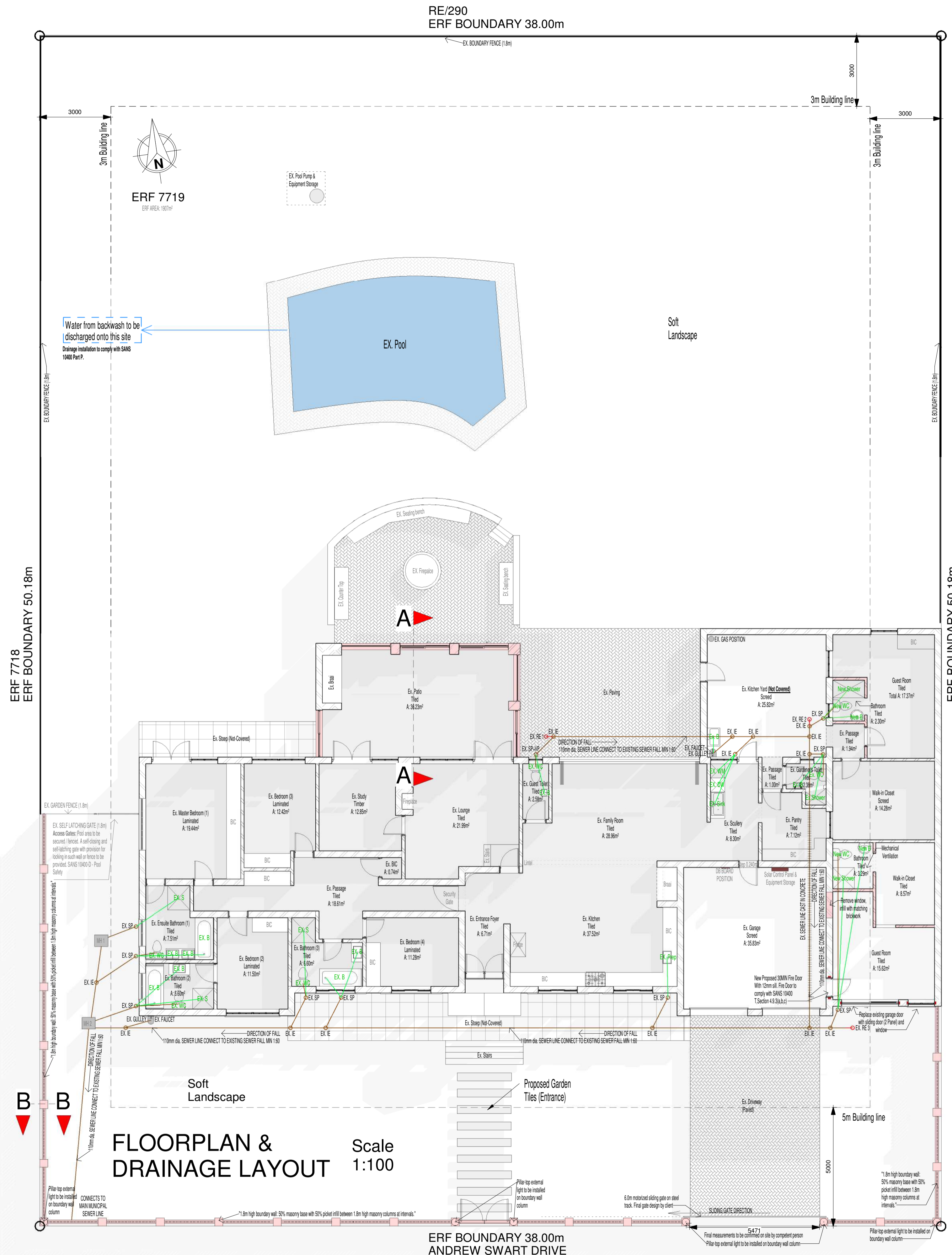
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PROJECT DESCRIPTION:
 ADDITIONS AND ALTERATIONS: ERF 7719, GEORGE

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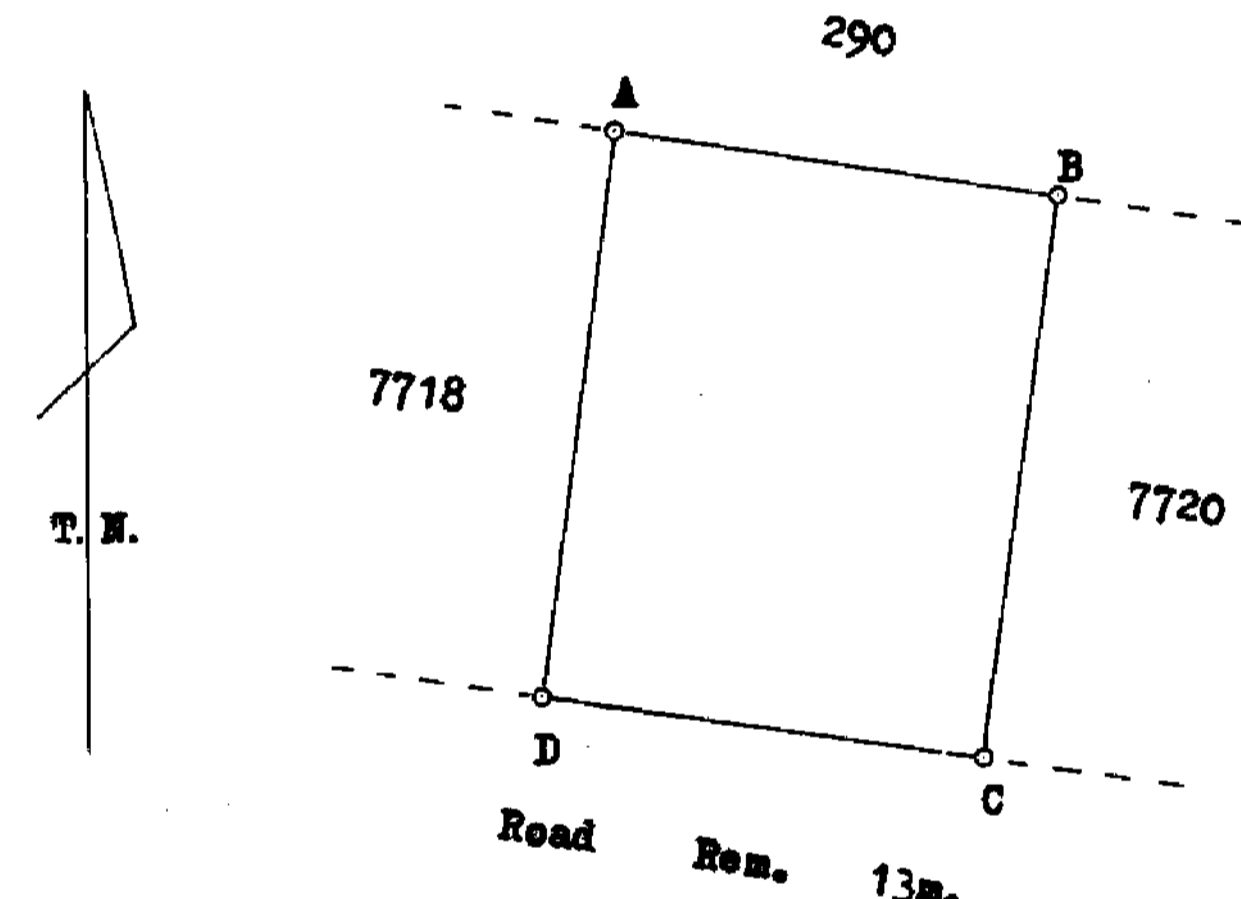
GOOSEN, CLOUGH & LOUW
LAND SURVEYORS — GEORGE

OFFICE COPY

SIDES Metres	ANGLES OF DIRECTION	CO-ORDINATES Y System		S.G. No. 1 5 8 3 / 7 7 Approved <i>H. Blough</i> Surveyor-General 22-6-1977
		Lo 23°	X	
Constant		+3700 000,00		
AB	38,00	278.06.40	A + 49 461,16 + 56 944,90	
BC	50,18	8.06.40	B + 49 423,54 + 56 950,26	
CD	38,00	98.06.40	C + 49 430,62 + 56 999,94	
DA	50,18	188.06.40	D + 49 468,24 + 56 994,57	
Δ Geo 9			+ 50 788,27 + 55 472,47	
Δ Oud 7			+ 56 603,60 + 51 940,04	

Beacons

All beacons are 16mm. iron pegs



Scale: 1 : 1 000

The figure A. B. C. D. represents 1 907 square metres of land, being ERF 7719 (Portion of Erf 224) GEORGE situate in the Municipality and Administrative District of George Province of Cape of Good Hope. Surveyed in February, 1977 by me, *H. Blough* Land Surveyor

This diagram is annexed to Deed of Transfer

No. T.52979/1983 dated

i.f.o.

The original diagram is

3678/1977 No. 498/4886 annexed to Transfer/Grant

No. Geo. T. 17-92 CRT. 254/1978

File No. S.8775/117

S.R. No. E.417/77

Comp. BL-TDD/V42

~~4736~~ (6305)

Registrar of Deeds

GENERAL NOTES:
Existing walls on boundary to be finished to the satisfaction of the adjacent owners. No structure or any portion thereof to encroach the property boundary.
Rainwater goods to be inside property.
Rainwater not to be discharged onto neighboring property.
Existing patio, open stoep, verandas etc. to remain open as per building plan.
Drainage installation to comply with SANS 10400 Part P.
Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.21).
Drainage installations under the building work must be installed in terms of Part 9 SANS 10400 (4.19.4).
Drainage installations under the building work must be protected in terms of SANS 10400 (4.22.2).
Existing drainage and sanitary fittings installation to be as indicated and as per previously approved building plan.
Pergola to remain open as per building plan.
Pergola to remain open as per building plan.

AREA OF ERF: 1907m²
% Coverage: 22.04%

Ex. Ground Floor (House): 337.89m²
Ex. Garage: 42.84m²
Ex. Patio - New Lean-to Roof: 39.58m²
Total Coverage Area: 420.31m²

Total Addition:
Ex. Patio - New Lean-to Roof: 39.58m²

Ex. North Patio (Not Covered): 11.16m²
Ex. South Patio (Not Covered): 32.81m²
Ex. Kitchen Yard (Not Covered): 28.74m²

ANY DISCREPANCIES OR CONTRADICTIONS MUST IMMEDIATELY BE POINTED OUT TO TERTIUS CONRADIE FOR CORRECTIONS OR EXPLANATIONS BEFORE ANY CONSTRUCTION PROCEEDS.

Tertius Conradie
ArgitekZur PRESENT
15 Progress St
Dormelshdrift, George
021 225 9154
t.conradie@telkomsa.net

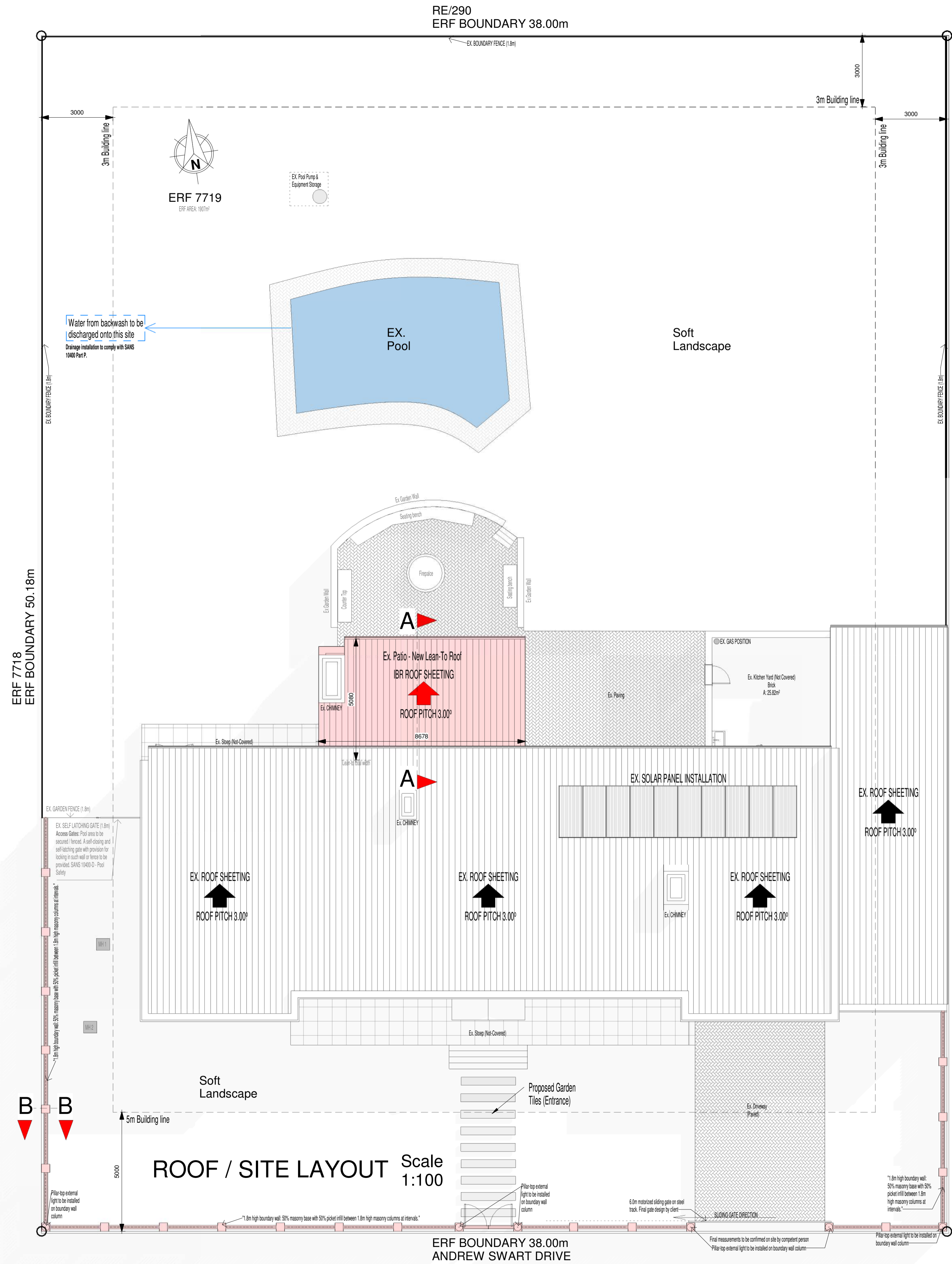
ARCHITECT IONRADIE
Inge Conradie 078 225 9154
15 Progress St
Dormelshdrift, George
Member of SACAP

PROJECT DESCRIPTION:
ADDITIONS AND ALTERATIONS: ERF 7719, GEORGE

DRAWING / S:
Municipal Submission

CLIENT SIGNATURE: DATE: 2025.06.29 SCALE: 1:100

DRAWING NO: E23_19_SHEET



ROOF / SITE LAYOUT Scale 1:100

Solar Panel Specifications:
 Type of Panels: Monocrystalline or Polycrystalline Solar Panels
 • Panel Dimensions: 2.1m (Length) x 1.1m (Width) = 2.31 m² per panel
 • Estimated Power Rating per Panel: 2.31 m² x 180W/m² = 415.8W per panel (based on average efficiency)
 • Total Number of Panels: 10 panels
 • Total System Output (Estimated): 10 x 415.8W = 4,158W (≈4.2kW peak output)
 • Efficiency Range: 15% - 22% (Typical for monocrystalline and polycrystalline panels)

Inverter Specifications:
 • Brand and Model: Sunsynk, Deye, or Victron (all commonly used in South Africa)
 • Power Rating: 8 kW (Final specification to be confirmed by a competent installer)
 • Inverter Efficiency: >97.6%
 • Grid Connection: Off-grid system with battery storage
 • Battery Storage Location: Inside the garage

Battery Specifications:
 • Battery Type: Lithium Iron Phosphate (LiFePO₄)
 • Estimated Storage Capacity: ±10.6 kWh (Average capacity installed for residential use, final sizing to be confirmed by a certified installer)
 • Voltage: 51.2V (Estimated)
 • Battery Quantity: Typically 1-2 units depending on system size and user demand
 • Installation Location: Garage.

Mounting System Specifications:
 • Mounting Type: Roof-mounted system
 • Mounting Materials: Aluminum or galvanized steel racking system
 • Panel Orientation & Tilt Angle: To be determined by a competent person to optimize solar gain

Structural Compliance:
 • SANS 10400-B (Structural Design)
 • SANS 10160 (Wind Load Calculations)

Design Notes:
 • Mounting system must ensure even weight distribution to prevent structural stress
 • System must be secured to resist wind uplift forces in line with local loading conditions

Safety & Regulatory Compliance:
Fire Safety:
 • Complies with SANS 10400-T (Fire Protection) to reduce electrical fire risk
 • Components must be flame-resistant and rated for high-temperature operation

Electrical Installation:
 • Must comply with:
 • SANS 10142-1 (Wiring of Premises)
 • SANS 60364-7-712 (Requirements for PV Installations)
 • All installations to be completed by certified professionals

Battery Storage:
 Must comply with:
 • SANS 62485-2 (Safety requirements for secondary batteries)
 • SANS 10142-1
 • Must be installed in a well-ventilated, fire-resistant enclosure

Drainage & Waterproofing (SANS 10400-R):
 • All roof penetrations must be properly sealed and waterproofed
 • Mounting system must not obstruct rainwater runoff

Labeling & Marking:
 • Permanent signage must be affixed near the main DB board to indicate the presence of a solar PV system
 • All components must be SABS or IEC certified

Solar System in its entirety to be specified and installed by a competent person

SPECIFICATIONS: POOL REGULATION:
Pool backwash: to comply with the GM water and sanitation bylaw section 100(4)(b) and (c) that states the following:
 No person may discharge or cause or permit the discharge of—
 b: of water from any swimming pool directly or indirectly over any road or into a gutter, storm water drain, watercourse, open ground or private premises other than the premises of the owner of such swimming pool;
 c: water from artificial fountains, reservoirs or swimming pools situated on premises into a drainage installation, without the approval of the municipality and subject to the payment of relevant charges and such conditions as the municipality may impose;
Access Gates: Pool area to be secured / fenced. A self-closing and self-latching gate with provision for locking in such wall or fence to be provided.
 SANS 10400-D - Pool Safety

Drainage installation to comply with SANS 10400 Part P.
 Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.21).
Drainage installations under the building work must be installed in terms of Part P SANS 10400 (4.19.4).
Drainage installations under the building work must be protected in terms of Part P SANS 10400 (4.22.2).
Drainage installation details required as per regulation A2(1)(d).
Draining information as per SANS 10400 Part A (A8) required.
 Existing drainage and sanitary fittings installation to be as indicated and as per previously approved building plan.

GENERAL NOTES:
 Existing walls on boundary to be finished to the satisfaction of the adjacent owners. No structure or any portion thereof to encroach the property boundary.
 Rainwater goods to be inside property.
 Rainwater not to be discharged onto neighboring property.
 Existing patio, open stoep, verandas etc. to remain open as per building plan.
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 Drainage installations under the building work must be protected in terms of SANS 10400 (4.22.2).
 Existing drainage and sanitary fittings installation to be as indicated and as per previously approved building plan.
 Patio to remain open as per building plan.
 Pergola to remain open as per building plan.

AREA OF ERF:	1907m²
% Coverage :	22.04%
Ex. Ground Floor (House):	337.89m²
Ex. Garage:	42.84m²
Ex. Patio - New Lean-to Roof:	39.58m²
Total Coverage Area:	420.31m²

Total Addition:	
Ex. Patio - New Lean-to Roof:	39.58m²
Ex. North Patio (Not Covered):	11.16m²
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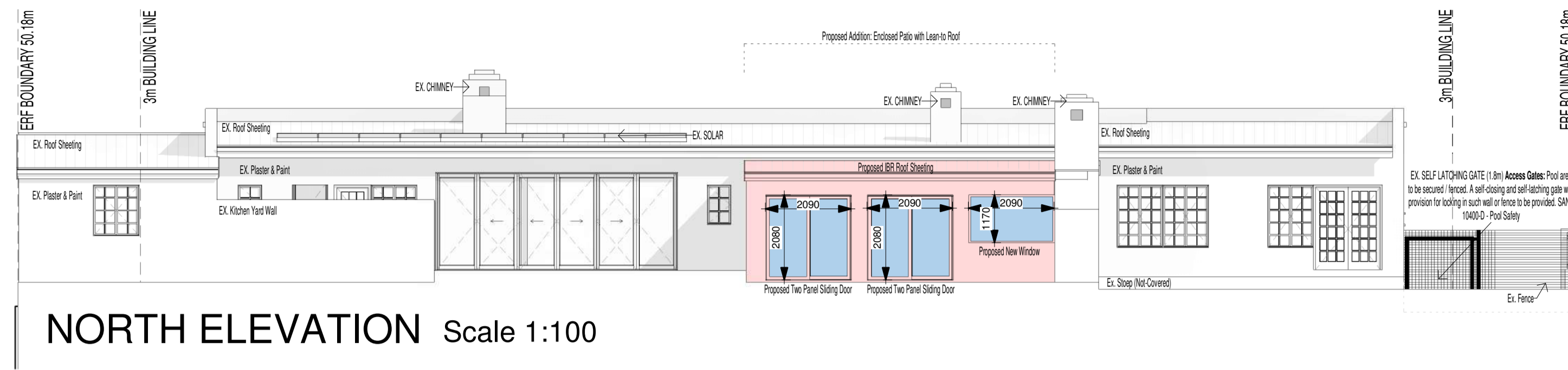
Tertius Conradie
ArgitekZuur PRESENT
 15 Progress St
 Dornesdrift, George
 0813 7227 283
 tertiusconradie@telkomia.net

ICONRADIE ARCHITECT
 Inge Conradie 078 225 9154
 15 Progress St
 Dornesdrift, George
 •M.Arch. (Prof) •BAS •SAS •Member of SACAP
 inge.architect@gmail.com

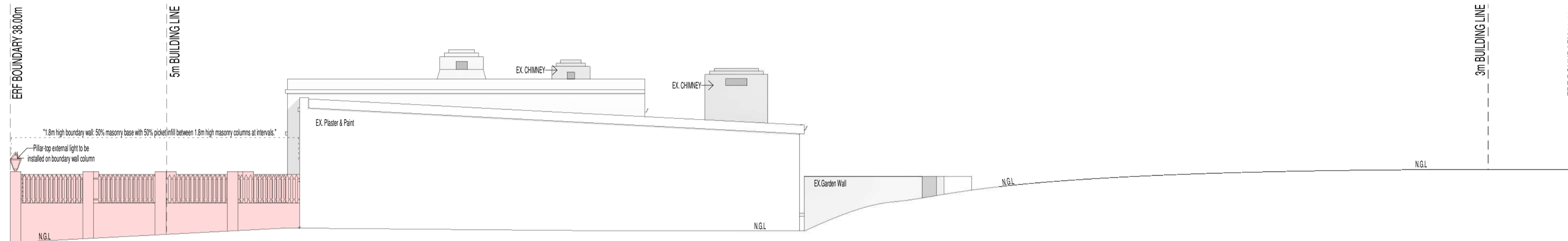
PROJECT DESCRIPTION:
ADDITIONS AND ALTERATIONS: ERF 7719, GEORGE

DRAWING / S:
Municipal Submission

CLIENT SIGNATURE:	DATE: 2025.06.29	SCALE: 1:100
DRAWING NO: E23_19_SHEET		



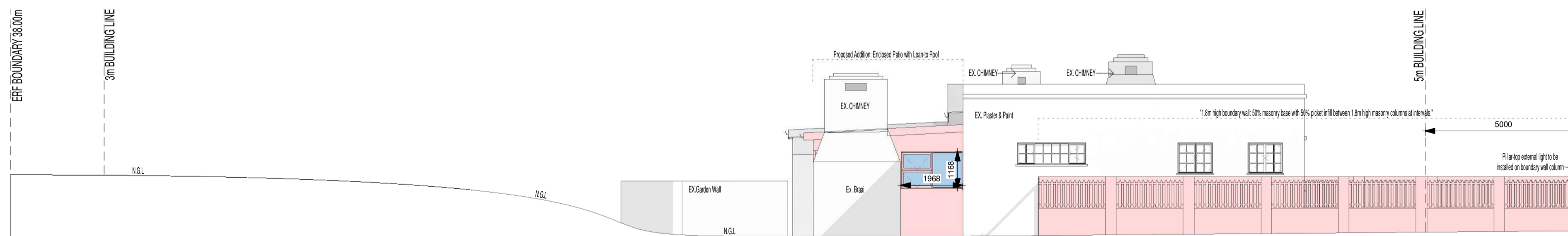
NORTH ELEVATION Scale 1:100



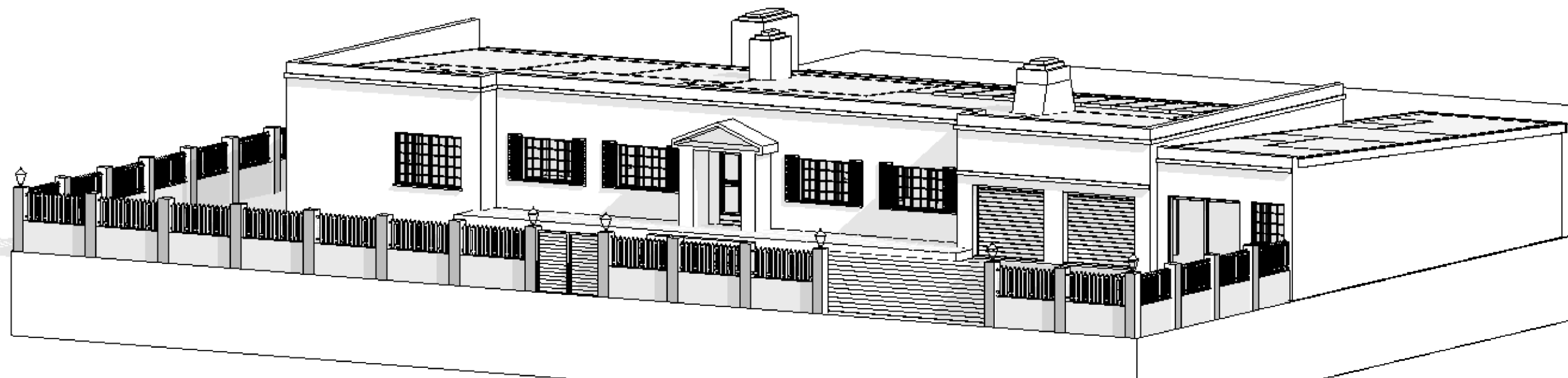
EAST ELEVATION Scale 1:100



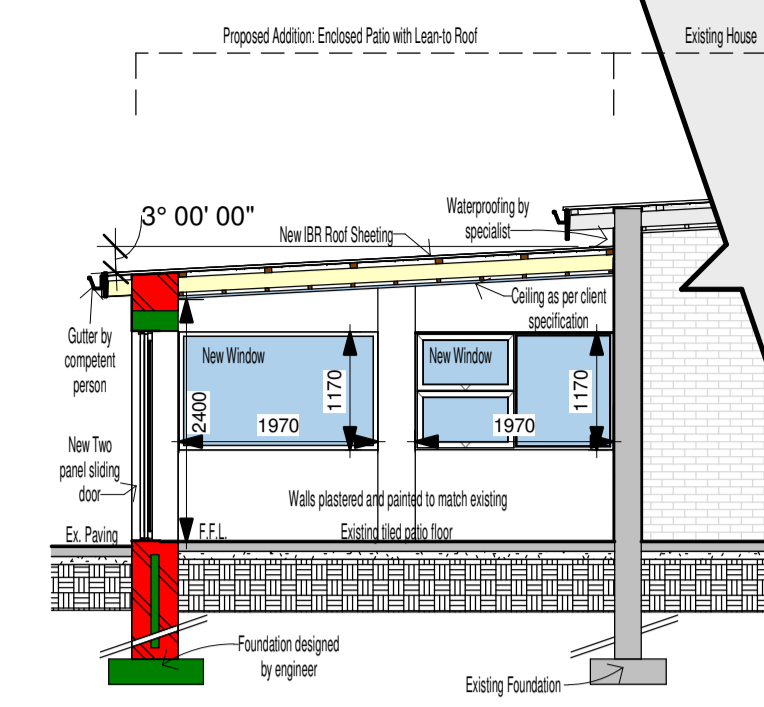
SOUTH ELEVATION Scale 1:100



WEST ELEVATION Scale 1:100



Basic Visual Representation: Street View (Andrew Swart Ave)



SECTION A-A
SCALE 1:75

- SPECIFICATIONS - ENCLOSED PATIO ADDITION**
- (01) ROOF CONSTRUCTION: Roof pitch to be 7°. Roof finish to be 1.47 mm EBR Zincalume (A215) sheeting in Clear ULTRA COLORBOND (Colour as selected by client). Rafters 70 x 35 mm S.A. Pine rafters spaced at 900 mm centres on top of 19 x 38 mm Grade 5 S.A. Pine beams. Ceiling to be installed beneath on 38 x 38 mm ceiling battens. Insulation to be installed above the roof sheeting to be 150 mm mineral wool insulation. Roof sheeting to be laid with 250 mm gabled end laps. Roof with 'Tie across through alternate rafters to purlins, and double-computer side laps. All flashings and waterproofing including around the chimney of the existing house and against existing house will be installed by a competent person, in accordance with manufacturer's recommendations and SANS 10400. Roof structure to be constructed in accordance with SANS 10400 Part I, Part IIA and NBRCC guidelines. Final design and certification of roof structure by a qualified engineer. All insulation to be installed in accordance with SANS 10400 IIA and SANS 10400 IIA.
 - (02) SUPERSTRUCTURE: External walls to be standard masonry (lay bricks), plastered and painted to match existing house. Walls to be constructed using Class II mortar. Internal walls to be constructed using Class II mortar. All external walls to be constructed in accordance with SANS 10400. Internal walls (if applicable) to be built with non-loadbearing Corobrik Imperial clay bricks, in Class II mortar. All plaster finishes to be 15 mm thick SMOOTH plaster internally and externally, with paint as per client specification.
 - (03) WINDOWS AND DOORS: All windows and external doors to be aluminium frame, powder coated to match the existing. Installation by supplier, compliant with SANS 10400-NA, SANS 613 (air infiltration) and SANS 204 (energy efficiency). All glazing to comply with SANS 10400 Part IIA, including solar heat gain and insulation.
 - (04) CEILING: Ceiling to be gypsum board or equivalent, mounted to 38 x 38 mm ceiling battens. All joints to be taped and finished smooth, with paint finish as per client selection. Ceiling insulation to comply with minimum total R-value of 3.7, using materials detailed above.
 - (05) FLOOR CONSTRUCTION: Patios retain existing floor or original surface bed. If any new floor areas are added, they shall match existing and be constructed as follows: Approved bitumen or cement concrete (total thickness 40 mm) on 100 mm concrete surface bed (SBR/PA). On 200 mm concrete Gumbo Green waterproofing membrane. On 50 mm sand layer. Or well compacted fill not exceeding 150 mm per layer.
 - (06) STRUCTURAL DESIGN: All structural elements (roof/beams, supports, trunks, and any loadbearing alterations) to be engineered and certified by a qualified structural engineer. All timber to be Grade 5 or 7, treated and installed in accordance with SANS 10006.
 - (07) DRAINAGE: If Applicable: Any drainage system to comply with SANS 10400 Part P (Drainage).
 - (08) RAINWATER GOODS: Gutters, downpipes, and all rainwater goods to match existing and be approved by the client. Installed in accordance with manufacturer's instructions and SANS 10400-RA.
 - (09) FASCIAS & BARGE BOARDS: To match existing finishes and design. Colour and style to be approved by the client.
 - (10) GENERAL COMPLIANCE: All work to comply with the National Building Regulations and SANS 10400 (all relevant parts). Roofing and insulation to be installed to meet the requirements of SANS 204 and IIA energy efficiency standards. Contractor to be NBRCC registered and compliant with local municipal by-law.
- All measurements to be finalized on site. Final design by engineer.

GENERAL NOTES:
Existing walls on boundary to be finished to the satisfaction of the adjacent owners. No structure or any portion thereof to encroach the property boundary. Rainwater goods to be inside property. Rainwater not to be discharged onto neighboring property. Existing patio, open stoep, verandas etc. to remain open as per building plan. Drainage installation to comply with SANS 10400 Part P. Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.21). Drainage installations under the building work must be installed in terms of Part 9 SANS 10400 (4.19.4). Drainage installations under the building work must be protected in terms of SANS 10400 (4.22.2). Existing drainage and sanitary fittings installation to be as indicated and as per previously approved building plan. Pergola to remain open as per building plan.

AREA OF ERF:	1907m ²
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Ex. Patio - New Lean-to Roof:	39.58m ²
Total Coverage Area:	420.31m ²

Total Addition:	
Ex. Patio - New Lean-to Roof:	39.58m ²
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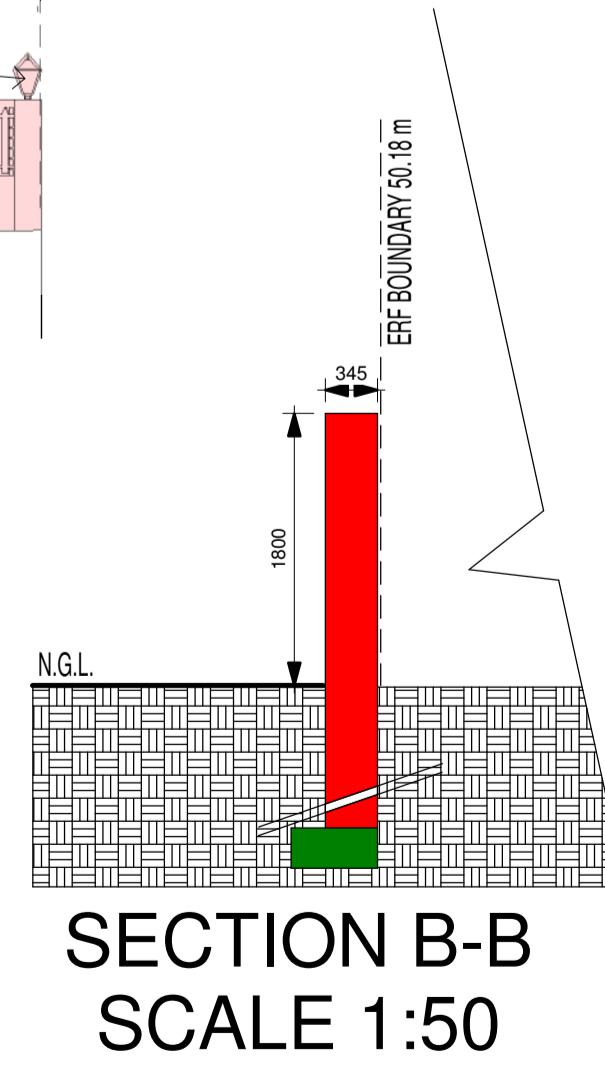
Tertius Conradie
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0813 7227 283
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t.conradie@t3k.com.sa.net

ICONRADIE ARCHITECT
Inge Conradie 078 225 9154
M.Arch. (Prof) +BAS +BAS
Member of SACAP
t.conradie@gmail.com

PROJECT DESCRIPTION:
ADDITIONS AND ALTERATIONS: ERF 7719, GEORGE

DRAWING / S:
Municipal Submission

CLIENT SIGNATURE:	DATE: 2025.06.29	SCALE: 1:100
DRAWING NO: E23_19_SHEET		



SECTION B-B
SCALE 1:50

BOUNDARY WALLS, GATES & LIGHTING SPECIFICATION

General Construction: The boundary wall is to be constructed to a total height of 1.8m, consisting of a 50% solid masonry base and 50% picket fence infill between 1.8m high reinforced masonry columns. Columns (pillars) to be spaced at regular intervals as determined by the appointed Structural Engineer and based on final design by the client.

Pillar Dimensions: Nominal dimensions of each masonry pillar to be 345mm x 345mm, constructed with suitable reinforcement as per engineering requirements.

Wall Construction Between Pillars: Masonry base: 200mm thick solid wall to approximately 900mm height. Infill: Picket fence panels from masonry base to top of pillars (+900mm pickets). Total wall height including pillars: 1.8m.

Finishes: All masonry surfaces to receive a 15mm smooth plaster finish and be painted in a colour and texture to complement the existing residence.

Gates

Pedestrian Gate: A double swing pedestrian gate is to be installed in a location indicated on the site plan. Final gate design to be confirmed by the client. The gate is to be self-closing and self-latching, with provision for a lock. Gate finish to be galvanized or powder-coated steel or equivalent, matching existing finishes on the property.

Vehicle Gate: A 6.0m wide motorized sliding gate is to be installed on a steel track, aligned with structural columns. Final design and fabrication to be confirmed by the client and coordinated with engineering input.

Lighting

External Lighting: Pillar-top outdoor light fittings to be installed only on the following masonry columns:

- Corner boundary pillars
- Pillars adjacent to the pedestrian gate
- Pillars flanking the vehicle entrance gate

All light fittings to be suitable for outdoor use (weatherproof IP-rated) and installed in accordance with SANS electrical safety standards.

Foundations & Structural Requirements: Foundations must extend a minimum of 600mm below natural ground level, constructed with 20MPa concrete or as per the appointed engineer's design. All walls and columns to be constructed using standard clay bricks in Class II mortar, or as specified by the engineer. A damp-proof course (DPC) to be installed above foundation level in compliance with SANS 10400. All structural elements (wall thickness, reinforcement, footing sizes, column detailing) to be designed and signed off by a registered Structural Engineer.

Notes: Final boundary wall and gate design is to be provided by the client and confirmed by the Structural Engineer prior to construction. All work must comply with local building regulations and SANS 10400. Construction to be carried out by a registered and competent contractor.

ANNEXURE "B" - APPLICATION FORM



**PLANNING AND DEVELOPMENT
APPLICATION FORM FOR CONSENT USE FOR A SECOND
DWELLING/ADDITIONAL DWELLING AND/OR DEPARTURE**

(Please complete the form in full for consideration - tick appropriate boxes with X)

BUILDING LINE RELAXATION	<input checked="" type="checkbox"/>	SECOND DWELLING	<input type="checkbox"/>	ADDITIONAL DWELLING	<input type="checkbox"/>
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PROPERTY DETAILS

ERF NUMBER	7719	EXTENSION/A REA	Fernridge, George
ZONING	Single Residential Zone I		
EXISTING LAND USE	Residential		

CORRESPONDENCE DETAILS

IS THE APPLICANT ALSO THE REGISTERED OWNER OF THE RELEVANT PROPERTY?				YES	NO	
ADDRESS CORRESPONDENCE TO		OWNER	APPLICANT	POST OR E-MAIL	POST	E-MAIL
COLLECT BY HAND	YES	<input checked="" type="checkbox"/>	TELEPHONE NO	0824647871		

OWNER DETAILS

OWNER NAME	B.F.B Meyer and C.F.M Meyer				
STREET NAME	Andrew Swart Drive	HOUSE NUMBER	27		
POSTAL ADDRESS	P/a P O Box 879	SAME AS POSTAL ADDRESS	YES	<input checked="" type="checkbox"/>	
EXTENSION/AREA	George	CODE	6530		
ID NUMBER	B.F.B Meyer – 7704075169086 C.F.M Meyer - 7905180053087	E-MAIL ADDRESS	ina@heycoc attorneys.co.za		
TELEPHONE NO	P/a 044 873 0155	CELL NO	N/a		

APPLICANT DETAILS (strike through if registered owner is also the applicant)

NAME	Jan Vrolijk Town Planner / Stadsbeplanner				
STREET NAME	Victoria Street	HOUSE NUMBER	-		
POSTAL ADDRESS	P O Box 710	SAME AS POSTAL ADDRESS	YES	<input checked="" type="checkbox"/>	
EXTENSION/AREA	George CBD	CODE	6530		
TEL / CELL NO	082 464 7871	E-MAIL ADDRESS	janvrolijk@jvtownplanner.co.za		
PROFESSIONAL CAPACITY	Town Planner	SACPLAN NO	A/1386/2011		

BOND HOLDERS DETAILS (Only applicable if property is encumbered by a bond)

IS THE PROPERTY ENCUMBERED BY A BOND?		YES	NO
NAME OF BOND HOLDER	ABSA		

TITLE DEED DETAILS

TITLE DEED NO.	T44053/2020		
ARE THERE RESTRICTIONS IN THE TITLE DEED WHICH IMPACT THE APPLICATION? (If yes, describe restrictions below)		YES	NO
N/a			


APPLICATION DETAILS

DESCRIPTION OF BUILDING LINE RELAXATION (STREET / LATERAL / REAR BUILDING LINE)	FROM M	TO M	DETAILS
Eastern side boundary building line	3.0	0.0	Legalization of a not inter-leading guestroom and ensuite bathroom
Eastern side boundary building line	3.0	0.0	Legalization of interleading bedroom with walk-in-closet and an ensuite bathroom
Is an application for an increase in coverage being applied for? (Indicate increase under details)	YES	NO	
Is an application for a 2 nd dwelling /additional dwelling being applied for? (indicate size under details)	YES	NO	

HOA/ ADJACENT OWNERS DETAILS (Consent letters as well as site plans to be signed by adjacent owners)

ERF NO	ADDRESS	NAME	CONSENT LETTER ATTACHED
To be advertised			

I hereby acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.

APPLICANT'S SIGNATURE		DATE	14 April 2026
-----------------------	---	------	---------------

FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:

Locality Plan	Building Plan/ Site Plan on A3/ A4	SG Diagram/ General Plan	Title Deed
Power of Attorney	Motivation	Neighbours Consent / Comment	HOA Consent
Bond Holder Consent	Proof of Payment	Conveyance Certificate	Other (Specify)

ANNEXURE "C" - LOCALITY PLAN

Erf 7719 George - Locality plan



Date: 7/1/2025 9:18 AM

Scale: 1:1,335



Disclaimer
George Municipality makes no warranties as to the correctness of the information supplied.
Persons relying on this information do so entirely at their own risk.

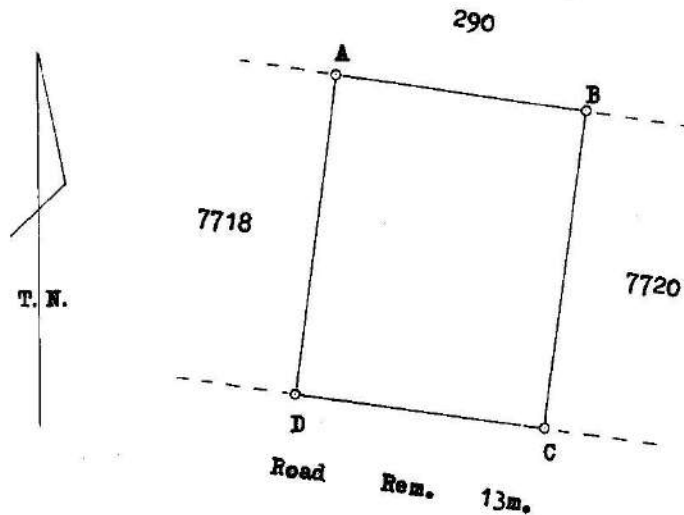
George Municipality will not be liable for any claims whatsoever, whether for damages or otherwise, which may arise as a result of inaccuracies in the information supplied.

ANNEXURE "D" – SURVEYOR GENERAL DIAGRAM

SIDES Metres	ANGLES OF DIRECTION	CO-ORDINATES		S.G. No. 1 5 8 3 / 7 7
		Y	Lo 23° X	
	Constant		+3700 000,00	Approved <i>H. van der Blouk</i> Surveyor-General 22-6-1977
AB	38,00	278.06.40	A + 49 461,16 + 56 944,90	
BC	50,18	8.06.40	B + 49 423,54 + 56 950,26	
CD	38,00	98.06.40	C + 49 430,62 + 56 999,94	
DA	50,18	188.06.40	D + 49 468,24 + 56 994,57	
	△ Geo 9		+ 50 788,27 + 55 472,47	
	△ Oud 7		+ 56 603,60 + 51 940,04	

Beacons

All beacons are 16mm. iron pegs



Scale: 1 : 1 000

The figure A. B. C. D.
represents 1 907 square metres of land, being
ERF 7719 (Portion of Erf-224) GEORGE
situate in the Municipality and
Administrative District of George Province of Cape of Good Hope.
Surveyed in February, 1977
by me. *H. van der Blouk* Land Surveyor

This diagram is annexed to Deed of Transfer No. T. 52979/1983 dated i.f.o. Registrar of Deeds	The original diagram is <i>3678/1977</i> No. 1488/1886 annexed to Transfer/Grant No. Geo. F. 17-92 <i>CRT. 254/1978</i>	File No. S.8775/117 S.R. No. E.417/77 Comp. BL-7DD/V42 1736 (6305)
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ANNEXURE "E" - TITLE DEED

70

FOURIE & PRETORIUS INCORPORATED
Suite 7, Eaton Centre
19 Blaauwberg Road
Bloubergrant
7441

Prepared by me



CONVEYANCER
GERRIT PETRUS FOURIE
(LP83877)

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	2100 000,00	1691,00
Reason for exemption	Category Exemption	Exemption i/o. Sec/Reg. Act/Proc.

VERBIND MORTGAGED

VR 2893 922,00

000024781 / 2020
15 DEC 2020

REGISTRAR OF DEEDS

DATA / CAPTURE
08-01-2021
FATGEYAH LARNEY

T 000044053 / 2020

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

GERRIT PETRUS FOURIE (LP83877)

POWER OF ATTORNEY LPCM 84791

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him/her by

PAMELA MARY MARABINI
Born on 6 January 1940
Unmarried

DATA / VERIFY
08-01-2021
YOLANDI OLIVIER

herein represented by NIEL HAYCOCK by virtue of Special Power of Attorney dated at HARARE on 19 AUGUST 2020

which said Power of Attorney was signed at George on 5 November 2020

And the appearer declared that his/her said principal had, on 19 August 2020, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

1. **BAREND FREDERIK BURGER MEYER**
Identity Number 7704075169086
Married out of community of property
2. **CATHARINA FREDRIKA MARIA MEYER**
Identity Number 7905180053087
Married out of community of property

their Heirs, Executors, Administrators or Assigns,

ERF 7719 GEORGE,
IN THE MUNICIPALITY AND DIVISION OF GEORGE
PROVINCE OF WESTERN CAPE

IN EXTENT 1907 (ONE THOUSAND NINE HUNDRED AND SEVEN) Square metres

FIRST TRANSFERRED by Deed of Transfer No. T52979/1983 with Diagram No 1583/77 relating thereto and held by Deed of Transfer No. T67477/2003 and Deed of Transfer No. T5962/2010

- A. **SUBJECT** to conditions referred to in Deed of Grant issued on 1st February 1887 (George Quitrent 17 No.92).
- B. **SUBJECT FURTHER** to the following conditions contained in said Deed of Grant (George Quitrent 17 No. 92), namely:-

"That all roads and throughfares running over the land hereby regranted shall remain free and uninterrupted; the said land shall be liable without compensation to its proprietors to have any road made over it for the public good by order of Government, and be subject to all such conditions and regulations as are contained in the original Grant above referred to; subject however, to all such duties and regulations as are either already or shall in future be established with regard to such lands."

- C. **SUBJECT FURTHER** to the following conditions contained in Deed of Transfer NO. T52979/1983 imposed by the Municipality of George, namely:-

1. Die eienaar van hierdie erf is verplig om sonder betaling van vergoeding toe te laat dat elektisiteits-, telefoon-of televisiekabels, of-drade en hoof-en/of ander waterpype en die rioolvuil en dreinerings, insluitende stormwater van enige ander erf of erwe, binne of buite hierdie dorp, oor hierdie erf gevoer word indien dit deur die plaaslike of 'n ander statutere owerheid nodig geag word, en wel op die wyse en plek van tyd tot tyd redelikerwys vereis word. Dit sluit die reg op toegang te alle redelike tye tot die eiendom in met die doel om enige werke met betrekking tot bogeneomde aan te le, te wysig, te verwyder of te inspekteer.



2. Die eienaar van hierdie erf is verplig om sonder vergoeding op die erf, die material te ontvang of uitgrawings op die erf toe te laat al na vereis word, sodat die volle breedte van die straat gebruik kan word en die wal veilig en behoorlik skuins gemaak kan word omrede van die verskil tussen die hoogte van die straat soos finaal aangele en die erf tensy hy verkies om stuenmure te bou tot genoeg van die en binne 'n tydperk wat die plaaslike owerheid bepaal.
3. Geen onderverdeling van hierdie perseel sal toegelaat word nie".



WHEREFORE the said Appearer, renouncing all rights and title which the said

PAMELA MARY MARABINI, Unmarried

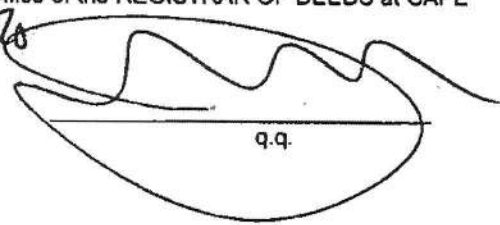
heretofore had to the premises, did in consequence also acknowledge her to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

1. **BAREND FREDERIK BURGER MEYER, Married as aforesaid**
2. **CATHARINA FREDRIKA MARIA MEYER, Married as aforesaid**

their Heirs, Executors, Administrators or Assigns, now are and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R2 100 000,00 (TWO MILLION ONE HUNDRED THOUSAND RAND).

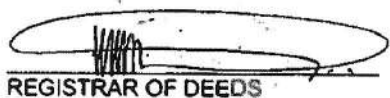
IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on 15 DECEMBER 2014



q.q.

In my presence



REGISTRAR OF DEEDS



ANNEXURE "F" - POWER OF ATTORNEY

POWER OF ATTORNEY

We, the undersigned

Barend Frederik Burger Meyer and Catharina Fredrika Maria Meyer

the registered owners of

Erf 7719 George

do hereby appoint Jan Vrolijk Town Planner/Stadsbeplanner to prepare, sign and submit the following application to the George Municipality:

An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the eastern side boundary building line on Erf 7719 George from 3.0 metres to 0.0 metres to allow for the legalization of an existing storeroom which has been converted into

- *a non-inter-leading bedroom which will be used as a guestroom with ensuite bathroom, and*
- *an inter-leading bedroom with walk-in-closet and an ensuite bathroom.*

Signed at George on 29 September 2025

Barend Frederik Burger Meyer

Catharina Fredrika Maria Meyer

The image shows two handwritten signatures in black ink. The top signature is for Barend Frederik Burger Meyer, written in a cursive style. The bottom signature is for Catharina Fredrika Maria Meyer, also in a cursive style. Each signature is written over a horizontal line.

ANNEXURE "G" – BONDHOLDERS CONSENT



Home Loans
Sales and Service Enablement

9 Lothbury Road
Auckland Park, 2092
Private Bag 72007
Cresta, 2118
South Africa

T 0860 111 007
Swift address: ABSAZAJJ
absa.co.za

10.04.2026

Private/Confidential

**MEYER MRS CFM & MR BFB
27 ANDREW SWART DRIVE
FERNRIDGE
6529**

Dear Sir / Madam

REQUEST RECEIVED FOR: SPECIAL CONSENT

Mortgage loan account number: 8094378437

Property description: ERF 7719 GEORGE

We refer to the above account and grant consent for the relaxation of the below building lines, of the above mentioned property.

- the eastern side boundary building line from 3.0 metres to 0.0 metres to allow for the legalization of the northern portion of the converted storeroom into a non-inter-leading room which will be used as a guestroom with an ensuite bathroom.
- the eastern side boundary building line from 3.0 metres to 0.0 metres to allow for the legalization of the southern portion of the converted storeroom into an interleading bedroom with an ensuite bathroom."

According to your mortgage loan agreement it is your responsibility to ensure that you have sufficient insurance in place.

If you are insured under Absa, our insurance division`s contact number is 0860 100 876.

Kindly take note that the consent letter is valid for one year only.

Yours faithfully

A handwritten signature in black ink, appearing to read "Nadine Heathcote", written over a light blue horizontal line.

Property Control
Our ref: Nadine Heathcote
Tel: 011 846 5471
Email: hlpc@absa.co.za

ANNEXURE "H" - CONVEYANCER CERTIFICATE

CONVEYANCER CERTIFICATE

IN TERMS OF SECTION 38(1)(n) OF THE GEORGE MUNICIPALITY: LAND USE PLANNING BY-LAW

APPLICATION DETAILS:

1. Application is made in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-Law(2023) for the Permanent Departure for the relaxation of the following building line of Erf 7719 George namely:

1.1) The eastern side Boundary Building Line from 3.0(Three) metres to 0.0(Nil) metres to allow for the legalization of the converted storeroom into a not-inter-leading room which will be used as a guestroom with en-suite bathroom.

1.2) The eastern side Boundary Building Line from 3.0(Three)metres to 0.0(Nil)metres to allow for the legalization of the converted storeroom into an inter-leading bedroom with an en-suite bathroom and lounge.

Date of Application: Current as amplified and motivated by Jeanne Muller Town Planning

I, the undersigned

GERRIT PETRUS FOURIE LPC 83877

a duly qualified and admitted Conveyancer, practicing at:

FOURIE PRETORIUS INC 21 BLAAUWBERG ROAD BLOUBERGRANDT CAPE TOWN

[Firm name and Address],

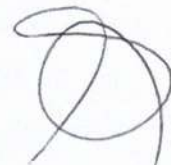
do hereby certify as follows:

1. I have perused the following Title Deed/s and conducted a search behind the pivot of the said title deed/s at the Deeds Office, Cape Town:

Deed of Transfer T 44053/2020 together with Pivot Deeds thereto and Accessory Deeds referred to in the said Deed of Transfer including Deed of Grant issued on 1 February 1887(George Quitrent 17 Number 92)

In respect of:

ERF 7719 GEORGE



IN THE MUNICIPALITY AND DIVISION OF GEORGE

WESTERN CAPE PROVINCE

In Extent 1907(One Thousand Nine Hundred and Seven)Square Metres

Registered in the names of

1)BAREND FREDERIK BURGER MEYER

Identity Number:770407 5169 086

Married out of Community of Property

2)CATHARINA FREDRIKA MARIA MEYER

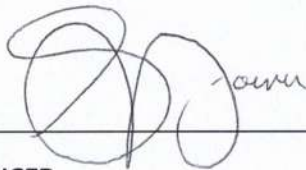
Identity Number 790518 0053 087

Married out of Community of Property

2. I have appraised myself with the details of the abovementioned Application and related Draft Information.

3. The abovementioned Title Deed/s contain/s no conditions restricting the contemplated Applications and related Application Proposal .

SIGNED at CAPE TOWN on this 27 th day of February 2026

A handwritten signature in black ink, appearing to read 'Gerrit Fourie', is written over a horizontal line. The signature is stylized and somewhat cursive.

CONVEYANCER

21 on Blaauwberg Road

Bloubergrandt

Cape Town

Tel 021 556 4970

Email::gerritfourie@mweb.co.za