



The Municipal Manager
P O Box 19
George
6530

Reference: Erf 113 Hoekwil

8 July 2026

Sir

APPLICATION FOR PERMANENT DEPARTURE (RELAXATION OF BUILDING LINES): ERF 113 HOEKWIL

Attached hereto, please find an application in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for a permanent departure for the relaxation of the following building lines on Erf 113 Hoekwil:

- the southern side boundary building line from 20 metres to 15.00 metres to accommodate the existing outbuilding (storeroom).
- the rear boundary building line from 20 metres to
 - 15.00 metres to accommodate the existing outbuilding (storeroom).
 - a distance varying from 10.00 metres to 12.50 metres to accommodate the existing second dwelling unit.

Your prompt consideration of the application will be appreciated.

Thanking you in anticipation.

Jan Vrolijk

MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURE (RELAXATION OF BUILDING LINES)
ERF 113 HOEKWIL

8 July 2026



Prepared for:

B.P. Bredell
3 Platrug Road
Hoekwil
6538

Prepared by:

Jan Vrolijk Town Planner/Stadsbeplanner
Millwood building, C/o York- and Victoria streets,
George,
P.O. Box 710, George, 6530
South-Africa
Tell: 044 873 3011
Cell: 082 464 7871
Fax: 086 510 4383
SACPLAN Registration No A/1386/2011

INDEX

1. APPLICATION

2. DEVELOPMENT PROPOSAL

3. PRE-APPLICATION CONSULTATION

4. GENERAL INFORMATION REGARDING ERF 113 HOEKWIL

- 4.1 Locality
- 4.2 Existing land use
- 4.3 Extent
- 4.4 Present Zoning
- 4.5 Surveyor General Diagram
- 4.6 Title Deed
- 4.7 Power of Attorney
- 4.8 Bondholder's consent
- 4.9 Conveyancer certificate

5. DESIRABILITY OF APPLICATION FOR PERMANENT DEPARTURE (RELAXATION OF BUILDING LINES): ERF 113 HOEKWIL

- 5.1 Introduction
- 5.2 Existing planning in the area
- 5.3 Impact on schools, open spaces and other community facilities
- 5.4 Impact on sunlight, view and privacy
- 5.5 Impact on streetscape
- 5.6 Impact on property values
- 5.7 Impact on provision of parking
- 5.8 Impact on traffic circulation
- 5.9 Provision of services
- 5.10 Fire fighting

6. CONCLUSION

ANNEXURES

Annexure "A": As built site plan and building plan

Annexure "B": Application form

Annexure "C": "Approved site plan and building plan dated 28 February 2023

Annexure "D": Locality plan

Annexure "E": Surveyor General Plan

Annexure "F": Title Deed

Annexure "G": Power of Attorney

Annexure "H": Conveyancer Certificate

MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURE
(RELAXATION OF BUILDING LINES)
ERF 113 HOEKWIL

1. APPLICATION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for a permanent departure for the relaxation of the following building lines on Erf 113 Hoekwil:

- the southern side boundary building line from 20 metres to 15.00 metres to accommodate the existing outbuilding (storeroom).
- the rear boundary building line from 20 metres to
 - ⇒ 15.00 metres to accommodate the existing outbuilding (storeroom).
 - ⇒ a distance varying from 10.00 metres to 12.50 metres to accommodate the existing second dwelling unit.

The “as built” site plan is attached hereto as **Annexure “A”**, and the completed application form for the proposed permanent departure application is attached hereto as **Annexure “B”**.

2. DEVELOPMENT PROPOSAL

Erf 113 Hoekwil has been developed with a dwelling house, outbuilding, second dwelling unit and a studio. A building plan in respect of the mentioned buildings, except the second dwelling unit, was approved on 28 February 2023. A copy of the approved site plan and building plan is attached hereto as **Annexure “C”**.

The approved dwelling house, with an extent of 635.34m², consists of 4 bedrooms, 4 bathrooms, an open plan kitchen / dining room / lounge, a scullery, pantry, braai room, study, guest toilet,

storerooms, a vault, entrance hall and a double garage. The approved outbuilding consists of a large store area, a small tool store, a workshop, a garage and an outside toilet. The studio, which has also been approved, consists of studio, bathroom, a covered stoep and an open deck.

The double storey second dwelling unit consists of a bedroom, bathroom, an open plan kitchen / lounge and a covered deck on the ground floor, with a storeroom on the lower ground floor. The total extent of the second dwelling unit is 94.1m².

The following photos show the north-east elevation of the dwelling house and the north elevation of the outbuilding.



The following photos show the north elevation of the second dwelling unit and the west elevation of the studio.



The following photo, which was taken northwards from the outbuilding, shows the second dwelling unit in the foreground, and the studio on the western side of the application erf, against the backdrop of the forestation beyond the application erf. The neatly cut grass is also visible on the photo.



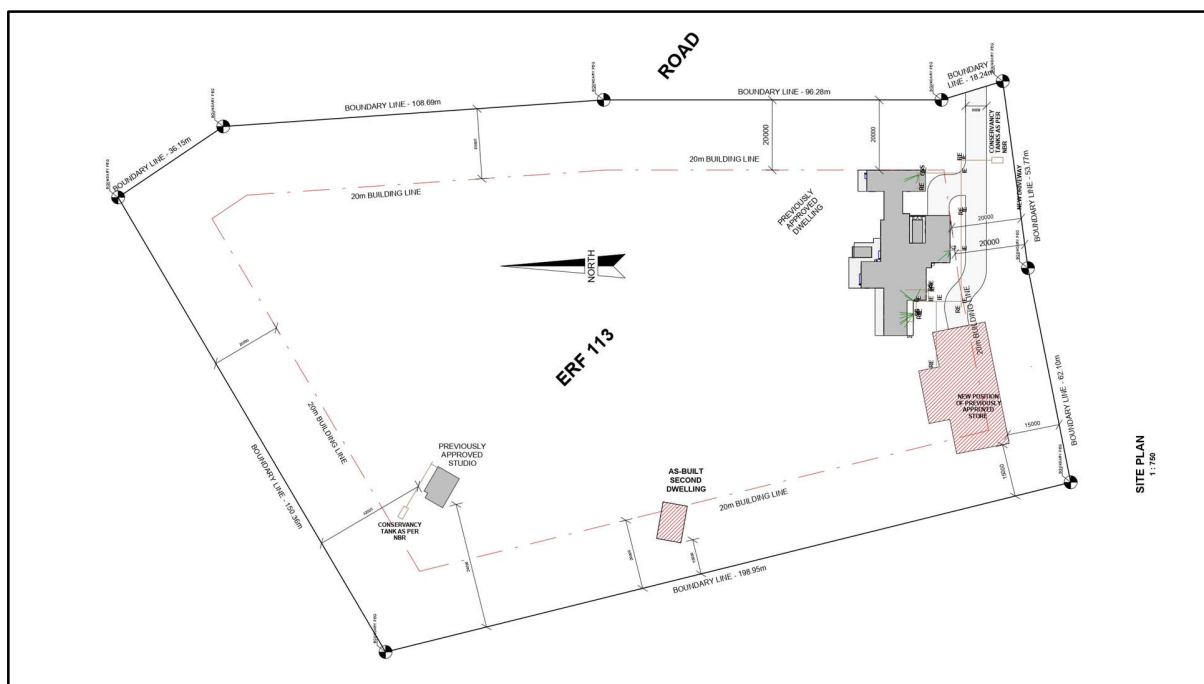
The application erf is zoned Agricultural Zone II. The primary right in this zone is “*smallholding*”. In terms of the land use description of “*smallholding*”, a “*dwelling house*” is allowed. A “*second dwelling unit*” with a maximum allowable extent of 175m² is included in the land use description of a dwelling house. The total floor area of the second dwelling unit, namely 94.1m² is within the maximum area allowed.

It was subsequently found that the second dwelling unit transgresses the 20 metres rear boundary and the previously approved outbuilding (storeroom) transgress the 20 metres rear and southern side boundary building lines.

Application is, therefore, made for a permanent departure from the building lines stipulated in the George Integrated Zoning Scheme By-Law, 2023, to accommodate the existing second dwelling unit and outbuilding (storeroom). No new buildings, or changes in the use of existing buildings, are envisaged because of this application.

The purpose of this application is therefore, to obtain approval for the permanent departure to enable the submission of building plans in respect of the existing development on the application erf.

The following site plan indicates the site layout of the buildings on the application erf. The extent to which the building line are exceeded is also indicated on the plan.



A copy of the proposed site plan ("as built" site plan) is attached hereto as **Annexure "A"**.

3. PRE-APPLICATION CONSULTATION

A pre-application consultation was not requested as the proposal entails a permanent departure for the relaxation of certain building lines, to accommodate the existing improvements on the erf. This is in line with the e-mailed directive in this regard to various consultants by the Municipal Town Planners, which was issued by e-mail dated 10 May 2022.

4. GENERAL INFORMATION REGARDING ERF 113 HOEKWIL

4.1 Locality

As indicated on the following aerial photo, Erf 113 Hoekwil is situated at 3 Platrug Road, adjacent to and west of Platrug Road in south-eastern extent of the Hoekwil settlement.



4.2 Existing land use

4.3 Extent

4.4 Present zoning

In terms of the George Integrated Zoning Scheme By-Law, 2023, the zoning of Erf 113 Hoekwil is Agricultural Zone II. The primary land use allowed in this use zone is “*Smallholding*”. The development parameters applicable to specific land uses are set out in Schedule 2: “*Land Use Description and Development Parameters*” in the mentioned By-Law.

In terms of the land use description of “*smallholding*”, a “*dwelling house*” is allowed. A “*second dwelling unit*” is included in the land use description of a dwelling house. The development parameters of a second dwelling unit inter alia, stipulates that the total floor space of a second dwelling unit may not exceed 175m², which includes the floor space of all ancillary buildings. The total floor area of the second dwelling unit, namely 94.1m² is within the maximum area allowed.

In terms of the development parameters applicable to “*smallholding*” in the George Integrated Zoning Scheme By-Law, 2023, the building lines applicable are determined by the extent of the erf. The application erf is 3,0646 ha in extent. A building line of 20 metres from any boundary is, therefore, applicable, because the application erf is smaller than 4 hectares. As indicated on the site plan, the second dwelling unit and the outbuilding transgress certain building lines.

In this regard it is interesting to note that, should the erf have been zoned Agriculture Zone I, the building line would have been 10 metres, in which case an application for the relaxation of the building lines would not have been necessary. The reason for this anomaly is unknown, especially in view of the objective of the use zone “Agricultural Zone II” as stated earlier.

Except for the building lines, the buildings on the application erf conform with all the development parameters applicable to a smallholding, as stipulated in the George Integrated Zoning Scheme By-Law, 2023.

4.5 Surveyor General Diagram

The Land Surveyor General Diagram of Erf 113 Hoekwil is attached hereto as **Annexure “E”**.

4.6 Title Deed

Erf 113 Hoekwil is registered in the name of Bernhard Philip Bredell, Id Number 561205 5016 08 0. A copy of the Title Deed of the erf is attached hereto as **Annexure “F”**.

4.7 Power of Attorney

A Power of attorney, whereby Jan Vrolijk Town Planner / Stadsbeplanner is appointed by Bernhard Philip Bredell, the registered owner of Erf 113 Hoekwil, to prepare the application

referred to in point 1 of this motivation report and to sign all relevant documents is attached hereto as **Annexure “G”**.

4.8 Bondholder's Consent

Erf 113 Hoekwil is not encumbered by a bond.

4.9 Conveyancer Certificate

A Conveyancer Certificate in respect of Erf 113 Hoekwil is attached hereto as **Annexure “H”**. The Conveyancer Certificate confirms that there are no conditions in the Title Deed of the application erf which restrict the development of the erf as proposed in this application.

5. DESIRABILITY OF THE APPLICATION FOR A PERMANENT DEPARTURE (RELAXATION OF BUILDING LINES) IN RESPECT OF ERF 113 HOEKWIL

5.1 Introduction

Specific issues which must be addressed in the motivation of applications are highlighted in the Land Use Planning By-Law for George Municipality, 2023. These issues are, however, aimed at more complex applications and are not applicable to lesser applications, such as permanent departures in respect of building line relaxations.

This application will therefore be motivated with reference to the following aspects:

- *Compatibility of the proposal with the existing planning and land uses of the surrounding area.*
- *The impact that the proposal will have on the environment.*
- *The impact that the proposal will have on traffic and parking in the surrounding area.*
- *The impact that the proposal will have on surrounding facilities such as schools, open spaces and other community facilities, should the application result in an increase in the population of the area concerned.*

- *The impact that the proposal will have on the existing character of the surrounding area and the right of the inhabitants of the area in respect of erf values, privacy, view, sunlight, et cetera.*
- *Provision of essential services.*

5.2 Existing planning in the area

The application erf is situated to the south-eastern extent of the Hoekwil settlement. It is also situated outside the area included in the urban edge of Hoekwil, as indicated on Map 18 of the George Spatial Development Framework, 2023. The erf is situated in an area characterized by smallholdings of varying extent and is zoned “*Agricultural Zone II*”. The objective of the use zone “*Agricultural Zone II*” is stated as follows in the Use Zone Table of the George Integrated Zoning Scheme By-Law, 2023:

“The objective of this zone is to accommodate extensive residential properties, which may be used for small-scale agriculture or natural areas for people who seek a rural lifestyle. Such properties are often found close to towns and villages, and new smallholding areas should only be permitted within an acknowledged, demarcated urban area.”



It is also clear from the aerial photo that, except for the buildings on Erf 104 Hoekwil, on the opposite side of Platrug Road, east of the application erf, there are no other homesteads or buildings on adjacent properties which are located near to the buildings on the application erf. The relaxation of the building lines proposed in this application will, therefore, not have a negative impact on the planning or development in the surrounding area. The existing buildings have formed part of the ambience of the area for a considerable period and as far as could be ascertained, no objections against the locality of the buildings have been lodged. As no extensions to the buildings are proposed in this application, the proposal will have no changing effect on the character of the surrounding area.

The permanent departure as proposed in this application, will therefore, not establish an undesirable precedent and can be accommodated within the existing planning of the area concerned.

5.3 Impact on schools, open spaces and other community facilities

This application entails the relaxation of the southern side and the rear boundary building lines on Erf 113 Hoekwil in respect of the outbuilding (storeroom) and second dwelling unit.

The proposed relaxations will not result in an increase in the number of inhabitants on the erf beyond that which is accommodated in the zoning of the erf. As such, the permanent departure as applied for, will not have an impact on schools, open spaces and other community facilities in the area. This aspect is, therefore, not relevant to this application.

5.4 Impact on sunlight, view and privacy

The aerial photo in point 5.2 of this report indicates that, except for the buildings on Erf 104 Hoekwil, there are no dwelling houses adjacent to the application erf of which the sunlight, view and privacy could be affected by the proposal.

The homestead on Erf 104 Hoekwil is situated to the east of the application erf, on the opposite side of Platrug Road and is situated far away from the outbuilding on the application erf. Due to the topography of the surrounding area, Erf 114 Hoekwil and Erf 115 Hoekwil are situated at a

higher level than the application erf. The homesteads on Erf 114 Hoekwil, Erf 115 Hoekwil and Erf 116 Hoekwil are located far to the south of the application erf. The southern portion of the building platform of the dwelling house and outbuilding on the application erf has been excavated substantially. This excavation results in the top of the roof of the outbuilding being lower than without the excavation, which reduces the impact (if any) of the outbuilding on the erven to the south.

The following photo, which shows the view eastwards on the southern side of the outbuilding, gives an indication of the impact of the excavation of the building platform on “lowering” the outbuilding in relation of the southern boundary of the application erf, on the right-hand side of the photo.



The relaxation of the building lines, as proposed in this application will, therefore, have no impact on the sunlight, view or privacy of the development on any of the mentioned adjacent properties.

5.5 Impact on streetscape

The following photos show the street elevation of the application erf.



Due to the vegetation along the street boundary of the application erf, very little of the dwelling house, outbuilding or second dwelling unit are visible from the street.

The proposed relaxation of the building lines, will therefore, have no negative impact on the streetscape.

5.6 Impact on erf values

The photos in point 2 of this motivation report show the north elevation of the second dwelling unit and outbuilding, respectively.

As indicated in the previous points, the structures in respect of which the permanent departures are required, do not have a negative impact on any of the surrounding properties. The architectural design and finish of the buildings are of a high quality and fit in with that of the surrounding area. The development represents a substantial capital investment by the owner.

The value of surrounding properties can, therefore, not be negatively impacted upon by the permanent departures as proposed in this application.

5.7 Impact on the provision of parking

The parking requirements applicable to different land uses are set out in a table in Section 42 of the George Integrated Zoning Scheme By-Law, 2023. Two parking bays per dwelling house and 1 parking bay in respect of the second dwelling are required to be provided on-site.

As indicated on the proposed site plan attached hereto as **Annexure “A”**, a double garage forms part of the dwelling house and enough space to accommodate additional parking is provided south of the dwelling house and outbuilding. The number of parking bays provided therefore, conforms with the parking requirement.

The following photos shows the east elevation of the double garage and the parking area. double garage and parking area.



The departures as proposed in this application have no impact on the provision of parking on the application erf and do not result in the required number of parking bays not being provided.

5.8 Impact on traffic circulation

As indicated on the proposed site plan, attached hereto as **Annexure “A”**, the buildings involved in this application are located “behind” the street boundary. The photos in point 5.5 of this motivation report also shows the vegetation along the street boundary fence.

The existing access from Platrug Road will remain and no new access points are required. As indicated on the site plan, the width of the access is 6.0 metres, which is in line with the stipulation in this regard. There is good visibility into the road from the existing access point. The permanent departure as proposed in this application will therefore not have a negative impact on the sight distance in the main road at the access point.

5.9 Provision of services

The infrastructure required for the development is provided by the landowner at his cost. The proposal will thus not result in infrastructure costs to any external parties. The proposal will thus not place any burden on the municipal budget for the provision services infrastructure.

Should any extension of the existing municipal infrastructure be required in future because of this application all costs because of such extension will be for the account of the owner, subject to the conditions of the municipality.

5.10 Fire fighting

The fire-fighting requirements stipulated in the fire-regulations will not be negatively impacted upon as the application erf will still be fully accessible for fire-fighting purposes.

6. CONCLUSION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for a permanent departure for the relaxation of the southern side boundary building line on Erf 113 Hoekwil from 20 metres to 15.00 metres to accommodate the existing outbuilding (storeroom), as well as the rear boundary building line from 20 metres to 15.00 metres to accommodate the existing outbuilding (storeroom) and to a distance varying from 10.00 metres to 12.50 metres to accommodate the existing second dwelling unit.

As indicated in this report the proposed application for permanent departures in respect of the application erf is compatible with all existing planning documents, spatial plans, legislation and policy documents applicable to the application.

The proposal will not have a negative impact on the environment, development, public facilities, traffic circulation or Municipal services in the surrounding area.

The application can therefore be considered desirable and is submitted for consideration in terms of the relevant stipulations of the Land Use Planning By-Law for the George Municipality, 2023.

ANNEXURE "A" - AS BUILT SITE PLAN AND BUILDING PLAN

ADDITIONAL NOTES:

NO BUILDING OR ANY PART THEREOF TO BE OCCUPIED WITHOUT AN OCCUPANCY CERTIFICATE BEEN ISSUED

NO STRUCTURE OR ANY PORTION THEREOF TO ENCROACH THE PROPERTY BOUNDARY

BOUNDARY WALLS TO BE FINISH TO THE SATISFACTION OF THE ADJACENT OWNER

ALL WALLS BUILD ON ERF BOUNDARY TO BE FINISH TO THE SATISFACTION OF THE ADJOINING OWNER

RAINWATER NOT TO DISCHARGE ONTO NEIGHBORING PROPERTY WITHOUT WRITTEN AGREEMENT OF THE ADJACENT OWNERS.

DRAINAGE INSTALLATIONS UNDER BUILDING WORK MUST BE INSTALLED IN TERMS OF PART P OF SANS 10400 (4.19.4)

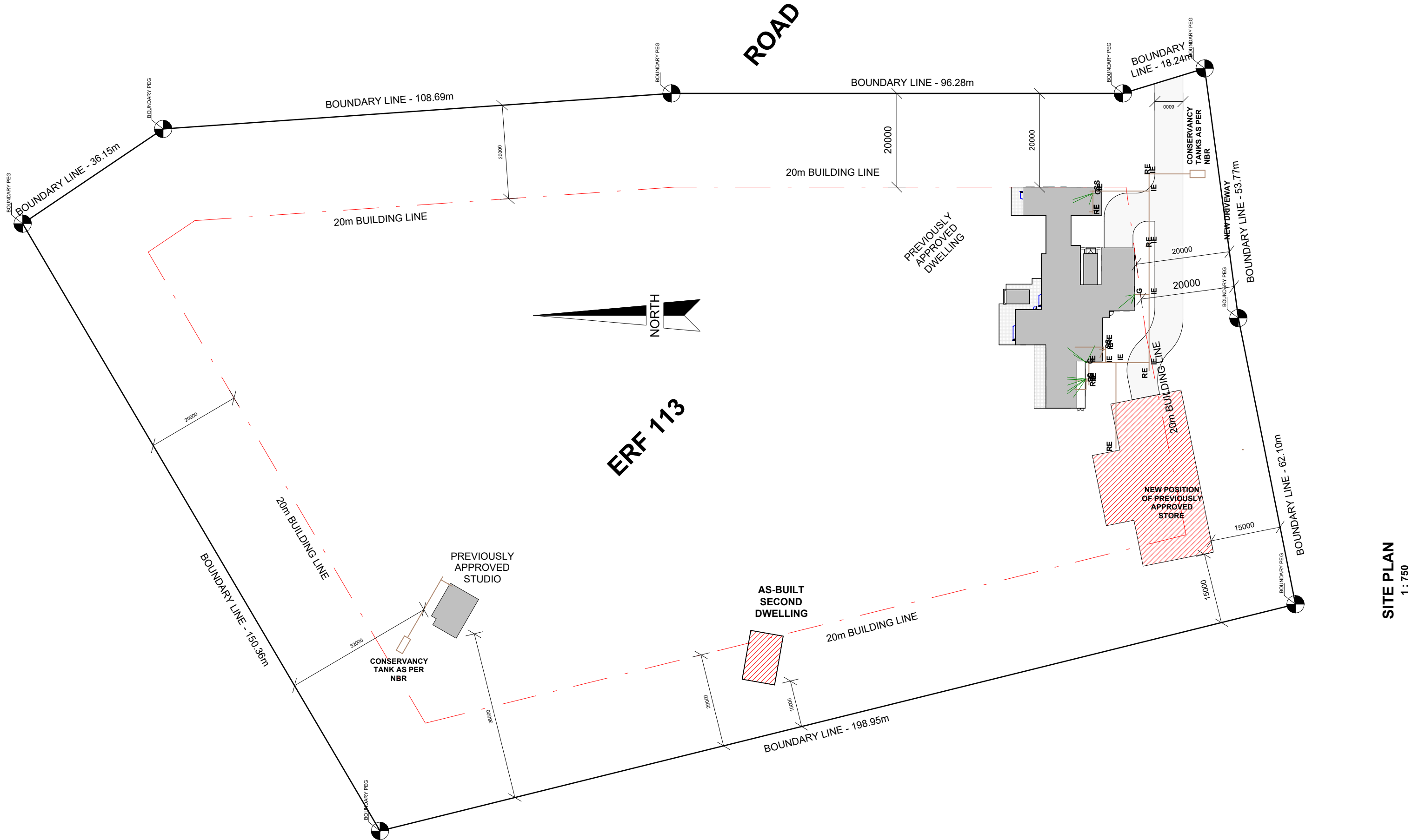
DRAINAGE INSTALLATIONS UNDER BUILDING WORK MUST BE PROTECTED IN TERMS OF PART P OF SANS 10400 (4.22.2)

DRAINAGE INSTALLATION TO COMPLY WITH SANS 10400 PART P

REGISTER PLUMBER AND ELECTRICIAN MUST PROVIDE A CERTIFICATE OF COMPLIANCE BEFORE OCCUPANCY CERTIFICATE BEEN ISSUED BY THE LOCAL AUTHORITY

ROOF CERTIFICATE TO BE PROVIDED TO THE BUILDING INSPECTOR AFTER COMPLETION OF WORK BEFORE ISSUE AN OCCUPANCY CERTIFICATE

PATIO/ PERGOLA/ VERANDHA/ STOEP TO REMAIN OPEN AS PER BUILDING PLAN



AREA SCHEDULE	
ERF	8944.75m²
- PREVIOUSLY APPROVED DWELLING:	635.34m²
- PREVIOUSLY APPROVED STORE:	615m²
- PREVIOUSLY APPROVED STUDIO:	56.2m²
TOTAL PREVIOUSLY APPROVED	1306.5m²
AS-BUILT COTTAGE	94.1m²
TOTAL AREA:	1400.6m²
TOTAL FOOTPRINT:	1371.6m²
COVERAGE:	15.4%

R & D Designs

SACAP: PAD 20956

No.	Description	Date

AS-BUILT PLANS			
SITE PLAN			
Project number	210925	Sheet	HW-113-001
Date	2023/05/16		
Drawn by	IS		
Checked by	RC	Scale	As indicated

GENERAL NOTES:

THE CONTRACTOR IS TO EMPLOY A LANDSURVEYOR TO SET OUT THE BUILDING ON THE SITE. THE LAND SURVEYOR IS TO CONFIRM ALL ERF BEACONS AND CORRECT SITE.

THE CONTRACTOR IS TO VERIFY ALL LEVELS AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.

THE CONTRACTOR IS TO LOCATE AND IDENTIFY SERVICES ON SITE AND IS TO PROTECT THESE DURING THE DURATION OF THE BUILD.

THE CONTRACTOR IS REFERRED TO THE SPECIFICATIONS AND ALLOWED TOLERANCES AS PER SANS 10400 THAT FORM PART OF THIS DOCUMENT IS TO BE USED IN CONJUNCTION WITH THIS DRAWING.

ANY ERRORS, DISCREPANCIES, OR OMISSIONS ARE TO BE REPORTED TO THE ARCHITECT.

CONTRACTOR IS TO BUILD IN ALL EXTERNAL DPC, WHETHER OR NOT SHOWN ON THE DRAWINGS, TO ALL EXTERNAL WALLS AT EACH FLOOR, BEAMS OR AND ALL WINDOWS, DOORS, GRILLS, OR OTHER OPENINGS IN EXTERNAL WALLS.

CAVITY WALLS TO HAVE STEPPED DPC.

ANY QUESTIONS ARISING FROM THE ABOVE, MUST BE REPORTED TO THE ARCHITECT IN HAND.

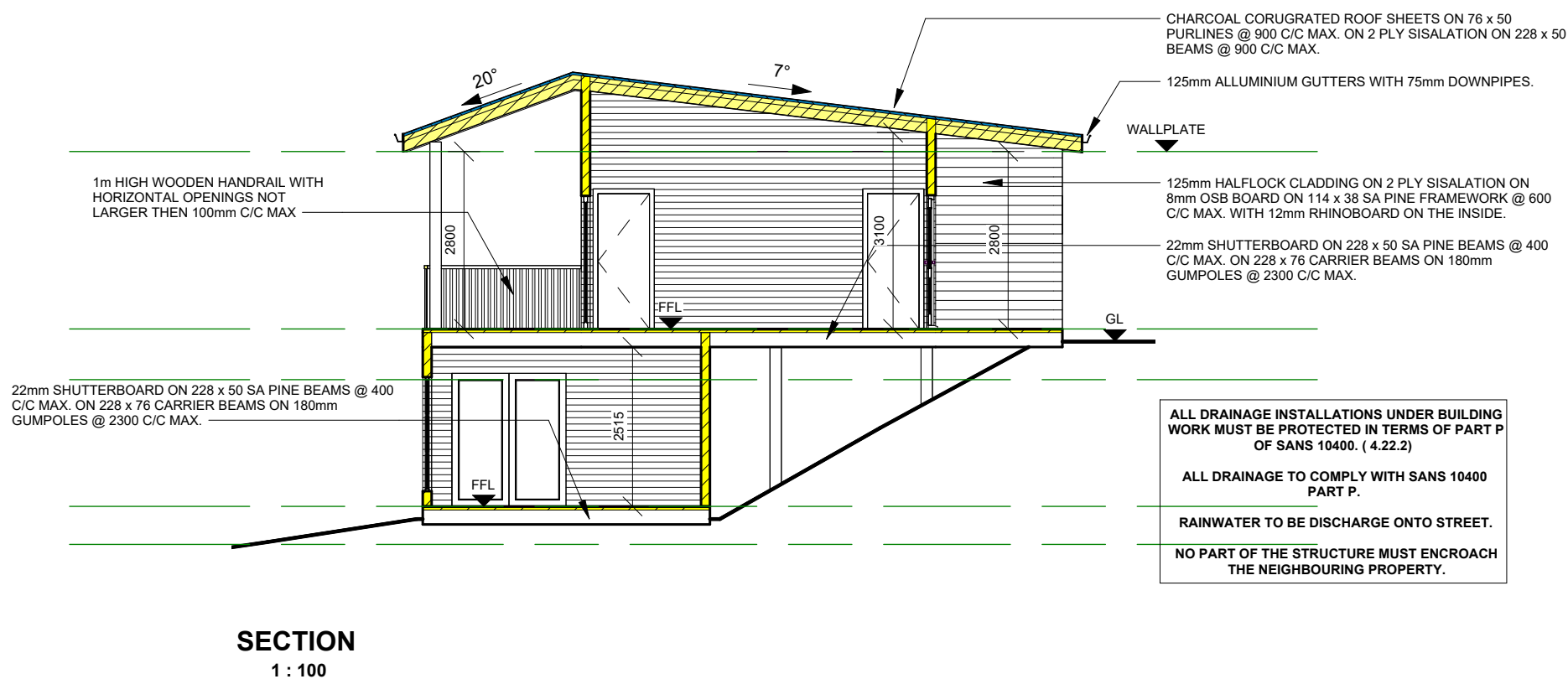
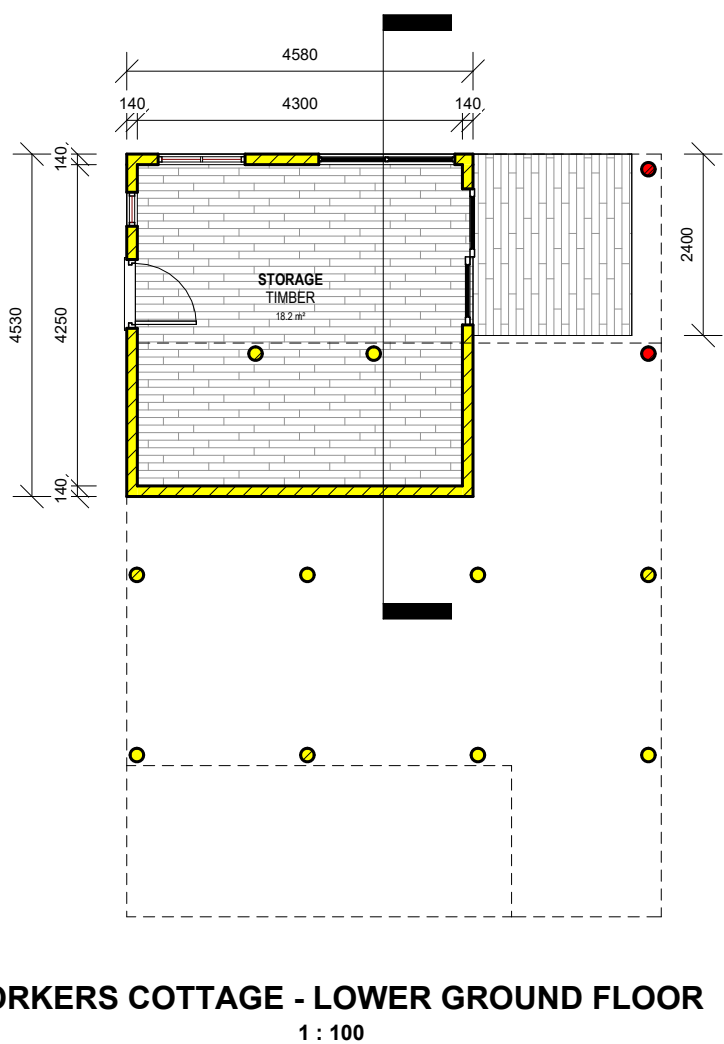
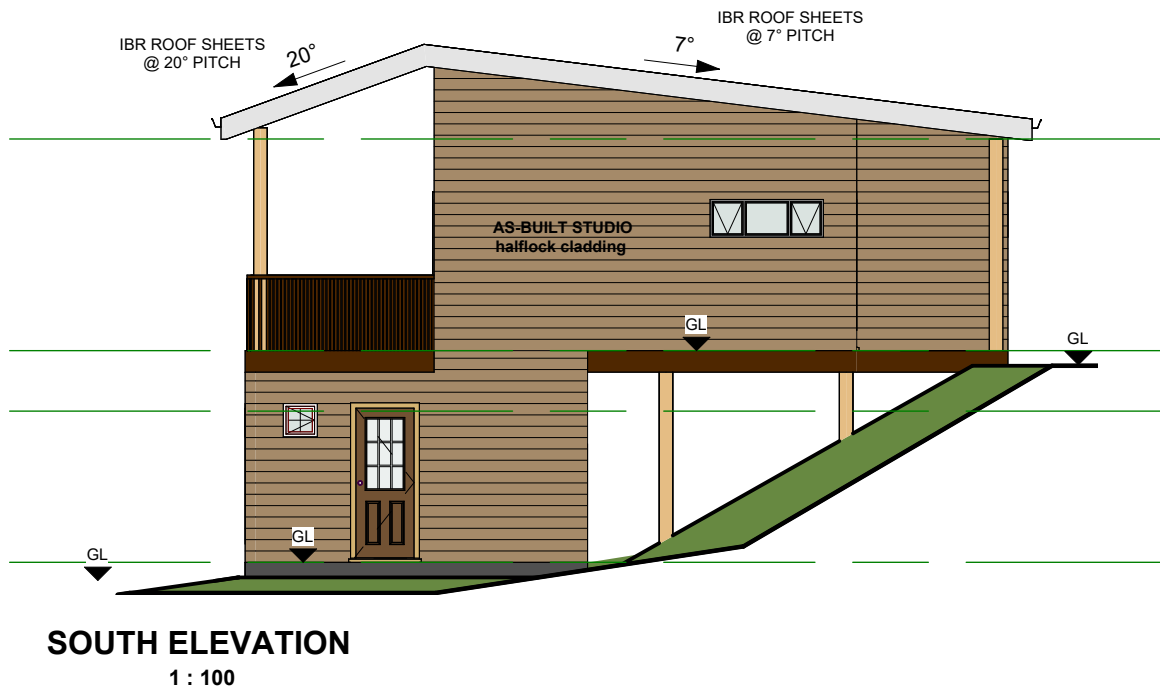
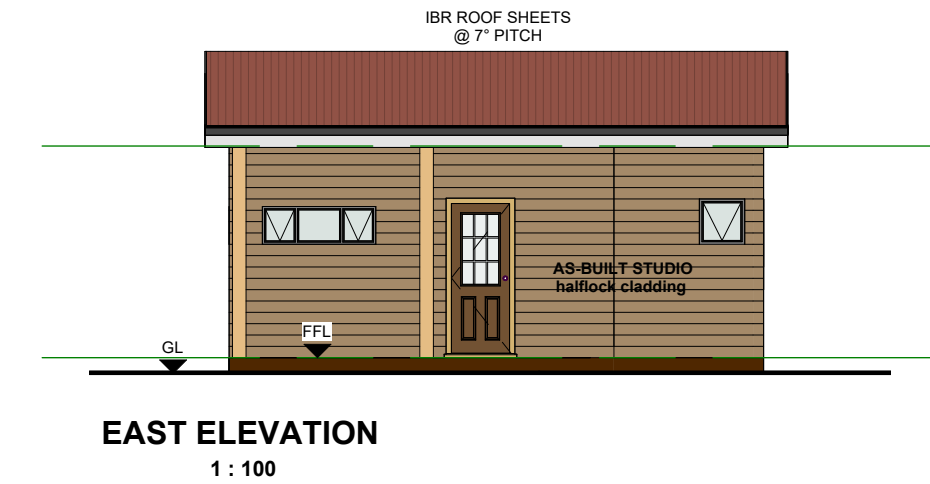
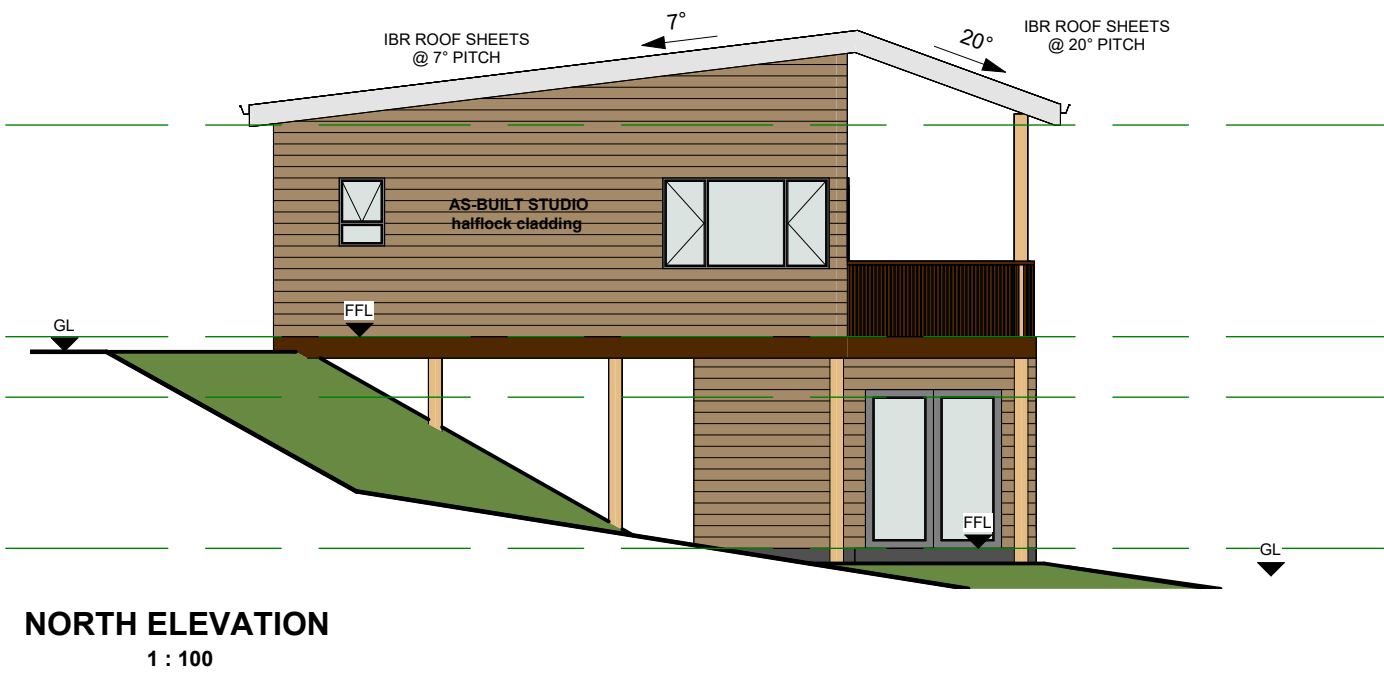
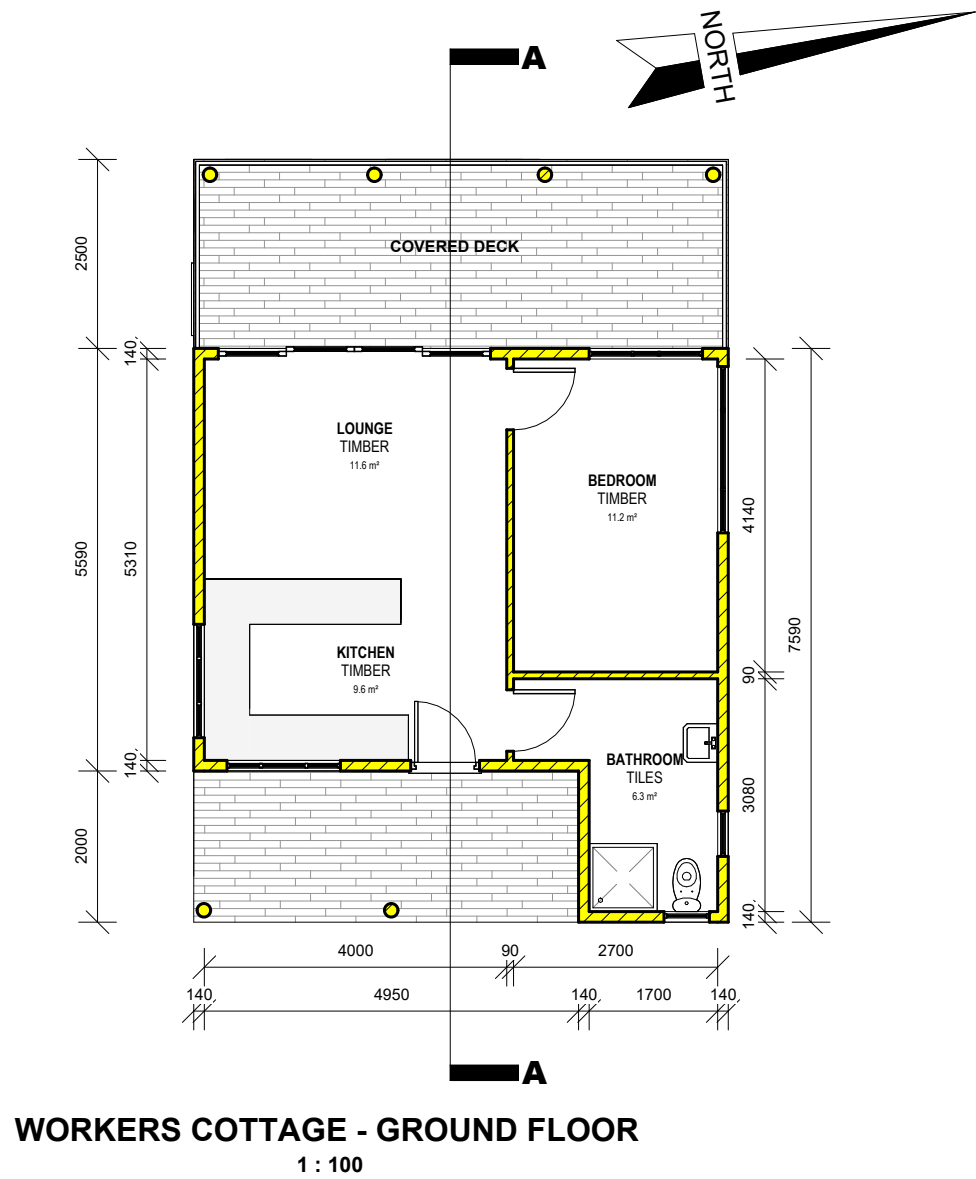
DO NOT SCALE THIS DRAWING.

ALL STRUCTURAL WALLS, BEAMS, RETAINING WALLS, POOLS LAMINATED BEAM ROOFS, OR STEEL ROOFS, STEEL, EXPOSED ROOF BEAMS, PONDS WATER FEATURES, AND ANY DEMOLITION WORK TO BE SIGNED OFF BY A STRUCTURAL ENGINEER BEFORE ANY WORK DONE.

CONTRACTOR TO PROVIDE ABLUTION FACILITIES FOR WORKERS IN ACCORDANCE WITH SANS 10400 F

THE FLOOR TO ANY LAUNDRY, KITCHEN, SHOWER ROOM, BTH ROOM CONTAINING A TOILET, PAN OR URINAL SHALL BE WATER RESISTENT, AS PER SANS 10400 J.

LAND SURVEYOR TO POINT OUT AND CLARIFY BOUNDARY PEGS. THE CONTRACTOR SHALL CLEAR THE VEGETATION FROM THE PORTION TO BE BUILT ON. FINALE LEVEL PLUNTHS EXCAVATIONS & STEPS TO BE DISCRETION OF THE CONTRACTOR. MAX HEIGHT OF DWELLING TO BE 6.5m ABOVE NGL.



- ADDITIONAL NOTES:**
- NO BUILDING OR ANY PART THEREOF TO BE OCCUPIED WITHOUT AN OCCUPANCY CERTIFICATE BEEN ISSUED
 - NO STRUCTURE OR ANY PORTION THEREOF TO ENCROACH THE PROPERTY BOUNDARY
 - BOUNDARY WALLS TO BE FINISH TO THE SATISFACTION OF THE ADJACENT OWNER
 - ALL WALLS BUILD ON ERF BOUNDARY TO BE FINISH TO THE SATISFACTION OF THE ADJOINING OWNER
 - RAINWATER NOT TO DISCHARGE ONTO NEIGHBORING PROPERTY WITHOUT WRITTEN AGREEMENT OF THE ADJACENT OWNERS.
 - DRAINAGE INSTALLATIONS UNDER BUILDING WORK MUST BE INSTALLED IN TERMS OF PART P OF SANS 10400 (4.19.4)
 - DRAINAGE INSTALLATIONS UNDER BUILDING WORK MUST BE PROTECTED IN TERMS OF PART P OF SANS 10400 (4.22.2)
 - DRAINAGE INSTALLATION TO COMPLY WITH SANS 10400 PART P
 - REGISTER PLUMBER AND ELECTRICIAN MUST PROVIDE A CERTIFICATE OF COMPLIANCE BEFORE OCCUPANCY CERTIFICATE BEEN ISSUED BY THE LOCAL AUTHORITY
 - ROOF CERTIFICATE TO BE PROVIDED TO THE BUILDING INSPECTOR AFTER COMPLETION OF WORK BEFORE ISSUE AN OCCUPANCY CERTIFICATE
 - PATIO/ PERGOLA/ VERANDHA/ STOEP TO REMAIN OPEN AS PER BUILDING PLAN

R & D Designs
SACAP: PAD 20956

No.	Description	Date

AS-BUILT & PERVIOUSLY APPROVED
FOR ERF113, HOEKWIL, WILDERNESS

AS-BUILT PLANS			
FLOOR PLANS, ELEVATIONS, SECTION			
Project number	210925	Sheet	HW-113-002
Date	2023/05/16		
Drawn by	IS		
Checked by	RC	Scale	
			1 : 100

GENERAL NOTES:

THE CONTRACTOR IS TO EMPLOY A LANDSURVEYOR TO SET OUT THE BUILDING ON THE SITE. THE LAND SURVEYOR IS TO CONFIRM ALL ERF BEACONS AND CORRECT SITE.

THE CONTRACTOR IS TO VERIFY ALL LEVELS AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.

THE CONTRACTOR IS TO LOCATE AND IDENTIFY SERVICES ON SITE AND IS TO PROTECT THESE DURING THE DURATION OF THE BUILD.

THE CONTRACTOR IS REFERRED TO THE SPECIFICATIONS AND ALLOWED TOLERANCES AS PER SANS 10400 THAT FORM PART OF THIS DOCUMENT IS TO BE USED IN CONJUNCTION WITH THIS DRAWING.

ANY ERRORS, DISCREPANCIES, OR OMISSIONS ARE TO BE REPORTED TO THE ARCHITECT.

CONTRACTOR IS TO BUILD IN ALL EXTERNAL DPC, WHETHER OR NOT SHOWN ON THE DRAWINGS, TO ALL EXTERNAL WALLS AT EACH FLOOR, BEAMS OR AND ALL WINDOWS, DOORS, GRILLS, OR OTHER OPENINGS IN EXTERNAL WALLS.

CAVITY WALLS TO HAVE STEPPED DPC.

ANY QUESTIONS ARISING FROM THE ABOVE, MUST BE REPORTED TO THE ARCHITECT IN HAND.

DO NOT SCALE THIS DRAWING.

ALL STRUCTURAL WALLS, BEAMS, RETAINING WALLS, POOLS LAMINATED BEAM ROOFS, OR STEEL ROOFS, STEEL, EXPOSED ROOF BEAMS, PONDS WATER FEATURES, AND ANY DEMOLITION WORK TO BE SIGNED OFF BY A STRUCTURAL ENGINEER BEFORE ANY WORK DONE.

CONTRACTOR TO PROVIDE ABLUTION FACILITIES FOR WORKERS IN ACCORDANCE WITH SANS 10400 F

THE FLOOR TO ANY LAUNDRY, KITCHEN, SHOWER ROOM, BTH ROOM CONTAINING A TOILET, PAN OR URINAL SHALL BE WATER RESISTENT, AS PER SANS 10400 1.

LAND SURVEYOR TO POINT OUT AND CLARIFY BOUNDARY PEGS. THE CONTRACTOR SHALL CLEAR THE VEGETATION FROM THE PORTION TO BE BUILT ON. FINALE LEVEL PLUNTS EXCAVATIONS & STEPS TO BE DISCRETION OF THE CONTRACTOR. MAX HEIGHT OF DWELLING TO BE 6.5m ABOVE NGL.

ANNEXURE "B" - APPLICATION FORM



Application Form for Application(s) Submitted in terms of the Land Use Planning By-Law for George Municipality

NOTE: Please complete this form by using: Font: Calibri; Size: 11

PART A: APPLICANT DETAILS

First name(s)	Johannes George		
Surname	Vrolijk		
SACPLAN Reg No. (if applicable)	A/1386/2010		
Company name (if applicable)	Jan Vrolijk Town Planner / Stadsbeplanner		
Postal Address	P O Box 710		
	George	Postal Code	6530
Email	janvrolijk@jvtownplanner.co.za		
Tel	044 873 3011	Fax	086 510 4383
		Cell	082 464 7871

PART B: REGISTERED OWNER(S) DETAILS (if different from applicant)

Registered owner	Bernhard Philip Bredell		
Address	3 Platrug Road		
	Hoekwil	Postal code	6538
E-mail	barry@autowiel.co.za		
Tel	N/a	Fax	N/a
		Cell	082 566 3939

PART C: PROPERTY DETAILS (in accordance with Title Deed)

Property Description [Erf / Erven / Portion(s) and	Erf 113 Hoekwil
---	-----------------

Farm number(s), allotment area.]										
Physical Address	3 Platrug Road, Hoekwil, 6538									
GPS Coordinates					Town/City		George			
Current Zoning	Agricultural Zone II		Extent	3,0646 hectares		Are there existing buildings?		Y	N	
Current Land Use	Rural residential									
Title Deed number & date	T18142/2022									
Any restrictive conditions prohibiting application?	Y	N	If Yes, list condition number(s).							
Are the restrictive conditions in favour of a third party(ies)?	Y	N	If Yes, list the party(ies).							
Is the property encumbered by a bond?	Y	N	If Yes, list Bondholder(s)?							
Has the Municipality already decided on the application(s)?	Y	N	If yes, list reference number(s)?							
Any existing unauthorized buildings and/or land use on the subject property(ies)?	Y	N	If yes, is this application to legalize the building / land use?		Y	N				
Are there any pending court case / order relating to the subject property(ies)?	Y	N	Are there any land claim(s) registered on the subject property(ies)?		Y	N				
PART D: PRE-APPLICATION CONSULTATION										
Has there been any pre-application consultation?	Y	N	If Yes, please complete the information below and attach the minutes.							
Official's name	N/a		Reference number	N/a		Date of consultation	N/a			

PART E: LAND USE APPLICATIONS IN TERMS OF SECTION 15 OF THE LAND USE PLANNING BY-LAW FOR GEORGE MUNICIPALITY & APPLICATION FEES PAYABLE

***Application fees that are paid to the Municipality are non-refundable and proof of payment of the application fees must accompany the application.**

BANKING DETAILS

Name: **George Municipality**
 Bank: **First National Bank (FNB)**
 Branch no.: **210554**
 Account no.: **62869623150**
 Type: **Public Sector Cheque Account**
 Swift Code: **FIRNZAJJ**
 VAT Registration Nr: **4630193664**
 E-MAIL: **msbrits@george.gov.za**
 *Payment reference: Erven ____, George/Wilderness/Hoekwil...

PART F: DETAILS OF PROPOSAL

Brief description of proposed development / intent of application:

Application in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for a permanent departure for the relaxation of the following building lines on Erf 113 Hoekwil:

- **the southern side boundary building line from 20 metres to 15.00 metres to accommodate the existing outbuilding (storeroom).**
- **the rear boundary building line from 20 metres to**
 - **15.00 metres to accommodate the existing outbuilding (storeroom).**
 - **a distance varying from 10.00 metres to 12.50 metres to accommodate the existing second dwelling unit.**

PART G: ATTACHMENTS & SUPPORTING INFORMATION FOR LAND USE PLANNING APPLICATIONS

Please complete the following checklist and attach all the information relevant to the proposal. Failure to submit all information required will result in the application being deemed incomplete.

Is the following compulsory information attached?

Y	N	Completed application form	Y	N	Pre-application Checklist (where applicable)
Y	N	Power of Attorney / Owner's consent if applicant is not owner	Y	N	Bondholder's consent
Y	N	Motivation report / letter	Y	N	Proof of payment of fees
Y	N	Full copy of the Title Deed	Y	N	S.G. noting sheet extract / Erf diagram / General Plan
Y	N	Locality Plan	Y	N	Site layout plan

Minimum and additional requirements:									
Y	N	N/A	Conveyancer's Certificate		Y	N	N/A	Land Use Plan / Zoning plan	
Y	N	N/A	Proposed Subdivision Plan (including street names and numbers)		Y	N	N/A	Phasing Plan	
Y	N	N/A	Consolidation Plan		Y	N	N/A	Copy of original approval letter (if applicable)	
Y	N	N/A	Site Development Plan		Y	N	N/A	Landscaping / Tree Plan	
Y	N	N/A	Abutting owner's consent		Y	N	N/A	Home Owners' Association consent	
Y	N	N/A	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) (strikethrough irrelevant)		Y	N	N/A	1:50 / 1:100 Flood line determination (plan / report)	
Y	N	N/A	Services Report or indication of all municipal services / registered servitudes		Y	N	N/A	Required number of documentation copies 2 copies	
Y	N	N/A	Any additional documents or information required as listed in the pre-application consultation form / minutes		Y	N	N/A	Other (specify)	

PART H: AUTHORISATION(S) IN TERMS OF OTHER LEGISLATION

Y	N/A	National Heritage Resources Act, 1999 (Act 25 of 1999)				Specific Environmental Management Act(s) (SEMA)
Y	N/A	National Environmental Management Act, 1998 (Act 107 of 1998)				(e.g. Environmental Conservation Act, 1989 (Act 73 of 1989), National Environmental—
Y	N/A	Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)				Management: Air Quality Act, 2004 (Act 39 of 2004),
Y	N/A	Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)(SPLUMA)		Y	N/A	National Environmental Integrated Coastal Management Act, 2008 (Act 24 of 2008),
Y	N/A	Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations				National Environmental Management: Waste Act, 2008 (Act 59 of 2008),
Y	N/A	Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)				National Water Act, 1998 (Act 36 of 1998)
						(strikethrough irrelevant)
Y	N/A			Y	N/A	Other (specify)

Y	N	<i>If required, has application for EIA / HIA / TIA / TIS / MHIA approval been made? If yes, attach documents / plans / proof of submission etc. N/A</i>
Y	N	<i>If required, do you want to follow an integrated application procedure in terms of section 44(1) of the Land-Use Planning By-law for George Municipality?</i>

SECTION I: DECLARATION

I hereby wish to confirm the following:

1. *That the information contained in this application form and accompanying documentation is complete and correct.*
2. *The Municipality has not already decided on the application.*
3. *I'm aware that it is an offense in terms of section 86(1)(d) to supply particulars, information or answers in an application, knowing it to be false, incorrect or misleading or not believing them to be correct.*
4. *I am properly authorized to make this application on behalf of the owner and (where applicable) copies of such full relevant Powers of Attorney/Consent are attached hereto.*
5. *I have been appointed to submit this application on behalf of the owner and it is accepted that correspondence from and notifications by the Municipality in terms of the by-law will be sent only to me as the authorised agent and the owner will regularly consult with the agent in this regard (where applicable).*
6. *That this submission includes all necessary land use planning applications required to enable the development proposed herein.*
7. *I confirm that the relevant title deed(s) have been read and that there are no restrictive title deed restrictions, which impact on this application, or alternatively an application for removal/amendment/suspension forms part of this submission.*
8. *I am aware of the status of the existing bulk services and infrastructure in the subject area and that I am liable for any possible development charges which may be payable as a result of the proposed development.*
9. *I acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.*

Applicant's signature:



Date:

8 July 2026

Full name:

Johannes George Vrolijk

Professional capacity:

Professional Town Planner

SACPLAN Reg. Nr:

A/1386/2010

**ANNEXURE "C" - APPROVED SITE PLAN AND BUILDING PLAN DATED 28
FEBRUARY 2023**



BUILDING APPLICATION APPROVAL

ERF: 113 PLAN NO: 1592/22 STREET: N/A

Your building plan was approved on 2023-02-28, in accordance with Section 7(1)(a) and (b) of the National Building Regulations & Building Standards Act, 1977 (Act 103/1977) and any other applicable legislation subject to the following conditions:

The following relevant requirements has been scrutinized and or approved	
COMMENTS FROM INTERNAL DEPARTMENTS	
Fire Protection Services	Yes, Approved
Health Services	
Town Planning (title conditions)	PM Botha (20/02/2023) In order. Note: Building control to investigate if existing structures on site have building plan approval.
Civil and Technical Services Sewer	Sewer tank approve
Capital Contributions	Development charges(CES): In order (Existing res. property)
Facilities for Disable Persons	
Environment Aspects (Trees)	Yes, Approved
Aesthetics Committee	
Heritage Western Cape	
Building Control	In order



Final Outcome (conditions of approval)	Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.21). Drainage installation to comply with SANS 10400 Part P. Drainage installations under building work must be installed in terms of Part P of SANS 10400 (4.19.4). Drainage installations under building work must be protected in terms of Part P of SANS 10400 (4.22.2). Additional rodding eye required on drainage run longer than 20 meters.
---	---

THE APPROVAL HEREBY GRANTED EXPIRES AFTER 12 MONTHS OF DATE OF APPROVAL UNLESS ERECTION OF THE BUILDING IS COMMENCED WITHIN THE SAID PERIOD, OR UNLESS THE SAID PERIOD IS EXTENDED AT THE REQUEST IN WRITING OF THE APPLICANT AND THROUGH A WRITTEN APPROVAL BY THE MUNICIPALITY.

SWIMMING POOL ACCESS AND SAFETY TO COMPLY WITH PART DD4 OF THE NATIONAL BUILDING REGULATIONS.

ANY TIMBER STRUCTURE IS TO BE ERECTED IN ACCORDANCE WITH SABS 082 (CODE OF PRACTICE).

NO PERSON SHALL REMOVE OR PRUNE ANY TREE WITHIN A MUNICIPAL ROAD RESERVE WITHOUT THE PRIOR PERMISSION, IN WRITING BEING OBTAINED FROM THE MUNICIPALITY.

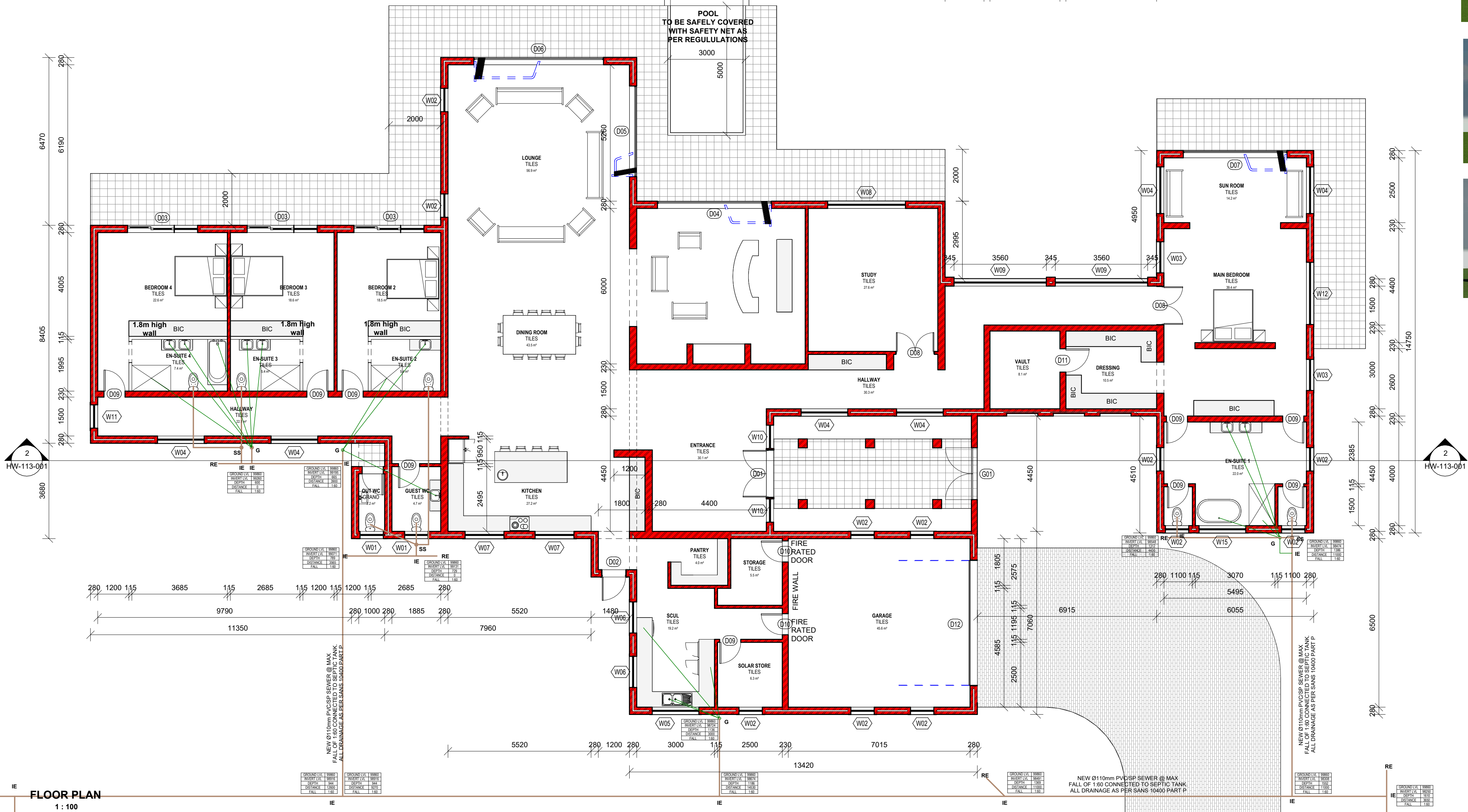
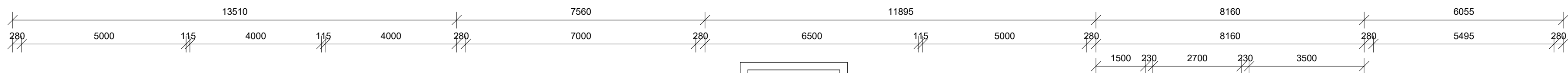


.....
MOGAMAT FICKERIE TOYER

2023-02-28

.....





FLOOR PLAN
1:100

ROOF CONSTRUCTION: SANS 10400-L
25° ROOF PITCH: 5-PROFILE ROOF SHEETS ON 76x50mm PURLINS ON PRE-MANUFACTURE ENGINEERING TRUSSES SPACED @ MAX OF 760mm ON 114x38mm WALL PLATE TIED DOWN WITH GALVANIZED FLASHING AND WATERPROOFING WHERE NEEDED. ALL OPENINGS TO HAVE REINFORCED CONCRETE LINTELS OVER UNLESS OTHER SPECIFIED

CONCRETE ROOF CONSTRUCTION
TOPPS SEAL @ R/F APPLIED BY APPROVED APPLICATOR ON SAND/CEMENT SCREED WITH MIN 1:100 FALL TO FULL BORE INTAKES ON RC SLAB AS PER THE ENGINEERS DETAIL.

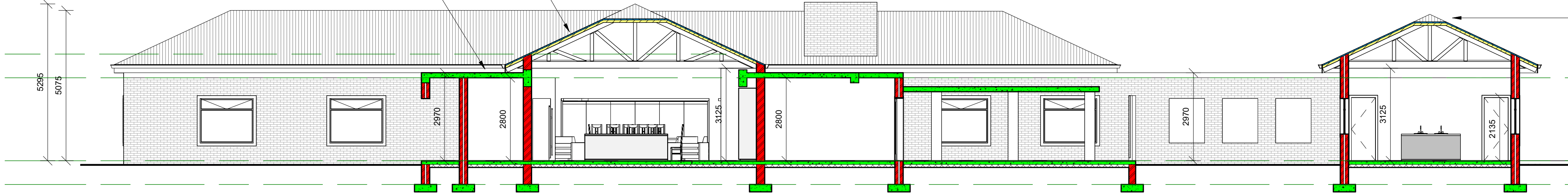
CHIMNEY CONSTRUCTION
BRICK FIREPLACE CHIMNEY TO BE MIN HEIGHT OF 1000mm ABOVE ROOF FINISH

ROOF CONSTRUCTION: SANS 10400-L
25° ROOF PITCH: 5-PROFILE ROOF SHEETS ON 76x50mm PURLINS ON PRE-MANUFACTURE ENGINEERING TRUSSES SPACED @ MAX OF 760mm ON 114x38mm WALL PLATE TIED DOWN WITH GALVANIZED FLASHING AND WATERPROOFING WHERE NEEDED. ALL OPENINGS TO HAVE REINFORCED CONCRETE LINTELS OVER UNLESS OTHER SPECIFIED

BRICKWORK: SANS 10400-S
STRUCTURE TO COMPLY WITH PART 'K' OF THE NBR. EXT & INT WALLS STANDARD 375 MICRON DAMP PROOF COURSE UNDER ALL WALLS & WINDOW/DOOR MORTAR TO HAVE A COMPREHENSIVE STRENGTH OF 15 MPa AND CLASS 8 MORTAR MIXTURE. OTHERWISE, CLAY/ROD TO BE USED IN CONSTRUCTION. ALTERNATIVE BRICK TO BE APPROVED BY NCA PRIOR TO CONSTRUCTION.

SURFACED AND FLOOR CONSTRUCTION:
NON-SLIP FLOOR TILES CARPET / BAMBOO FLOORING ON 40mm SAND/CEMENT SCREED ON 80mm CONCRETE SURFACED ON DPC ON 90mm SAND/CRAVEL ON WELL COMPACTED FILL AS PER BUILDING REGULATIONS. FILL MUST BE FREE OF ANY ORGANIC MATERIAL.

FOUNDATIONS & FOOTINGS (as per SANS 2001-CM2 2011)
CONCRETE STRIP FOUNDATIONS TO SIZES INDICATED ON PLAN WITH LAPPED STEPS WHERE REQUIRED. BRICK FORCE IN EVERY LAYER OF FOUNDATION WALLS MIN OF 600mm FROM BOTTOM OF FOUNDATION TO NGL. FOUNDATIONS TO BE BUILT ON SUITABLE MATERIAL.



SECTION
1:100



AREA SCHEDULE	
ERF	8944.75m²
NEW DWELLING	600.64m²
NEW COVERED ENTRANCE PORCH	19.7m²
NEW POOL	15m²
TOTAL:	635.34m²
NEW STORE AREA:	615m²
AS-BUILT STUDIO	56.2m²
TOTAL FOOTPRINT:	1306.5m²
COVERAGE:	14.6%
FENESTRATION CALCULATIONS	
DWELLING AREA:	600.64m²
GLAZING AREA:	89m²
FENESTRATION DO COMPLY	14.8%

SITE OPERATIONS: SANS 10400-F
LAND SURVEYOR TO POINT OUT AND CERTIFY BOUNDARY PEGS. LAND SURVEYOR TO SET TO SET OUT THE BUILDING WORKS. THE CONTRACTOR SHALL CLEAR THE VEGETATION FROM THE PORTION TO BE BUILT ON. DATUMS TO BE CONFIRMED ON SITE WITH ACHITECT PRIOR TO CONSTRUCTION.

DRAINAGE NOTES:
DRAINAGE INSTALLATIONS UNDER BUILDING WORK MUST BE INSTALLED IN TERMS OF PART P OF SANS 10400 (4.19.4). DRAINAGE INSTALLATIONS UNDER BUILDING WORK MUST BE PROTECTED IN TERMS OF PART P OF SANS 10400 (4.22.2).
REGISTER PLUMBER AND ELECTRICIAN MUST PROVIDE A CERTIFICATE OF COMPLIANCE BEFORE OCCUPANCY CERTIFICATE BEEN ISSUED BY THE LOCAL AUTHORITY.

NEW STRUCTURE NOTE:
NO STRUCTURE OR ANY PORTION THEREOF TO ENCROUCH ONTO NEIGHBOURING PROPERTY.
NO PART OF THE NEW STRUCTURE INCLUDING THE FOUNDATIONS ARE TO ENCROUCH THE STAND BOUNDARY. NO BUILDING OR ANY PART THEREOF TO BE OCCUPIED WITHOUT AN OCCUPANCY CERTIFICATE BEEN ISSUED

PERGOLA NOTE:
PATIO/PERGOLA/VERANDHA/STOEP TO REMAIN OPEN AS PER BUILDING PLAN

RAINWATER
RAINWATER NOT TO DISCHARGE ONTO NEIGHBOURING PROPERTY

BOUNDARY WALLS
ALL WALLS BUILD ON ERF BOUNDARY TO BE FINISH TO THE SATISFACTION OF THE ADJOINING OWNER

ROOF STRUCTURE
ROOF CERTIFICATE TO BE PROVIDED TO THE BUILDING INSPECTOR AFTER COMPLETION OF WORK BEFORE ISSUE AN OCCUPANCY CERTIFICATE

No.	Description	Date

PROPOSED NEW DWELLING ON ERF113, HOEKWIL, WILDERNESS

REVISED MUNICIPAL SUBMISSION	
FLOOR PLAN, SECTION	
Project number	210925
Date	2023/02/15
Drawn by	IS
Checked by	RC
Sheet	HW-113-001
Scale	As indicated

GENERAL NOTES:
THE CONTRACTOR IS TO EMPLOY A LAND SURVEYOR TO SET OUT THE BUILDING ON THE SITE. THE LAND SURVEYOR IS TO CORRECT ALL ERF BEACONS AND CORRECT SITE.
THE CONTRACTOR IS TO LOCATE AND VERIFY AND APPROVE ON SITE. AND IS TO VERIFY THESE DURING THE DURATION OF THE BUILD.
THE CONTRACTOR IS TO BE RESPONSIBLE FOR ALL WORKS AND ALLOWED TOLERANCES AS PER SANS THAT FORM PART OF THIS DOCUMENT IS TO BE USED IN CONJUNCTION WITH THIS DRAWING.
ALL DIMENSIONS, UNLESS OTHERWISE SPECIFIED, ARE TO BE REPORTED TO THE ARCHITECT.
CONTRACTOR IS TO BUILD IN ALL EXTERNAL DOORS, WINDOWS OR NOT SHOWN ON THE DRAWINGS. TO ALL EXTERNAL WALLS AT EACH FLOOR, BEAMS OR AND ALL WINDOWS, DOORS, GRILLS, OR OTHER OPENINGS IN EXTERNAL WALLS.
GUTTER WALLS TO HAVE STOPPING AND AN OUTLET TO DRAINAGE FROM THE AGENT. MUST BE REPORTED TO THE ARCHITECT IN HAND.
ALL STRUCTURAL WALLS, BEAMS, RETAINING WALLS, POOLS & LAMINATED BEAM ROOFS, OR STEEL ROOFS, STEEL, EXPOSED ROOF BEAMS, POND WATER FEATURES, AND ANY DEMOLITION WORK TO BE DONE OFF AS A STRUCTURAL ENGINEER BEFORE ANY WORK DONE.
THE FLOOR TO ANY LAUNDRY, KITCHEN, BATHROOM, DOWN ROOM, DOWN ROOM CONTAINING A TOILET, PAN OR URINAL SHALL BE WATER RESISTANT. AS PER SANS 10400.
LAND SURVEYOR TO POINT OUT AND CERTIFY BOUNDARY PEGS. THE CONTRACTOR SHALL CLEAR THE VEGETATION FROM THE PORTION TO BE BUILT ON. WALL LEVEL PLUMBING EXCAVATIONS & STEPS TO BE SECTION OF THE CONTRACTOR. MAX HEIGHT OF DWELLING TO BE 8.0m ABOVE NGL.

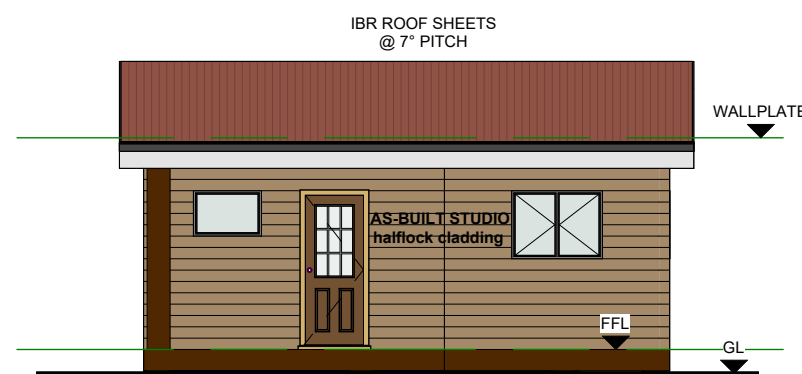
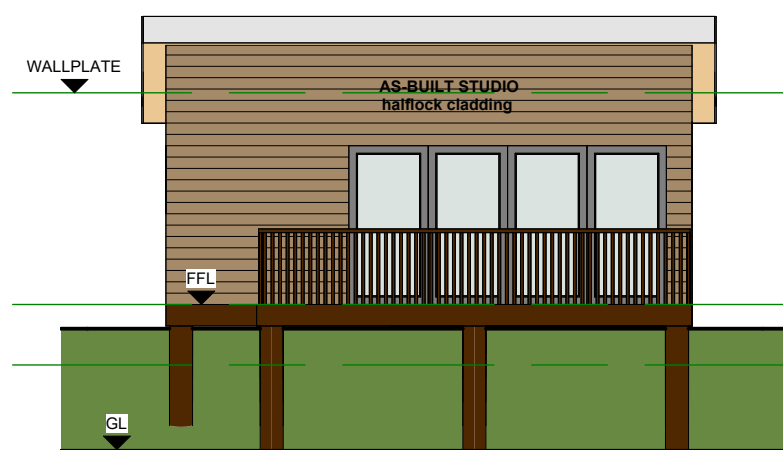
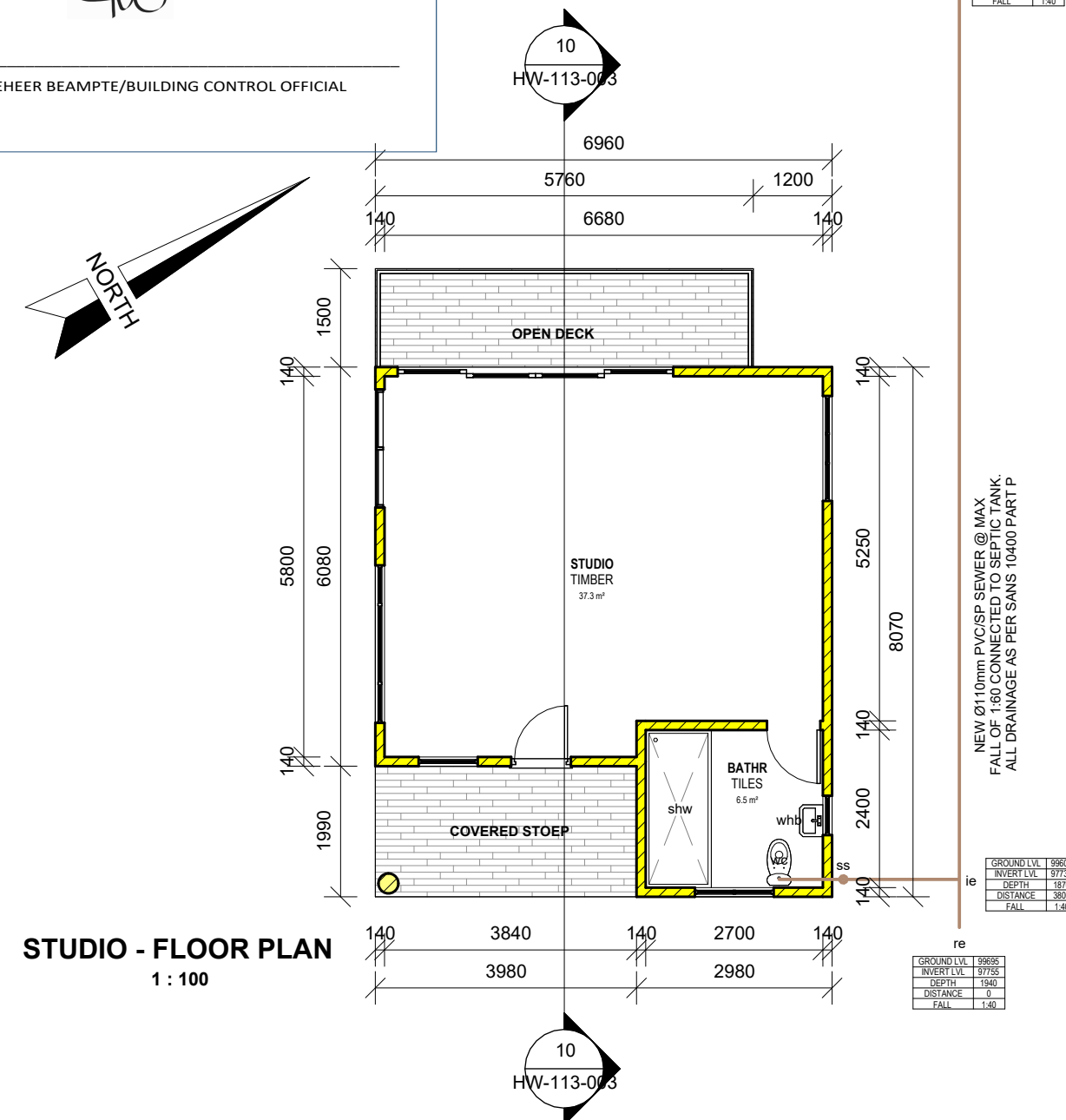


No.	Description	Date

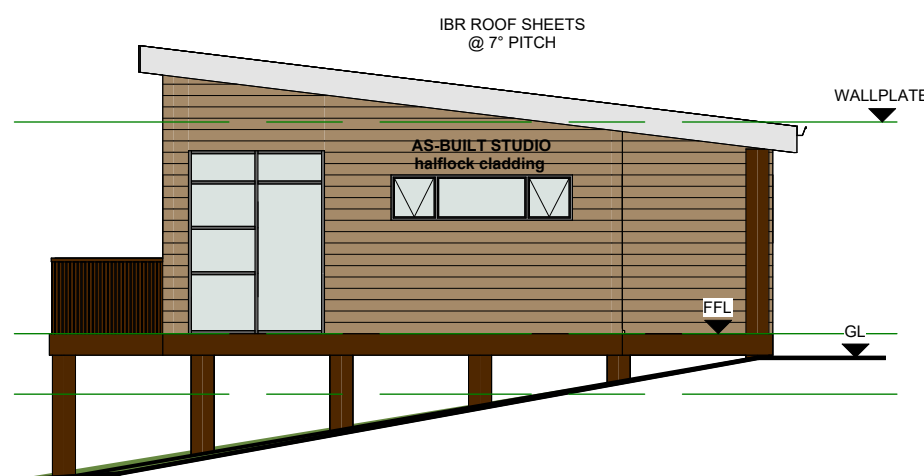
PROPOSED NEW DWELLING ON ERF113, HOEKWIL, WILDERNESS

REVISED MUNICIPAL SUBMISSION			
SITE PLAN, ROOF PLAN, ELEVATIONS			
Project number	210925	Sheet	HW-113-002
Date	2023/02/15		
Drawn by	IS		
Checked by	RC	Scale	
			As indicated

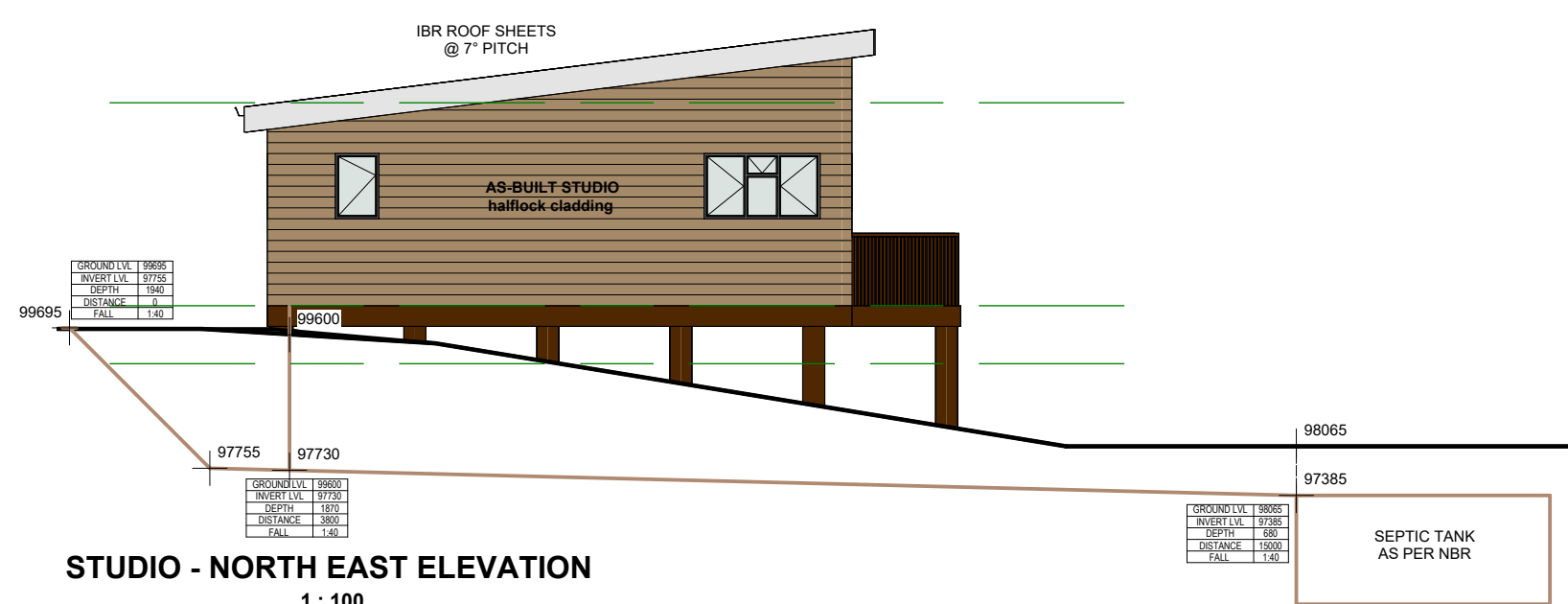
[illegible]



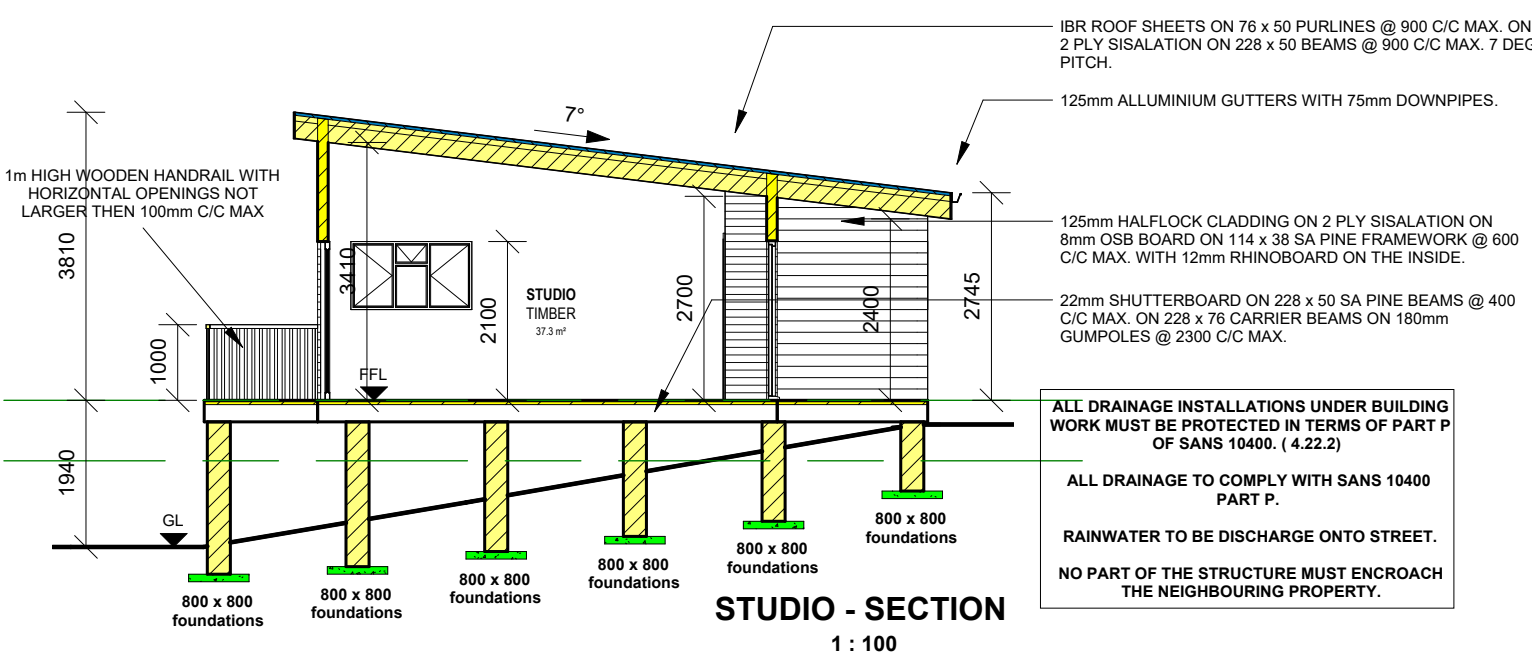
STUDIO - SOUTH EAST ELEVATION
1 : 100



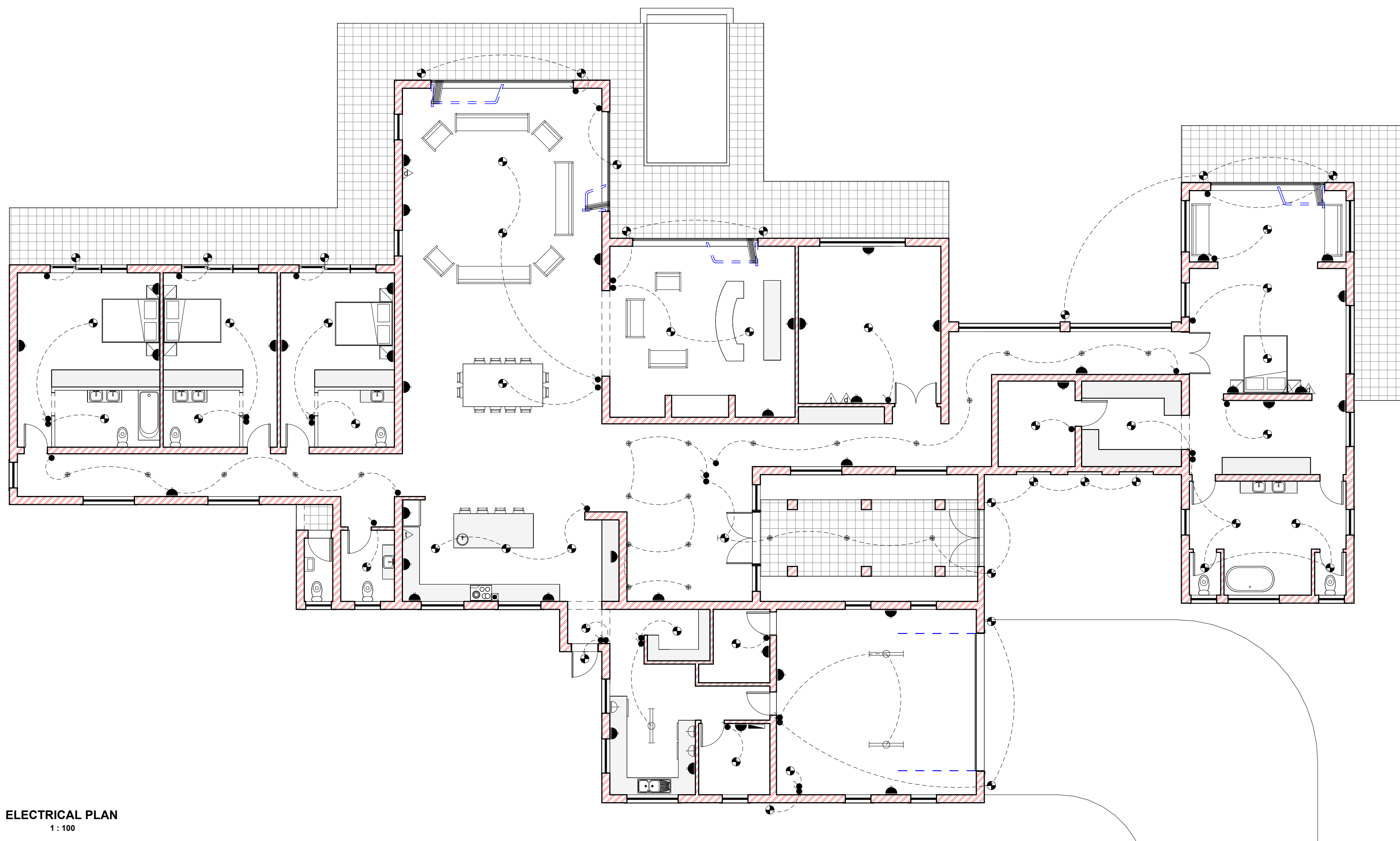
STUDIO - SOUTH WEST ELEVATION
1 : 100



STUDIO - NORTH EAST ELEVATION
1 : 100



STUDIO - SECTION
1 : 100



ELECTRICAL PLAN
1 : 100

[illegible]

DOOR SCHEDULE													
													
NAME	D01	D02	D03	D04	D05	D06	D07	D08	D09	D10	D11	D12	D01
MATERIAL	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	HOLLOW CORE TIMBER	SOLID TIMBER	SOLID STEEL STRONG DOOR	ALUMINUM - SECTIONAL OVERHEAD	TIMBER GATE
GLAZING	CLEAR	CLEAR	CLEAR	CLEAR	CLEAR	CLEAR	CLEAR	CLEAR	CLEAR	CLEAR	CLEAR	CLEAR	CLEAR
COUNT	1	1	3	3	3	3	3	3	12	12	1	1	1
FINISH	CHARCOAL	CHARCOAL	CHARCOAL	CHARCOAL	CHARCOAL	CHARCOAL	CHARCOAL	CHARCOAL	WHITE PAINT	N/A	N/A	CHARCOAL	N/A

W & D SCHEDULE
1 : 100

R & D Designs
SACAP: PAD 20956

No.	Description	Date

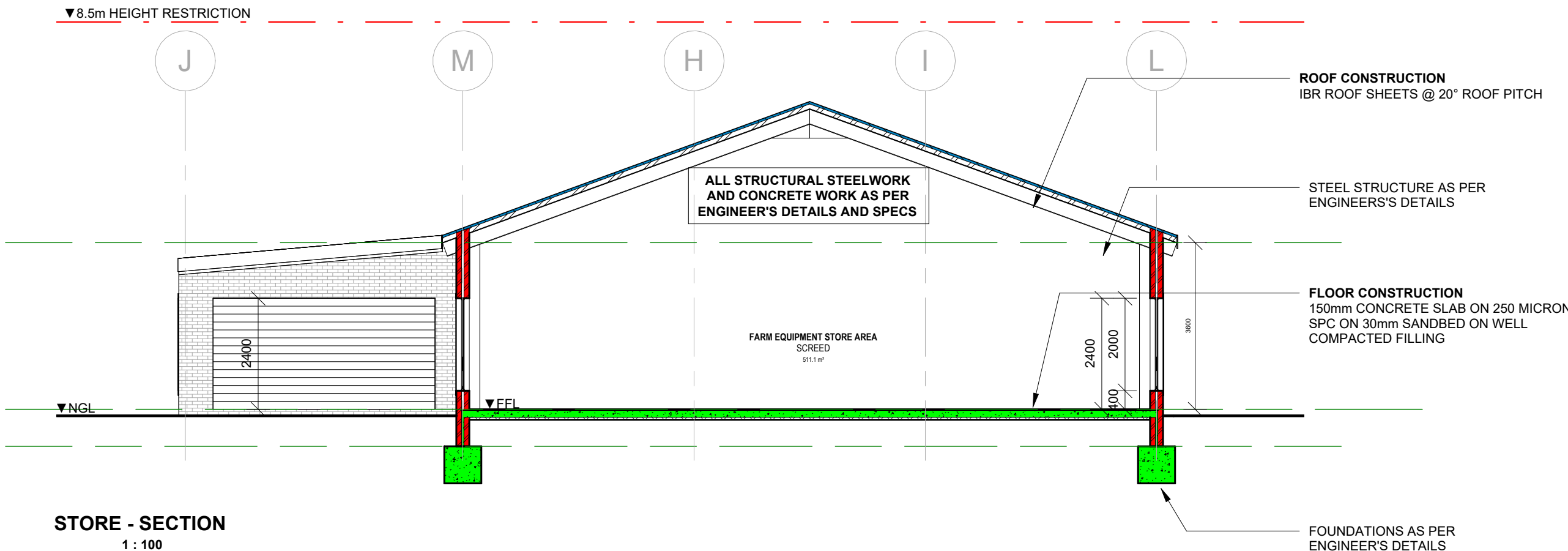
PROPOSED NEW DWELLING ON ERF113, HOEKWIL, WILDERNESS

REVISED MUNICIPAL SUBMISSION			
ELECTRICAL PLAN, WINDOW & DOOR SCHEDULE			
Project number	210925	Sheet	HW-113-003
Date	2023/02/15		
Drawn by	IS		
Checked by	RC	Scale	
			1 : 100

[illegible]

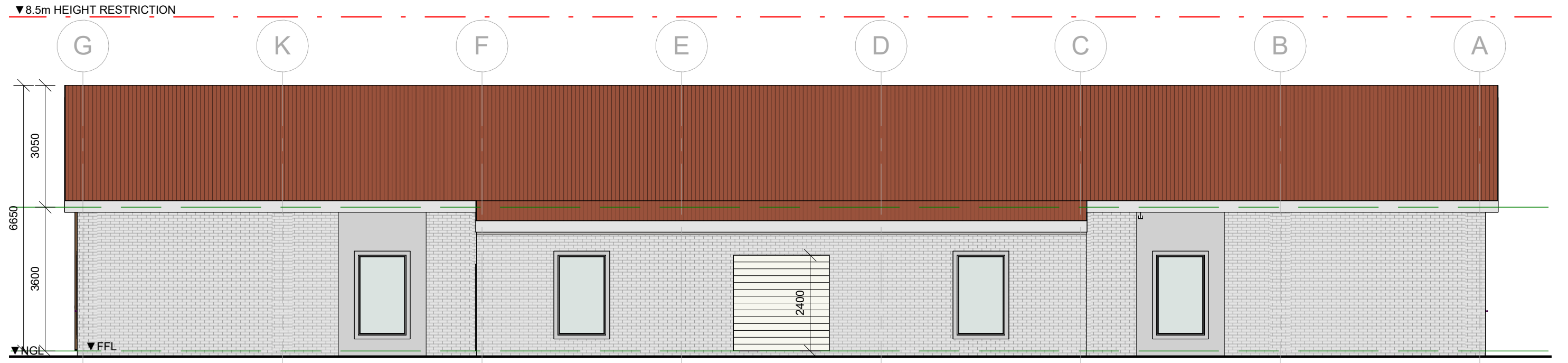


STORE - FLOOR PLAN
1 : 100

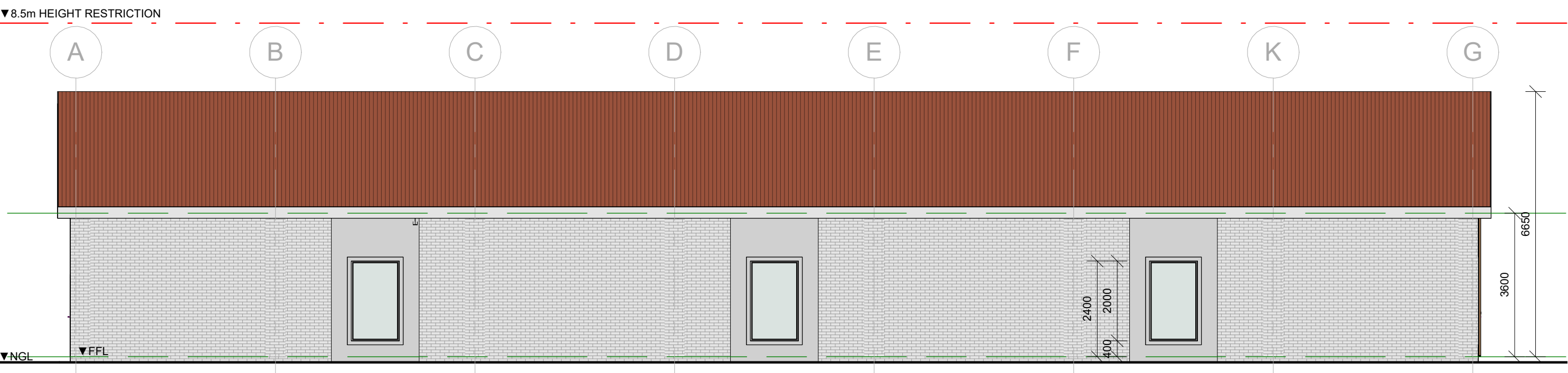


STORE - SECTION
1 : 100

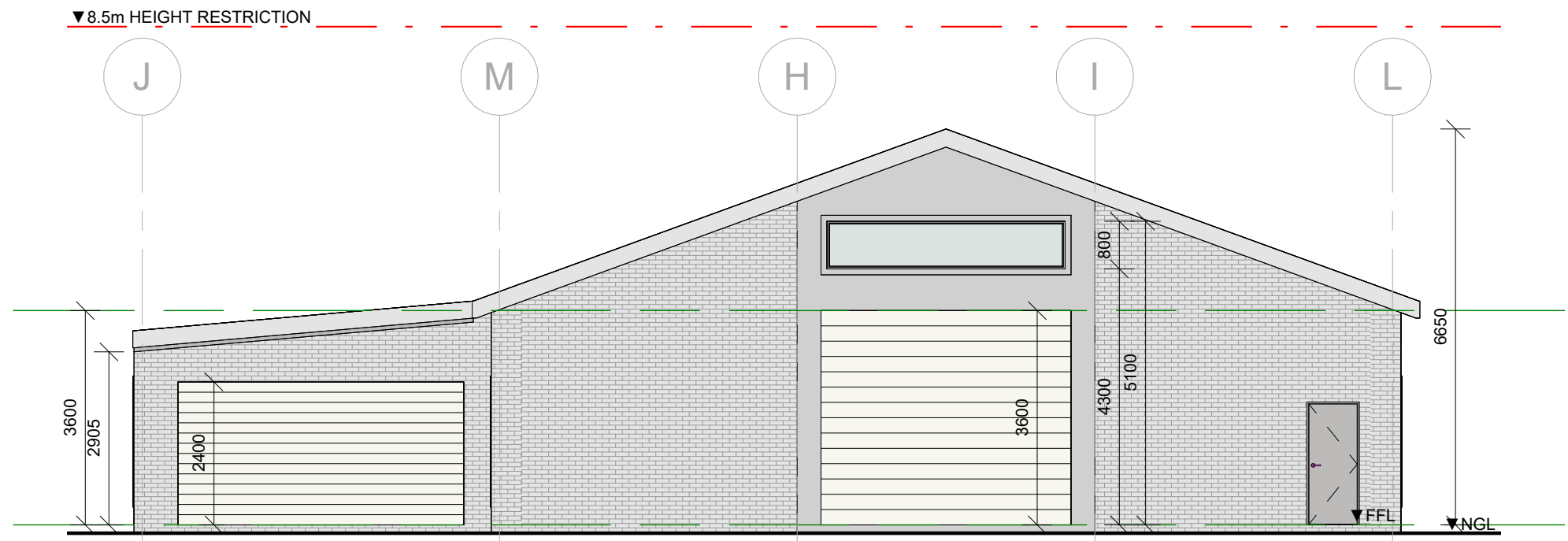
AREA SCHEDULE	
ERF	8944.75m²
NEW DWELLING	600.64m²
NEW COVERED ENTRANCE PORCH	19.7m²
NEW POOL	15m²
TOTAL:	635.34m²
NEW STORE AREA:	615m²
AS-BUILT STUDIO	56.2m²
TOTAL FOOTPRINT:	1306.5m²
COVERAGE:	14.6%
FENESTRATION CALCULATIONS	
DWELLING AREA:	600.64m²
GLAZING AREA:	89m²
FENESTRATION DO COMPLY	14.8%



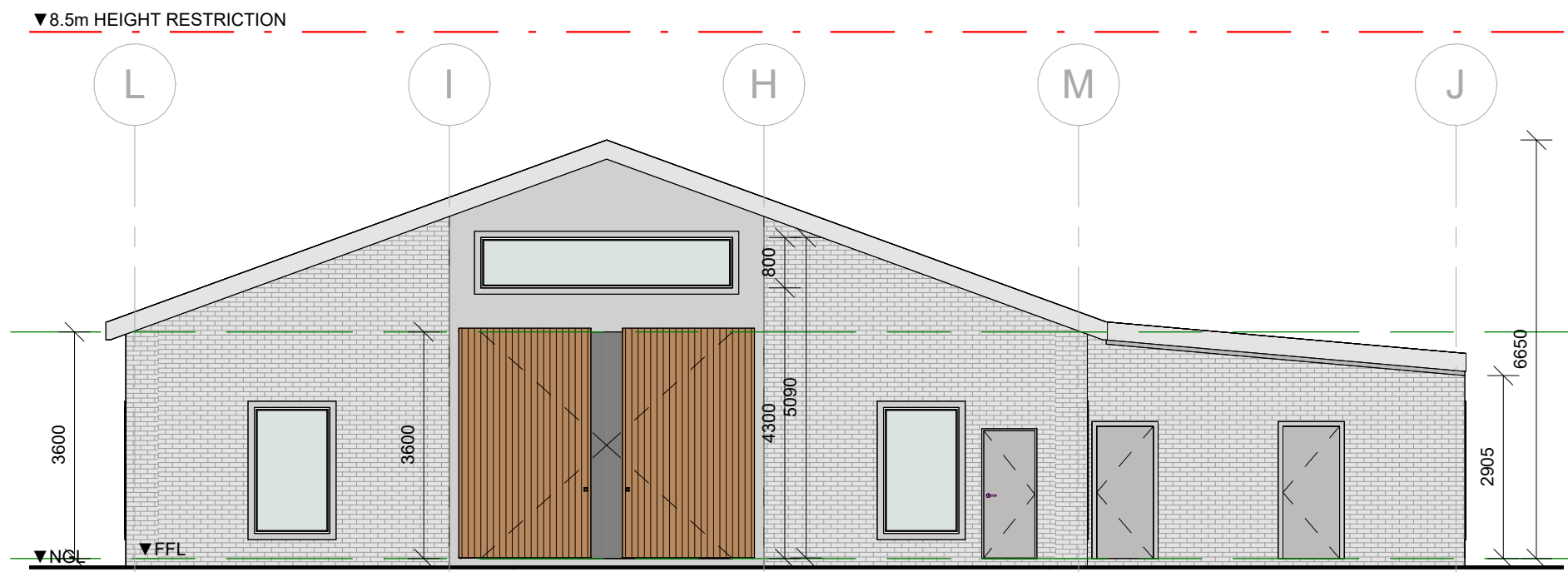
STORE - NORTH ELEVATION
1 : 100



STORE - SOUTH ELEVATION
1 : 100



STORE - WEST ELEVATION
1 : 100



STORE - EAST ELEVATION
1 : 100

No.	Description	Date

REVISED MUNICIPAL SUBMISSION		
STORE - FLOOR PLAN, ELEVATIONS, SECTION		
Project number	210925	Sheet
Date	2023/02/15	HW-113-004
Drawn by	IS	
Checked by	RC	Scale
		As indicated

GENERAL NOTES:

THE CONTRACTOR IS TO EMPLOY A LANDSURVEYOR TO SET OUT THE BUILDING ON THE SITE. THE LAND SURVEYOR IS TO CONFORM ALL GRF BEACONS AND CORRECT SITE.

THE CONTRACTOR IS TO LOCATE AND DETERMINE ALL SERVICES ON SITE AND IS TO PROTECT THEM DURING THE DURATION OF THE BUILD.

THE CONTRACTOR IS TO BE RESPONSIBLE TO THE SPECIFICATIONS AND ALLOWED TOLERANCES AS PER SAWS THAT FORM PART OF THIS DOCUMENT IS TO BE USED IN CONSTRUCTION WITH THIS DRAWING.

ALL DIMENSIONS, UNLESS OTHERWISE SPECIFIED, ARE TO BE REPORTED TO THE ARCHITECT.

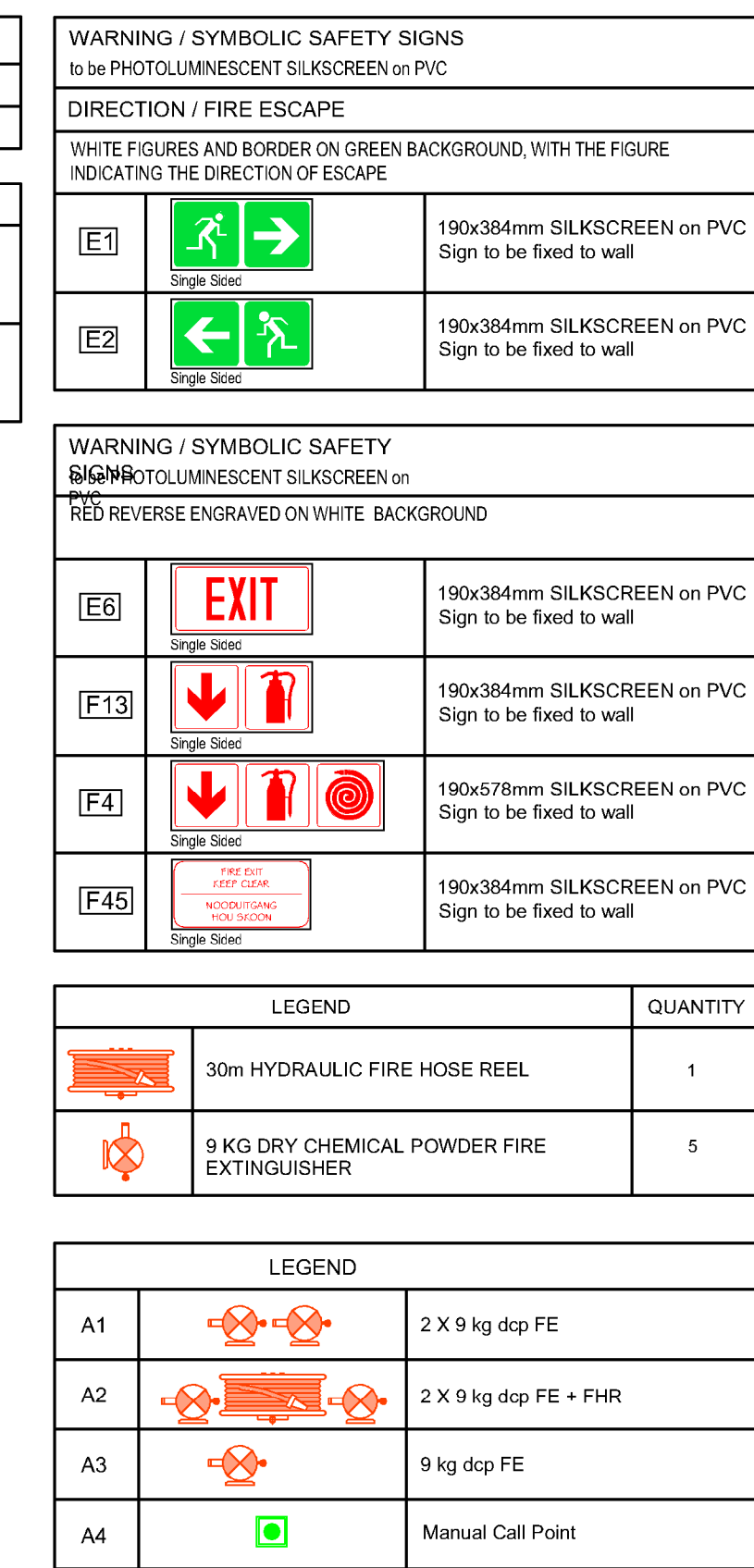
CONTRACTOR IS TO BUILD IN ALL EXTERNAL DIMENSIONS, UNLESS OTHERWISE SPECIFIED, MUST BE REPORTED TO THE ARCHITECT IN HAND.

CONTRACTOR IS TO HAVE STEPPING AND ANY OTHERS AS PER THE ARCHITECT.

ALL STRUCTURAL WALLS, BEAMS, RETAINING WALLS, POLES & LAMINATED BEAM ROOFS, OR STEEL ROOFS, STEEL EXPOSED ROOF BEAMS, POND WATER FEATURES, AND ANY DEMOLITION WORK TO BE DONE OFF SITE & A STRUCTURAL ENGINEER BEFORE ANY WORK DONE.

THE FLOOR TO ANY LAUNDRY, KITCHEN, BATHROOM, BEDROOM, OR OTHER ROOM SHALL BE WATER RESISTANT. AS PER SAWS HAND.

LAND SURVEYOR TO POINT OUT AND CLARIFY BOUNDARY LINES. THE CONTRACTOR SHALL CLARIFY THE VERTICALLY FROM THE POSITION TO BE BUILT FOR WHILE LEVEL PLUMBING EXCAVATIONS & STEPS TO BE DESCRIBED BY THE CONTRACTOR. MAX HEIGHT OF DWELLING TO BE 8.5m ABOVE NGL.

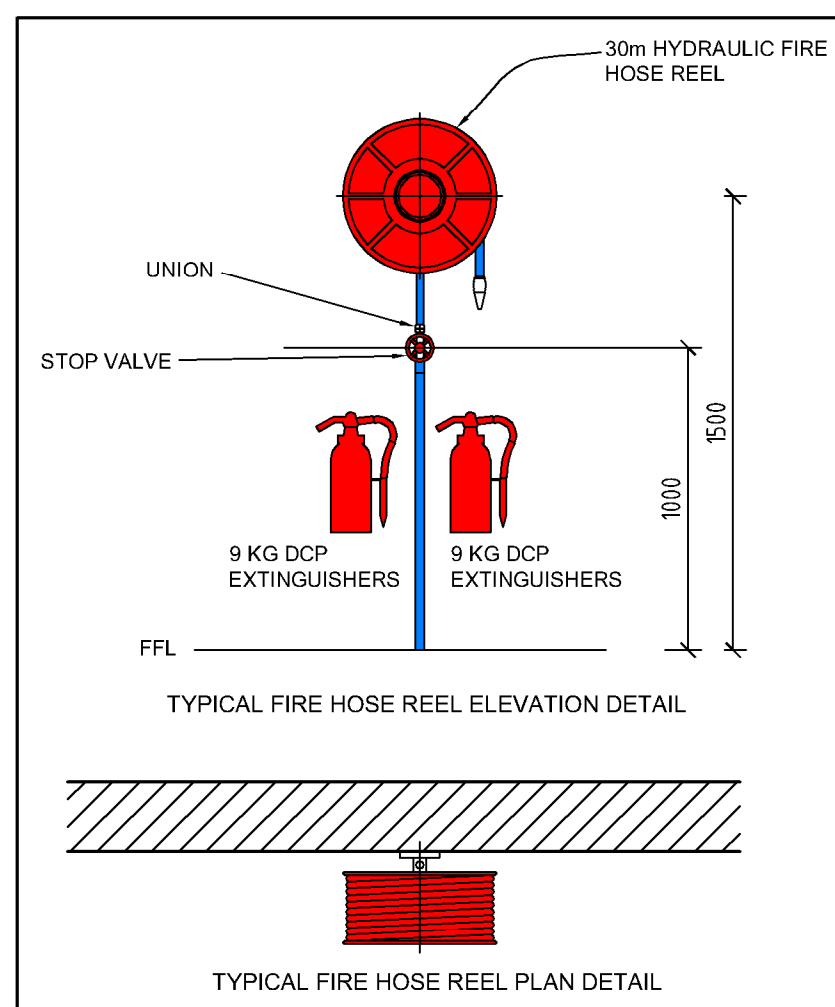


The site plan for ERF 113 shows a rectangular plot with the following boundaries and dimensions:

- BOUNDARY LINE - 159.36m** (Top-left boundary)
- BOUNDARY LINE - 40.15m** (Top-right boundary)
- BOUNDARY LINE - 109.69m** (Right boundary)
- BOUNDARY LINE - 62.10m** (Bottom boundary)
- BOUNDARY LINE - 108.69m** (Left boundary)

Internal dimensions and features include:

- 20m BUILDING LINE** (Dashed line, 20m from boundaries)
- 20000** (Internal horizontal dimension on the left)
- 20000** (Internal horizontal dimension on the right)
- NEW PROPOSED DWELLING** (Red building footprint)
- PROPOSED NEW FARM EQUIPMENT STORE** (Red building footprint)
- NEW DRIVEWAY** (Grey driveway footprint)
- NORTH** (Compass rose indicating North is towards the top-left)



Drawing no/ tekening no	Rev./ wys
23_05	01

ANNEXURE "D" - LOCALITY PLAN

Erf 113 Hoekwil Locality plan



0 0.15 0.3 0.6 km

Date: 4/20/2026 1:34 PM

Scale: 1:5,585



Disclaimer
George Municipality makes no warranties as to the correctness of the information supplied.
Persons relying on this information do so entirely at their own risk.

George Municipality will not be liable for any claims whatsoever, whether for damages or otherwise, which may arise as a result of inaccuracies in the information supplied.

ANNEXURE "E" - SURVEYOR GENERAL DIAGRAM

ONDERVERDELINGSKAART, ART. 24 (b), WET Nr. 9 VAN 1927.

Afgetrek van Plan 1789LD

	SYE Kaapse Voet	RIGTINGS- HOEKE
AB	477.57	239.11.00
BC	114.80	333.06.50
CD	345.21	356.47.50
DE	305.80	1.54.30
EF	57.94	347.52.30
FG	170.78	81.43.30
GH	197.24	80.54.10
HA	631.87	163.05.30

Nr. 5052/61

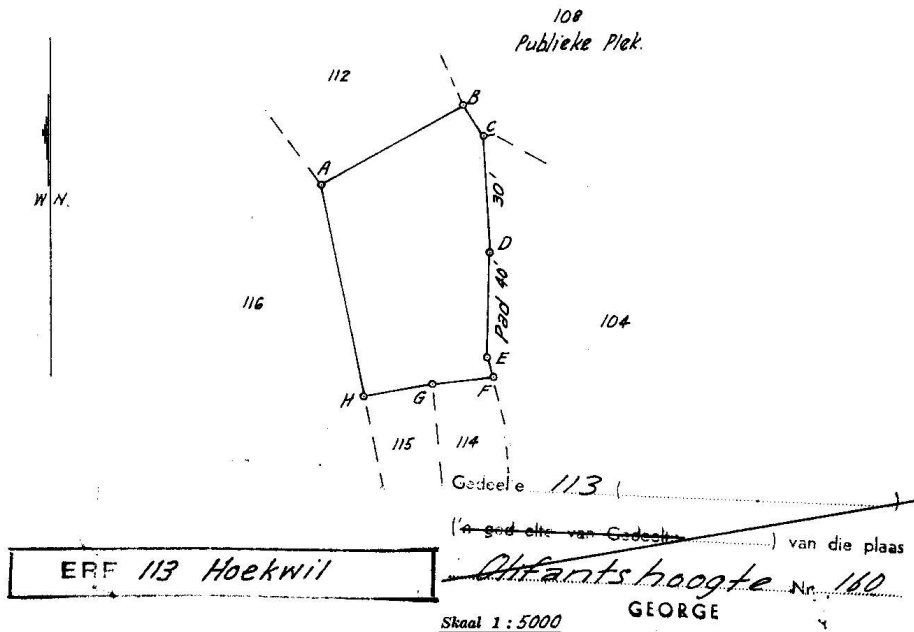
Goedgekeur.

P. Landmeter-Generaal.
29.6.1961

Beskrywing van Bakens:

ABCDEFGH

$\frac{3}{4}$ " Ysterpen



Die figuur ABCDEFGH

stel voor 3.5779 Morge

Gedeelte 113

van die plaas

grond synde

OLIFANTSHOOGTE

geleë in die Afdeling George, Provinsie Kaap die Goeie Hoop.

Opgemeet in Julie 1956 — Desember 1959 deur my

R. L. Barry
Landmeter.

Hierdie kaart is geheg aan

T/A 11559/65

Die oorspronklike kaart is
Nr. 5009/60 geheg aan

L.G. Lëer Nr. S/4924

Meetstukke Nr. E. 1091/60

Alg. Plan 1789LD

Gradevel BL-8CC

BL-8CD

Registrateur van Aktes

B 8 S.P.C.T.-A7182

S

C

113
160/113

ANNEXURE “F” - TITLE DEED

KLGSBRUN EDELSTEIN BOSMAN DU
PLESSIS INC
220 Lange Street
Nieuw Muckleneuk
Pretoria
0001

PREPARED BY ME



CONVEYANCER
PRAVESHNEE MORGAN (M22646)

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 5,550,000.00	R. 2,305.00
Reason for exemption	Category Exemption.....	Exemption i to. Sec/Reg..... Act/Proc.....



T000018142 / 2022

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

REUBEN CHARLES SHAER

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him by

GAVIN SELBY JORDAAN
Identity Number 7604075167082

and

BARBARA GAYLE JORDAAN
Identity Number 7709190027085

Married in community of property to each other



which said Power of Attorney was signed at **GEORGE** on **22 MARCH 2022**

And the appearer declared that his said principal had, on **21 February 2022**, truly and legally sold by Private Treaty, and that he, the said Appearer, in his capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

BERNHARD PHILIP BREDELL
Identity Number 5612055016080
Married out of community of property

his Heirs, Executors, Administrators or Assigns, in full and free property

ERF 113 HOEKWIL
IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE

IN EXTENT 3,0646 (THREE COMMA ZERO SIX FOUR SIX) Hectares

FIRST TRANSFERRED BY DEED OF TRANSFER NUMBER T11559/1965
WITH DIAGRAM SG NO. 5052/61 RELATING THERETO AND HELD BY
DEED OF TRANSFER NUMBER T58056/2013

- A. SUBJECT** to the conditions referred to in Deed of Transfer No. T58056/2013.
- B. SUBJECT FURTHER** to the terms of a Notarial Deed No. 134/56 as recorded in the endorsement dated 16 March 1956 on Deed of Transfer No. T5973/52, which reads as follows:

"Kragtens Not. Akte Nr 134/56 gedateer 30/11/55 is die restant van Olifants Hoek Forest Reserve 994,2999 Hektaar hieronder gehou onderhewig aan die volgende voorwaardes:

- (a) Sulke regte van opdam stoor en waterleiding soos in die gesegde Not. Akte uiteengesit.
- (b) 'n Reg van pyplyn aagedui deur die letter A gekromde blou lyn b op serwituut kaart 8673/54.
- (c) Die reg van gebruik, hernuwing en instandhouding van gesegde installasies.
- (d) Die reg van toegang tot voornoemde installasies.

Watter voorwaardes opgelê is ten gunste van Ged. 22 ('n ged. Van ged. 21) van die plaas Klein Krantz, gehou onder T19388/54 soos meer breedvoerig sal blyk met verwysing na gesegde Not. Akte 'n afskrif waarvan hieraan geheg is."

 Lexis® Convey 18.1.7.10

- C. **SUBJECT FURTHER** to the terms of a Notarial Deed No. 136/1956 referred to in the endorsement dated 16 March 1956 on Deed of Transfer No. T5973/52 which reads as follows:

"Registrasie van Serwituut.

Kragtens Notariele Akte Nr. 136/1956 ged. 6/9/55 is die restant van Olifants Hoek Forest Reserve groot 994,2999 Hektaar onder para. 1 hierin gehou, onderhewig aan 'n serwituut reg van weg 7,56 meters wyd soos aangedui deur die letters Gy (oostelike grens) yH (noordelike grens) op kaart nr 4939/53 ten gunste van ged. 20 (ged. van Perseel D) van die plaas Klein Krantz gehou onder T3585/56 onderhewig aan sekere voorwaardes soos meer volledig sal blyk met verwysing na gesegde Notariële Akte, 'n afskrif, waarvan hieraan geheg is."

- D. **SUBJECT FURTHER** to the following uniform conditions contained in Certificate of Uniform Title No. T20225/1963 imposed by the Minister when he gave his consent to the issue of the said Certificate of Uniform Title No. T20225/1963, namely

(i)

- (ii) Die reg om grond te neem en materiaal te verkry en te verwyder vir die bou en herstel van openbare paaie, dit wil sê alle besit voorwaardes en alle ander regte wat ten gunste van die Staat bestaan het, word uitgewis.

- E. **SUBJECT FURTHER** to the following conditions, contained in the said Deed of Transfer No. 11559/1965 imposed by the Administrator of the Province of The Cape of Good Hope on subdivision in terms of Section 196 of Ordinance No. 15/1952, as amended, of the farm Olifantshoogte, which can be amended or modified by him:

- (a) Dit mag net vir woon- en landboudoeleindes gebruik word.
(b)



15/1952, as amended, of the farm Olifantshoogte, which can be amended or modified by him:

- (a) Dit mag net vir woon- en landboudoeleindes gebruik word.
- (b)

WHEREFORE the said Appearer, renouncing all rights and title which the said

GAVIN SELBY JORDAAN and BARBARA GAYLE JORDAAN, Married as aforesaid

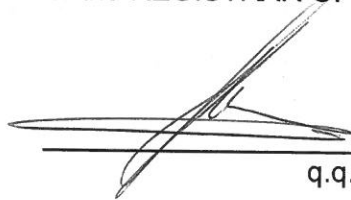
heretofore had to the premises, did in consequence also acknowledge them to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

BERNHARD PHILIP BREDELL, Married as aforesaid

his Heirs, Executors, Administrators or Assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R5 250 000,00 (FIVE MILLION TWO HUNDRED AND FIFTY THOUSAND RAND) together with agency commission in the amount of **R300 000-00 (Three Hundred Thousand Rand)** being a total amount of **R5 550 000,00 (Five Million Five Hundred and Fifty Thousand Rand)**.

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on *26th April 2022*



q.q.

In my presence



REGISTRAR OF DEEDS

ANNEXURE "G" - POWER OF ATTORNEY

POWER OF ATTORNEY

I, the undersigned

Bernhard Philip Bredell

the registered owner of

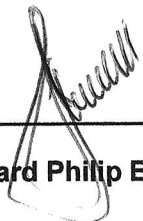
Erf 113 Hoekwil

do hereby appoint Jan Vrolijk Town Planner/Stadsbeplanner to prepare, sign and submit the following applications to the George Municipality:

An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for a permanent departure for the relaxation of the following building lines on Erf 113 Hoekwil:

- the southern side boundary building line from 20 metres to 15.00 metres to accommodate the existing outbuilding (storeroom).
- the rear boundary building line from 20 metres to
 - 15.00 metres to accommodate the existing outbuilding (storeroom).
 - a distance varying from 10.00 metres to 12.50 metres to accommodate the existing second dwelling unit.

Signed at Hoekwil on 6 July 2026



Bernhard Philip Bredell

ANNEXURE "H" - CONVEYANCER CERTIFICATE

CONVEYANCER'S CERTIFICATE

IN TERMS OF SECTION 38(1)(n) OF THE GEORGE MUNICIPALITY: LAND USE PLANNING BY LAW, 2023

ERF 113 HOEKWIL

APPLICATION DETAILS

An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for a permanent departure for the relaxation of the following building lines on Erf 113 Hoekwil:

- the southern side boundary building line from 20 metres to 15.00 metres to accommodate the existing outbuilding (storeroom).
- the rear boundary building line from 20 metres to
 - 15.00 metres to accommodate the existing outbuilding (storeroom).
 - a distance varying from 10.00 metres to 12.50 metres to accommodate the existing second dwelling unit.

APPLICATION DATE

July 2026

I, the undersigned

ANDALEEN CHIMES a duly qualified and admitted Conveyancer, practicing at A Chimes & Van Wyk Attorneys, Cathedral Street, George do hereby certify as follows:

1. I have perused the following title Deed/s and conducted a search behind the pivot of the said title deed/s at the Deeds Office, Cape Town:

T18142/2022 (current Title Deed)

in respect of:

**ERF 113 HOEKWIL
IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE**

IN EXTENT: 3,0646 (THREE COMMA ZERO SIX FOUR SIX) HECTARES

HELD BY DEED OF TRANSFER NUMBER T18142/2022

REGISTERED in the name of

BERNHARD PHILIP BREDELL

2. I have appraised myself with the details of the abovementioned Land Development Application.
3. The abovementioned Title Deed contains no conditions restricting the contemplated Land Use in terms of the abovementioned Land Development Application.
4. There is no bond registered over the property.

SIGNED at GEORGE on 6 July 2026

A handwritten signature in black ink, appearing to be 'P. J. van der Merwe', written in a cursive style.

CONVEYANCER