



The Municipal Manager
P O Box 19
George
6530

Reference: Erf 13315 George

17 June 2026

Sir

**APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATION):
ERF 13315 GEORGE**

Attached hereto please find an application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the street and eastern side boundary building line on Erf 13315 George to allow for the construction of a braai room.

Your prompt consideration of the application will be appreciated.

Thanking you in anticipation.

Jan Vrolijk

MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATION)
ERF 13315 GEORGE

17 June 2026



Prepared for:

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MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATION)
ERF 13315 GEORGE

1. APPLICATION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the following building lines of Erf 13315 George:

- the northern street boundary building line from 5.0 metres to 3.5 metres to allow for the construction of a braai room.
- the eastern side boundary building line from 3.0 metres to 0.0 metres to allow for the construction of a braai room.

The proposed site plan and building plan indicating the proposed braai room in relation to the street and side boundary building lines is attached hereto as **Annexure “A”**.

The completed application form for the application for the permanent departure is attached hereto as **Annexure “B”**.

2. PRE-APPLICATION CONSULTATION

A pre-application consultation was not required as the application entails the permanent departure for the relaxation of building lines in terms of the George Integrated Zoning Scheme By-Law, 2023. This is in line with the e-mailed directive in this regard to various consultants by the Municipal Town Planners, which was issued by e-mail dated 10 May 2022.

3. DEVELOPMENT PROPOSAL

Erf 13315 George has been developed with a single-storey Cape Dutch-style dwelling house comprising four bedrooms, two bathrooms, a kitchen, dining room, lounge, sewing room, laundry

room, and one non-interleading bedroom which is currently utilised as staff accommodation. The property further contains a double garage and an outbuilding. The existing dwelling house was lawfully constructed and approved building plans are available. Copies of the approved building plans of the dwelling house are attached hereto as **Annexure “C”**.

The current owners of Erf 13315 George recently commenced the construction of a proposed braai room after appointing a building contractor. The proposed braai room, measures approximately 4 metres in length, has a floor area of only 9 m², and a maximum height of 3.0 metres. During construction, the owners were issued with a Notice of Non-Compliance by George Municipality, as the braai room was being erected without prior approval of building plans. Consequently, the owners are seeking to legalize the development through this building line relaxation application. The extent of the braai room is visible on the photo below.



In addition to the proposed braai room, the owners intend constructing a covered stoep in front of the dwelling house, a swimming pool, and a storeroom adjacent to the existing double garage. The proposed covered stoep, swimming pool and storeroom comply with the applicable development parameters prescribed for a dwelling house in terms of the George Municipality Land Use Planning By-Law and zoning scheme. Accordingly, no land use application is required

for these structures, and these structures will be considered through the normal building plan approval process.

The purpose of this application is to obtain approval in terms of Section 15(2)(b) of the George Municipality Land Use Planning By-Law, 2023, for a permanent departure to relax the applicable building line restrictions on Erf 13315 George to accommodate the proposed braai room. The proposed braai room constitutes the only component of the development that requires land use approval.

An extract of the proposed site development plan illustrating the braai room, covered stoep, swimming pool and storeroom is attached as **Annexure “A”**.

4. GENERAL INFORMATION REGARDING ERF 13315 GEORGE

4.1 Locality

Erf 13315 George is situated at 77 Meent Street in Heatherpark, George. The locality of the erf is indicated on the locality plan which is attached hereto as **Annexure “D”**.

4.2 Existing land use

Erf 13315 George is currently used for single residential purposes.

4.3 Extent of erf

Erf 13315 George is 1 000m² in extent.

4.4 Present zoning

In terms of the George Integrated Zoning Scheme By-Law, 2023, the zoning of Erf 13315 George is Single Residential Zone I. In terms of this zoning, the erf may be used for the purposes of a “dwelling house”.

The extent of the application erf is 1000m². The coverage and building lines applicable to a “dwelling house” are set out in a table in Schedule II of the George Integrated Zoning Scheme, 2023. The street building line applicable to a dwelling house on an erf greater than 1 000m² is 5.0 metres and the side and rear building lines are 3.0 metres.

Apart from the braai room that require building line relaxation, the dwelling house complies with all other development parameters. The building line relaxation are motivated in further detail in point 5 of this motivation report.

4.5 General Plan

Erf 13315 George forms part of the General Plan No 11624 and a copy thereof is attached hereto as **Annexure “E”**.

4.6 Title Deed

Erf 13315 George is registered in the name of Theödorus Lewis Kriel (ID 7711235058083) and Christiana Elisabete Cunha Belem Branco (ID 7101140465088). The Title Deed T15572/2023 of the application erf is attached hereto as **Annexure “F”**.

4.7 Power of Attorney

A Power of Attorney, whereby Jan Vrolijk Town Planner / Stadsbeplanner is appointed by Theödorus Lewis Kriel and Christiana Elisabete Cunha Belem Branco, the registered owners of Erf 13315 George, to prepare the application referred to in point 1 of this motivation report and to sign all relevant documents is attached hereto as **Annexure “G”**.

4.8 Bondholder's Consent

Erf 13315 George is not encumbered by a bond.

4.9 Conveyancer Certificate

A Conveyancer Certificate in respect of Erf 13315 George is attached hereto as **Annexure “H”**. The certificate confirms that there are no conditions in the Title Deed of the property which prohibits the development of the erf as proposed in this application.

5. DESIRABILITY OF THE APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATION): ERF 13315 GEORGE

5.1 Introduction

Specific issues which must be addressed in the motivation of applications are highlighted in the Land Use Planning By-Law for George Municipality, 2023. These issues are, however, aimed at more complex applications and are not applicable to applications such as an application for building line relaxation in the George Integrated Zoning Scheme By-law, 2023. This application will therefore be motivated with reference to the following aspects:

- *Compatibility of the proposal with the existing planning and land uses of the surrounding area.*
- *The impact that the proposal will have on surrounding facilities such as schools, open spaces and other community facilities, should the application result in an increase in the population of the area concerned.*
- *The impact that the proposal will have on the existing character of the surrounding area and the right of the inhabitants of the area in respect of property values, privacy, view, sunlight, et cetera.*
- *The impact that the proposal will have on traffic and parking in the surrounding area.*
- *Provision of essential services.*

5.2 Existing planning and development in the area

The area of Heather Park where the application erf is located, has a predominately single residential land use character. The dwelling houses and outbuildings of various architectural design and extent are situated in neatly kept gardens. To the south as well as to the north-east of Erf 13315 George is the Golf Park security complexes.

The aerial photo to the left indicates the locality of the application erf, as well as the structures on the erf, in relation to the surrounding erven.

As can be seen from the aerial photo various erven, on which structures are located in building lines, exists in the immediate area of Erf 13315 George. The permanent departure as proposed in this application, will therefore not create an undesirable precedent and can be accommodated within the existing planning of the area concerned.



5.3 Impact on schools, open spaces and other community facilities

The permanent departure for the building line relaxation in terms of the George Integrated Zoning Scheme Bylaw, 2023 will not result in an increase in the number of inhabitants of the erf beyond that which is accommodated in the zoning of the erf. As such, the proposal will not have an

impact on schools, open spaces and other community facilities in the area. This aspect is, therefore, not relevant to this application.

5.4 Impact on streetscape

The following photo indicates the street elevation from Meent Street of the application erf. The braai room is barely visible from the street elevation as it is behind a street boundary wall and a mature tree. The owners intend to keep the tree. The proposed braai room can therefore not have any negative impact on the streetscape.



The permanent departures as proposed in this application will, therefore, not have a negative impact on the streetscape in the vicinity of the application property.

5.5 Impact on sunlight, view and privacy

Erf 13315 George is situated within a quiet residential area along Meent Street. As illustrated in the aerial photograph below, the only properties that could potentially be affected by the proposed permanent departures are Erf 13316 George, located directly east of the subject

property, and Erf 21052 George, situated opposite the property on the northern side of Meent Street.



The proposed braai room, for which construction has already commenced, measures approximately 4 metres in length, has a floor area of only 9 m², and a maximum height of 3.0 metres. Given its limited scale and extent, the structure will not adversely affect the sunlight, views, or privacy enjoyed by the adjoining property, Erf 13316 George. Furthermore, the braai room is positioned along the common boundary in a manner that is consistent with typical residential outbuildings and ancillary structures found within the surrounding neighbourhood.

In addition, the proposed braai room is located approximately 24 metres from the existing dwelling on Erf 21052 George, situated across Meent Street to the north of the subject property. Owing to this substantial distance, the modest size of the structure, and the intervening public road reserve, the proposed braai room will not have any material impact on the sunlight, views,

or privacy of Erf 21052 George. Furthermore, the dwelling on Erf 21052 George is orientated predominantly towards the north, while the proposed braai room is located on the southern side of Meent Street. As such, the structure will not result in any overshadowing or loss of amenity to the occupants of Erf 21052 George.

The proposed permanent departures will, therefore, not have a negative impact on the sunlight, view or privacy in respect of any adjacent erf.

5.6 Impact on property values

As indicated in the previous paragraphs, the structures in respect of which the permanent departures are required, do not have a negative impact on any of the surrounding properties. The outside finish will be of good quality. The proposed braai room will add value to the utilization of the erf.

The value of surrounding properties can, therefore, not be negatively impacted upon by the proposal.

5.7 Impact on the provision of parking

The parking requirements applicable to different land uses are set out in table format in Section 42 of the George Integrated Zoning Scheme, 2023. In respect of dwelling houses on erven larger than 350m², provision must be made for a minimum of 2 on-site parking bays per dwelling house.

As indicated on the site and building plan attached hereto as **Annexure “A”**, a double garage will provide parking space for 2 motor vehicles. The number of parking bays therefore conforms with the parking requirement in the George Integrated Zoning Scheme, 2023.

The provision of on-site parking will, therefore, not be negatively impacted upon by the granting of the permanent departures as proposed.

5.8 Impact on traffic circulation

Erf 13315 George has one existing access from Meent Street and will remain unchanged. The proposed braai room and minor additions to the existing dwelling house will not create more traffic as the purpose of Erf 13315 George, remains for a dwelling house.

The braai room is furthermore located behind a boundary wall and can as such have to impact on traffic flow in this section of Meent Street.

The permanent departures as proposed in this application can thus not have any negative impact on the traffic situation in Meent Street.

5.9 Provision of services

Municipal services are available to the application erf. The application erf has already been developed with a dwelling house and outbuildings, all of which have been connected to municipal services. Should any upgrade or extension of the existing municipal infrastructure be required because of this application, all costs because of such extension will be for the account of the applicant, subject to the conditions of the municipality.

5.10 Firefighting

The firefighting requirements stipulated in the fire-regulations will not be negatively impacted upon as the application erf is a corner erf, which will still be fully accessible for fire-fighting purposes.

6. CONCLUSION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure to relax building lines to allow for the construction of a braai room on Erf 13315 George.

The application conforms with the prescriptions contained in the Land Use Planning By-Law for George Municipality, 2023 and is submitted for consideration in accordance with the relevant stipulations of the title deed of the erf and the mentioned By-Law.

ANNEXURE "A" - SITE PLAN AND BUILDING PLAN

GENERAL NOTES:

Drywalls to comply with SANS 082/ Wood SANS 10163

1. FOUNDATIONS AND EXCAVATIONS (Part G and H of SANS 10400 and the National Building Regulations)

- Excavations for foundations must be placed in firm, natural ground. The bottom of the excavated foundation must be horizontal at all times and not less than 300mm under the level of the adjoining finished ground level.
- Foundations must be built of concrete with a compression strength of not less than 10MPa at 28 days, or must be mixed in the proportion of, according to volume, of 1 part cement, 4 parts sand and 5 parts rough aggregate.
- Foundations to be placed in expansion soil, shrinking clay or collapsing sand must be designed and built according to engineering specifications.
- Dimensions must correspond with those indicated on the working drawings unless designed by an engineer, in which case the engineer's specification will receive preference.

2. FLOORS (Part J of SANS 10400 and the National Building Regulations)

- Floors built of 25mm cement screed on a concrete slab, must not be less than 75mm thick, with a compression strength of not less than 10MPa at 28 days, or mixed in the proportion, according to volume, of 1 part cement, 4 parts sand and 5 parts rough aggregate.
- The concrete slab rests on a suitable filling of material applied in well compacted layers of not more than 150mm thickness. The filling must be chemically treated to permanently control vegetation growth and insects.
- An unprotected waterproof underfloor membrane of not less than 2.5mm (250 micron GUNDLE GUNPLAS - GREEN) must be laid under the concrete slab on a surface of 50mm thick clean river sand, before casting of the slab commences.
- Finished floor levels must be at least 150mm above the adjoining finished ground level

3. WALLS (Part K of SANS 10400 and the National Building Regulations)

- Unless otherwise indicated, all exterior walls are 220mm thick, whilst interior walls are 110mm thick - refer to working drawings
- All brickwork under floor level must be reinforced every second course with wire brickforce. All brickwork of external walls above window height must be reinforced in this manner every third course. Brick reinforcement must also be applied to both the upper and lower surfaces of all window openings.
- SABS approved dampproof course (dpc) must be inserted under all walls on raw floor level and under all window sills.
- Compression strength requirement for masonry units and mortar must comply with the specification set out in Table 1 Part K of the National Building Regulations.

4. ROOF CONSTRUCTION (Part L of SANS 10400 and the National Building Regulations)

- Roof Classifications: Class A roof covering includes metal sheets and fibre cement sheets
- Class B roof covering includes concrete tiles, clay tiles or tiles of similar materials and thatch
- Class C roof covering includes metal roof tiles
- The class roof covering, roof pitch, specifications for rafters, tie beams, struts and bracings, battens, etc. appears on the relevant section in the working drawings, unless designed by an engineer, in which case the engineering specification must receive preference.
- WATERPROOFING: SABS approved plastic underlay/s must be installed on all B-class roofs where the pitch is less than 26 degrees.
- ROOF ANCHORING: Consists of roof ties of 4mm thick wire not less than 800mm (for sheet covering) and not less than 300mm (for concrete, cement or slate tile roof covering) deeply embedded in positions that are suitable for the anchoring of any wooden truss, rafter or beam to any applicable wall.
- Roof elements are connected to each other with gungails or 10mm bolts with washers and 75mm wire nails. If required, the supplier of the roof trusses must provide a certificate to the satisfaction of the Local Authority.
- FLASHING of suitable material shall be used where a roof abuts against a wall, or around any projection through a roof covering and at any other place where it is deemed necessary by the Local Authority.
- GUTTERS: 75x100mm rainwater gutters with 75mm diameter discharge pipes must be used. If no gutters and downpipes are fitted to the roof, drip piling of at least 1 000mm wide must be laid around the structure concerned.
- If specified, fibre cement vergeboards and fascias of suitable width and thickness must be fixed to roof truss apexes and battens ends.

5. CEILINGS

- Ceilings are supplied according to contract.
- Gypsum board (RHINOBOARD) and or knotty pine ceilings are to be installed on 38x38mm sa pine brading with center to center spacing of not more than 450mm, fixed to the brading with 38mm ceiling nails (gypsum board) and 45mm wire panel pins (knotty pine) with center to center spacing of not more than 150mm
- Brading to be secured to tie beams or rafters with 75mm wire nails.

6. WINDOWS, LIGHTING, VENTILATION AND GLAZING (Part N and O of SANS 10400 and the National Building Regulations)

- All glazing must comply with SABS specification 0400
- Glazed openings of windows for the purpose of natural light in habitable rooms shall not be less than 10% or 0.2 square meter, whichever is the greater, of the floor surface area of the room they serve.
- The total surface area of an opening, door or glazed operable window which is provided for natural ventilation, must be not less than 5% or 0.2 square meter, whichever is the greater of the floor surface area of the room it serves.
- SAFETY GLASS: 6mm thick shatterproof must be fitted in all glass doors and glass sliding doors and must be marked for visibility.
- Panels less than 300mm off the finished floor surface that are not guarded by a barrier must be of 6mm thick safety glass.
- All windows on the first and subsequent floors must be fitted with 6mm thick safety glass and burglar bars.
- If designed in that manner, glass serving as stair railings and balustrades must be of 6mm thick safety glass.
- Glass used in bath screens and shower cubicles must be of 6mm thick safety glass.
- Bath and toilet windows must be fitted with rippled, added or obscured glass.
- NOMINAL THICKNESS OF GLASS: The nominal thickness of ordinary clear floated glass in proportion to the surface of the glass pane concerned must be as follows: 0 - 75 square meter: 3mm thick; 0.75 - 1.50 square meters: 4mm thick; greater than 1.50 square meter: 6mm thick

7. PLUMBING (Part P of SANS 10400 and the National Building Regulations)

- An inspection eye (ie) must be inserted at all bends, connections and gradient changes, in site drains, whilst a cleaning / rodding eye (ce / re) must be inserted at the inlet or highest point, at all direction changes of more than 45 degrees, within 1 500mm from the connection of a branch drain, sewer tank or septic tank, and not less than every 25 meters, where applicable.
- Every cleaning eye must be provided with a permanent access which is covered at natural or finished ground level with an adequate and suitably marked removable device.
- Not less than one gully (g) must be provided in the open air for every site drain at its lowest point. A fresh water tap which maintains the sewer's water level must be provided over the gully.
- All hand wash basins (wb), baths (b), showers (sh), sinks (s), and wasthroughs (wt) must be provided with suitable traps and water seals. Shower traps must be of brass.
- Anti-vac traps must be provided on all sanitary fixtures on the second and subsequent levels of buildings.
- Sewer and soil pipes (sp), unless otherwise indicated on the working drawings, must be laid in a straight line between any point where a change of direction or slope occurs, and must be laid at a nominal slope of not less than 1:50
- Sewer pipes must be covered by not less than 300mm thick soil, while foundations of buildings that cross a sewer line which runs under the building, must be steel reinforced.
- Sewer lines running under buildings must be encased in 100mm concrete and may not change direction or slope under the building.
- Site and branch sewer pipes must be laid not less than 900mm from any structural member of a building, and where the distance is less than 900mm, it must be laid at foundation level or be encased in 100mm thick concrete.
- All wastepipes (wp) must be of a diameter of 50mm.
- Every site sewer must be provided with at least one gully at its lowest point of which the overflow height must not be less than 150mm above the surrounding finished ground level and not less than 50mm above any permanent paving surrounding it.
- HOT WATER SYSTEMS must comply with SANS 0254

8. STEPS, STAIRCASES AND BALUSTRADES (Part M of SANS 10400 and the National Building Regulations)

- The measurement of any step or staircase should be suitable for the proposed application thereof
- Stairs should be protected against fire to the specifications contained in Regulation M1 and Part T of the National Building Regulations.
- The maximum height of any riser should not exceed 250mm, whilst the minimum width of any tread shall not be less than 250mm.
- If the risers are not of solid construction, the tread of each riser shall overlap the other with not less than 25mm
- The headroom at any point of a step shall not be less than 2 100mm, whilst the width of any step measured at any enclosing wall or balustrade shall not be less than 750mm
- As a general rule, all steps and balconies must be provided with railings or balustrades not less than 1 000mm in height and constructed in such a manner that openings in the railing shall not exceed 100mm

9. SECURITY, SWIMMING POOLS AND EXTRAS

- Safeguarding of changes in level, ramps and driveways, and access to swimming pools must comply with Part O of SANS 10400, whilst the construction of fences and self closing doors securing swimming pools must comply with SABS 0400 and 1390
- Floor finishing, electrical points/ lighting and other electrical fixtures, sanitary fixtures, kitchen and other cupboards and finishing in general must be done according to contract to the satisfaction of the client

ROOM SCHEDULE

Name	Occupancy	Area	Floor Finish	Wall Finish	Ceiling Finish
Bathrm	Un-habitable	12 m²	Tile Floor	Plaster & Paint	
Bedroom	Habitable	46 m²	Tile Floor	Plaster & Paint	
Braai room	Un-habitable	9 m²	Tile Floor	Plaster & Paint	
Diningrm	Habitable	15 m²	Tile Floor	Plaster & Paint	
Entrance	Un-habitable	5 m²	Tile Floor	Plaster & Paint	
Garage	Un-habitable	34 m²	Tile Floor	Plaster & Paint	
Kitchen	Un-habitable	22 m²	Tile Floor	Plaster & Paint	
Laundry rm	Un-habitable	7 m²	Tile Floor	Plaster & Paint	
Lounge	Habitable	15 m²	Tile Floor	Plaster & Paint	
Pantry	Un-habitable	3 m²	Tile Floor	Plaster & Paint	
Passage	Un-habitable	6 m²	Tile Floor	Plaster & Paint	
Sewing room	Habitable	10 m²	Tile Floor	Plaster & Paint	
Staff rm	Habitable	7 m²	Tile Floor	Plaster & Paint	
Store room	Un-habitable	17 m²	Tile Floor	Plaster & Paint	
Swimming Pool	Un-habitable	6 m²			
TV Room	Habitable	16 m²	Tile Floor	Plaster & Paint	
Veranda	Un-habitable	36 m²	Tile Floor	Plaster & Paint	
WC	Un-habitable	2 m²	Tile Floor	Plaster & Paint	
		269 m²			

AREAS	Existing	New
STAND NUMBER	STAND 13315	
DWELLING - ground floor	227 m²	32 m²
DWELLING - first floor		
GARAGE		
CARPORT		
OUTBUILDINGS		
TOTAL AREA	227 m²	32 m²
TOTAL COVERAGE AREA	259 m²	
AREA OF STAND	1 000 m²	
ZONING	Res	
COVERAGE ALLOWED	*** %	
COVERAGE	26 %	
FSR ALLOWED	***	
TOTAL AREA - ALL FLOORS	***	
FSR	***	
HEIGHT ALLOWED	*** meters	
ACHIEVED HEIGHT	***	

Areas, FSR, Coverage, etc.

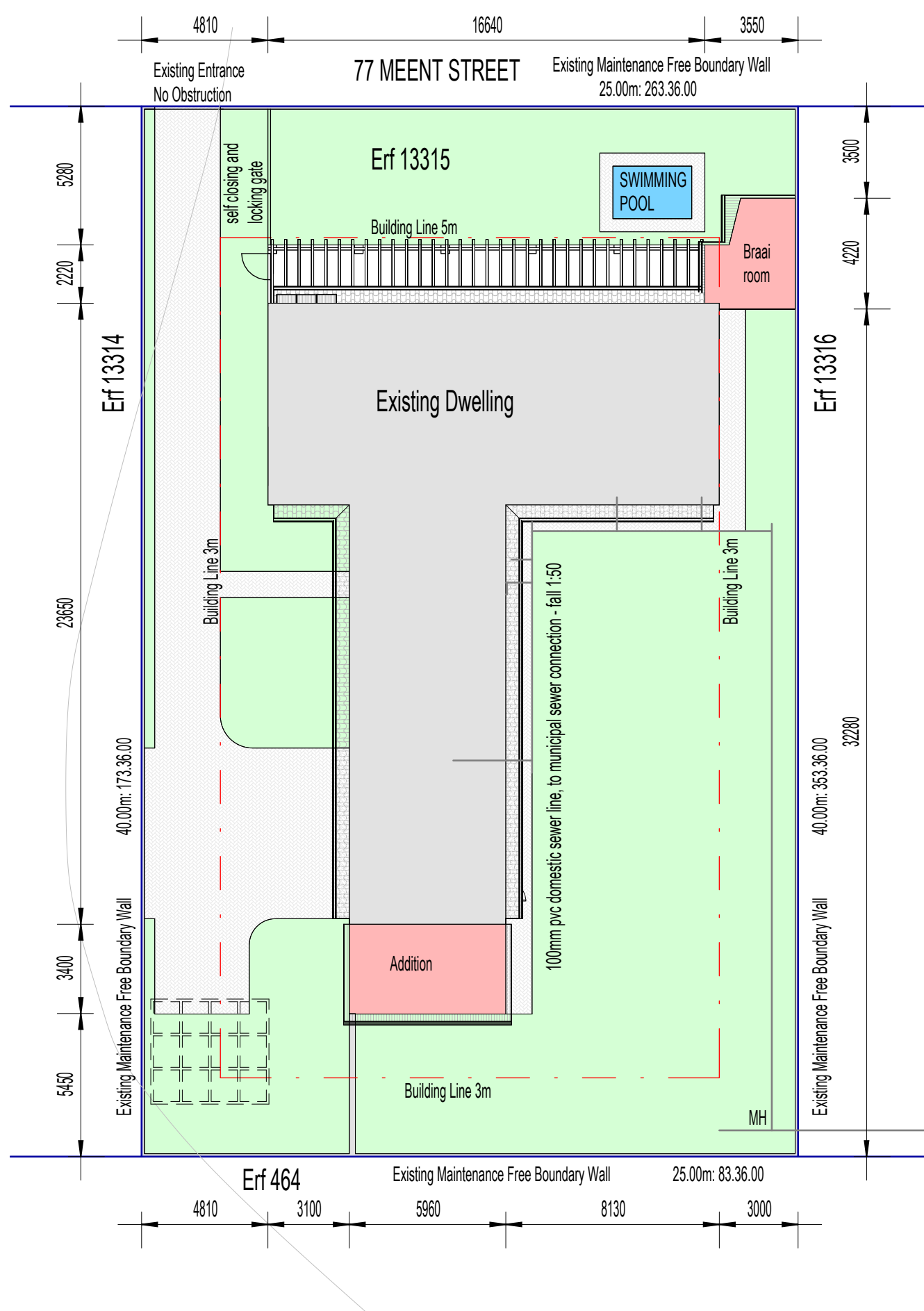
A101

1: 100

Gross Area - GF

A101

1: 500



Typical Safety Fence - Swimming Pools

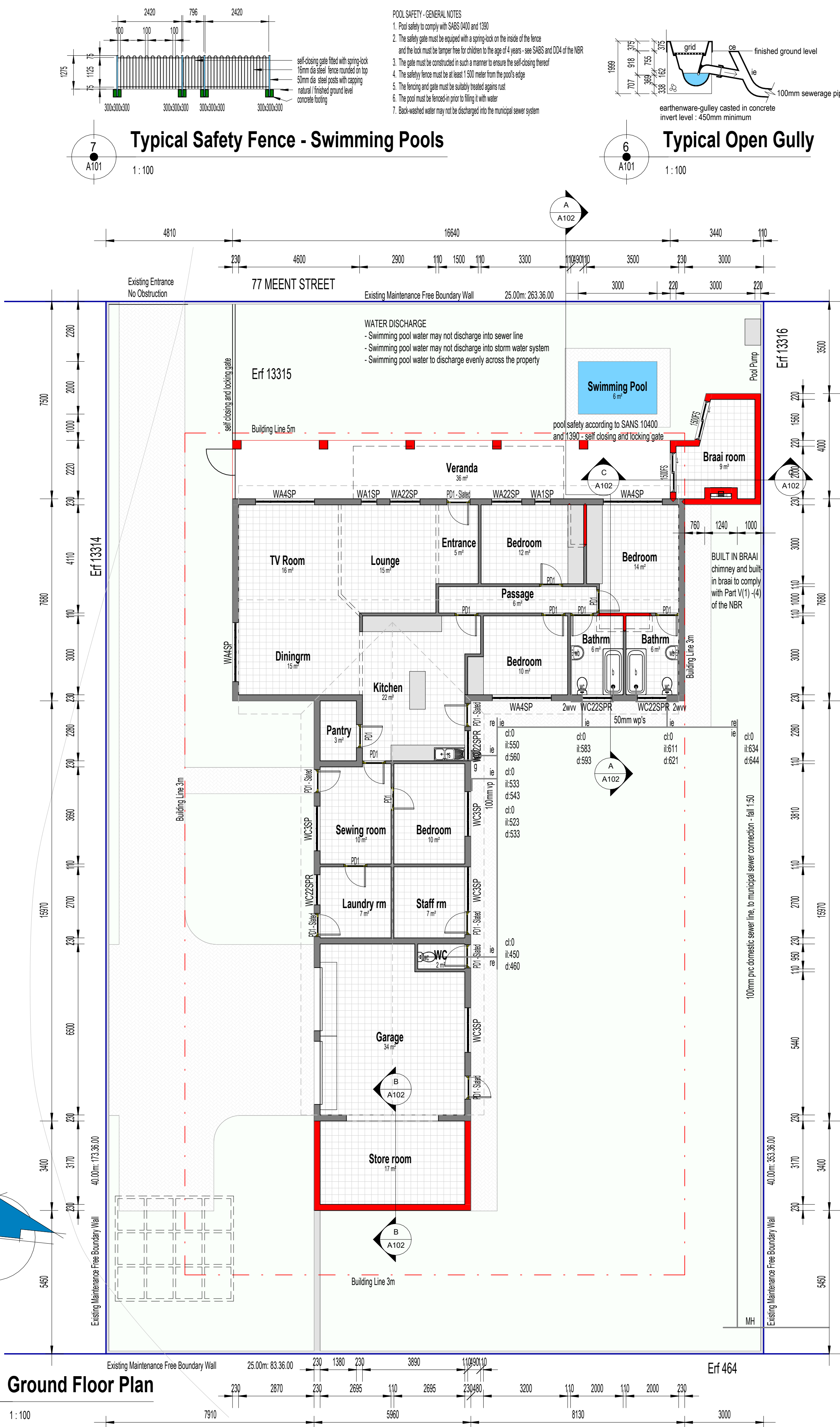
A101

1: 100

Typical Open Gully

A101

1: 100



GENERAL NOTES:

(Part B and C of the National Building Regulations)

All design, construction and building work must be done in accordance with the applicable prescripts contained in the National Building Regulations (National Building Regulations and Standards Act, 1977 - Act 103 of 1977) and applicable Municipal Bylaws

The quality of all materials and craftsmanship must comply with the applicable specifications stipulated by the South African Bureau of Standards (SABS).

Where applicable, all structural work must be designed by an qualified engineer, while all electrical and plumbing work must be executed by registered electricians and plumbers.

All openings of which the span exceeds 2400mm must be spanned by a precast lintel or by reinforced concrete according to engineering specifications.

All finishing must be done according to the contract and to the satisfaction of the owner

The contractor must compare all levels, heights and dimensions on the site with the working drawings and must verify them before work commences. Cognizance must be taken that where any conflict exists between the working drawings and the stipulations contained in the contract, the contract will apply.

The contractor is responsible for plotting the proposed structure on the site. Under no circumstances may the working drawings be scaled and only dimensions indicated may be used. If a dimension is lacking or if ambiguities exist, these must be cleared up with the architect or draftsman.

The architect or draftsman does not accept responsibility for any illegal structures that might have been constructed on the property concerned and can not be held responsible for any delay in the approval of the plans due to such an event, or as a result of any administrative problem not under his or her control.

INDEMNITY

The contractor and / or the client indemnifies the architect and / or draftsman against any claim arising from any omissions or discrepancies and or any bona fide mistakes not discussed and /or cleared up with the architect and / or draftsman before construction commenced.

Cognizance is taken of the fact that construction may not commence prior to the approval of the plans by the relevant Local Authority and that the architect and / or draftsman can and may not consent thereto. The architect and / or draftsman can therefore not be held responsible should construction commence prior to the approval of the plans.

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ACTS OF PARLIAMENT

All Contractors shall ensure that, before any work is put in hand, they comply with all the necessary Acts of Parliament of the Republic of South Africa.



Susan Venter
SACAP Reg: P Arch/Draught

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SIGNATURES

Drawn by
SE Venter

Checked by
Checker

OWNER(S) / CLIENT(S)
TL Kriel & CECB
-Branco

ENGINEER

Project Name
Addition on existing dwelling

Project Address
77 Meent St, Heather Park,
Erf 13315 GEORGE
(1 000m²)

SMT 2023 016

Drawing Status: Council Drawings

A101 Site Plan and Calculations

Scale: As indicated

Date: 2023

General Notes

A101

1: 100

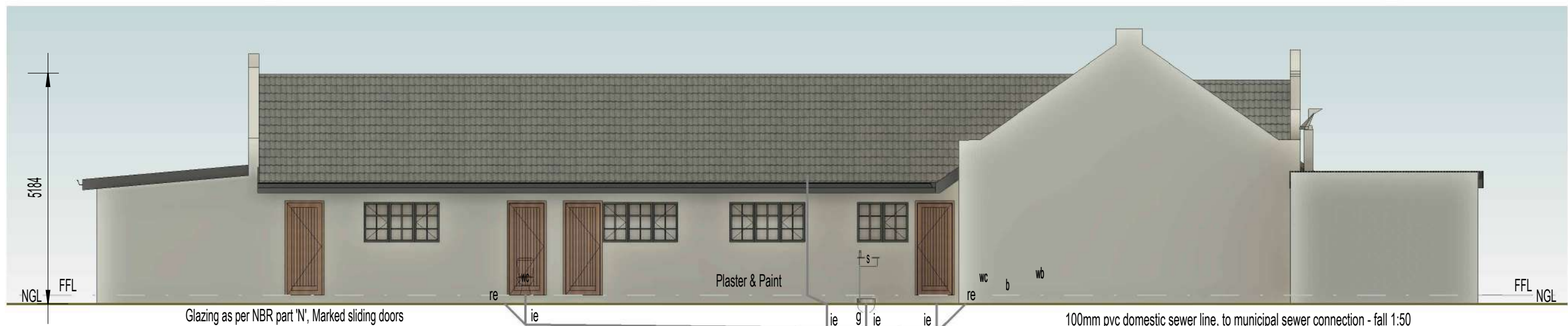
Site Plan

A101

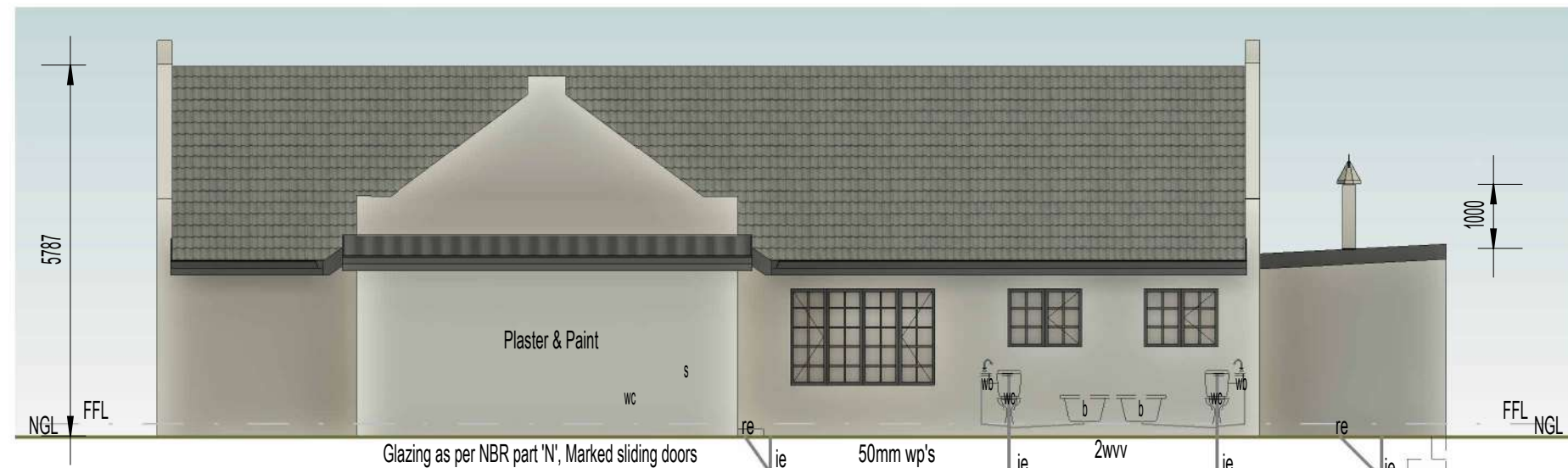
1: 200



Northern Elevation



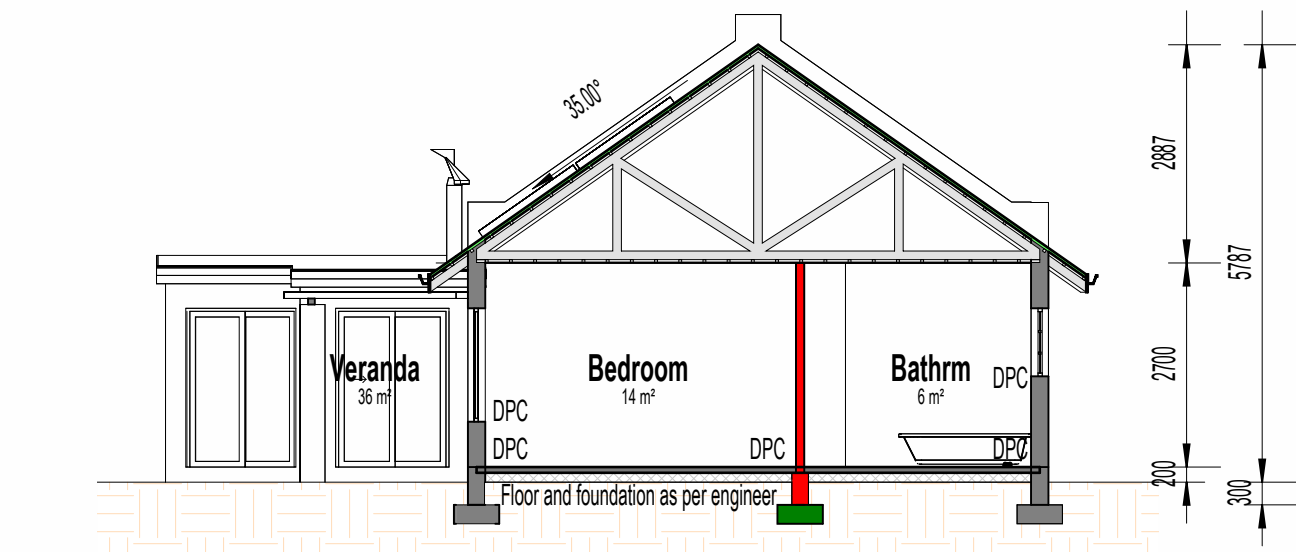
Eastern Elevation



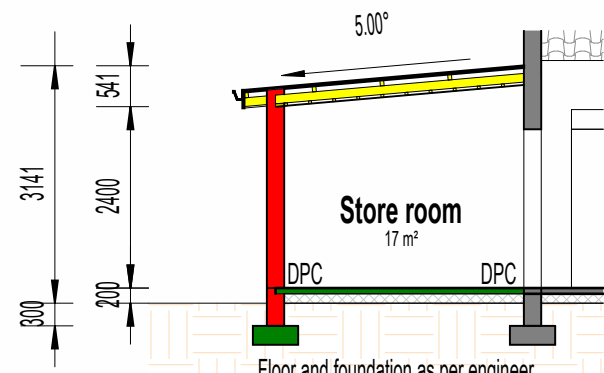
Southern Elevation



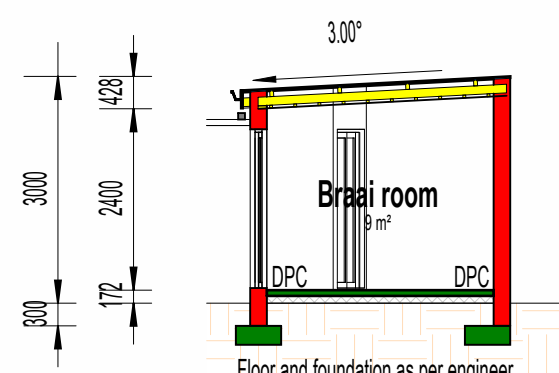
Western Elevation



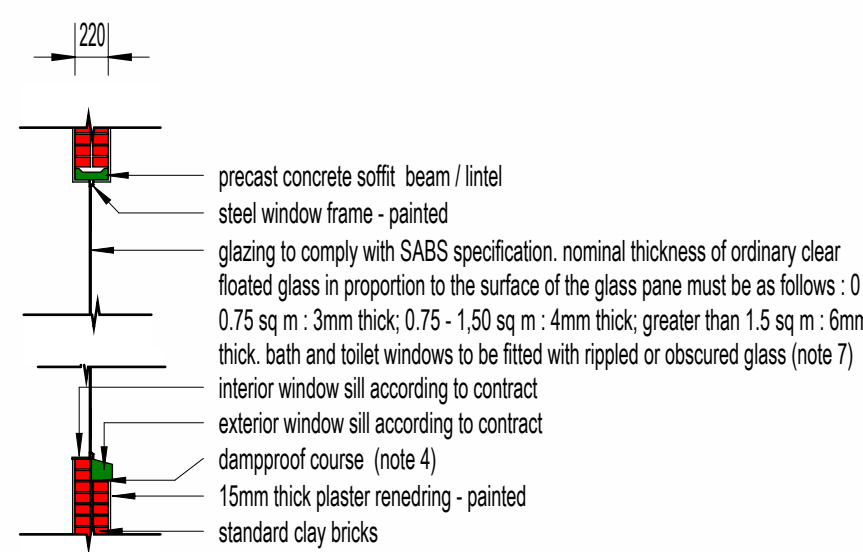
Section A - A



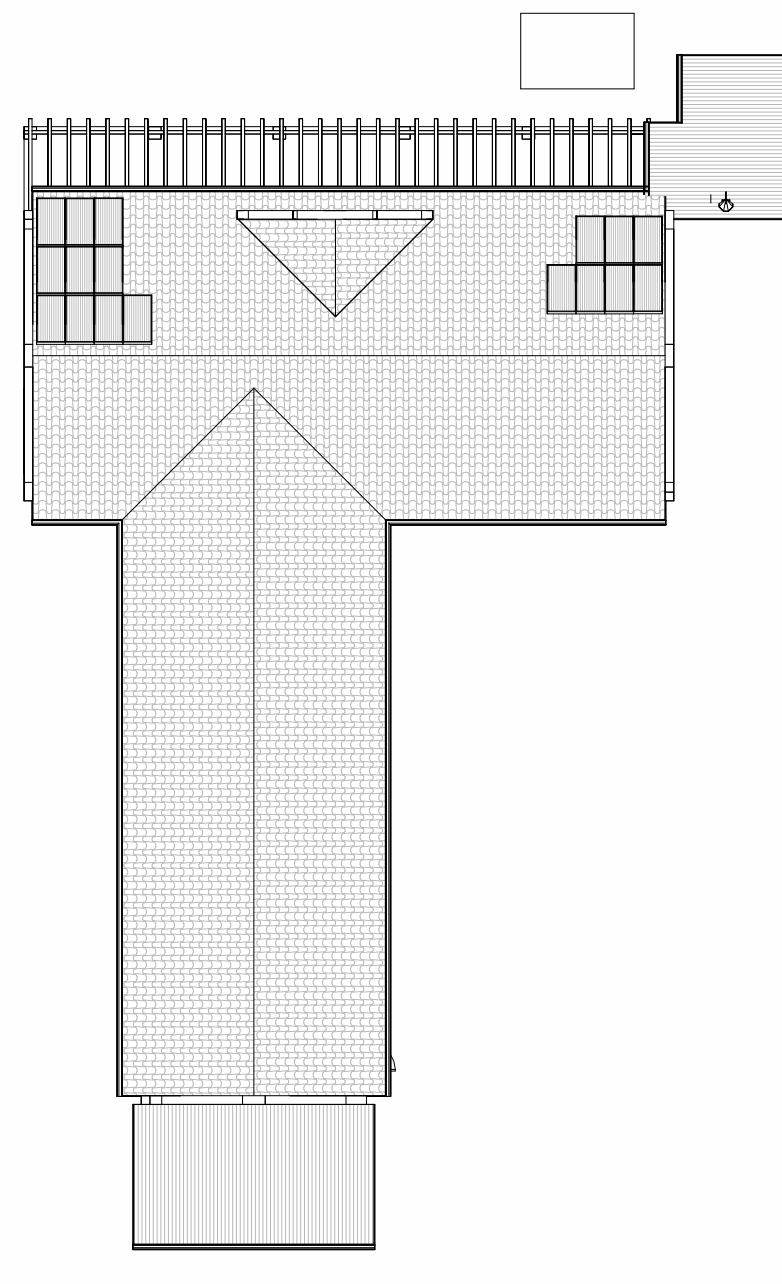
Section B - B



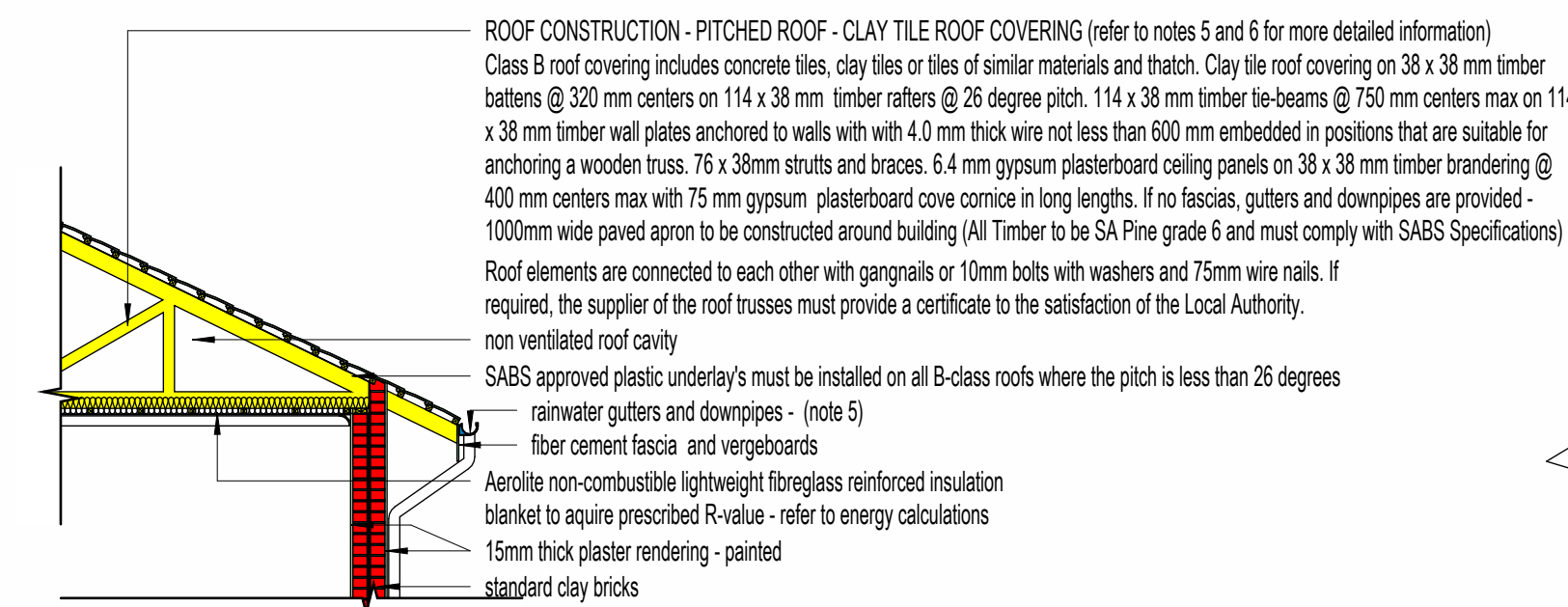
Section C - C



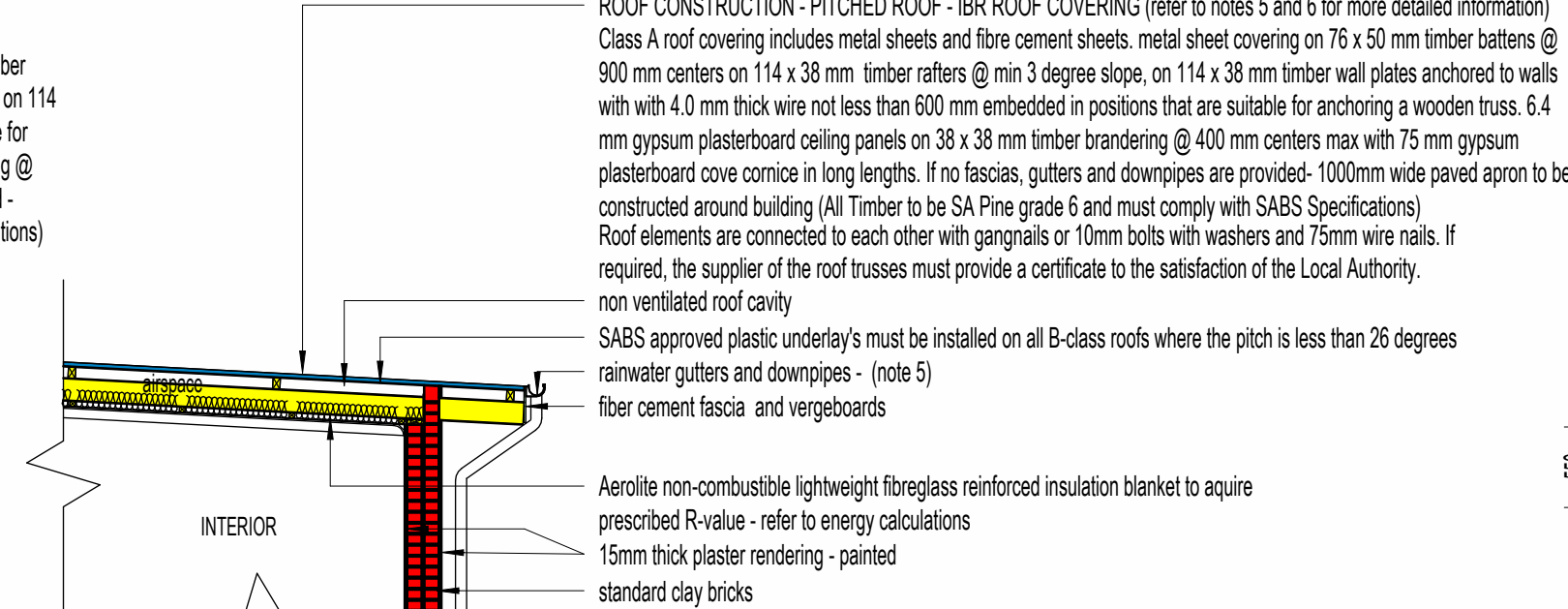
Detail 4 - Window Section



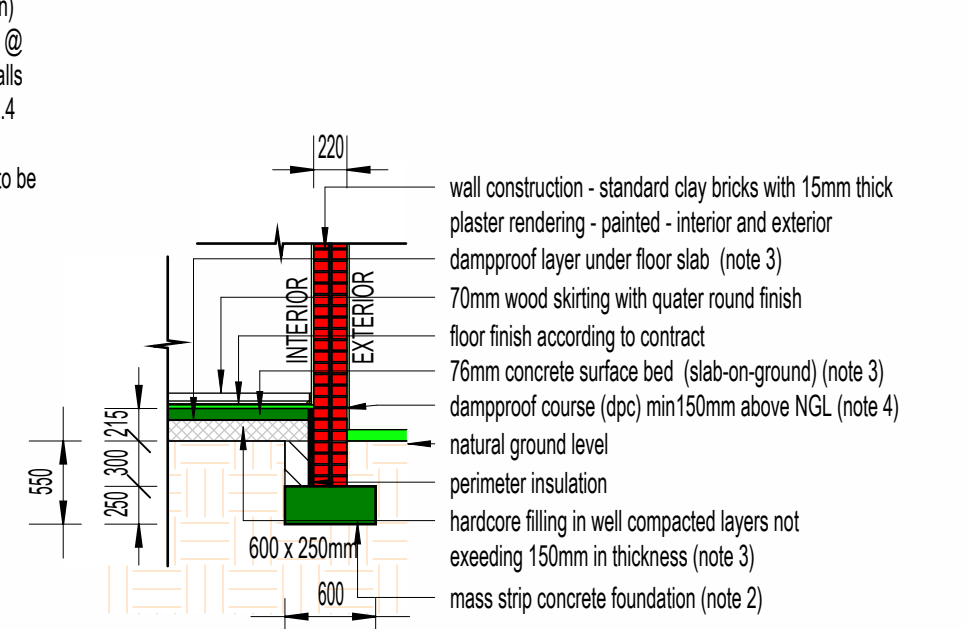
Roof Plan



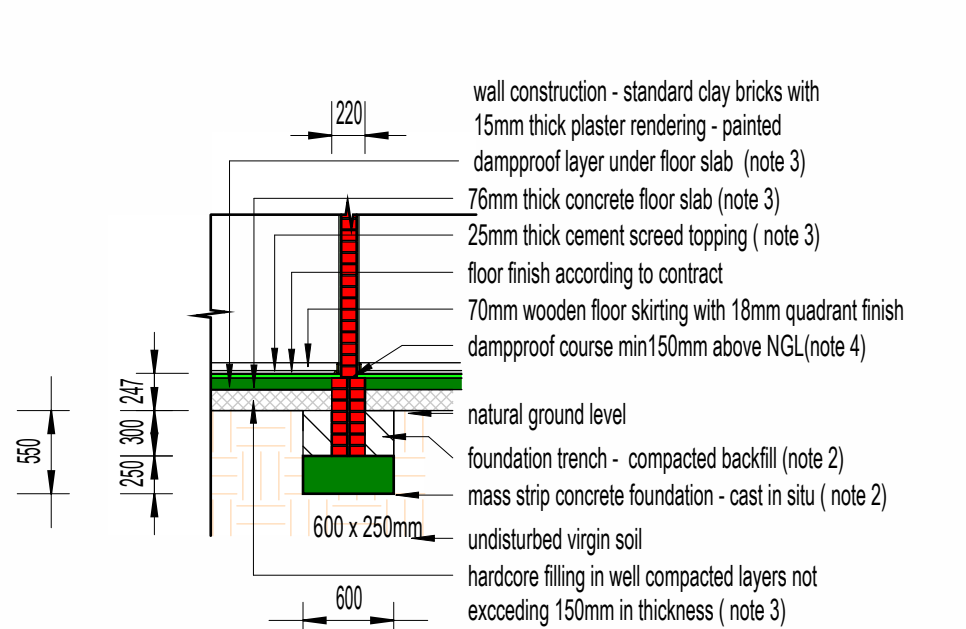
Detail 6 - 114x38mm - with gutters - Roof Section



Detail 8 - sloped metal roof - with gutters



Detail 2 - Foundation - Single Storey



Detail 1 - Internal Wall foundation

GENERAL NOTES:

(Part B and C of the National Building Regulations)

All design, construction and building work must be done in accordance with the applicable prescripts contained in the National Building Regulations (National Building Regulations and Standards Act, 1977 - Act 103 of 1977) and applicable Municipal Bylaws

The quality of all materials and craftsmanship must comply with the applicable specifications stipulated by the South African Bureau of Standards (SABS).

Where applicable, all structural work must be designed by an qualified engineer, while all electrical and plumbing work must be executed by registered electricians and plumbers.

All openings of which the span exceeds 2400mm must be spanned by a precast lintel or by reinforced concrete according to engineering specifications.

All finishing must be done according to the contract and to the satisfaction of the owner.

The contractor must compare all levels, heights and dimensions on the site with the working drawings and must verify them before work commences. Cognizance must be taken that where any conflict exists between the working drawings and the stipulations contained in the contract, the contract will apply.

The contractor is responsible for plotting the proposed structure on the site. Under no circumstances may the working drawings be scaled and only dimensions indicated may be used. If a dimension is lacking or if obscurities exist, these must be cleared up with the architect or draftsman.

The architect or draftsman does not accept responsibility for any illegal structures that might have been constructed on the property concerned and can not be held responsible for any delay in the approval of the plans due to such an event, or as a result of any administrative problem not under his or her control.

INDEMNITY

The contractor and / or the client indemnifies the architect and / or draftsman against any claim arising from any obscurities or discrepancies and or any bona fide mistakes not discussed and / or cleared up with the architect and / or draftsman before construction commenced.

Cognizance is taken of the fact that construction may not commence prior to the approval of the plans by the relevant Local Authority and that the architect and / or draftsman can and may not consent thereto. The architect and / or draftsman can therefore not be held responsible should construction commence prior to the approval of the plans.

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ACTS OF PARLIAMENT

All Contractors shall ensure that, before any work is put in hand, they comply with all the necessary Acts of Parliament of the Republic of South Africa.

Susan Venter
SACAP reg: PArchDraught

Architectural and Town-Planning Services cc
Est. 2011

072 798 5428
smteken@gmail.com
www.smteken.co.za

SACAP: PAD 24699358 & S.A.I.A.T: 72020

SIGNATURES

Drawn by: SE Venter
Checked by: SE Venter
Checker:

OWNER(S) / CLIENT(S): TL Kriel & CECB -Branco
ENGINEER:

Project Name: Addition on existing dwelling

Project Address: 77 Meent St, Heather Park, Erf 13315 GEORGE (1 000m²)

SMT 2023 016

Drawing Status: Council Drawings

A102 Elevations and Sections

Scale: As indicated

Date: 2023

ANNEXURE "B" - APPLICATION FORM



**PLANNING AND DEVELOPMENT
APPLICATION FORM FOR CONSENT USE FOR A SECOND
DWELLING/ADDITIONAL DWELLING AND/OR DEPARTURE**

(Please complete the form in full for consideration - tick appropriate boxes with X)

BUILDING LINE RELAXATION	☒	SECOND DWELLING	☐	ADDITIONAL DWELLING	☐
--------------------------	-------------------------------------	-----------------	--------------------------	---------------------	--------------------------

PROPERTY DETAILS

ERF NUMBER	13315	EXTENSION/A REA	Heather Park, George
ZONING	Single Residential Zone I		
EXISTING LAND USE	Residential		

CORRESPONDENCE DETAILS

IS THE APPLICANT ALSO THE REGISTERED OWNER OF THE RELEVANT PROPERTY?					☒ YES	☐ NO	
ADDRESS CORRESPONDENCE TO			☒ OWNER	☐ APPLICANT	POST OR E- MAIL	☒ POST	☐ E-MAIL
COLLECT BY HAND	☒ YES	☐ NO	TELEPHONE NO				0824647871

OWNER DETAILS

OWNER NAME	TL Kriel and CECB Branco				
STREET NAME	Meent Street	HOUSE NUMBER	77		
POSTAL ADDRESS	N/a	SAME AS POSTAL ADDRESS	☒ YES	☐ NO	
EXTENSION/AREA	George	CODE	6530		
ID NUMBER	T L Kriel (ID 7711235058083) CECB Branco (ID 7101140465088)	E-MAIL ADDRESS	Theokriewl23@gmail.com		
TELEPHONE NO	N/a	CELL NO	061 455 1774		

APPLICANT DETAILS (strike through if registered owner is also the applicant)

NAME	Jan Vrolijk Town Planner / Stadsbeplanner				
STREET NAME	Victoria Street	HOUSE NUMBER	-		
POSTAL ADDRESS	P O Box 710	SAME AS POSTAL ADDRESS	☒ YES	☐ NO	
EXTENSION/AREA	George CBD	CODE	6530		
TEL / CELL NO	082 464 7871	E-MAIL ADDRESS	janvrolijk@jvtownplanner.co.za		
PROFESSIONAL CAPACITY	Town Planner	SACPLAN NO	A/1386/2011		

BOND HOLDERS DETAILS (Only applicable if property is encumbered by a bond)

IS THE PROPERTY ENCUMBERED BY A BOND?		YES	NO
NAME OF BOND HOLDER	N/A		

TITLE DEED DETAILS

TITLE DEED NO.	T15572/2023		
ARE THERE RESTRICTIONS IN THE TITLE DEED WHICH IMPACT THE APPLICATION? (If yes, describe restrictions below)		YES	NO
N/A			

APPLICATION DETAILS

DESCRIPTION OF BUILDING LINE RELAXATION (STREET / LATERAL / REAR BUILDING LINE)	FROM M	TO M	DETAILS
Northern street boundary building line	5.0	3.5	To allow for the construction of a braai room
Eastern side boundary building line	3.0	0.0	To allow for the construction of a braai room
Is an application for an increase in coverage being applied for? (Indicate increase under details)	YES	NO	
Is an application for a 2 nd dwelling /additional dwelling being applied for? (indicate size under details)	YES	NO	

HOA/ ADJACENT OWNERS DETAILS (Consent letters as well as site plans to be signed by adjacent owners)

ERF NO	ADDRESS	NAME	CONSENT LETTER ATTACHED
To be advertised	To be advertised	To be advertised	To be advertised

I hereby acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.

APPLICANT'S SIGNATURE		DATE	17 June 2026
-----------------------	---	------	--------------

FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:

Locality Plan		Building Plan/ Site Plan on A3/ A4		SG Diagram/ General Plan		Title Deed
Power of Attorney		Motivation		Neighbours Consent / Comment		HOA Consent
Bond Holder Consent		Proof of Payment		Conveyance Certificate		Other (Specify)

ANNEXURE “C” – COPY OF APPROVED BUILDING PLANS

MUNISIPALITEIT VAN GEORGE

DEPARTEMENT ADMINISTRASIE

Municipality of George

TOWN TREASURER'S
DEPARTMENT

20 SEP 1989

STADSTESOURIER'S
DEPARTMENT

FOOIE BETAALD:

Bedrag R15.00Kwitasie Nr. 60324

Bouers Dep.

Kwit. No.

PLAN NR. 79/89 NW.

Aansoek om Boupermit

EK/Ons, die ondergetekende, lê hierby voor vir u oorweging blokplanne, werkstekeninge, dreineringsplanne en struktuurdetailtekeninge in vir die oprigting, verandering of uitbreiding van 'n gebou op die ondervermelde terrein. EK/Ons onderneem om hierdie werk uit te voer streng volgens sodanige planne en ooreenkomstig die betrokke regulasies wat afgekondig by Wet op Nasionale Bouregulasies en Boustandaarde No. 103 van 1977, asook die Dorpsbeplanningsregulasies is, en in die geval van alle nuwe bouwerke om hulle te voltooi voordat die perseel geokkupeer word.

Alle Dreinerings, Riolerings sowel as Elektriesaansluitings mag alleenlik uitgevoer word deur 'n geregistreerde persoon by die plaaslike owerheid.

Soort werk verrig te word. HEKTING.
(Meld of nuwe gebou, verbouing, aanbouing of riolerings)

Tipe gebou WOONHUIS (Meld of Woonhuis, Woonstelle, Woonstelle en Winkels, Hotel, Fabriek, Mynwese, Handelsbank, Bouvereniging, Winkel, Kantore, Kerk, Klub, Private Hospitaal/Skool, ens.)
INDIEN DIE GEBOU 'N FABRIEK SAL WEES soos omskryf in artikel 3 van die Wet op Fabriek, Masjinerie en Bouwerk nr. 22 van 1941, moet die betrokke planne eers deur die Inspekteur van Fabriek goedgekeur word alvorens die planne by hierdie Afdeling ingedien word.
IS 'N SWAARVOERTUIGINGANG NOOIT? Indien wel, moet dit op die planne aangedui word.

Naam en Eienaar MNR. J. GERBER Posadres POSBUS 7020 BLANCO.

Erf Nr. 13315 Dorpsgebied GEORGE
(Vermeld volledige beskrywing van grond soos in Transportakte aangegee.)

Naam van Straat MEERSTRAAT Huis Nr. 77 Beraamde Koste

GEBOU

Oppervlakte van Hoofgebou m² Oppervlakte van Buitegeboue m² R

Aanbouings aan Hoofgebou m² Aanbouings aan Buitegeboue m² R

Verbouings aan bestaande geboue (aanbouings uitgesluit). Waarde van Werk verrig te word. R

TOTAAL R

Sal die gebou van Raamwerkstruktuur wees Indien wel, meld naam en adres van Argitek of Ingenieur verantwoordelik

vir die ontwerp Telefoon Nr.

Fonderings bestaande uit klip sand sement

Dagha in mure gemeng in die verhouding sand sement

Mure van (meld materiaal en gehalte): Buitemure Binnemure

Vogwerende laag van Minimum hoogte van vloer bo grondvlak m

Trappe gemaak van Wydte van loopstuk mm, Hoogte van optree m

Dak gemaak van en bedek met

Gee volledige beskrywing van waterdigting van betondakke

Vloere gemaak van afgewerk met

Middel van watervoorsiening (vir Boudoelafdoening)

(Aanvraers moet hulself op hoogte stel met die Waterverordeninge van die Raad)

Metode van verwarming (a) water (b) gebou

RIOLERING

Meld of die eiendom by 'n Munisipale Riool, 'n Drekwateropgaarten of 'n Septiese Tenk ens. aangesluit word

Materiaal van pype: Riool Drekwater Vuilwater

Tipe van materiaal van Urinale

Metodes van wegdoen van stroomwater

EIENAAR:

Naam JOHAN GERBER adres AMSSIRKEL BLANCO tel. no. 707276

(Drukskrif asseblief)

Handtekening

ARBEIDSTREKTER:

Naam B. Mark adres POSBUS 1357 GEORGE tel. no. 767907

Handtekening

OPMERKINGS: (1) Alle planne moet onderteken word

(2) Bykomende besonderhede moet ten opsigte van publieke geboue, hoë geboue en vuurvaste bouwerke versiek word.
Ewewigsberekenings van struktuurstaal en afmetings van staalwapening moet aangegee word

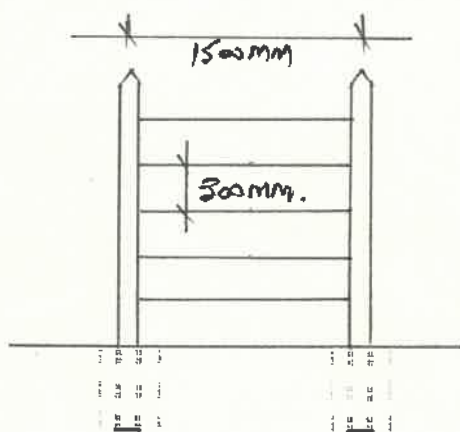
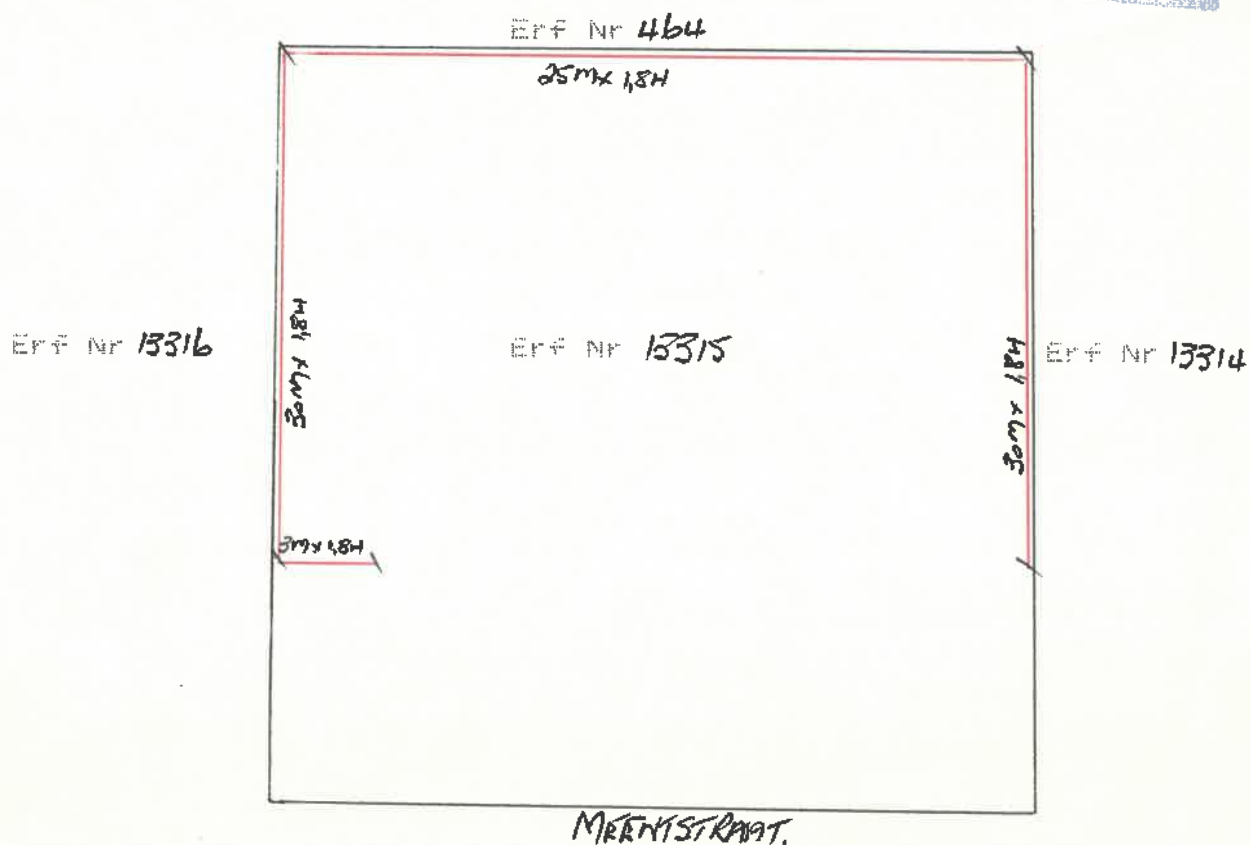
* Skrap wat nie van toepassing is nie.

VOORGESTELDE BETONDMHEINING
 MNR. J. GERBER.
 MEENTSTR. 77
 GEORGE.

STADSGESCHIEDENIS
 DE STADS-CLERK

25-9-89

79/89

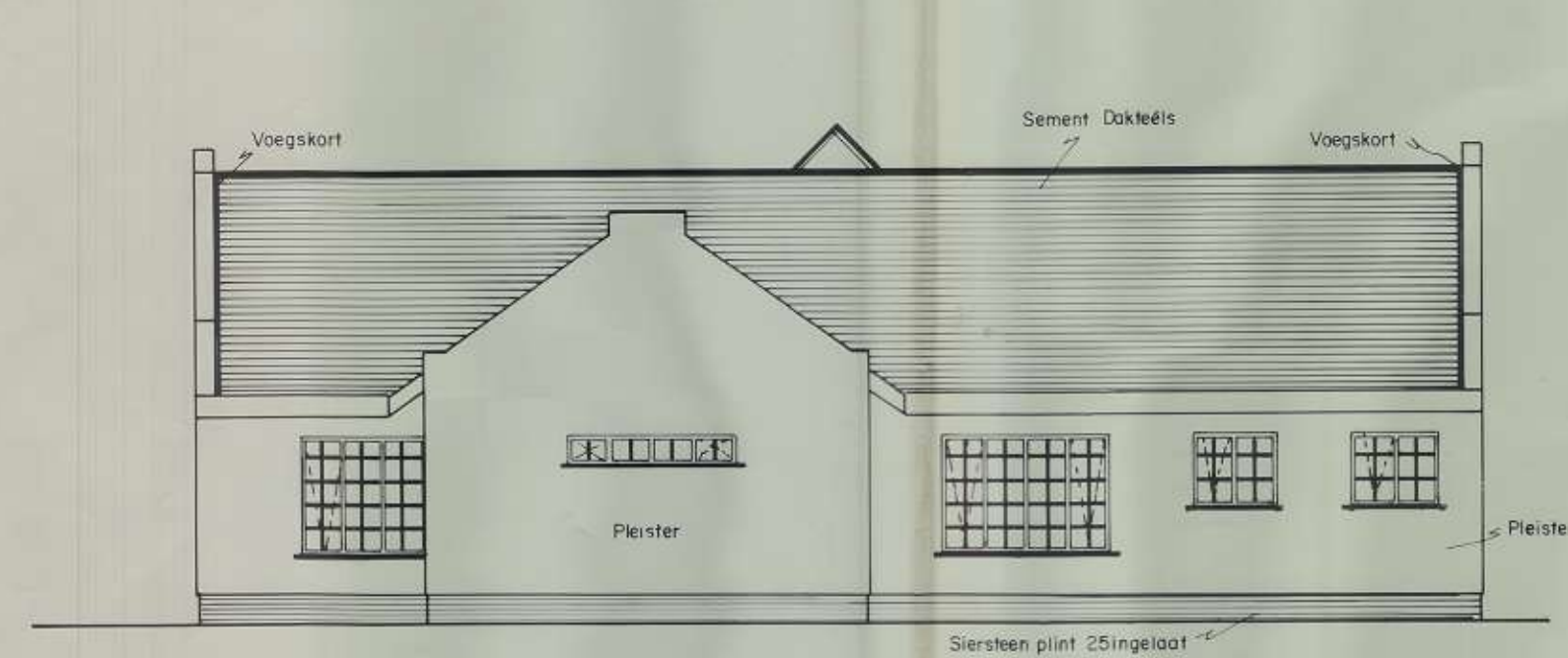


Voorafvervaardigde gewapende
 betonkolonne

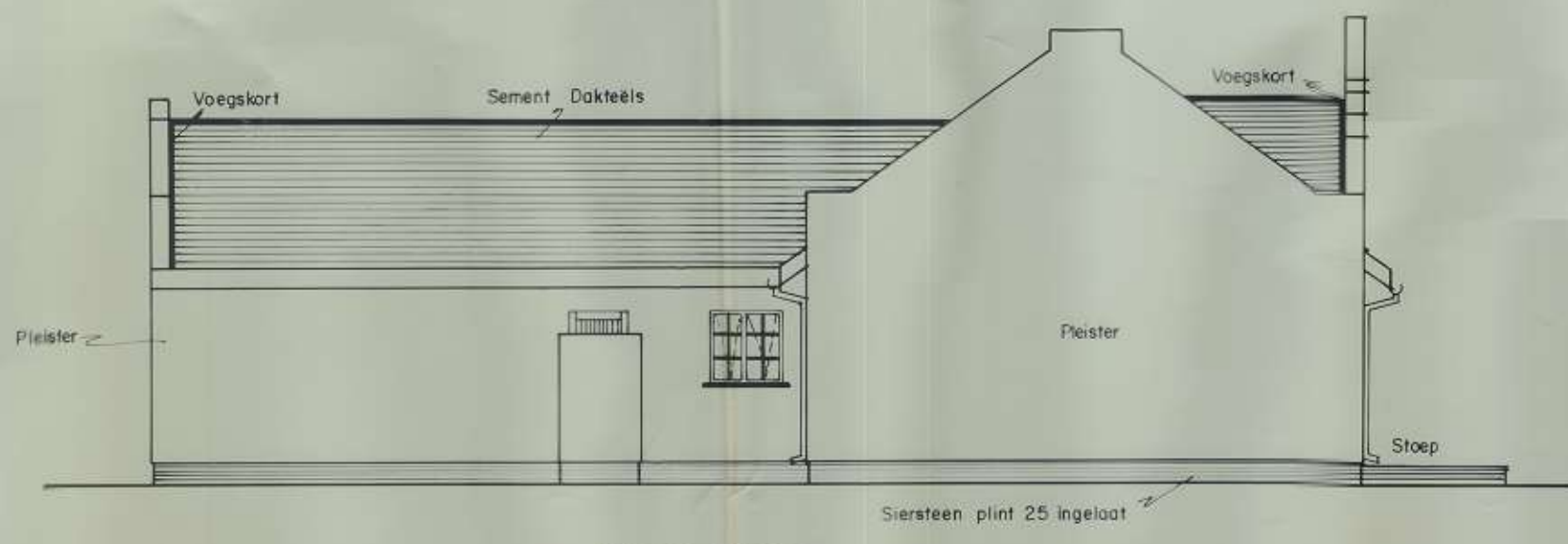
Voorafvervaardigde gewapende
 betonpaneel

Kolonne in 300 x 600 x 600mm
 beton (1:1:1) gegiet

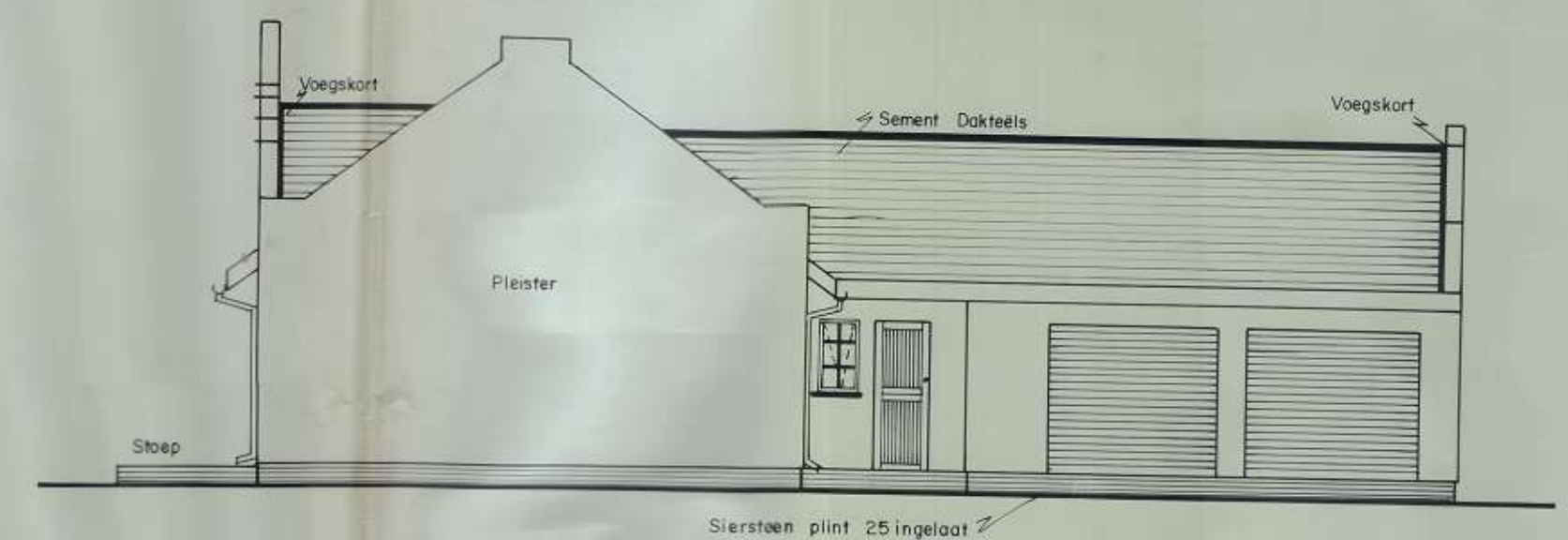
IDEAL QUALITYCRETE
 CLAY RD.
 P.O. BOX 1357
 GEORGE
 TEL 747907



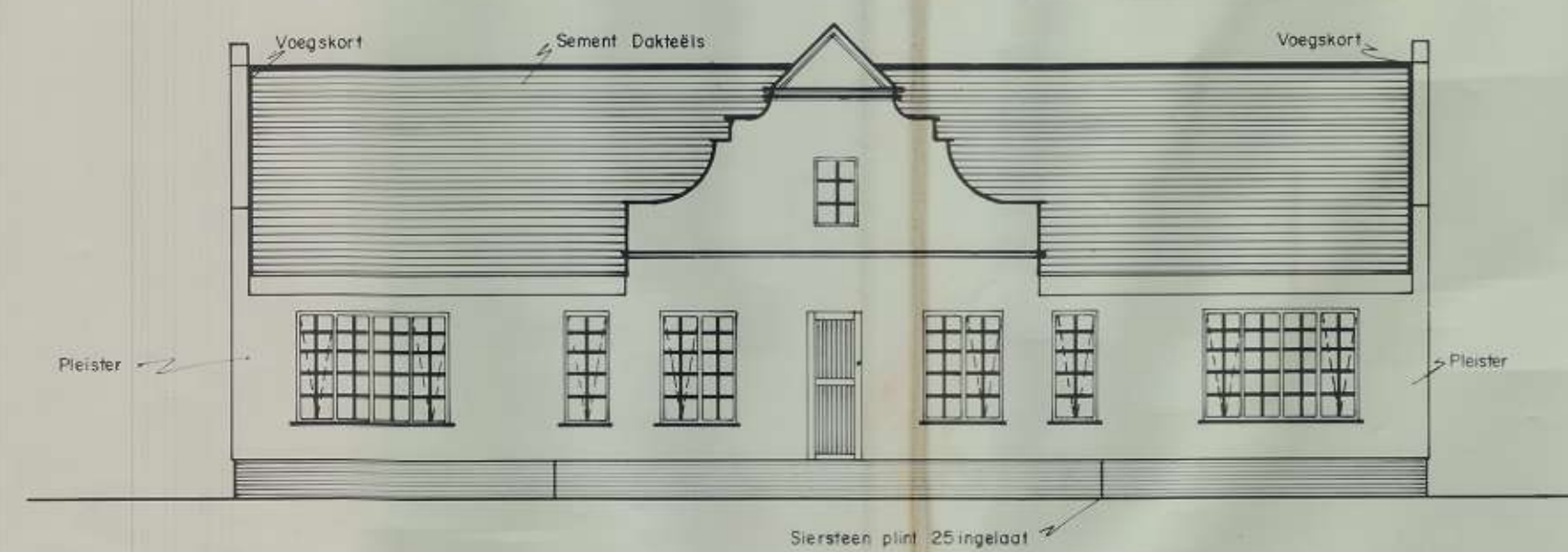
SUIDAANSIG
1:100



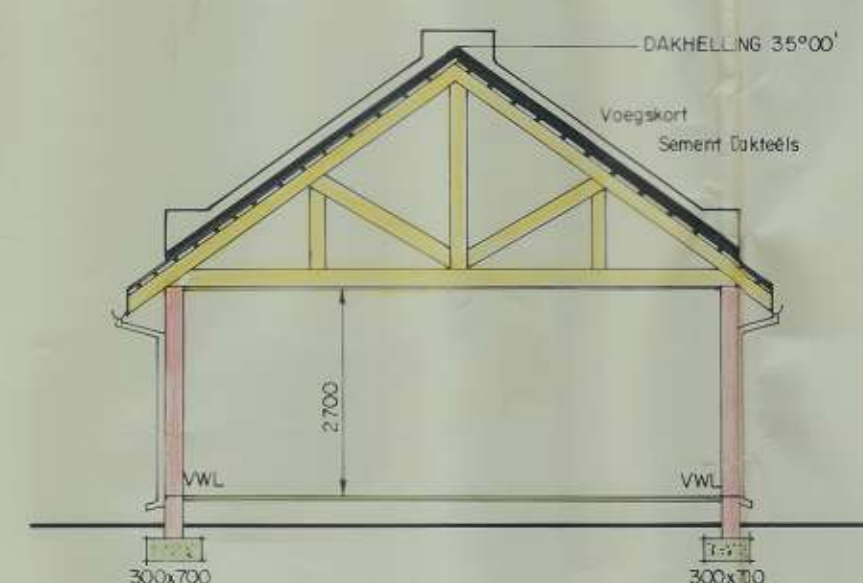
WESAANSIG
1:100



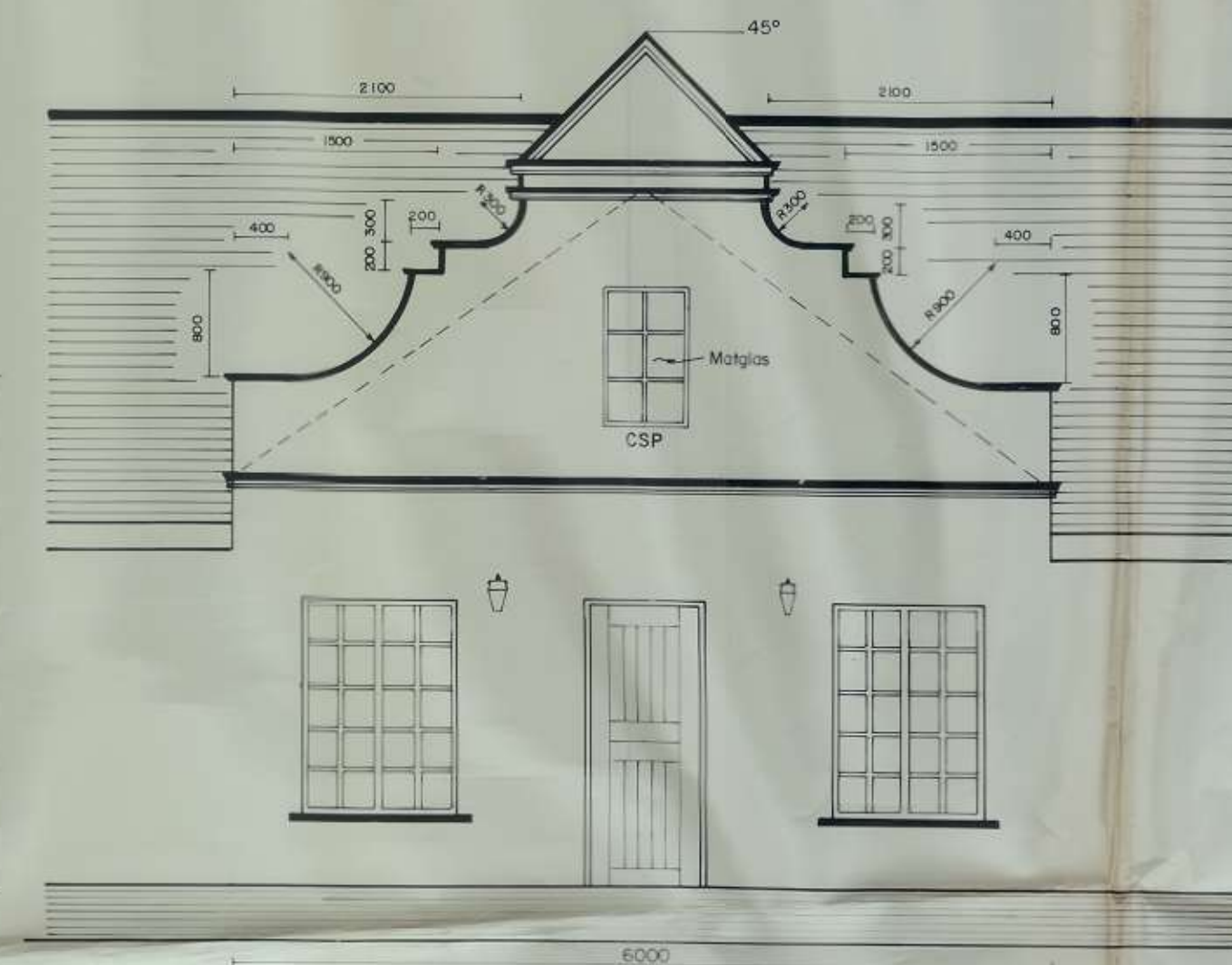
OOSAANSIG
1:100



NOORDAANSIG
1:100



SNIT A-A
1:100



DETAIL VAN GEWEL
1:50

VERKLARING

[Symbol]	BUISLIG
[Symbol]	15 AMP MUURPROP
[Symbol]	LIGSKAKELAAR
[Symbol]	MUURLIG
[Symbol]	PLAFONLIG
[Symbol]	SKAKELAAR + KLOKKIE
[Symbol]	SKAKELKAS

DAKNOTA:

Sement Dakteëls op goedgekeurde PVC onderlegsel op 38x38 latte met maks. 300 h-h op 38x114 kappe bevestig met Gegalvaniseerde hoepel op 38x114 muur plaat. Voorafvervaardigde Dakkappe volgens Vervaardigers Spesifikasies.
10x230 Asbes Fassie.
125 Halfrand geute met 75 afleipype - Asbes.

VLOERNOTA:

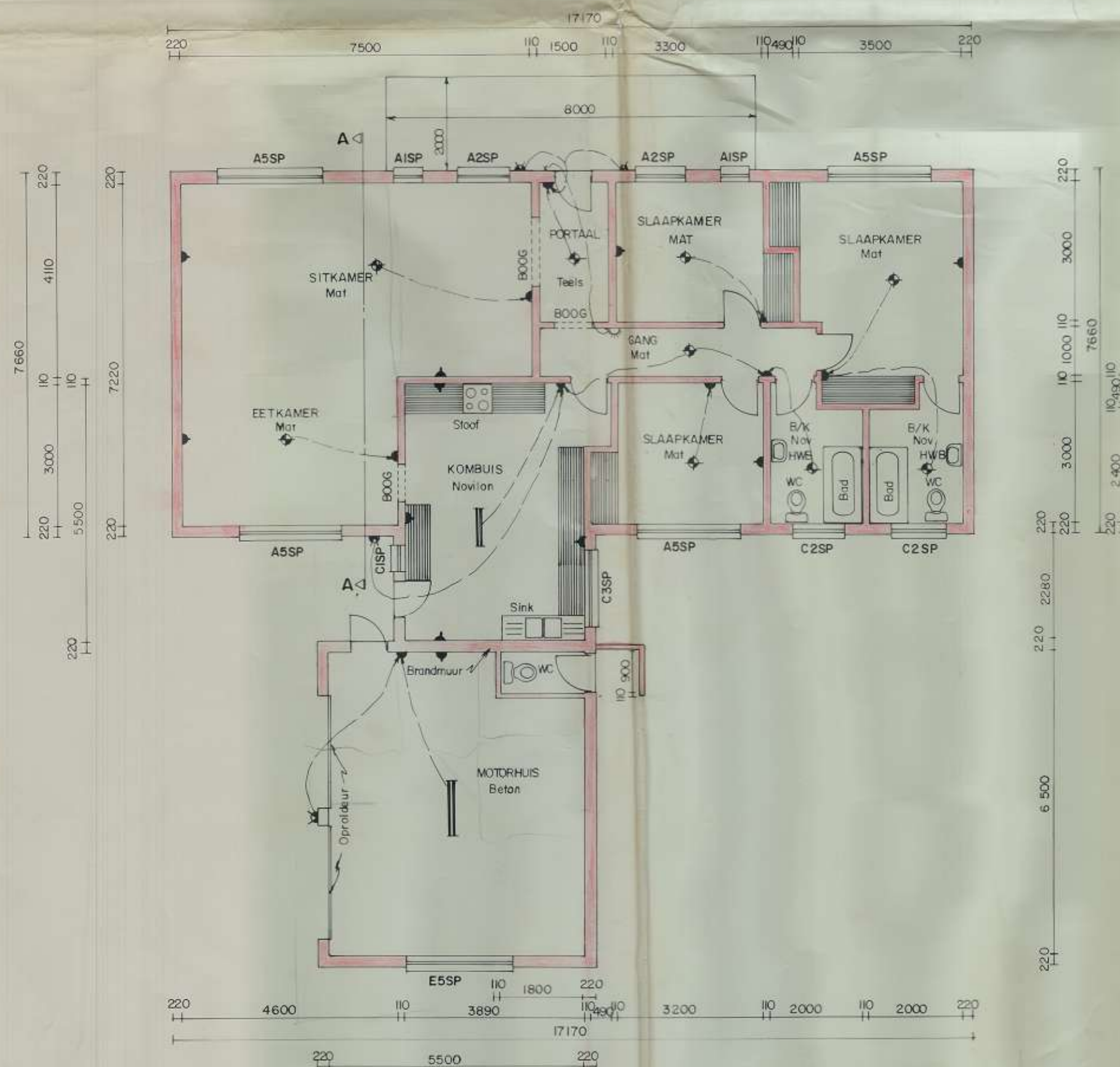
24mm vlaklaag op 76mm beton op 250 mikron v.w.l. op goed gekompakteerde skoonvulling in maks. 150 mm. lae. 70x19 merranti vloerlyste.

VENSTERS:

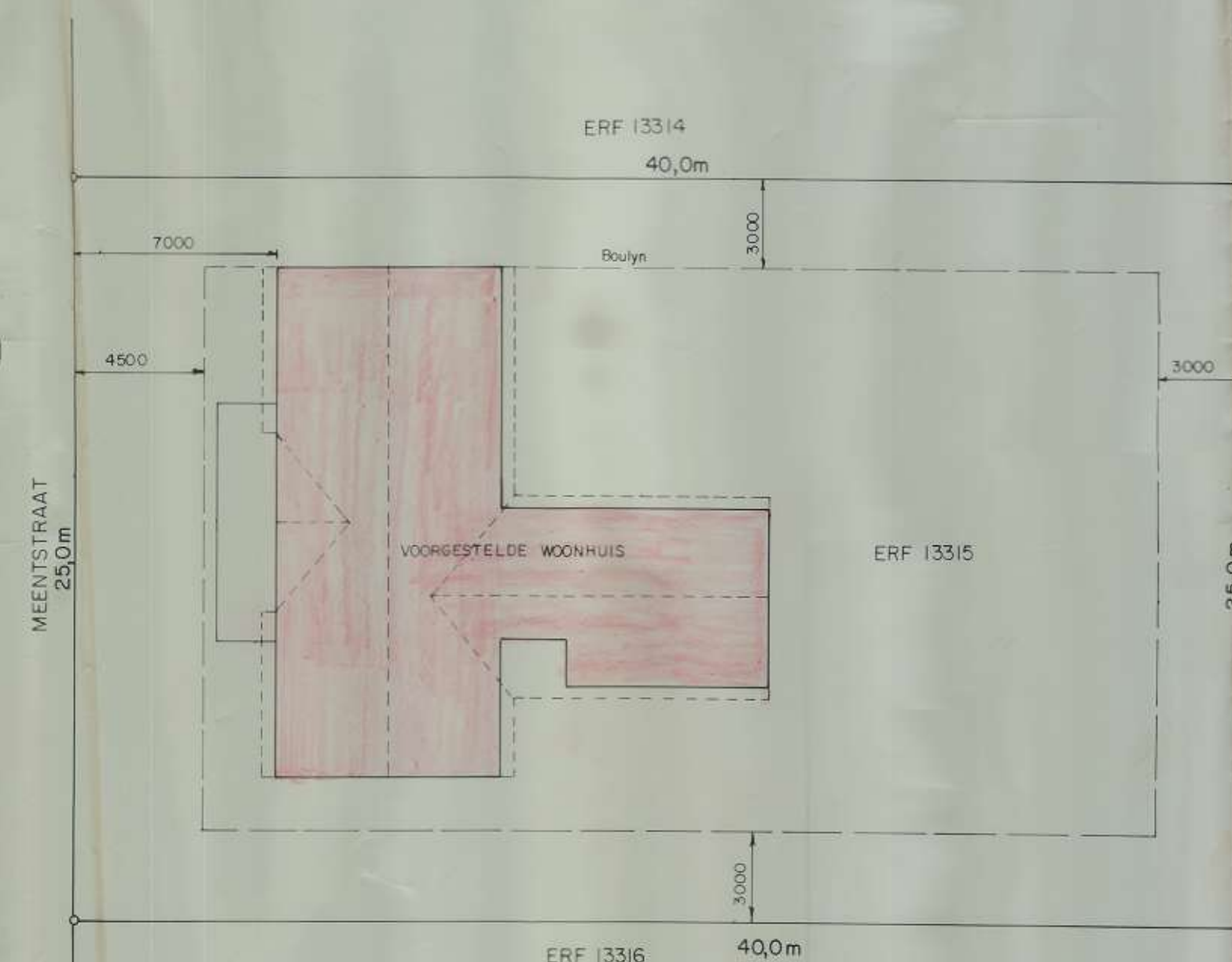
Vensters en deurrame van merranti. Voorbeeld: Rutherford's.

ALGEMEEN:

1. FONDASIE: 1 deel sement, 3 dele sand en 5 dele klip.
2. Alle binne mure een laag gladde pleister.
3. Alle buite mure gepleister.
4. Alle binne deure hoekene in merranti rame.
5. Alle vertrekke met lugstene. Garage 2 hoog en 2 laag.
6. Brckforce bo alle openinge met voorafvervaardigde beton lintol bo openinge 2000 en groter.
7. Alle buite vensterbanke van quarry teëls. Binne vensterbanke van keramiek teëls.
8. Kontrakteurs moet alle mates, hoogtes en vlakke op die perseel nagaan en hulself ten volle bekend maak met die aard en omvang van die werk alvorens getender of met die werk begin word.
9. Alle werk moet gedoen word in ooreenstemming met die vereistes en bepalings van die Plaaslike Owerheid en die N.B.R.



PLAN
1:100



TERREINPLAN
1:200

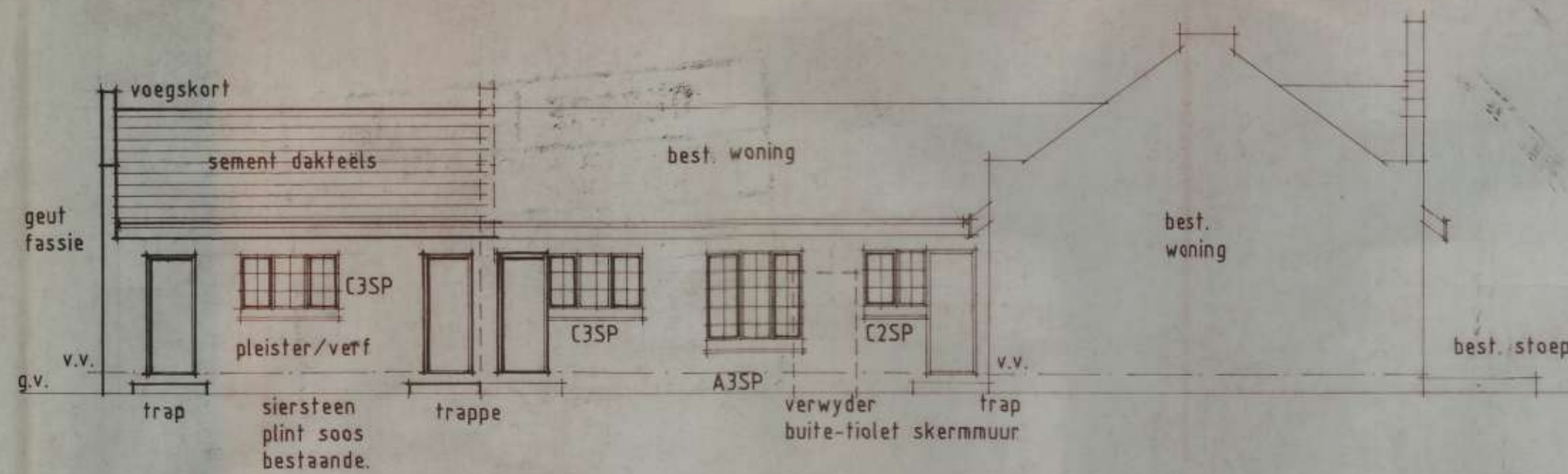


VAN HUIS : 182,61 vk m.
STOEP : 2,42 vk m.
TOTAAL : 185,03 vk m.

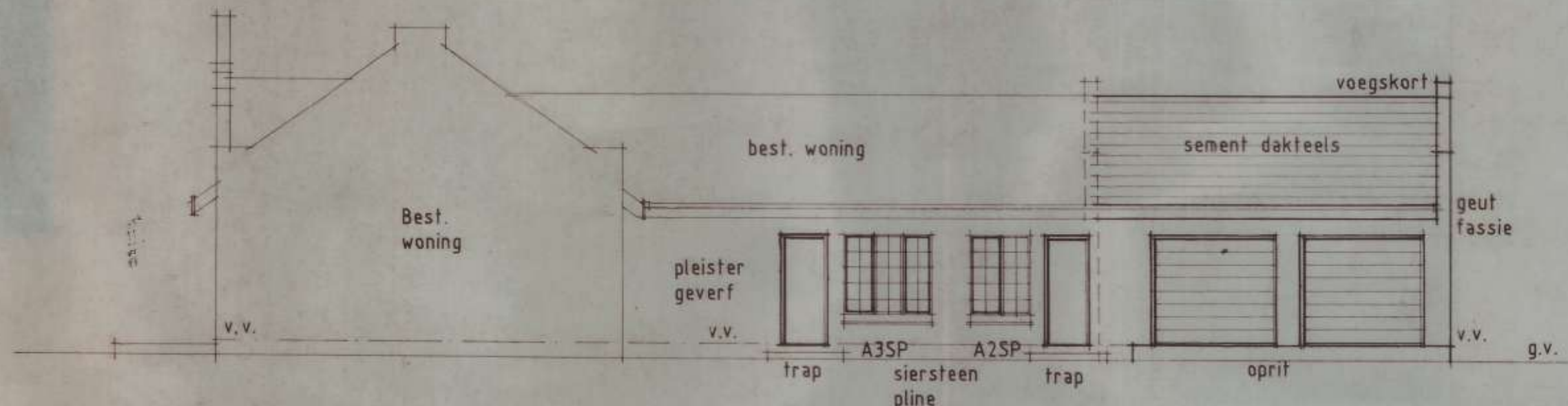
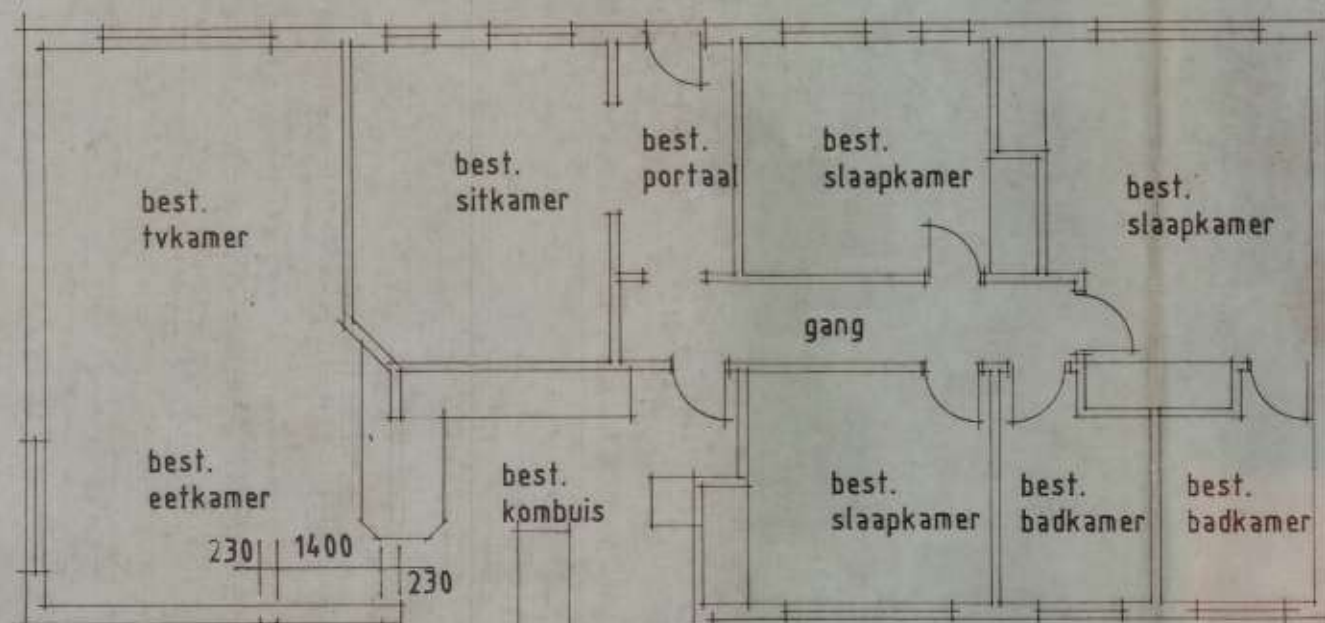
TEKENAAR	VOORGESTELDE NUWE WOONHUIS	REV
J.J. STORM	VIR MNR. P. PUREN	0
TEL. (0441) 741672	ERF 13315	
	HEATHERPARK	
	GEORGE	
	JJS-NW-101	

Voorgestelde omskepping van motorhuis
en aanbouwing van nuwe motorhuis op
erf 13315 Meentstraat Heatherpark
George.

eienaar :

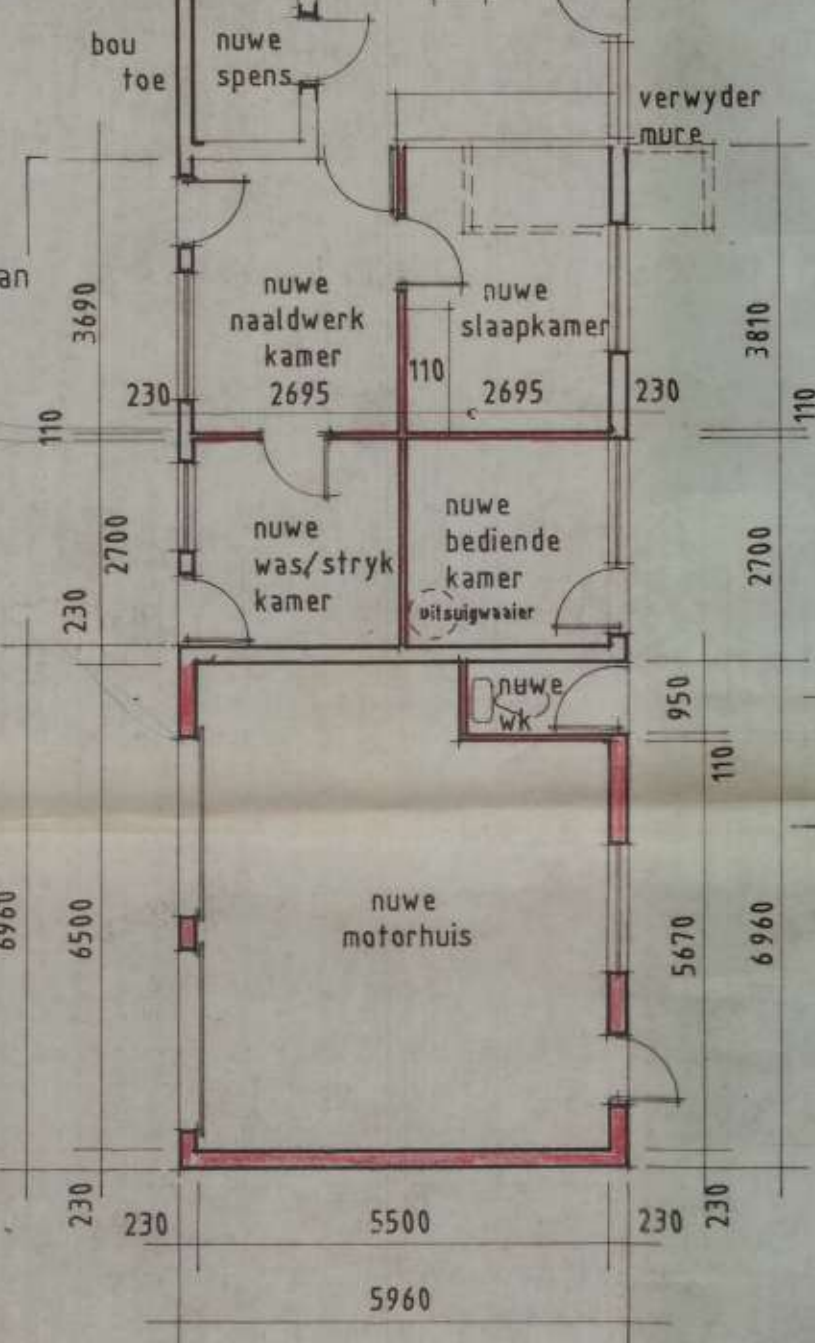


1 : 100 Oos-aansig



1 : 100 Wes-aansig

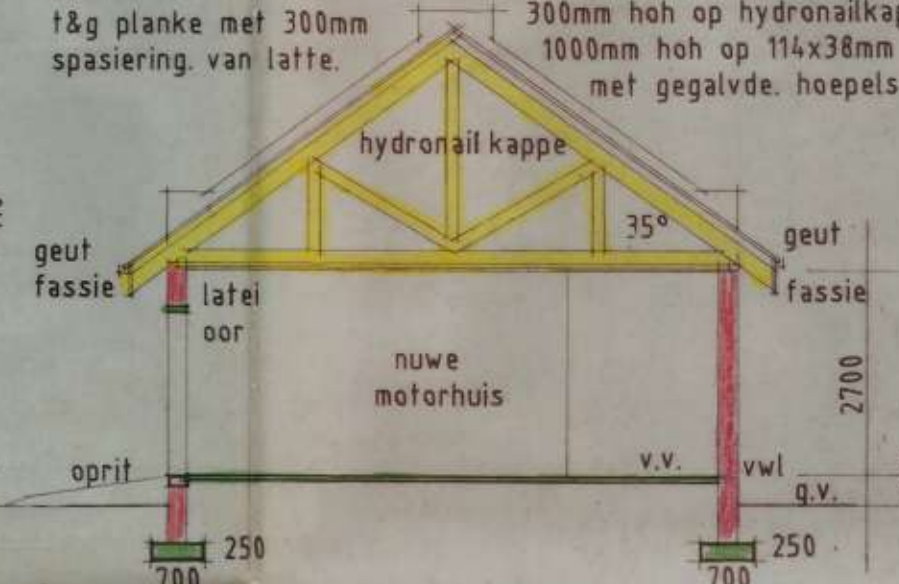
omskepping van
bestaande
motorhuis



1 : 100 Grondvloerplan

plafonne : rhinoboard
teen 38x38mm latte
600mm hoh of sa den
t&g planke met 300mm
spasiering van latte.

dakkonstruksie : sement dakteels op
pvc onderlegsel op 38x38mm latte teen
300mm hoh op hydronailkappe teen
1000mm hoh op 114x38mm muurplate
met gegalvde hoepels bevestig.



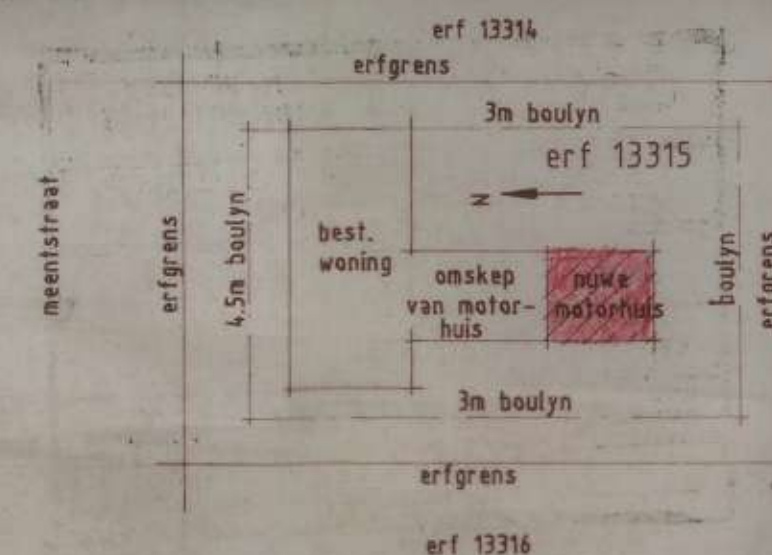
fondasie soos getoon
vir binnemure 600x230mm min.

betonblad 76mm dikte op 250 mikron
gunplas op goefgekeurde vulling.

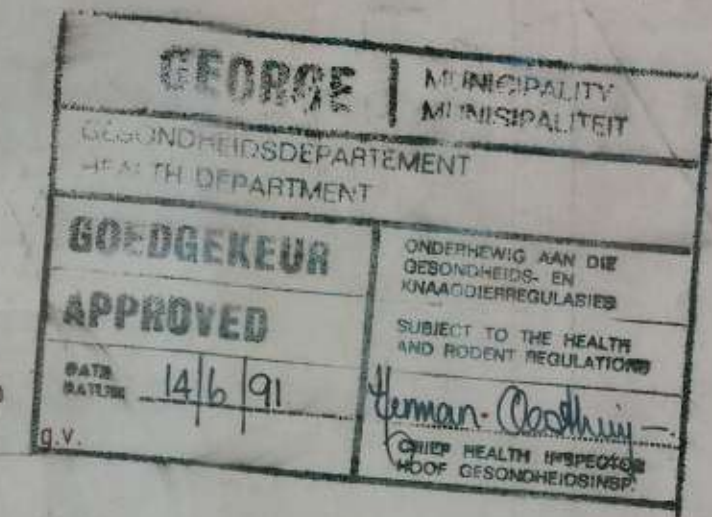
1 : 100 Snit A-A

bestaande woning = 185,03vkm
omskeppingsarea = 38,74vkm
nuwe motorhuis = 41,48vkm

totale oppervlakte = 226,50vkm



1 : 500 Terreinplan



...in connection with plumbing and drainage instal-
lations, alterations, additions and repairs MUST be
carried out by a person in possession of the appropriate
skill and updated license issued by the George Munic-
ipality, and with the Town Planner's approval.

Changing of sidewalks to be authorized by
Town Engineer.
Electrical installation to be done by registered
Electrical Contractor with Town Electrical
Engineer's approval.

Magtiging om syaadjies te bedek moet van
die Stadsingenieur verkry word.
Elektriese installasie moet deur geregistreerde
Elektriese kontrakteur gedoen word met
toestemming van die Stadslektrotegniese
Ingenieur.

BUILDING INSPECTOR
BOU-INSPEKTEUR.



Application Form Aansoekvorm

To the Town Engineer
Aan die Stadsingenieur

I, We, the undersigned, hereby make application to carry out certain works set forth in the plans herewith at GEORGE. We undertake to execute the same in strict accordance with the regulations made and by-laws of the Cape Town Municipal Ordinance No. 20 of 1974 as amended.

Ek, Ons, die ondertekende, doen hierby aansoek om sekere werke soos uiteengesê in die onderstaande planne te doen by GEORGE. Ek, Ons, verbind ons self om sulks uit te voer strik in ooreenstemming met die regulasies neergeleë en volgens die Kaapse Munisipale Ordonnansie No. 20 van 1974 soos gewysig.

Signature of Proprietor / Handtekening van Eienaar

Date 17 FEBRUARIE 1989

Address: Postbus 7020, Blanco.
Agres:
Signature of Draughtsman
Handtekening van Tekenaar
Address: DE MISTSTRAAT 17 LOERIEPARK
Adres: GEORGE

Plan to show connection distance from
nearest lateral boundary and North Point

Lot No. 13315
Erf Nr.

DRAINAGE PLAN
DREINERINGSPLAN

Scale 1:200 Skaal 1:200

Cost of Connection
Koste van Aansluiting R

All roof and storm water is to be excluded from the drainage system.
Gewen reënwater of stormwater moet in die dreineringsstelsel ingelei word nie.
Inspection chambers to be built in 215mm brickwork and 150mm concrete base to the following inside dimensions:

Up to 1m deep 600mm x 450mm

Deeper than 1m 900mm x 600mm

Inspeksiekamers moet van 215mm steenwerk en 150mm beton basis gebou wees en moet die volgende afmetings hê

Tot 1m diep 600mm x 450mm

Dieper as 1m 900mm x 600mm

Dimensions of chambers to be proportionately enlarged when several branches enter the same chamber

Inspeksiekamers moet vergroot word volgens die aantal aansluitings wat ingelei word

All work to be carried out in terms of the Municipal Drainage and Building Regulations

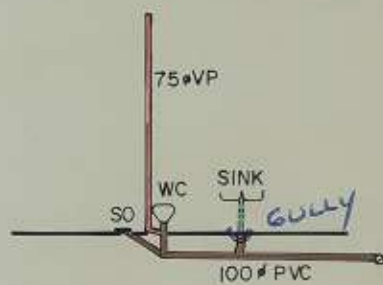
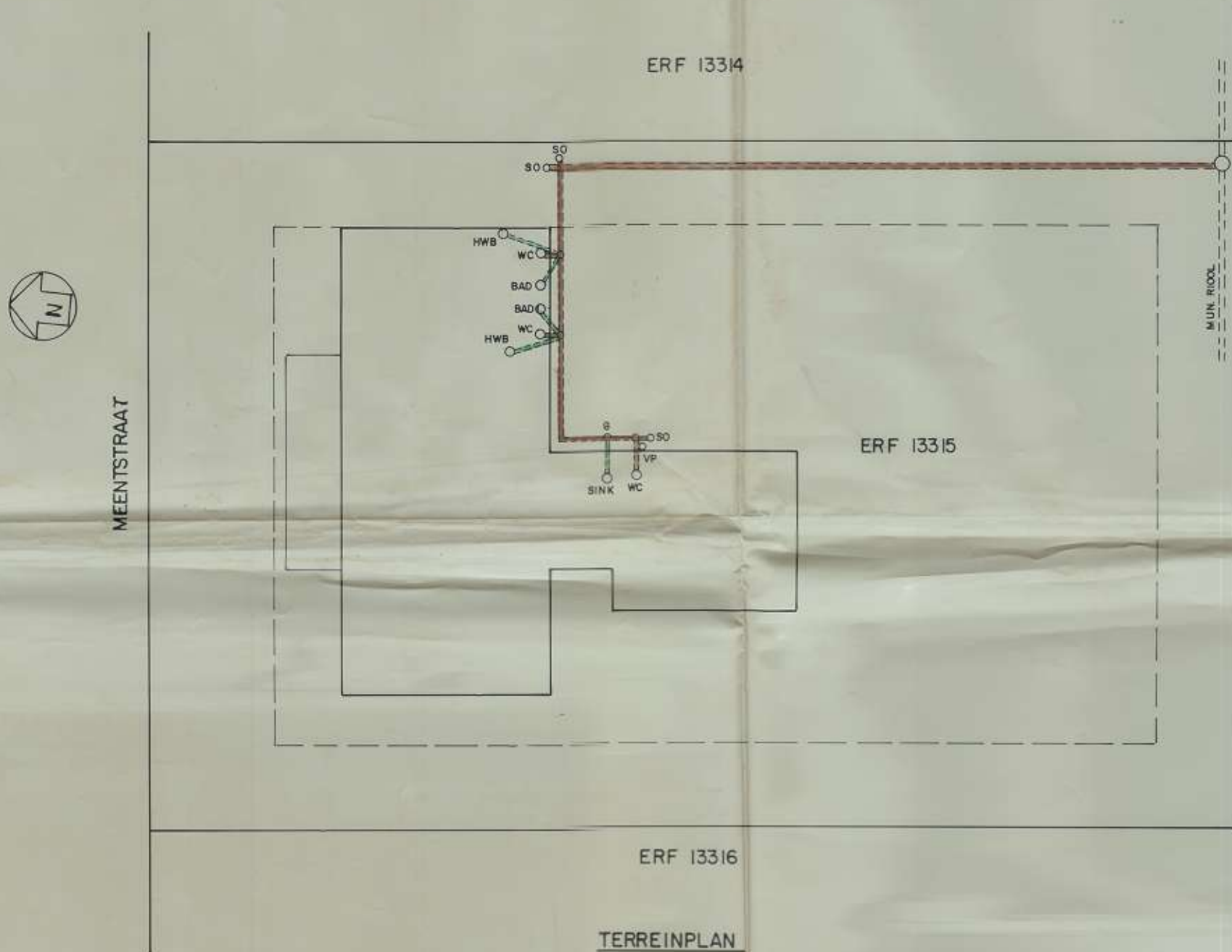
Alle werk moet uitgevoer word volgens die Munisipale Dreinerings- en Bouregulasies

All levels shown on this Drawing shall be referred to a well established reference point at Ground Level on the front boundary of the property. Such reference point shall be marked on the plan and may be given any arbitrary value by the Draughtsman.

Alle hoogtes hierop aangewys moet verbind wees aan 'n betroubare verwysingspunt op grondhoogte naby die voorgrens van die erf. Die verwysingspunt moet op die plan aangewys word en mag enige geskikte waarde deur die tekenaar gegee word.

All contractors must check and verify all dimensions, levels and connection positions before quoting or commencing work

Alle kontrakteurs moet alle afmetings, vlakke en aansluitingspunte kontroleer en bevestig voordat hulle kwoteer of met die werk begin.



GRONDHOOGTE	100	99,9
BODEMHOOGTE	99,5	99,6
AFSTAND	2800	
GRADIËNT	1:40	



99,9	99,8
99,6	99,0
10990	
1:40	



GRONDHOOGTE	99,8	99,8
BODEMHOOGTE	99,0	98,6
AFSTAND	2300	
GRADIËNT	1:40	

RIOOLSNIT

1:100

ANNEXURE “D” – LOCALITY PLAN



George Municipality will not be liable for any claims whatsoever, whether for damages or otherwise, which may arise as a result of inaccuracies in the information supplied.



Date: 3/11/2026 12:53 PM Scale: 1:1,396

ANNEXURE “E” – GENERAL PLAN

CDR

DE

THE SUBDIVISION OF

The figure ABCDEFGHJKLMNO
representing ERF 13144, George.
Vide Dgm. No. 9091/86 D/T 1987- -31723
Situate in the Municipality and Administrative
District of George
Province of the Cape of Good Hope

SCALE 1 : 750

BEACONS	
A, 13289a	Not beacons
Others	16mm iron peg in concrete

REFERENCE MARKS.
Standard Town Survey Marks.

SHEET 1
THIS PLAN CONSISTS OF 2 SHEETS

1.5 No. 9972-44
APPROVED
1987-03-17
D. Smith
for
DIRECTOR GENERAL

APPROVED IN TERMS OF SECT. 21
OF ORG. EL/1965
REF. ECU/RF 644/66
DATE 1986-10-21

ENDORSEMENTS

No	AMENDMENT	ADDITION	AUTHORITY	INTD	D

SURVEYOR-GENERAL OFFICE NOTES

2. Erf 1330 included in annual dgm. 31/04/2008; Erf 24837

CO-ORDINATES					METRES		SYSTEM L ₀ 23°		AREAS								
CONSTANTS					Y ± 3.00		X ± 3.700 000.00		ENR. NO.		SQUARE METRES		ENR. NO.		SQUARE METRES		
MAIN FIGURE					BLOCK CORNERS												
Y		ALL PLUS		X		Y		ALL PLUS		X							
A	53 105	25	18 014	25	105 52 845	24	54 810	24	12693	1067	13266	1000					
B	52 965	27	18 064	26	105 52 158	27	54 920	26	12693	1068	13267	1000					
C	52 959	30	18 060	31	105 52 759	31	54 896	30	12693	1069	13268	1000					
D	52 913	31	18 013	31	105 52 756	31	54 894	30	12693	1070	13269	1000					
E	52 877	32	18 072	32	105 52 387	32	54 857	30	12693	1071	13270	1000					
F	52 851	32	18 000	32	105 52 387	32	54 855	30	12693	1072	13271	1000					
G	52 845	34	18 015	34					12693	1073	13272	1000					
H	52 847	37	18 078	38					12693	1074	13273	1000					
I	52 849	40	18 113	40					12693	1075	13274	1000					
J	52 152	47	18 036	46					12693	1076	13275	1000					
K	52 732	54	18 021	55					12693	1077	13276	1000					
L	52 732	56	18 013	57					12693	1078	13277	1000					
M	52 732	58	18 024	57	00 51	52 894	47	54 895	45	13263	1009	13278	1000				
N	52 835	61	18 041	61	00 52	52 899	48	54 897	46	13264	1010	13279	1000				
O	52 814	61	18 036	57					13264	1011	13280	1000					
TRIGONOMETRIC BEACONS																	
AREA 9 53 784 - 32 53 477 - 51 0 010 7 56 465 - 46 51 846 - 24																	

KEY PLAN

Scale: 1:10,000

SHEET No.	ERVEN
1	13204 - 13307
2	13308 - 13312

SUBMITTED BY ME
ON OCTOBER 1964

FILE No. S-8135/10
S.R. No. E-2115/04
CONF. SL-700/V21044
SL-700/V21044

ANNEXURE “F” – TITLE DEED

Doman Attorneys Inc
49 Riebeeck Street
Worcester
6850

Prepared by me

CONVEYANCER
WILLEM HERMANUS DOMAN (80915)

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 3570 000.00	R. 2014.00
Reason for exemption	Category Exemption.....	Exemption i t o. Sec/Reg..... Act/Proc.....



T00015572 / 2023

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

HARRIS GEOFFREY HARDCASTLE
LPCM No. 98545

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him/her by

LESLEY LYNN BYRNE
Identity Number 500728 0095 084
Married out of community of property

which said Power of Attorney was signed at George on 16 March 2023

And the appearer declared that his/her said principal had, on 28 February 2023, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

1. **THEÖDORUS LEWIS KRIEL**
Identity Number 7711235058083
Unmarried
2. **CHRISTIANA ELISABETE CUNHA BELEM BRANCO**
Identity Number 710114 0465 088
Unmarried

their Heirs, Executors, Administrators or Assigns, in full and free property

ERF 13315 GEORGE SITUATED IN THE MUNICIPALITY AND DIVISION
OF GEORGE, PROVINCE WESTERN CAPE

IN EXTENT 1000 (ONE THOUSAND) Square metres

FIRST transferred by Deed of Transfer Number T46557/1987 with General
Plan SG No. 11624 relating thereto and held by Deed of Transfer Number
T46903/2016

- A. **SUBJECT** to the conditions referred to in Deed of Transfer Number
T46903/2016.
- B. **SUBJECT FURTHER** to the following conditions referred to in Deed of
Grant (George Quitrents Folio 15 No. 15).

"(2) That all existing roads and thoroughfares shall remain and
uninterrupted and that the Government and other competent
authority shall have the right when necessary at any time to make
further roads over the land in question."

C. **ENTITLED** to the benefits of the servitude referred to in the following
endorsement dated 29 December 1938 on Deed of Grant Dated 15 June
1922 (George Quitrents Folio 15 No. 15) namely:

"By Deed of Transfer No. 13615 dated 29.12.1938 the owner and his
successors in title of the property thereby conveyed is prohibited from
carrying on any trade or business other than that of saw mill, grist mill and
certain manufactures connected with a timber factory, as will more fully
appear on reference to the said Deed of Transfer."

D. **SUBJECT FURTHER** to the stipulations of the servitude referred to in the
following endorsement dated 7 June 1977 on Deed of Grant dated 15 June
1922 (George Quitrents Folio 15 Nr. 15) namely:

"Registration of Servitude

Within described land is subject to a servitude with regard to apportionment
of water in terms of an Order of the Water Court (Water Court District No.

W10/76) dated 5-6-1977 as will more fully appear on reference to the copy of the said Order filed as K493/77S".

- F. **SUBJECT FURTHER** to the following conditions imposed by the George Municipality as referred to in Deed of Transfer No 146557/87, namely:

"2. Geen onderverdeling van hierdie perseel sal toegelaat word nie."



WHEREFORE the said Appearer, renouncing all rights and title which the said

LESLEY LYNN BYRNE, Married as aforesaid

heretofore had to the premises, did in consequence also acknowledge her to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

1. **THEODORUS LEWIS KRIEL, Unmarried**
2. **CHRISTIANA ELISABETE CUNHA BELEM BRANCO, Unmarried**

their Heirs, Executors, Administrators or Assigns, now are and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R3 570 000,00 (THREE MILLION FIVE HUNDRED AND SEVENTY THOUSAND RAND) .

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on 24 APR 2023



q.q.

In my presence



REGISTRAR OF DEEDS

ANNEXURE “G” – POWER OF ATTORNEY

POWER OF ATTORNEY

We, the undersigned

Theödorus Lewis Kriel (ID 7711235058083) and Christiana Elisabete Cunha Belem Branco (ID 7101140465088)

the registered owners of

Erf 13315 George

do hereby appoint Jan Vrolijk Town Planner/Stadsbeplanner to prepare, sign and submit the following application to the George Municipality:

An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the following building lines of Erf 13315 George:

- the northern street boundary building line from 5.0 metres to 3.5 metres to allow for the construction of a braai room.
- the eastern side boundary building line from 3.0 metres to 0.0 metres to allow for the construction of a braai room.

Signed at George on 17 June 2026

Theödorus Lewis Kriel



Christiana Elisabete Cunha Belem Branco



ANNEXURE “H” - CONVEYANCER CERTIFICATE

CONVEYANCER'S CERTIFICATE

IN TERMS OF SECTION 38(1)(n) OF THE GEORGE MUNICIPALITY: LAND USE PLANNING BY LAW, 2023

ERF 13315 GEORGE

APPLICATION DETAILS

An application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the following building lines of Erf 13315 George:

- the northern street boundary building line from 5.0 metres to 3.5 metres to allow for the construction of a braai room.
- the eastern side boundary building line from 3.0 metres to 0.0 metres to allow for the construction of a braai room.

APPLICATION DATE

June 2026

I, the undersigned

ANDALEEN CHIMES a duly qualified and admitted Conveyancer, practicing at A Chimes & Van Wyk Attorneys, Cathedral Street, George do hereby certify as follows:

1. I have perused the following title Deed/s and conducted a search behind the pivot of the said title deed/s at the Deeds Office, Cape Town:

T15572/2023 (current Title Deed)

in respect of:

ERF 13315 GEORGE

IN THE MUNICIPALITY AND DIVISION OF GEORGE

WESTERN CAPE PROVINCE

IN EXTENT: 1 000 (ONE ZERO ZERO ZERO) SQUARE METRES

HELD BY DEED OF TRANSFER NUMBER T15572/2023

REGISTERED in the name of

**THEÖDORUS LEWIS KRIEL AND CHRISTIANA ELISABETE CUNHA BELEM
BRANCO**

2. I have appraised myself with the details of the abovementioned Land Development Application.
3. The abovementioned Title Deed contains no conditions restricting the contemplated Land Use in terms of the abovementioned Land Development Application.
4. There is no bond registered over the property.

SIGNED at GEORGE on 15 June 2026

A handwritten signature in black ink, appearing to read 'P. J. S.', is written over a horizontal line.

CONVEYANCER