

Collaborator No.: 4139435
Reference / Verwysing: Erf 14780, George
Date / Datum: 24 July 2025
Enquiries / Navrae: Primrose Nako

Email: planning@delplan.co.za

DELPLAN CONSULTING
P O BOX 9956
GEORGE
6530

APPLICATION FOR REZONING AND PERMANENT DEPARTURE: ERF 14780, GEORGE

Your application in the above regard refers.

The Senior Manager: Town Planning (Authorised Official) has, under delegated authority, 4.17.3.13 of 24 April 2025 decided that the following applications applicable to Erf14780, George:

- a) **Rezoning** in terms of Section 15(2)(a) of the Land Use Planning By-law for George Municipality, 2023 of Erf 14780, George from Single Residential Zone I to General Residential Zone V (for a guest lodge);
- b) **Departure** in terms of Section 15(2)(b) of the Land Use Planning By-law for George Municipality, 2023 for the relaxation of the street boundary building line from 5m to 4.6m to convert an existing double garage on Erf 14780, George into a guest room;

BE APPROVED in terms of Section 60 of the said By-law for the following reasons:

REASONS FOR DECISION

- (i) The proposed development supports diversification objectives for the George city area, aimed at optimising under-utilised land to support sustainable development.
- (ii) The development will not have an adverse impact on the character of the area or the streetscape
- (iii) The development will not have a negative impact on adjacent property owners' rights, privacy or enjoyment of their properties.
- (iv) The development is of a residential nature and aligns with the uses in the surrounding area.
- (v) The development is not in conflict with spatial planning policies for the area.
- (vi) The proposed use will not have an adverse impact on engineering services.
- (vii) The development was not opposed and does not negatively impact on public interest.

Subject to the following conditions imposed in terms of Section 60 of the said By-law, namely:

CONDITIONS OF THE DIRECTORATE: PLANNING AND DEVELOPMENT

1. That in terms of the provisions of the Land Use Planning By-law for George Municipality, 2023, the above-mentioned approval will lapse if not implemented within a period of five (5) years from the date of approval.
2. This approval shall be taken to cover only the Rezoning and Departure applications as applied for and as indicated on Site Plan DJM 08-2026 dated 26 March 2026 drawn by JvH Architecture attached as Annexure A and shall not be construed as to depart from any other Council requirements or legal provisions.
3. A revised parking layout that complies with the requirements of the zoning scheme must be provided to the satisfaction of the Land Use Planning Department on submission of building plans.
4. The Site Plan submitted with the building plan must indicate Sustainable Urban Drainage Systems such as bioswales, tree pits, rain gardens, and permeable paving and/or other stormwater management systems for the site.
5. Landscaping proposals must also be indicated on said building plans and should include proposals for greening along the southern boundary and beautification of the streetscape. Landscaping must be implemented prior to the issuing of the occupation certificate for the guest lodge in accordance with approved building plans.
6. The approval will be deemed implemented upon the issuing of the occupation certificate for the guest lodge in accordance with approved building plans.

Notes:

- (a) *The removal of trees is discouraged – preservation of aesthetics and urban biodiversity is required. Each trees that must be removed to accommodate parking shall be replaced by at least 2x 100l indigenous trees to the satisfaction of the Land Use Planning Department. The position of these trees must be shown on the site plan submitted with the building plan.*
- (b) *Insufficient parking has been provided for the proposed guest lodge with 12 guest rooms. The site development plan indicates that only 15 parking bays are provided while 16 parking bays are required.*
- (c) *In addition, it is noted that the configuration of the parking bays at the rear of the property does not comply with the George Integrated Zoning Scheme, as insufficient manoeuvring space is provided. A minimum manoeuvring aisle width of 7.5 metres is required. The parking layout must be reconfigured to achieve compliance with the zoning scheme provisions and reflected as such on the site plan submitted with the building plan.*

CONDITIONS OF THE DIRECTORATE: CIVIL ENGINEERING SERVICES

7. The conditions imposed by the Directorate Civil Engineering Services are attached as 'Annexure B' dated 19 April 2026 and must be adhered to.
8. As stipulated in the attached conditions imposed by the Directorate Civil Engineering Services, the amount of Development Charges (DCs) to be paid by the developer is calculated in terms of the George Municipality Land Use Planning By-Law (as amended) and the approved DC Guidelines. With reference hereto, with regards to the proposed development, the developer will be required to make a development contribution, as indicated below.
9. The amounts of the development charges are reflected on the attached calculation sheet dated 19 April 2026 and are as follows:

Roads:	R 27 162,19	Excluding VAT
Sewer:	R 136 692,06	Excluding VAT
Water:	R 126 483,76	Excluding VAT
Total:	R 290 338,01	Excluding VAT
10. The total amount of the development charges of **R 290 338,01 (Excluding VAT)** shall be paid prior to the first transfer of a land unit pursuant to the application or upon the approval of building plans, whichever occurs first, unless otherwise provided in an engineering services agreement or, in the case of a phased development, in these or any other relevant conditions of approval.
11. Any amendments or additions to the proposed development, which is not contained within the calculation sheet, which may lead to an increase in the proportional contribution to municipal public expenditure, will result in the recalculation of the development charges and the amendment of these conditions of approval or the imposition of other relevant conditions of approval.

CONDITIONS OF THE DIRECTORATE: ELECTRO-TECHNICAL SERVICES

12. The conditions imposed by the Directorate Electro-technical Services are attached as 'Annexure C' dated 20 April 2026 and must be adhered to.
13. As stipulated in the attached conditions imposed by the Directorate Electro-technical Services, the amount of Development Charges (DCs) to be paid by the developer is calculated in terms of the George Municipality Land Use Planning By-Law (as amended) and the approved DC Guidelines. With reference hereto, with regards to the proposed development, the developer will be required to make a development contribution, as indicated below.
14. The amount of the development contribution is reflected on the attached calculation sheet dated 20 April 2026 and is as follows:
Electricity: R 122 579,47 Excluding VAT
15. The total amount of the development charges of **R 122 579,47 (Excluding VAT)** must be paid prior to the first transfer of a land unit pursuant to the application or upon the approval of building plans, whichever occurs first, unless otherwise provided in an engineering services agreement or, in the case of a phased development, in these or any other relevant conditions of approval.
16. Any amendments or additions to the approved development parameters which might lead to an increase in the proportional contribution to municipal public expenditure will result in the recalculation of the development charges and the amendment of these conditions of approval or the imposition of other relevant conditions of approval.

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

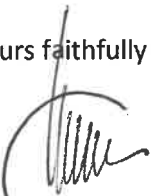
A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Planning and Development, P O Box 19, George, 6530 or Directorate: Planning and Development, 46 Market Street (Old York Hostel Building), George **on or before 14 AUGUST 2026**, and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. *Please also note that the appeal must be e-mailed to the administrative officer mentioned above.*

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

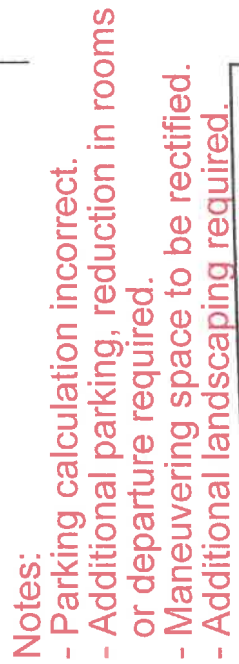
Yours faithfully



C PETERSEN
SENIOR MANAGER: TOWN PLANNING

C:\scan\Erf 14780, George (Rezoning & Permanent Departure Approval)Delplan.docx

NOTES. PROPERTY OF THE ARCHITECT ALL RELEVANT DETAILS, LEVELS AND DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ERRORS RESULTING FROM MISINTERPRETATION OF THE DRAWINGS. ALL DIMENSIONS ARE GIVEN IN MILLIMETERS		
GENERAL SPECIFICATIONS :		
REVISIONS		
REV	DATE	DESCRIPTION
1	00/00/00	NONE
 In association with  DAVIAN AMERICA CAD 41333270 53 HIBUSCUS STREET PACALTS DORP GEORGE TEL: 084 393 9531 EMAIL: djmdrafting11@gmail.com		
CLIENT: MYRTLE TREE ENTERPRISE PROJECT: EX. HOUSE/ PROPOSED GUEST LODGE ON ERF 14780, MYRTLE ROAD, HEATHERLANDS, GEORGE.		
DRAWING: SITE DEVELOPMENT PLAN		
SCALE:	DATE:	
1:250	26 March 2026	
DRAWN:	CHECKED:	
DJM	JCVH	
DRAWING NO.		SHEETS
DJM 08-2026		3 of 3



- Parking calculation incorrect.
- Additional parking, reduction in rooms or departure required.
- Maneuvering space to be rectified.
- Additional landscaping required.

Parking required = 11 parking bays
 Parking required = 2 parking bays (Manager)
 Total parking required = 13 parking bays

LANDSCAPE AREA: 1470m²

GREEN AREA (Soft landscaping) 609m² (41%)

PAVING AREA (Hard landscaping): 885m²

Area of erf: 2095m²

Area of Existing House/ New B&B: 438m²

Area of Existing Covered Stoep:

Area of Existing Outbuilding:
Area of Existing Pool:

1000

New Area's:
Area of Proposed Gazebo: 12m²

Filed of Proposed Gazette:

Total Area's: 625m²
Total Covered Area's: 625m²

Total Covered Areas: 33%

1000

Approved in terms of Section 60 of the George
Municipality: Land Use Planning By-law (2023) subject
to the conditions contained in the covering letter.

24/07/2026
DATE DATUM

SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STATISGEPLANNING

GEORGE DC CALCULATION MODEL	Version 1.00	31 August 2021
For Internal information use only (Not to publish)		
	Erf number *	14780
	Allotment area *	George
	Water & Sewer System *	George System
	Road network *	George
	Developer/Owner *	Adolf Coenrad Groenewald and Janetta Comella Groenewald
	Erf Size (ha) *	2 114,22
	Date (YYYY/MM/DD) *	2026-04-19
	Current Financial Year	2025/2026
	Collaborator Application Reference	4139435

Application: Rezoning & Departure

Service applicable	Description
Roads	Service available, access via Myrtle Road (Subject to the Road master plan & access approval)
Sewer	Service available (Subject to the Sewer Master Plan, WWTW treatment & network capacity)
Water	Service available (Subject to the Water Master Plan, WTW treatment & network capacity)

Conditions
General conditions

- 1 The amount of Development Charges (DCs) to be paid by the developer are calculated in terms of the George Municipality Land Use Planning By-Law (as amended) and the approved DC Guidelines. With reference to clause above, with regards to the proposed development, the developer will be required to make development contribution, as follows:
 - 2 The amounts of the development charges are reflected on the attached calculation sheet dated 19/04/2026 and are as follows:

Roads:	R	27 162,19	Excluding VAT (Refer to attached DC calculation sheet)
Sewer:	R	136 692,06	Excluding VAT (Refer to attached DC calculation sheet)
Water:	R	126 483,76	Excluding VAT (Refer to attached DC calculation sheet)
Total	R	290 338,01	Total Excluding VAT
 - 3 The total amount of the development charges of R290 338,01 shall be paid prior to the first transfer of a land unit pursuant to the application or upon the approval of building plans, whichever occurs first, unless otherwise provided in an engineering services agreement or, in the case of a phased development, in these or any other relevant conditions of approval.
 - 4 Any amendments or additions to the proposed development which is not contained within the calculation sheet as dated in clause 2 above, which might lead to an increase in the proportional contribution to municipal public expenditure, will result in the recalculation of the development charges and the amendment of these conditions of approval or the imposition of other relevant conditions of approval
- Note: The Development Charges indicated above are based on the information available to the respective engineering departments at the time of approval. It is advised that the owners consult with these departments prior to submission of the subdivision plan to ascertain what information they require to provide a more accurate calculation.*
- 5 As provided in section 66(5B)(b) of the Planning By-Law (as amended), using the date of approval as the base month the amount of R290 338,01 shall be adjusted in line with the consumer price index published by Statistic South Africa up to the date when payment is made in terms of paragraph 3 above.
 - 6 Development charges are to be paid to the Municipality in cash or by electronic funds transfer or such other method of payment as may be accepted by the Municipality at the time when payment is made.
 - 7 All services -internal, link and relocation of or upgrades to existing - are to be designed by a registered consulting engineer in accordance with Council specifications. This may include bulk services outside the development area but that must be upgraded to specifically cater for the development. All drawings and plans are to be submitted to the applicable department, or any other relevant authority, (hard copy and electronically) for approval prior to any construction work taking place. All work is to be carried out by a suitable qualified/registered contractor under the supervision of the consulting engineer who is to provide the relevant authority with a certificate of completion, and as-built plans in electronic format. All costs will be for the developer. No transfers will be approved before all the municipal services have been satisfactorily installed and as-builts submitted electronically as well as the surveyor's plan.
 - 9 Any, and all, costs directly related to the development remain the developers' responsibility.
 - 10 Only one connection permitted per registered erf (water and sewer connections). Condition 7 applies.
 - 11 Any services from the development that must be accommodated across another erf must be negotiated between the developer and the owner of the relevant erf. Any costs resulting from the accommodation of such services or the incorporation of these services into the network of another development are to be determined by the developer and the owner of the other erf. (condition 7 applicable)

- 12 Any service from another erf that must be accommodated across the development or incorporated into the services of the development: all negotiations will be between the owner/developer of the relevant erf and the developer. Costs for the accommodation of these services or the upgrade of the developments services to incorporate such services are to be determined by the developers/owners concerned. (condition 7 applicable)
- 13 Any existing municipal or private service damaged during the development will be repaired at the developers cost and to the satisfaction of the George Municipality. (condition 7 applicable)
- 15 Suitable servitudes must be registered for any municipal service not positioned within the normal building lines.
- 16 Note, the applicant is to comply with the National Forestry Act, Act No 84 of 1998, should it be required.
- 17 Note, provisions for the removal of solid waste is to be addressed in conjunction with the Dir: Environmental Services.
- 18 Note, the developer is to adhere to the requirements of all relevant Acts, as well as all conditions stipulated by any other authority whose approval is required and obtained for this proposed development.
- 19 Transfers, building plan approvals and occupation certificates may be withheld if any sums of money owing to the George Municipality are not paid in full, or if any services have not been completed to the satisfaction of the Dir: CES & ETS, or any condition of any authority has not been satisfactorily complied with.
- 20 The Developer is responsible to obtain the necessary approval / way leaves from third parties which include, but is not limited to the George Municipality, Telkom & Fibre optic service provider.
- 21 No construction activity may take place until all approvals, including way leave approval, are in place, all drawings and material have been approved by the Technical Directorates.
- 22 Municipal water is provided for potable use only. No irrigation water will be provided.

A water meter must be installed by the developer prior to construction to monitor water usage during the construction phase. The Dir: CES (Water section) is to be consulted by the developer, prior to installation, regarding the required specifications. Failure to complying with the water meter application process, will result in the developer being responsible for payment of penalties and/or an estimated non-metered water consumption by this department at a rate as per the applicable annual Tariff List. In this regard, transfers, building plan approval and occupation certificates may be withheld if any sums of money owing to the George Municipality are not paid in full. The water meter is to be removed on completion of construction if so required by the Dir: CES.

The developer / erf owner is to apply to the George Municipality for the installation of an individual erf water meter prior to any building work commencing on an erf.

Public and private roads are to be clearly indicated on all layout plans submitted. The road reserves must be clearly indicated on all plans submitted for approval. The cadastral layout can only be approved if the road reserves have been included on plans and approved by CES.

- 25 The discharge of surface stormwater is to be addressed by the developer. Condition 7 applies. All related costs are for the developer. The developer is to consult with the Dir: CES to ensure that stormwater planning is done on line with the available stormwater master plans.
- 26 Internal parking requirements (ie within the development area), position of accesses, provision for pedestrians and non-motorised transport, and other issues related to traffic must be addressed and all measures indicated on plans and drawings submitted for approval.
- 27 Adequate parking with a hardened surface must be provided on the premises of the proposed development.
- 28 No private parking will be allowed in the road reserve. The developer will be required at own cost to install preventative measures to insure compliance.
- 29 The approval of the layout of the development and accesses is subject to the George Roads Master Plan and approved by the Dir: CES. A site development plan is to be submitted to the Dir: CES, or any other relevant authority for approval prior to any construction work taking place.
Should it be required, the developer is to cede any portion of property required for public road reserve, free of charge, to the relevant authority.
- 30 Permission for access onto municipal, provincial or national roads must be obtained from the relevant authorities.
- 31 Minimum required off-street parking provided, must be provided in terms of the George Integrated Zoning Scheme 2023 parking requirements and vehicles must readily leave the site without reversing across the sidewalk. Alternative Parking may be supplied.
- 32 Site access to conform to the George Integrated Zoning Scheme 2023.
Access to the development is permitted only through the existing municipal road. Direct access from York Street is not allowed.

 Ricus Fivaz

Ricus Fivaz
Manager (CES): Land development
Civil Engineering Services

19 Apr 26
Date

GM 2023
Development
Charges policyGM 2023
Integrated Zoning
Scheme By-lawGM 2024/25
TariffsCivil Engineering
ServiceElectro-Technical
Service

Erf number *

14780

Allotment area *

George

Water & Sewer System *

George System

Road network *

George

Developer/Owner *

Adolf Conrad Groenewald and Janetta Cornelia Groenewald

Erf Size (ha) *

2 114,22

Date (YYYY/MM/DD) *

2026-04-19

Current Financial Year

2025/2026

Collaborator Application Reference

4139435

Code	Land Use	Unit	Total Existing Right		Total New Right	
RESIDENTIAL			Units		Units	
	Residential housing (>2 000m²) Erf	Unit		1		
	Second/Additional Dwelling (<100 m²) unit	unit		1		
ACCOMMODATION ESTABLISHMENTS			m² Erf	FAR	m² GLA	m² Erf
	Guest House	bed				11

Please select

Yes

Is the development located within Public Transport (PT1) zone?

Calculation of bulk engineering services component of Development Charge

Service	Units	Additional Demand	Unit Cost	Amount	VAT	Total
	trips/day	24,94	R 1 034,75	R 25 804,08	R 3 870,61	R 29 674,69
	trips/day	1,31	R 1 034,75	R 1 358,11	R 203,72	R 1 561,83
	kl/day	2,48	R 55 140,00	R 136 692,06	R 20 503,81	R 157 195,87
	kl/day	2,81	R 44 980,00	R 126 483,76	R 18 972,56	R 145 456,32

Total bulk engineering services component of Development Charge payable

R 290 338,01

R 43 550,70

R 333 888,70

Link engineering services component of Development Charge

Total Development Charge Payable

City of George

Calculated (CES):

JM Fivaz

Signature :

Date :

April 19, 2026

NOTES :

1. In relation to the increase pursuant to section 66(5B)(b) of the Planning By-Law (as amended) in line with the consumer price index published by Statistic South Africa) using the date of approval as the base month
2. Please note the calculation above only surfs as a pro-forma calculation. Once confirmation of the calculation is revised can a VAT invoice be requested from the Municipal Financial department. In this regard you can contact Werner Joubert on email at wjoubert@george.gov.za or telephone on 044 801 1333

Departmental Notes:

For the internal use of Finance only

Service	Financial code/key number	Total
Roads	20220703048977	R 29 674,69
Public Transport		R 1 561,83
Sewerage	20220703048978	R 157 195,87
Water	20220703048981	R 145 456,32
		R 333 888,70

GEORGE ELECTRICITY DC CALCULATION MODEL	Version 1.00	2025/06/18
For Internal information use only (Not to publish)		



Erf Number * 14780
 Allotment area * George
 Elec DCs Area/Region * George Network
 Elec Link Network * LV
 Elec Development Type * Normal
 Developer/Owner * AC & JC Groenewald
 Erf Size (ha) * 0,21
 Date (YYYY/MM/DD) * 20 04 2026
 Current Financial Year 2025/2026
 Collaborator Application Reference 4139435

Application:

Development Charges

Comments:

0

Service applicable	Description
Electricity	Service available (Subject to the Electrical master plan approval)

Conditions	
General conditions	
1	The amount of Development Charges (DCs) to be paid by the developer are calculated in terms of the George Municipality Land Use Planning By-Law (as amended) and the approved DC Guidelines. With reference to clause above, with regards to the proposed development, the developer will be required to make development contribution, as follows:
2	The amounts of the development contributions are reflected on the attached calculation sheet dated 20/04/2026 and are as follows: Electricity: R 122 579,47 Excluding VAT
3	The total amount of the development charges of R122 579, Excluding VAT shall be paid prior to the first transfer of a land unit pursuant to the application or upon the approval of building plans, whichever occurs first, unless otherwise provided in an engineering services agreement or, in the case of a phased development, in these or any other relevant conditions of approval.
4	Any amendments or additions to the approved development parameters which might lead to an increase in the proportional contribution to municipal public expenditure will result in the recalculation of the development charges and the amendment of these conditions of approval or the imposition of other relevant conditions of approval.
5	As provided in section 66(5B)(b) of the Planning By-Law (as amended), using the date of approval as the base month the amount of R122 579, Excluding VAT shall be adjusted in line with the consumer price index published by Statistic South Africa up to the date when payment is made in terms of paragraph 3 above.
6	Development charges are to be paid to the Municipality in cash or by electronic funds transfer or such other method of payment as may be accepted by the Municipality at the time when payment is made.
7	Any, and all, costs directly related to the development remain the developers' responsibility.
8	Only one connection permitted per registered erf (Electrical, water and sewer connections). Condition 7 applies.
9	The developer is to adhere to the requirements of all relevant Acts, as well as all conditions stipulated by any other authority whose approval is required and obtained for this proposed development.
10	Transfers, building plan approvals and occupation certificates may be withheld if any sums of money owing to the George Municipality are not paid in full, or if any services have not been completed to the satisfaction of the Dir: CES & ETS, or any condition of any authority has not been satisfactorily complied with.
11	The Developer is responsible to obtain the necessary approval / way leaves from third parties which include, but is not limited to the George Municipality, Telkom & Fibre optic service provider.
12	No construction activity may take place until all approvals, including way leave approval, are in place, all drawings and material have been approved by the Technical Directorates.
Electro Technical	
13	In all cases, where individual customer apply for a supply capacity exceeding that provided for in the calculation of DCs and for the developer paid, will be subject to additional DCs based on the rates applicable at the time.
14	Owner to ensure compliance with Regulation XA of SANS 10400 (building plans).
15	Owner to ensure compliance with Regulation XA of SANS 10142 (wiring) and any other applicable national standards.
16	The developer and/or an owner of an erf shall see to it that no Small Scale Embedded Generation (SSEG) are installed on an erf, any portion of an erf or the development, without prior approval from the ETS. Should any SSEG be installed within any part of the development the Electrotechnical Services will within their discretion either implement applicable penalties and/or disconnect the relevant point of supply.
17	Where DCs have been applied for a particular section of the network, but the developer is requested to install and fund a part of the section of network, such work will be credited against DCs calculated.
18	Installation of ripple relays are compulsory for all geysers with electrical elements.

19	All municipal supply points must be subject to standard DC charges. These charges to be included in the project costs of the project.
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M Gatyeni



Singed on behalf of Dept: ETS

20 Apr 26

Development Charges Calculator				Version 1.00		2025/06/18																																																								
				Erf Number	14780																																																									
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<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Code</th> <th>Land Use</th> <th>Unit</th> <th colspan="2">Total Existing Right</th> <th colspan="2">Total New Right</th> </tr> <tr> <th colspan="3"></th> <th>Units</th> <th>Units</th> <th>Units</th> <th>Units</th> </tr> </thead> <tbody> <tr> <td colspan="3">RESIDENTIAL</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td>Single Res > 1000m² Erf (Upmarket)</td> <td>unit</td> <td></td> <td>1</td> <td></td> <td></td> </tr> <tr> <td></td> <td>Second/Additional Dwelling</td> <td>unit</td> <td></td> <td>1</td> <td></td> <td></td> </tr> <tr> <td colspan="3">ACCOMMODATION ESTABLISHMENTS</td> <td>m² Erf</td> <td>FAR</td> <td>m² GLA</td> <td>m² Erf</td> </tr> <tr> <td></td> <td>Guest House</td> <td>room</td> <td></td> <td></td> <td></td> <td>12</td> </tr> <tr> <td colspan="3">OTHERS</td> <td></td> <td></td> <td>kVA</td> <td>kVA</td> </tr> </tbody> </table>				Code	Land Use	Unit	Total Existing Right		Total New Right					Units	Units	Units	Units	RESIDENTIAL								Single Res > 1000m² Erf (Upmarket)	unit		1				Second/Additional Dwelling	unit		1			ACCOMMODATION ESTABLISHMENTS			m² Erf	FAR	m² GLA	m² Erf		Guest House	room				12	OTHERS					kVA	kVA	Please select Yes		
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Electricity	KVA	8,67	24,00	R 7 995,73	R 122 579,47	R 18 386,92	R 140 966,39																																																							
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City of George Calculated (ETS): M Gatyeni  Signature : _____ Date : April 20, 2026																																																														
NOTE : In relation to the increase pursuant to section 66(5B)(b) of the Planning By-Law (as amended) in line with the consumer price index published by Statistic South Africa) using the date of approval as the base month																																																														
Notes:																																																														
Departmental Notes:																																																														

For the internal use of Finance only

Service	Financial code/Key number	Total
Electricity	20160623 021336	R 140 966,39
		R 140 966,39